

STRIP FOOTINGS
FOR SINGLES & SEMIS UP TO 2 STOREY
2" OR 10" FOUNDATION WALLS WITH 2"x6" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x6" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x6" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY.

ASSUMED 120 KPa (16 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

BRICK VENEER LINTELS
ML1 = 3'-1/2" x 3'-1/2" x 1/4" (40x40x6.0L) + 2'-2"x6" SFR. No.2
ML2 = 4'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 2'-2"x6" SFR. No.2
ML3 = 5'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 2'-2"x6" SFR. No.2
ML4 = 6'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 2'-2"x6" SFR. No.2
ML5 = 6'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 2'-2"x6" SFR. No.2
ML6 = 5'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 2'-2"x6" SFR. No.2
ML7 = 5'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 3'-2"x10" SFR. No.2
ML8 = 5'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 3'-2"x10" SFR. No.2
ML9 = 6'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 3'-2"x10" SFR. No.2
ML10 = 6'-0" x 3'-1/2" x 1/4" (40x40x6.0L) + 3'-2"x10" SFR. No.2

LINEELS AND BEAMS
MB1 = 2'-2"x6" SFR. No.2 (2-30x104 SFR. No.2)
MB2 = 3'-2"x6" SFR. No.2 (3-30x104 SFR. No.2)
MB3 = 2'-2"x10" SFR. No.2 (2-30x235 SFR. No.2)
MB4 = 3'-2"x10" SFR. No.2 (3-30x235 SFR. No.2)
MB5 = 2'-2"x12" SFR. No.2 (2-30x266 SFR. No.2)
MB6 = 3'-2"x12" SFR. No.2 (3-30x266 SFR. No.2)
MB7 = 5'-2"x12" SFR. No.2 (5-30x266 SFR. No.2)
MB8 = 4'-2"x10" SFR. No.2 (4-30x235 SFR. No.2)
MB9 = 4'-2"x12" SFR. No.2 (4-30x266 SFR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1'-1 3/4" x 7 1/4" (4-45x184)
LVL1 = 2'-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3'-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4'-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1'-1 3/4" x 9 1/2" (4-45x240)
LVL4 = 2'-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3'-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4'-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1'-1 3/4" x 11 7/8" (4-45x300)
LVL6 = 2'-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3'-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4'-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2'-1 3/4" x 14" (2-45x356)
LVL9 = 3'-1 3/4" x 14" (3-45x356)
LVL10 = 4'-1 3/4" x 14" (4-45x356)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (F_b=2800psi MIN) OR
EQUIVALENT.

LOOSE STEEL LINTELS
L1 = 3'-1/2" x 3'-1/2" x 1/4" (40x40x6.0L)
L2 = 4'-0" x 3'-1/2" x 1/4" (40x40x6.0L)
L3 = 5'-0" x 3'-1/2" x 1/4" (40x40x6.0L)
L4 = 6'-0" x 3'-1/2" x 1/4" (40x40x6.0L)
L5 = 6'-0" x 3'-1/2" x 1/4" (40x40x6.0L)
L6 = 7'-0" x 3'-1/2" x 1/4" (40x40x6.0L)

PAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 40"x40"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FOOTING WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

DOOR SCHEDULE
1 = 2'-0" x 6'-8" (615x2033) - INSULATED ENTRANCE DOOR
1a = 2'-0" x 6'-8" (615x2033) - INSULATED FRONT DOORS
2 = 2'-0" x 6'-8" (615x2033) - GLASS DOOR
3 = 2'-0" x 6'-8" x 1-3/4" (615x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-0" x 6'-8" x 1-3/4" (615x2033x45) - INTERIOR SLAB DOOR
5 = 2'-0" x 6'-8" x 1-3/4" (615x2033x45) - INTERIOR SLAB DOOR
6 = 2'-0" x 6'-8" x 1-3/4" (615x2033x45) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/4" (460x2033x45) - INTERIOR SLAB DOOR
8 = 2'-0" x 6'-8" x 1-3/4" (615x2033x45) - EXTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGERS FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT CAN SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 1/16"
EXT. PLYWOOD SHEATHING.

MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS
16'-0" AND MAXIMUM SUPPORTED LENGTH OF
TRUSS IS 40'-0"
TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT
SHALL CONFORM TO THE FOLLOWING

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.57 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM A/E	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

HEMLOCK 5

AREA CALCULATIONS	ELEV. 1
GROUND FLOOR AREA	= 947.11 Sq. Ft.
SECOND FLOOR AREA	= 111.47 Sq. Ft.
TOTAL FLOOR AREA	= 1058.58 Sq. Ft.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 20 Sq. Ft.
ADD TOTAL OPEN AREAS	= 20 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2081 Sq. Ft.
GROUND FLOOR COVERAGE	= 447 Sq. Ft.
GARAGE COVERAGE / AREA	= 249 Sq. Ft.
PORCH COVERAGE / AREA	= 60 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1306 Sq. Ft.
TOTAL COVERAGE W/O PORCH	= 1246 Sq. Ft.
	= 115.76 Sq. m.

HEMLOCK 5C

AREA CALCULATIONS	ELEV. 1
GROUND FLOOR AREA	= 1008.58 Sq. Ft.
SECOND FLOOR AREA	= 121.47 Sq. Ft.
TOTAL FLOOR AREA	= 2222.22 Sq. Ft.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 20 Sq. Ft.
ADD TOTAL OPEN AREAS	= 20 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2242 Sq. Ft.
GROUND FLOOR COVERAGE	= 1008 Sq. Ft.
GARAGE COVERAGE / AREA	= 300 Sq. Ft.
PORCH COVERAGE / AREA	= 242 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1547 Sq. Ft.
TOTAL COVERAGE W/O PORCH	= 143.72 Sq. m.
	= 121.24 Sq. m.

