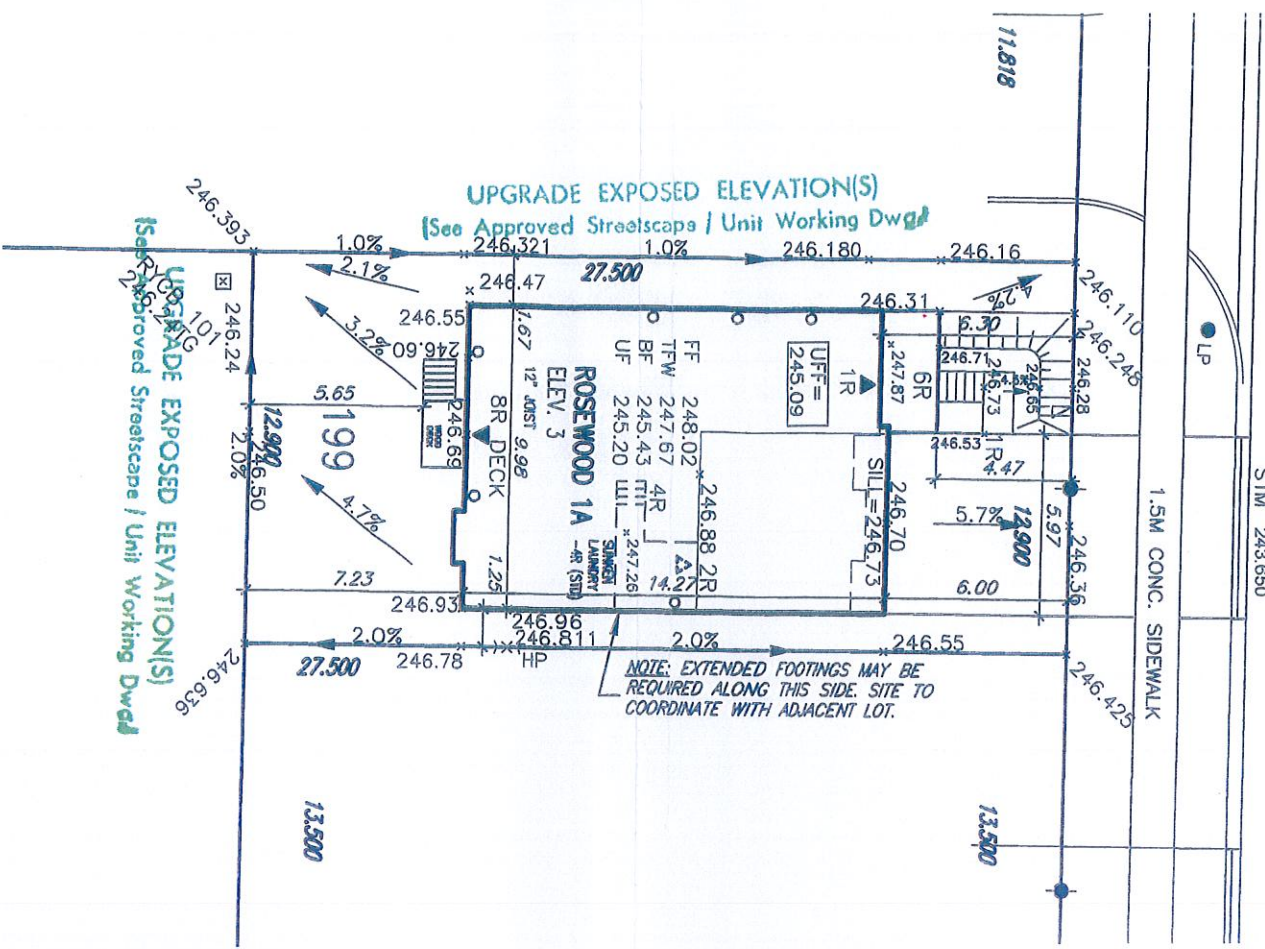


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

DEC 13 2018

HUMPHREY STREET

246.055	x	246.088	x	246.215	x	246.245	x	246.265	x	246.285	x	246.305	x	246.325	x	246.345	x	246.365	x	246.385	x	246.405	x	246.425	x	246.445	x	246.465	x	246.485	x	246.505	x	246.525	x	246.545	x	246.565	x	246.585	x	246.605	x	246.625	x	246.645	x	246.665	x	246.685	x	246.705	x	246.725	x	246.745	x	246.765	x	246.785	x	246.805	x	246.825	x	246.845	x	246.865	x	246.885	x	246.905	x	246.925	x	246.945	x	246.965	x	246.985	x	247.005	x	247.025	x	247.045	x	247.065	x	247.085	x	247.105	x	247.125	x	247.145	x	247.165	x	247.185	x	247.205	x	247.225	x	247.245	x	247.265	x	247.285	x	247.305	x	247.325	x	247.345	x	247.365	x	247.385	x	247.405	x	247.425	x	247.445	x	247.465	x	247.485	x	247.505	x	247.525	x	247.545	x	247.565	x	247.585	x	247.605	x	247.625	x	247.645	x	247.665	x	247.685	x	247.705	x	247.725	x	247.745	x	247.765	x	247.785	x	247.805	x	247.825	x	247.845	x	247.865	x	247.885	x	247.905	x	247.925	x	247.945	x	247.965	x	247.985	x	248.005	x	248.025	x	248.045	x	248.065	x	248.085	x	248.105	x	248.125	x	248.145	x	248.165	x	248.185	x	248.205	x	248.225	x	248.245	x	248.265	x	248.285	x	248.305	x	248.325	x	248.345	x	248.365	x	248.385	x	248.405	x	248.425	x	248.445	x	248.465	x	248.485	x	248.505	x	248.525	x	248.545	x	248.565	x	248.585	x	248.605	x	248.625	x	248.645	x	248.665	x	248.685	x	248.705	x	248.725	x	248.745	x	248.765	x	248.785	x	248.805	x	248.825	x	248.845	x	248.865	x	248.885	x	248.905	x	248.925	x	248.945	x	248.965	x	248.985	x	249.005	x	249.025	x	249.045	x	249.065	x	249.085	x	249.105	x	249.125	x	249.145	x	249.165	x	249.185	x	249.205	x	249.225	x	249.245	x	249.265	x	249.285	x	