

Lot 31

2708 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa. MAIN SOIL **90 KPa. ENGINEERED FILL SOIL**
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
 LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
 LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
 LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
 LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
 LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
 LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
 LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
 LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
 LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
 LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
 LVL8 = 2-1 3/4" x 14" (2-45x356)
 LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 6" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

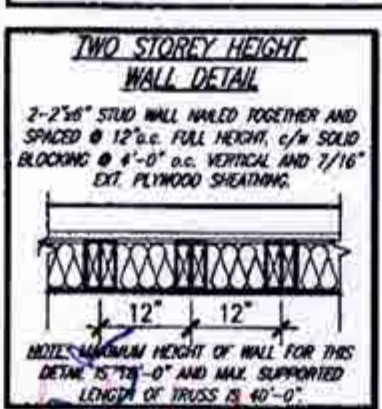
NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	8'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	8'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	8'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	8'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	8'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	8'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	8'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	8'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.5)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Exposed Floor	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value	1.76 (R10)	RIGID INSUL.
Walls Above Grade	0.28	
Minimum RSI (R) value	0.49	
Basement Walls	96% Min.	NATURAL GAS
Minimum RSI (R) value	0.8	NATURAL GAS
Edge of Below Grade Slab ≤ 600mm below grade	75%	
Minimum RSI (R) value		
Windows & Sliding glass Doors		
Maximum U-value		
Skylights		
Maximum U-value		
Space Heating Equipment		
Minimum AFUE		
Hot Water Heater		
Minimum EF		
HRV		
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)		
	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci - Denotes Continuous Insulation without framing interruption.

AREA CALCULATIONS

	ELEV '1'	ELEV '2' W/ ALT. LOWER LEVEL
MAIN LEVEL AREA	1291 SF	1291 SF
UPPER LEVEL AREA	1271 SF	1271 SF
TOTAL FLOOR AREA	2562 SF	2562 SF
MAIN LEVEL OPEN AREA	9 SF	9 SF
UPPER LEVEL OPEN AREA	24 SF	24 SF
ADD OPEN AREAS	+33 SF	+33 SF
ADD FINISHED BSMT AREA	+113 SF	+737 SF
GROSS FLOOR AREA	2708 SF	3392 SF
LOWER LEVEL COVERAGE	958 SF	958 SF
GARAGE COVERAGE/AREA	397 SF	397 SF
PORCH COVERAGE/AREA	55 SF	55 SF
COVERAGE W/ PORCH	1411 SF	1411 SF
	(131.09 m ²)	(131.09 m ²)
COVERAGE W/O PORCH	1355 SF	1355 SF
	(125.88 m ²)	(125.88 m ²)

AREA CALCULATIONS

	ELEV '2'	ELEV '2' W/ ALT. LOWER LEVEL
MAIN LEVEL AREA	1332 SF	1332 SF
UPPER LEVEL AREA	1290 SF	1290 SF
TOTAL FLOOR AREA	2622 SF	2622 SF
MAIN LEVEL OPEN AREA	9 SF	9 SF
UPPER LEVEL OPEN AREA	24 SF	24 SF
ADD OPEN AREAS	+33 SF	+33 SF
ADD FINISHED BSMT AREA	+737 SF	+737 SF
GROSS FLOOR AREA	2708 SF	3392 SF
LOWER LEVEL COVERAGE	958 SF	958 SF
GARAGE COVERAGE/AREA	397 SF	397 SF
PORCH COVERAGE/AREA	55 SF	55 SF
COVERAGE W/ PORCH	1411 SF	1411 SF
	(131.09 m ²)	(131.09 m ²)
COVERAGE W/O PORCH	1355 SF	1355 SF
	(125.88 m ²)	(125.88 m ²)

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	805.50 S.F.	131.00 S.F.	16.26 %
LEFT SIDE	1252.50 S.F.	39.50 S.F.	3.15 %
RIGHT SIDE	1252.50 S.F.	32.98 S.F.	2.63 %
REAR	805.50 S.F.	214.42 S.F.	26.62 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4116.00 S.F.	398.00 S.F.	9.67 %
TOTAL SQ. M.	382.39 S.M.	36.98 S.M.	9.67 %