HEMLOCK 5		ELEV.1 COMPLIANCE PACKAGE "A1"			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	348.00	50.91	12.83	6.77	19.51 %
LEFT SIDE	462.00	84.57	0.00	5.65	6.52 %
RIGHT SIDE	462.00		0.00	0.00	0.00 %
REAR	516.00	47.44	14.42	13.88	28.96 %
TOTAL	2488.00	271.59	283.17	26.31	9.48 %

HEMLOCK 5		ELEV.1		COMPLIANCE PACKAGE "A1"	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	615.00	57.14	89.87	5.55	14.58 %
LEFT SIDE	1058.00	48.29	0.00	0.00	0.00 %
RIGHT SIDE	1058.00	94.16	142.04	13.20	13.43 %
REAR	568.00	54.16	144.42	13.88	25.63 %
TOTAL	3314.00	301.28	386.13	35.41	11.50 %

HEMLOCK 5

AREA CALCULATIONS	ELEV. 2
GROUND FLOOR AREA	= 947.11 Sq. Ft.
SECOND FLOOR AREA	= 111.47 Sq. Ft.
TOTAL FLOOR AREA	= 1058.58 Sq. Ft.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 20 Sq. Ft.
ADD TOTAL OPEN AREAS	= 20 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2081 Sq. Ft.
GROUND FLOOR COVERAGE	= 447 Sq. Ft.
GARAGE COVERAGE / AREA	= 249 Sq. Ft.
PORCH COVERAGE / AREA	= 60 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1306 Sq. Ft.
TOTAL COVERAGE W/O PORCH	= 1246 Sq. Ft.
	= 115.76 Sq. m.

HEMLOCK 5C

AREA CALCULATIONS	ELEV. 2
GROUND FLOOR AREA	= 1008.58 Sq. Ft.
SECOND FLOOR AREA	= 121.47 Sq. Ft.
TOTAL FLOOR AREA	= 2222.22 Sq. Ft.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 20 Sq. Ft.
ADD TOTAL OPEN AREAS	= 20 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2242 Sq. Ft.
GROUND FLOOR COVERAGE	= 1008 Sq. Ft.
GARAGE COVERAGE / AREA	= 300 Sq. Ft.
PORCH COVERAGE / AREA	= 242 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1547 Sq. Ft.
TOTAL COVERAGE W/O PORCH	= 143.72 Sq. m.
	= 121.24 Sq. m.

HEMLOCK 5		ELEV.2 COMPLIANCE PACKAGE "A1"			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	510.00	47.38	66.46	6.77	13.09 %
LEFT SIDE	455.00	28.72	5.65	5.65	6.31 %
RIGHT SIDE	455.00	0.00	0.00	0.00	0.00 %
REAR	516.00	47.44	144.41	13.88	28.96 %
TOTAL	2436.00	272.76	276.70	25.71	9.42 %

HEMLOCK 5C		ELEV.2 COMPLIANCE PACKAGE "A1"			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	513.00	47.66	64.50	5.99	12.51 %
LEFT SIDE	1023.00	45.04	0.00	0.00	0.00 %
RIGHT SIDE	1023.00	45.04	148.41	13.74	14.51 %
REAR	568.00	54.16	144.42	13.88	25.63 %
TOTAL	3142.00	291.90	362.33	33.66	11.53 %

Confirmed Model = 18-411388.00000RR
Builder Greenpark
M Plan 2060
Model 11R

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Certified
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
BRAMPTON.

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

W Architect Inc.
DESIGN CONTROL REVIEW
OCT. 17 2018
FINAL BY ECE
This stamp is only for the purpose of design
control and savings on other architectural disciplines.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4095
F (905) 680-0746