249.305	x	249.325	x	249.345	x	249.365	x	249.385	x	249.405	x	249.425	x	249.445	x	249.465	x	249.485	x	249.505	x	249.525	x	249.545	x	249.565	x	249.585	x	249.605	x	249.625	x	249.645	x	249.665	x	249.685	x	249.705	x	249.725	x	249.745	x	249.765	x	249.785	x	249.805	x	249.825	x	249.845	x	249.865	x	249.885	x	249.905	x	249.925	x	249.945	x	249.965	x	249.985	x	250.005	x	250.025	x	250.045	x	250.065	x	250.085	x	250.105	x	250.125	x	250.145	x	250.165	x	250.185	x	250.205	x	250.225	x	250.245	x	250.265	x	250.285	x	250.305	x	250.325	x	250.345	x	250.365	x	250.385	x	250.405	x	250.425	x	250.445	x	250.465	x	250
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CITY OF HAMILTON
Building Division
Permit No. 13-100970
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications are not to be used for construction without the official seal of the Engineer of Record.

FOR CHIEF BUILDING OFFICIAL

4/10

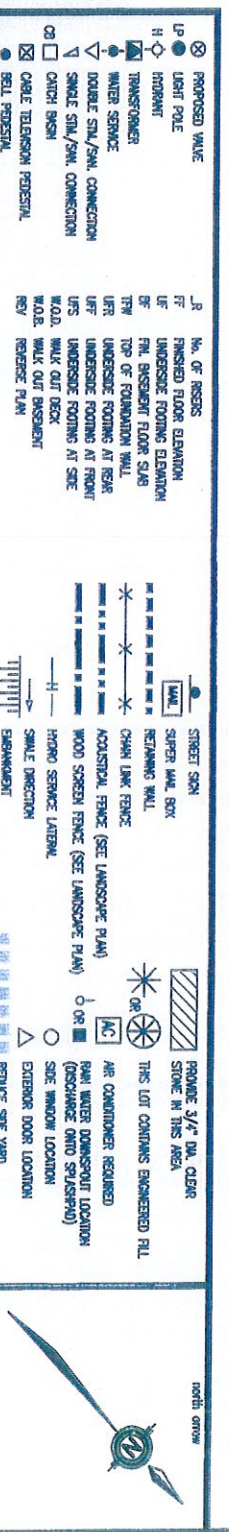
Date



THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS, WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS. THE SEVER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE Q.E.C. AND CITY DESIGN CRITERIA. NOTE, THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEVER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FILL TO THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.

WJ3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to WJ3 Design Inc. Foundation will still be responsible to a minimum of 6 above approved grades.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.



NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

LOT 199		
LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M ²)
199	12.90	355

[illegible]