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	805.50 S.F.	158.77 S.F.	19.71 %
LEFT SIDE	1246.50 S.F.	39.50 S.F.	3.17 %
RIGHT SIDE	1246.50 S.F.	8.17 S.F.	0.66 %
REAR	805.50 S.F.	214.42 S.F.	26.62 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4104.00 S.F.	400.96 S.F.	9.77 %
TOTAL SQ. M.	381.27 S.M.	37.25 S.M.	9.77 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

CITY OF BRAMPTON BUILDING DIVISION REVIEWED
 JAN 17 2019
 BY MARK DERKSEN

JUL 1 8 2018

For conventional wood framing framing shall conform to OBC.9.23

All work shall conform to the Ontario Building Code O. Reg. 332/12 as amended

MILLWOOD 3 COMPLIANCE PACKAGE 'A1'



no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6	ISSUED FOR PERMIT	JULY 18/18	ON
14				5	REVISED PER CLIENT/ ENGINEER	JULY 18/18	ON
13				4	UPDATED PER FLR/TRS, CLIENT COMMENTS	JUN. 28/18	ON
12				3	REVISED PER CLIENT COMMENTS	MAY 30/18	ON
11				2	UPDATED, ISSUED FOR REVIEW	MAY 18/18	ON
10				1	TRANSFER QUARTZ TOA FROM VETRUALLA	MAY 2018	ON

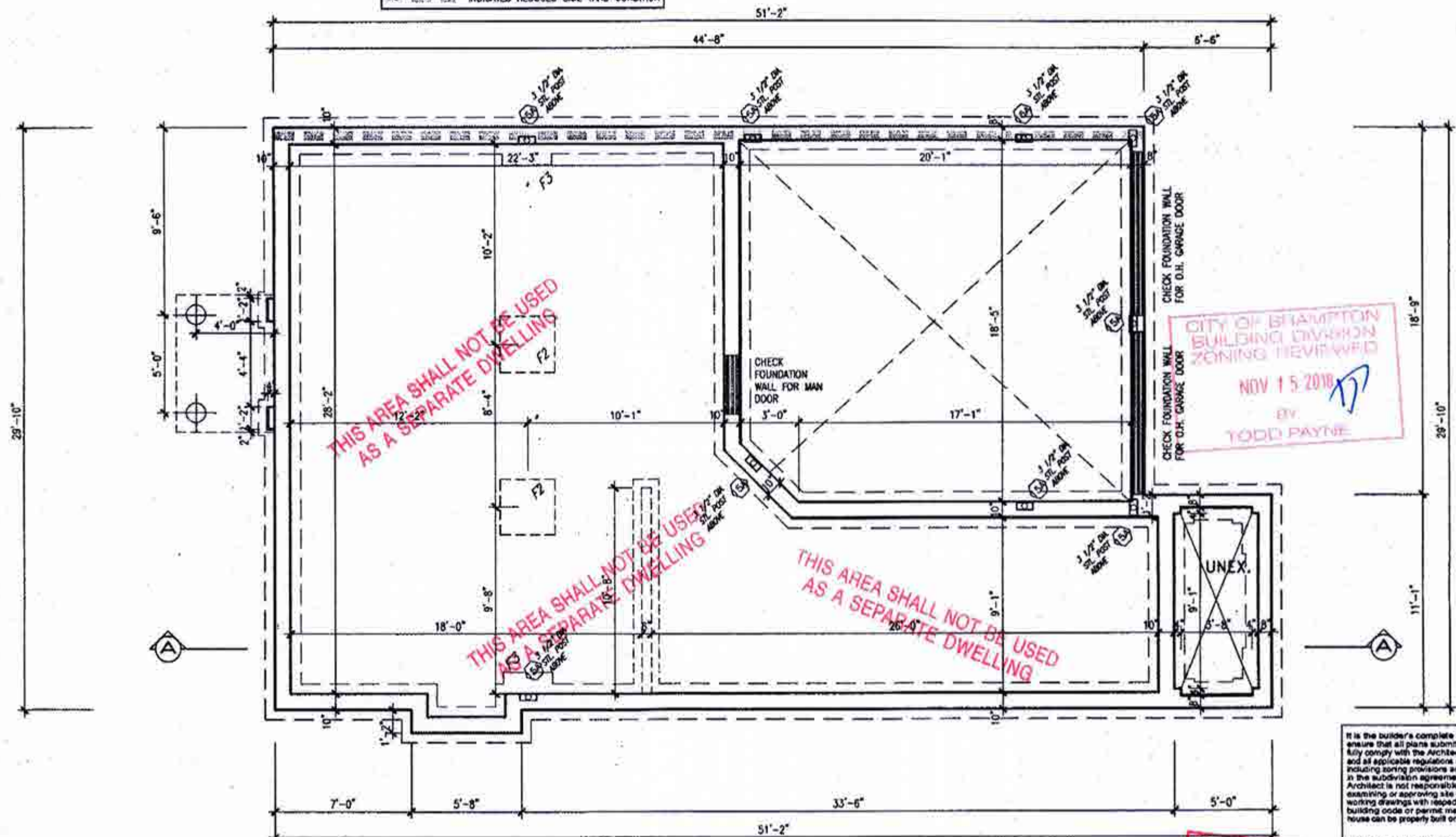
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 Richard Vink
 24488
 VAS Design Inc.
 42658