AREA CHARTS
SCALE 3/16"=1'-0"
DATE MAY 2018
BY VG
TYPE
PROJECT XX-XX-XX

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

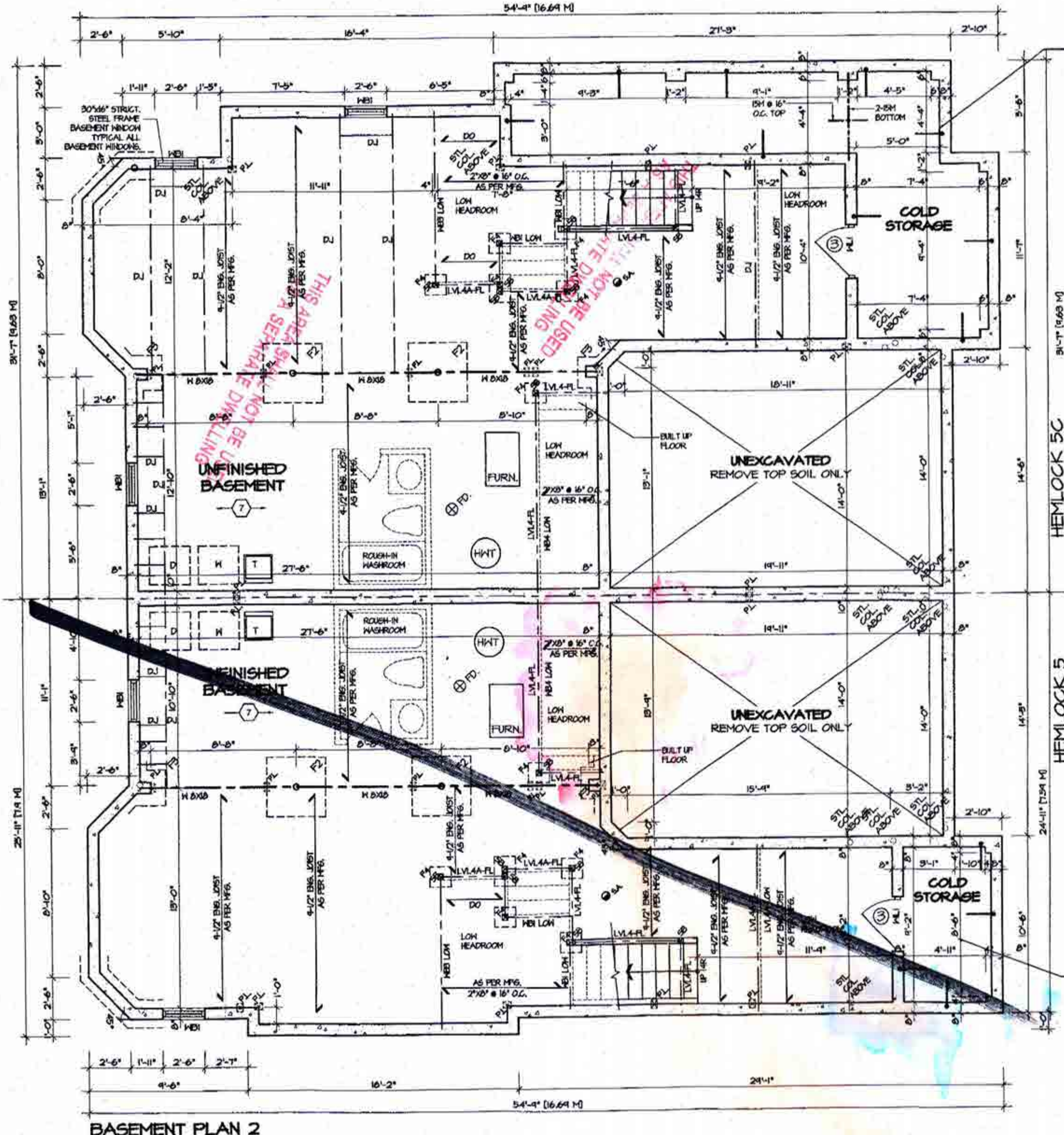
2081 / 2242
PAGE No. 0

Greenpark.
PROJECT NAME
MINNISALE

18-411388.00000RR
All work to conform to the Ontario
Building Code O. Reg. 332/12 as amended.
HEMLOCK 5/5C
COMPLIANCE PACKAGE "A1"

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 09 2019
PLUMBING BY
KOFI MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.B.C.
332/12, AS AMENDED, DIVISION B, PART 7.



COLD CELLAR
5" R.F. CONC. SLAB WITH 10M
BARS @ 175" O.C. EACH MAT
WITH MIN 1 1/4" CONCRETE
COVER AND 24"X24" 10M
BENT DOWELS SPACED NOT
MORE THAN 25 5/8" O.C.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 10 2018
BY
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
BY
MARK DERKSEN

COLD CELLAR
5" R.F. CONC. SLAB WITH 10M
BARS @ 175" O.C. EACH MAT
WITH MIN 1 1/4" CONCRETE
COVER AND 24"X24" 10M
BENT DOWELS SPACED NOT
MORE THAN 25 5/8" O.C.



W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *CPK*
This stamp is only for the purpose of design
control on JUL 27 2018 professional obligations.

HEMLOCK 5/5C
COMPLIANCE PACKAGE "A1"



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

5.					
4.					
3.					
2.					
1.	NEW MODEL	MAY 18	VIKAS GAJJAR	28770	BCIN
REVISIONS					

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-6096
F (905) 860-0746

REGION DESIGN INC.

BASEMENT PLAN
ELEV. 2
SCALE: 3/16"=1'-0"
DATE: MAY 2018
BY: VG
TYPE: XX-XX-XX

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA: 2081 / 2242
PAGE No: 1-2
PROJECT NAME: MINNISALE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 09 2019
PLUMBING BY
KOEL MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
TODD PAYNLE

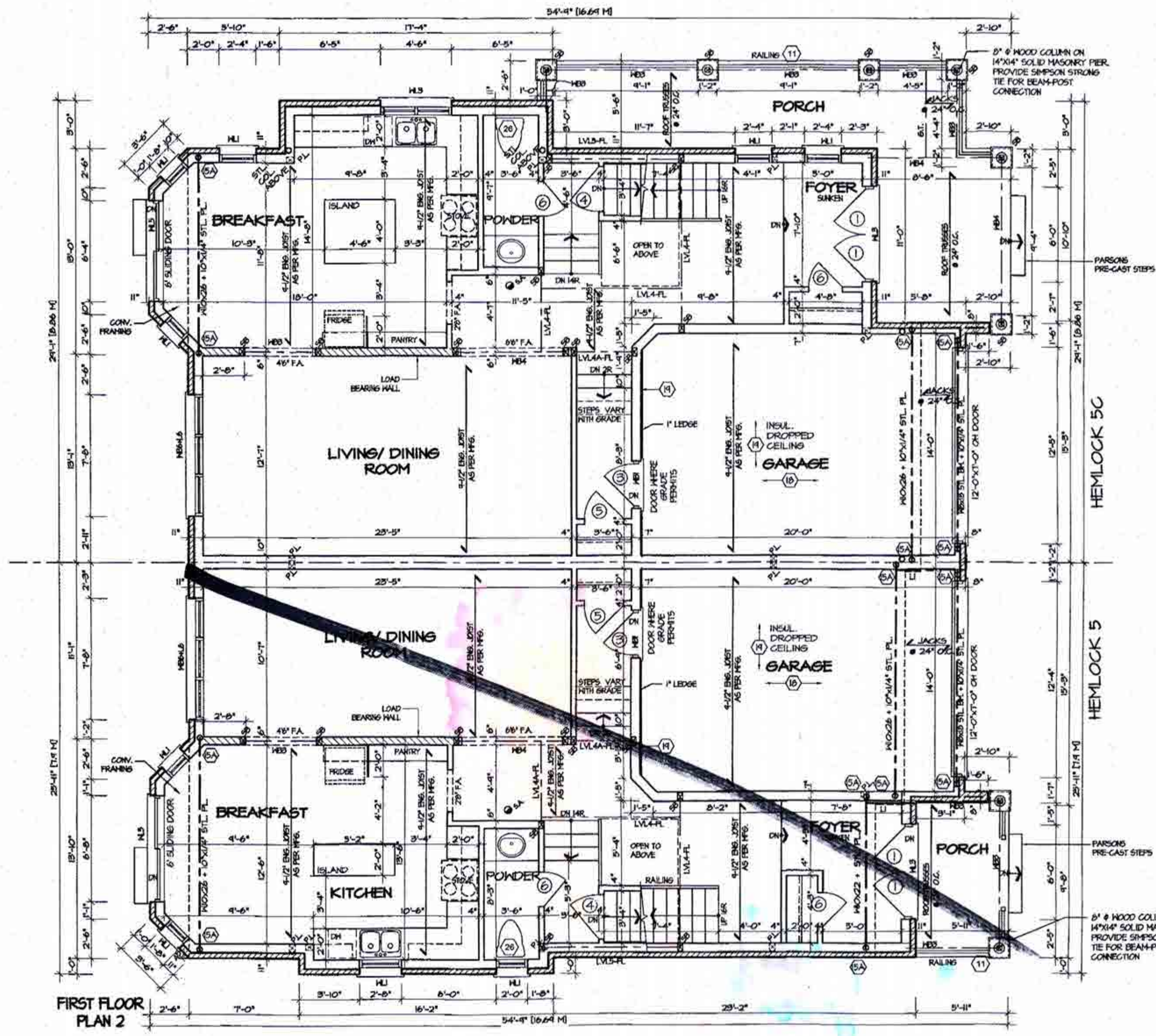
STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
BY
MARK DERKSEN

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: AGE
JUL 27 2018
This stamp is for design purposes of design
and carries no other professional obligations

HEMLOCK 5/5C
COMPLIANCE PACKAGE "A1"

Greenpark.



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5. _____ 4. _____ 3. _____ 2. _____ 1. NEW MODEL REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN MAY 18	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 860-0746 REGION DESIGN INC.	SHEET TITLE FIRST FLOOR PLAN ELEV. 2 SCALE 3/16"=1'-0" DATE MAY 2018 BY VG TYPE PROJECT AREA 2081 / 2242 PAGE No. 2-2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PROJECT XX-XX-XX	PROJECT NAME MINNISALE
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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 09 2019
PLUMBING BY
KOFI MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.B.C.
332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 10 2018
BY
TOMASZ WYKIE

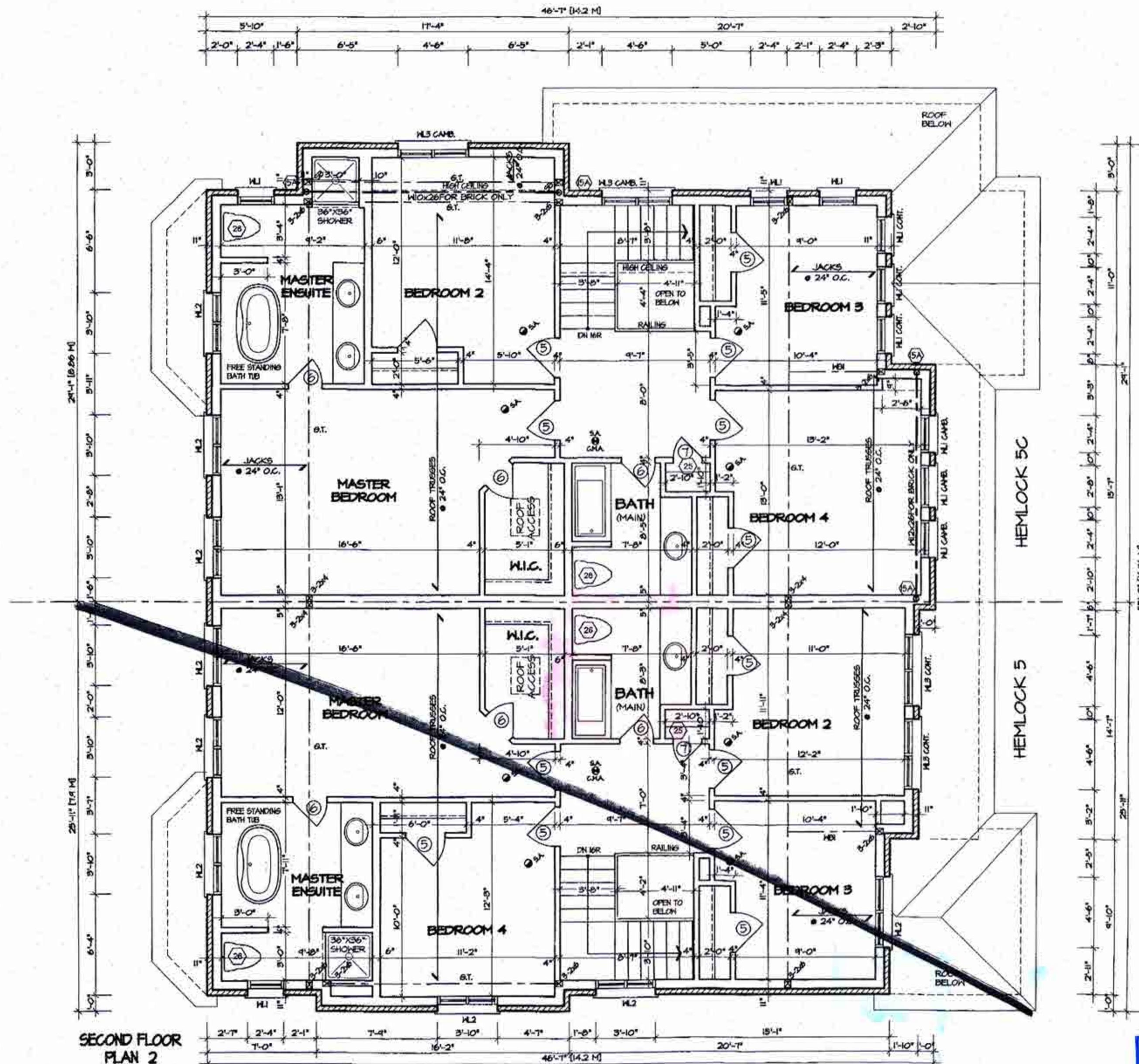
CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
BY
MARK DERKSEN