VA3 DESIGN
 255 Connaughts Rd. Suite 120
 Toronto ON M2J 1R4
 1 416.630.2255 | 416.630.4782
 va3design.com

Greenpark.
 project name: MINNISALE HOMES CORP.
 multiplicity: BRAMPTON
 project no.: 18012
 date: MAY 2018
 checked by: VAI
 scale: 3/16" = 1'-0"
 18012-MILLWOOD-3
 CRC - (H:\AR\B\WORKING\2018\18012\2018-1-CR\11 1st Single-USE\2000\18012-MILLWOOD-3.dwg - Rev - Jul 18 2018 - 9:57 AM

MILLWOOD 3
 11.6m
 GENERAL NOTES & CHARTS
 drawing no. **A0**

INDICATES REDUCED SIDE YARD CONDITION



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**CITY OF BRAMBLETON
BUILDING DIVISION
REVIEWED
JAN 12 2019
BY
MARK DERKSEN**

This stamp is only for the purposes of design control and carries no other professional obligations.

MILLWOOD 3
COMPLIANCE PACKAGE 'A1'



18				9			The undersigned has reviewed and takes responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information.
15				6	ISSUED FOR PERMIT.	JULY 18/18	RW Richard Vink 2448
14				5	REVISED PER CLIENT / ENGINEER	JULY 18/18	RW none
13				4	UPDATED PER FLR/TRS. CLIENT COMMENTS.	JUN. 29/18	RW Information Information VAS Design Inc. 4260
12				3	REVISED PER CLIENT COMMENTS.	MAY 30/18	RW
11				2	UPDATED, ISSUED FOR REVIEW.	MAY 18/18	RW Director must carry all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10				1	TRANSFER QUARTZ 10A FROM METRALIA	MAY 2018	RW date by
no.	description	date	by	no.	description	date	by

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

PROJECT NAME	MUNICIPALITY
MINNISALE HOMES CORP.	BRAMPTON

MILLWOOD 3
11.6m

FOUNDATION PLAN- ELEVATION '1'

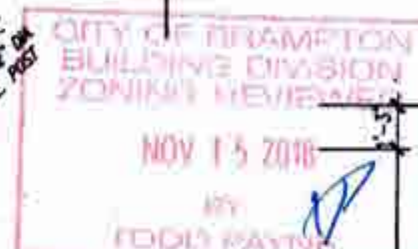
A1

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ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.REG.
332/12, AS AMENDED, DIVISION B, PART 7

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

INDICATES REDUCED SIDE YARD CONDITION



CONCRETE SLAB
MIN. 6" THICK w/
15M @ 16" o/c
TOP DOWELS WELDED
TO STEEL BEAMS

COLD STORAGE SLAB
5" REINFORCED CONCRETE :
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BARS
(24"x24") DOWELS SPACED
MORE THAN 23 5/8" o.c.