W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *W*
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control and carries no other professional obligations
JUL 27 2018

HEMLOCK 5/5C
COMPLIANCE PACKAGE "A1"

Greenpark.



SECOND FLOOR
PLAN 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the (listing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

NO.	REVISIONS	DATE
1.	NEW MODEL	MAY 18

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
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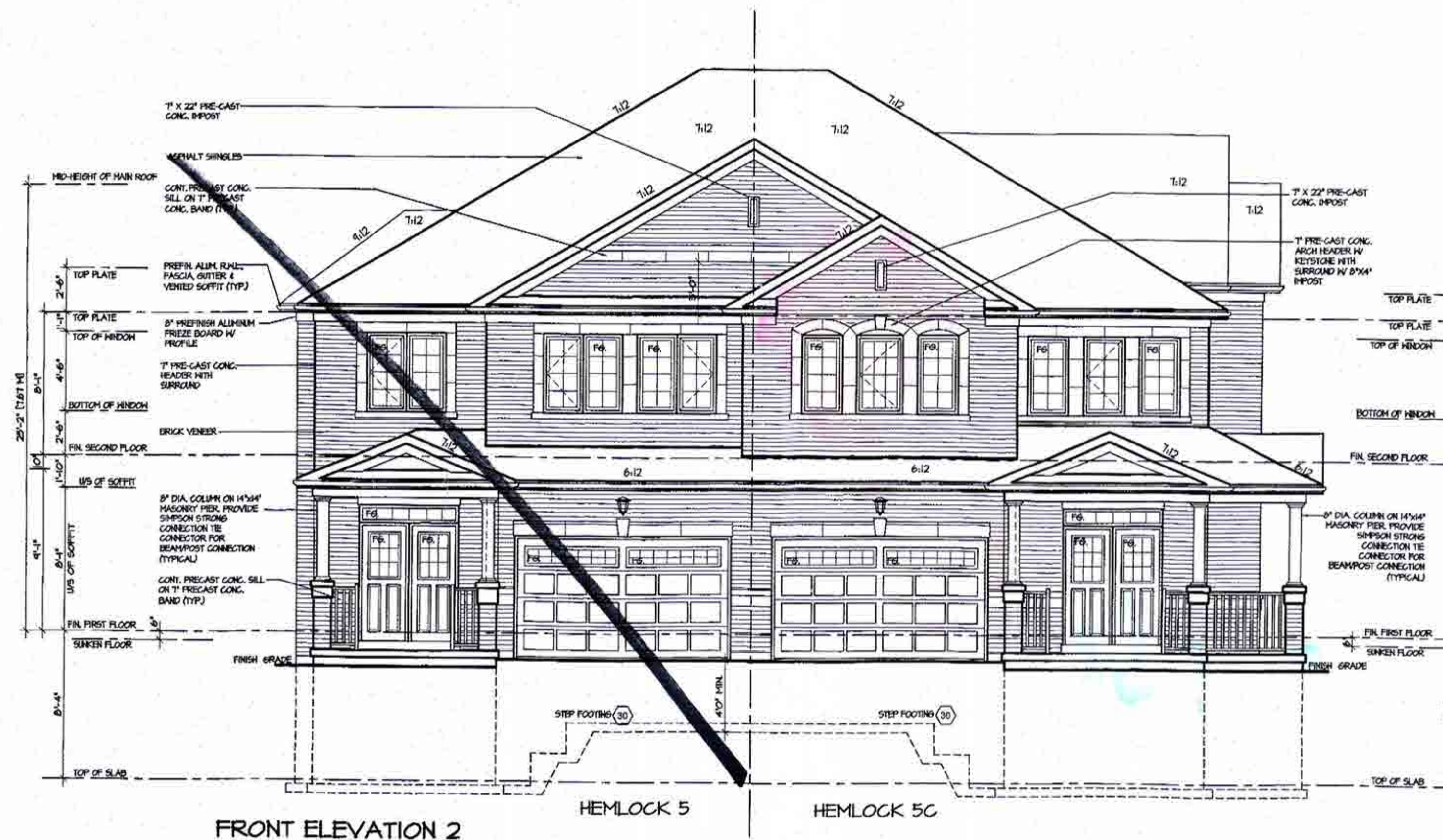
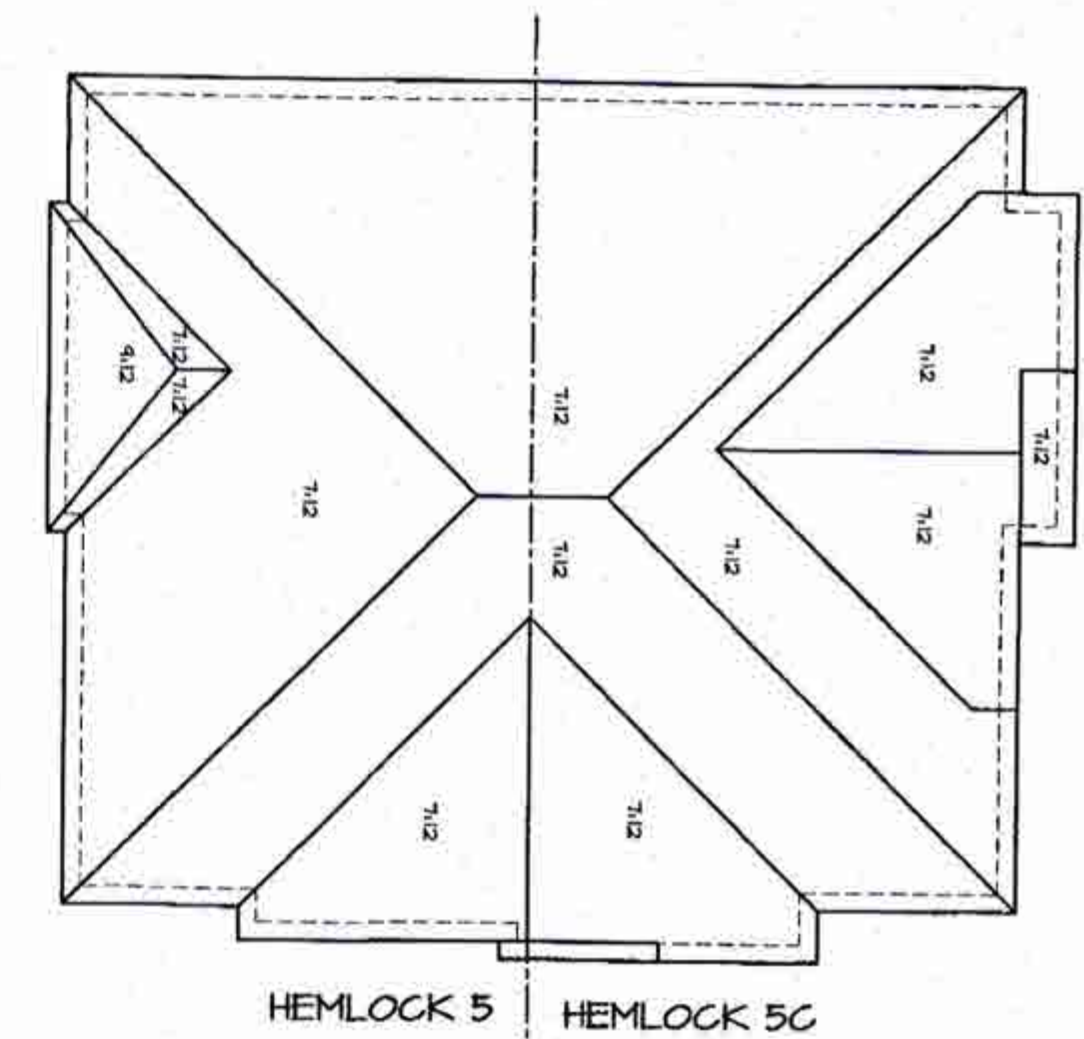
**REGION
DESIGN
INC.**

SHEET TITLE
SECOND FLOOR PLAN
ELEV. 2
SCALE
3/16"=1'-0"
DATE
MAY 2018
BY
VG
TYPE
PROJECT
XX-XX-XX

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA
2081 / 2242
PAGE NO.
3-2

PROJECT NAME
MINNISALE

115519 HW M:\PROJECTS\MINNISALE - BRAMPTON\HEMLOCK 5/5C - REG\HEMLOCK 5/5C MASTER 2018.DWG JUL 16, 2018



CITY OF SHAMPTON
POLICE DIVISION
2000 W. HWY 101
DEC 10 2011
TODD WYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
BY
MARK DERKSEN

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

JUL 27 2018

HEMLOCK 5/5C
COMPLIANCE PACKAGE "A1"

6.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4095 F (905) 880-0746	REGION DESIGN INC.	SHEET TITLE		FRONT ELEVATION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.					
4.					ELEV. 2									
3.					SCALE	3/16"=1'-0"	BY	VG	AREA	2081 / 2242		PAGE No.	4-2	
2.					DATE	MAY 2018	TYPE		PROJECT	XX-XX-XX		PROJECT NAME		MINNISALE
1.	NEW MODEL				MAY 18	REVISIONS								



CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 10 2018
BY
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
BY
MARK DERKSEN

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *W*
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JUL 27 2018

HEMLOCK 5/5C
COMPLIANCE PACKAGE "A1"

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

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4.		
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2.		
1.	NEW MODEL	MAY 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S5
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**RIGHT SIDE ELEVATION
ELEV. 2**

SCALE
3/16"=1'-0"