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PLUMBING BY
KOFI MORIEL

18				9		
17				8		
16				7		
15				6	ISSUED FOR PERMIT.	JULY 18/18 GW
14				5	REVISED PER CLIENT/ ENGINEER.	JULY 18/18 GW
13				4	UPDATED PER FLR/TRS. CLIENT COMMENTS.	JUN. 29/18 GW
12				3	REVISED PER CLIENT COMMENTS.	MAY 30/18 GW
11				2	UPDATED. ISSUED FOR REVIEW.	MAY 18/18 GW
10				1	TRANSFER QUARTZ 10A FROM VETRAILLA	MAY 2018 GW
no. description		date	by	no. description		date by

I, undersigned, hereby acknowledge and take responsibility for this design and have the qualifications and meets the requirements set out in The Ontario Building Code to be a Designer.
 qualification information
 Richard Yink *R. Yink* 2448
 name signature
 registration information
 V&J Design Inc. 4765

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

LOWER LEVEL PLAN - ELEVATION '1'

Drawn by	Checked by	Date	File Name
MAY 2018	VAI	3/16" = 1'-0"	18012-MILLWOOD-3
CADD: J:\ARCHIVE\WORKING\2018\18012.dwg (1-shr) 11.06 Single W8x400/18012-MILLWOOD-3.dwg - Red - Ad 18 2018 - 9:37 AM			

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332/12, AS AMENDED, DIVISION B, PART 7.

NOV 21 2018

PLUMBING BY
KOFI MORIEL

NOTES 15 2010

BY J. L. PAYNE

NOTE 2:
3 PLY BITUMINOUS (OR ONE
PLY RUBBER) MEMBRANE
ADHERED TO EXT. TYPE $\frac{3}{8}$ "
T&G PLYWOOD SHEATHING
ON 2"x2" SPR. PURLINS
(L&D PERPENDICULAR TO
JOISTS) ON 2"x8" P.I. SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON
U/S.

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CITY OF BRAMPTON
BUILDING DIVISION

REVIEWED

JAN 14 2019

BY
MARK DERKSEN

MILLWOOD 3
COMPLIANCE PACKAGE 'A1'

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *[Signature]* JUL 18 2018

This stamp is only for the purposes of design control and carries no other professional obligations.

REGISTERED PROFESSIONAL ENGINEER
MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
TORONTO, ONT.

MAIN LEVEL PLAN - ELEV. 1

(B) SECTION THRU STEEL BEAM
AT CONCRETE BALCONY

16				9		
17				8		
16				7		
15				6	ISSUED FOR PERMIT	JULY 18/18 DW
14				5	REVISED PER CLIENT/ ENGINEER	JULY 18/18 DW
13				4	UPDATED PER FLR/TIRS, CLIENT COMMENTS	JUN. 29/18 DW
12				3	REVISED PER CLIENT COMMENTS	MAY 30/18 DW
11				2	UPDATED, ISSUED FOR REVIEW	MAY 18/18 DW
10				1	TRANSFER QUARTZ 10A FROM VETRAILLA	MAY 2018 DW
9	description	date	by	no	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements and set in the Ontario Building Code to be a Designer. qualification information:	
Richard Vitek	244
name	8
registration information	426
VAS Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

**VA3
DESIGN**

255 Consumers Rd Suite 120
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va3vision.com

Greenpark.

project name
MINNISALE HOMES CORP.

MILLWOOD 3
11.6m

MAIN LEVEL PLAN- ELEVATION '1'

A4

14-00000

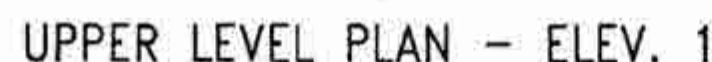
ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.REG.
332/12, AS AMENDED, DIVISION B, PART 7

NOV 21 2018

PLUMBING BY
KOFI MORIEL

NOV 15 2018

BY
TODD RAYNE



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JAN 18 2019

BY
MARK DEERSEN

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL

This stamp is only for the purposes of design control and carries no other professional obligations.

MILLWOOD 3
COMPLIANCE PACKAGE 'A1'

MILLWOOD 3
11.6m

Greenpark.

project name
MINNISALE HOMES CORP

BRAMPTON

project no.
18012

UPPER LEVEL PLAN- ELEVATION '1

A5

REGISTERED PROFESSIONAL ENGINEER
M. MARINKOVIC
PROVINCE OF ONTARIO
NO. 11419
STRUDET INC.
FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJUNCT TO WATER CLOSETS AND SHOWER OR
BATHTUBS IN MAIN BATHROOM. REFER TO QDC. 9.5.2.
3.8.3.8(1)(d) & 3.8.3.13(1)(f)

18				9			The undersigned has reviewed and bears responsibility for this design and has the qualifications and meets the requirements set out in the General Building Code to be a Designer.
17				8			
16				7			signature location 
15				6	ISSUED FOR PERMIT.	JULY 18/18	GN Richard Vink 244
14				5	REVISED PER CLIENT / ENGINEER.	JULY 18/18	GN same signature information
13				4	UPDATED PER FLR/TRS. CLIENT COMMENTS.	JUN. 26/18	GN V&S Design Inc. 428
12				3	REVISED PER CLIENT COMMENTS.	MAY 30/18	GN
11				2	UPDATED ISSUED FOR REVIEW.	MAY 18/18	GN Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with construction. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.
10				1	TRANSFER QUARTZ 10A FROM VETRAALLA	MAY 2018	GN
NO.	description	date	bv	no.	description	date	bv

**VA3
DESIGN**

255 Consumers Rd Suite 120
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va@vdesign.com

Greenpark.

project name
MINNISALE HOMES CORP

BRAMPTON

UPPER LEVEL PLAN- ELEVATION '1

A5

[illegible]