DATE
MAY 2018

BY
VG

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

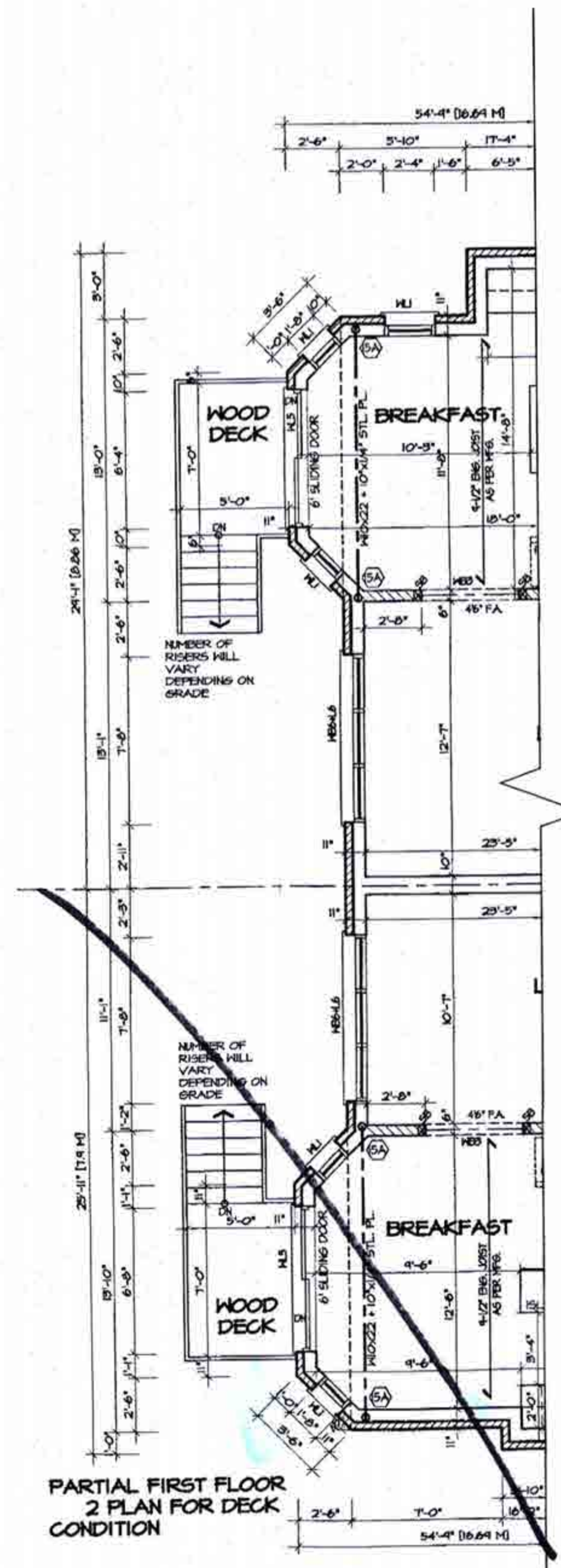
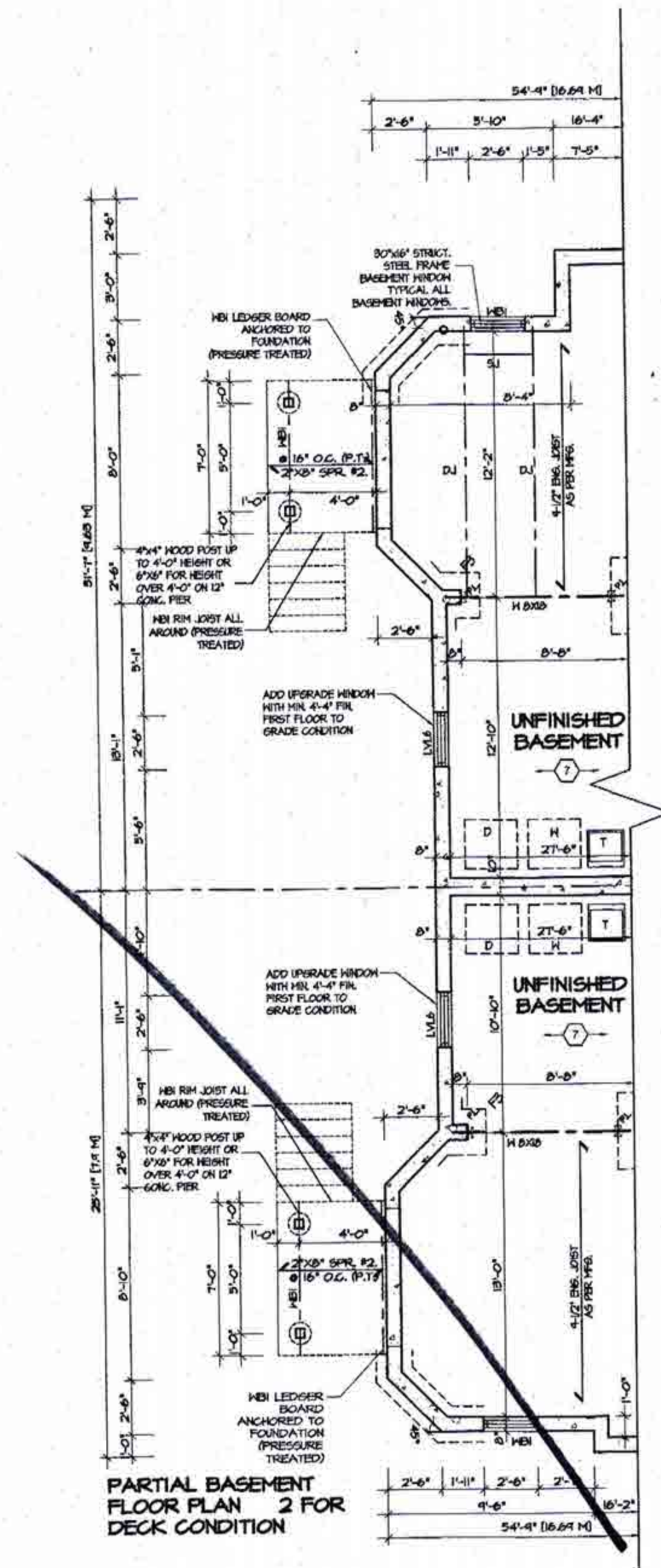
AREA
2081 / 2242

PAGE No.
6-2

Greenpark.