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2018
BY
TODD PAYNE

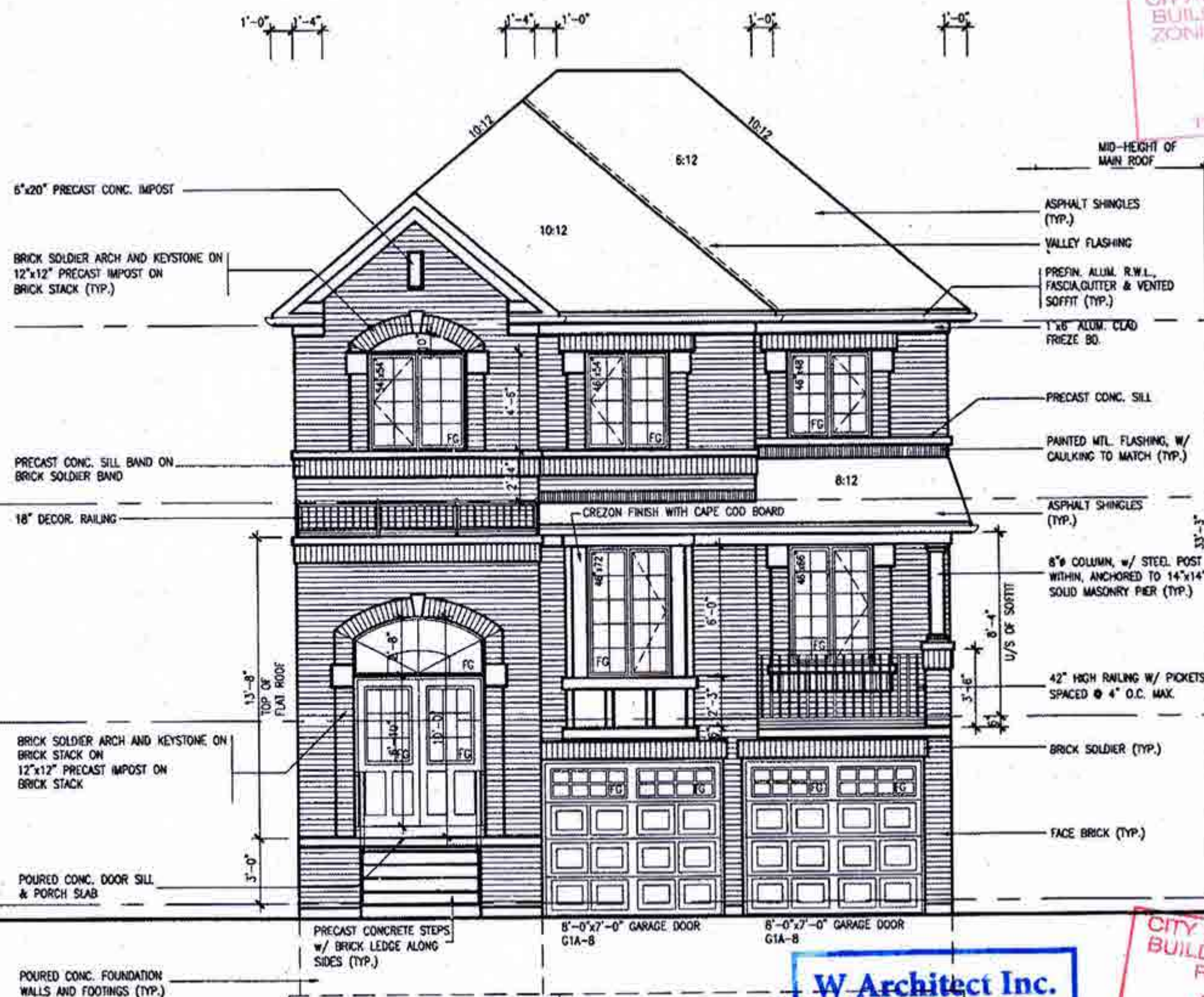


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3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



FRONT ELEVATION - ELEV. 1

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: Jul 18 2018

This stamp is only for the purposes of design control and carries no other professional obligations.

FIN. GRADE
CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
U/S OF FOOTING
JAN 17 2019

BY
MARK DERKSEN

MILLWOOD 3
COMPLIANCE PACKAGE 'A1'

18			9.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
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**VA3
DESIGN**

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4780
info@un1design.com

Greenpark.

project name	multiple
MINNISALE HOMES CORP.	BRAMPTON

MINNISALE HOMES CORP.

FRONT ELEV

drawn by MAY 2018 VAL checked by - scale 3/16" = 1'-0"

ONEC - H:\ARCHIVE\WORKING\2018\18012.DOC\1-GRN\17.5m_Sigle-ALLWOOD\18012-ALLWOOD-3.doc

MILLWOOD 3
11.6m

180

TON FLEX 1" driving in

ATION- ELEV. 1'

18012-MILLWOOD-3 **A6**

Wed - Jul 18 2018 - 9:37 AM

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CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2018
BY: [Signature]
TODD PARNELL

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(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45. MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-5702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM. R.W.L.
FASCIA, GUTTER & VENTED
SOFFIT (TYP.)

CITY OF BRAZILFLO
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2010
BY
TODD PAYNE

Diagram illustrating the vertical dimensions of a window and door assembly:

- TOP OF PLATE
- TOP OF WINDOW
- 7'-0"
- FIN. UPPER LEVEL
- TOP OF TRANSOM
- TOP OF DOOR
- 1'-0"
- 6'-10"
- FIN. MAIN LEVEL
- 9'-1"

MILLWOOD 3
COMPLIANCE PACKAGE 'A1'

MILLWOOD 3
11.6m

Greenpark.

project name	multiple	project n
MINNISALE HOMES CORP.	BRAMPTON	1801

RIGHT SIDE ELEVATION- ELEV. '1'

drawn by MAY 2018 VA checked by 5/16" = 1'-0" 18012-MILLWOOD-3

A8

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: GFE 01/18/2018

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RIGHT SIDE ELEVATION - ELEV. 1

HEADER/RIM JOIST LEVEL

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

ALLOWABLE GLAZED OPENINGS		
WALL AREA	1206.00	SQ. FT.
— LIMITING DISTANCE	1.2	M (7%)
GLAZING ALLOWED	84.42	SQ. FT.
GLAZING PROVIDED	7.85	SQ. FT.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9			
17				8			
16				7			
15				6	ISSUED FOR PERMIT.	JULY 18/18	G
14				5	REVISED PER CLIENT/ ENGINEER	JULY 18/18	G
13				4	UPDATED PER FLR/TMS. CLIENT COMMENTS.	JUN 29/18	G
12				3	REVISED PER CLIENT COMMENTS.	MAY 30/18	G
11				2	UPDATED. ISSUED FOR REVIEW.	MAY 18/18	G
10				1	TRANSFER QUANTZ 10A FROM VETRALIA	MAY 2018	G
9	description	date	by	no.	description	date	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 244
name
signature
registration information
V&S Design Inc. 428

Contractor must verify all dimensions on the job and report any discrepancy to the Designer within proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Designers are not to be used.

VA3
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4700
va3design.com

Greenpark.

project name	BRAMPTON
MINNISALE HOMES CORP.	

RIGHT SIDE ELEVATION- ELEV. '1

drawn by MAY 2018 VA checked by 5/16" = 1'-0" 18012-MILLWOOD-3

CHSC - H:\ARCHIVE\WORKING\2018\TWOZ ONE\1-10-18\11 Jan Sample-WELLWOOD\18012-WELLWOOD-2 day - final - Ad 18 2018 - 8-37 AM

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TOP OF PLATE

8'-1"

FIN. UPPER LEVEL

9'-11"

FIN. MAIN LEVEL

6'-0"

TOP OF PORCH

TOP OF SLAB

FIN. GRADE

U/S OF FOOTING

MASTER BEDROOM

W.I.C.

BEDROOM 4

FAMILY ROOM

FOYER

UNFINISHED BASEMENT

UNFINISHED UTILITY ROOM

LOW HEADROOM

1

2

3

4

5

6

7

8

9

10

11

12

13

14

W Architect Inc.

CITY OF BRAMPTON
BUILDING DIVISION
(RECEIVED)
2012-05-15

W Architect Inc.
DESIGN CONTROL REVIEW

FINAL BY: CTGE JUL 18 2018

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "B. MARINKOVIC" is printed. Below the name is a stylized signature. At the very bottom of the seal, it reads "STRUDET INC. FOR STRUCTURE ONLY".

18				9			The undersigned has reviewed and takes responsibility for this design and how the qualifications and meets the requirements set out in the
17				8			Ordinance Building Code to be a Designer.
16				7			qualification information
15				6	ISSUED FOR PERMIT	JULY 18/18	OR Richard Vink 2441
14				5	REVISED PER CLIENT / ENGINEER	JULY 18/18	OR same signature
13				4	UPDATED PER FLR/TKS. CLIENT COMMENTS	JUN 29/18	OR regulation information WAS Design Inc. 4260
12				3	REVISED PER CLIENT COMMENTS.	MAY 30/18	OR
11				2	UPDATED. ISSUED FOR REVIEW	MAY 18/18	OR Director shall verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are representations of service and the product of the Designer which must be returned at the completion of the work. Drawings are not to be used.
10				1	TRANSFER QUARTZ 10A FROM VETTRALLA	MAY 2018	OR
no. description date by no. description date by							

The undersigned has reviewed and takes responsibility for this design and was the qualifications and meets the requirements set out in the Grade Building Code to be a Designer.

qualification information

Richard Vink 2444

name signature

regulation information

VAS Design Inc. 4262

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**VA3
DESIGN**
255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

MILLWOOD 3
11.6m

project name MINNISALE HOMES CORP.	city BRAMPTON	project no. 18012
section SECTION A-A- ELEVATION '1'		drawing no. A10
date MAY 2018	checked by VAT	scale 5/16" = 1'-0"
title 18012-MILLWOOD-3		

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