PROJECT NAME
MINNISALE

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DATE OF REVISION
17-01-2018
BY: [Signature]
FOR: [Signature]

ON BU
17-01-2018
BY: MARK DERKSEN
ON ON

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: GCS

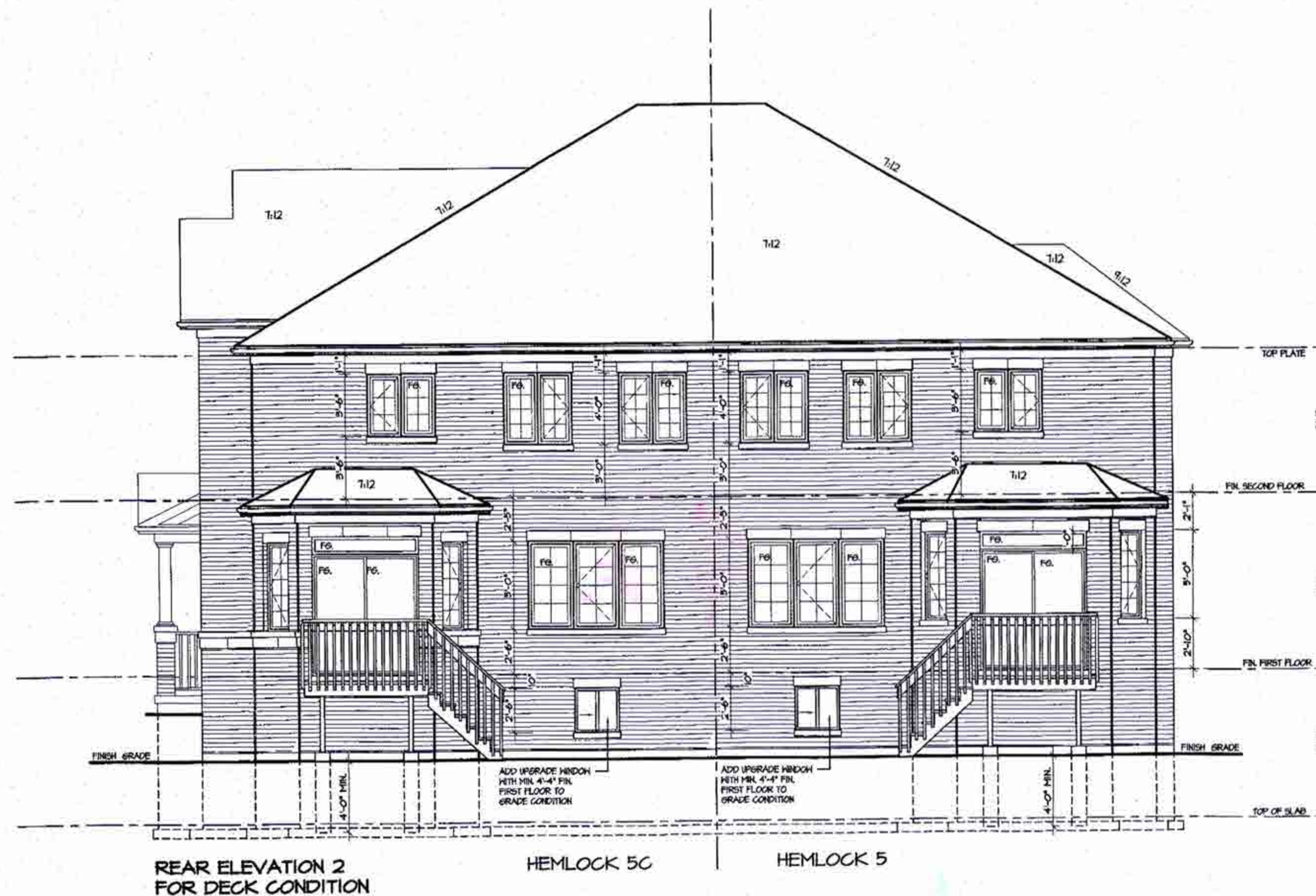
STRNDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

JUL 27 2018
HEMLOCK 5/5C
COMPLIANCE PACKAGE "A1"

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			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.						REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4056 F (905) 660-0746			SHEET TITLE DECK PARTIAL PLANS ELEV. 1			CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.											
			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code						REGION DESIGN INC.			SCALE 3/16"=1'-0"			BY VG			AREA 2081 / 2242			PAGE NO. 9			PROJECT NAME MINNISALE		
1. NEW MODEL			MAY 18			VIKAS GAJJAR NAME SIGNATURE			28770 BCIN						DATE MAY 2018			TYPE			PROJECT XX-XX-XX					
REVISIONS																										



JUL 27 2018

HEMLOCK 5/5C
COMPLIANCE PACKAGE "A1"

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5.			
4.			
3.			
2.			
1.	NEW MODEL	MAY 18	28770
REVISIONS		NAME	SIGNATURE
		VIKAS GAJAR	BCIN

REGION DESIGN INC.
6700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4098
F (905) 660-0748

**REGION
DESIGN
INC.**

SHEET TITLE
**DECK ELEVATION
ELEV. 2**

SCALE
3/16"=1'-0"

DATE
MAY 2018

BY
VG

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
2081 / 2242

PROJECT
XX-XX-XX

PAGE No.
10-2

Greenpark.

PROJECT NAME
MINNISALE

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