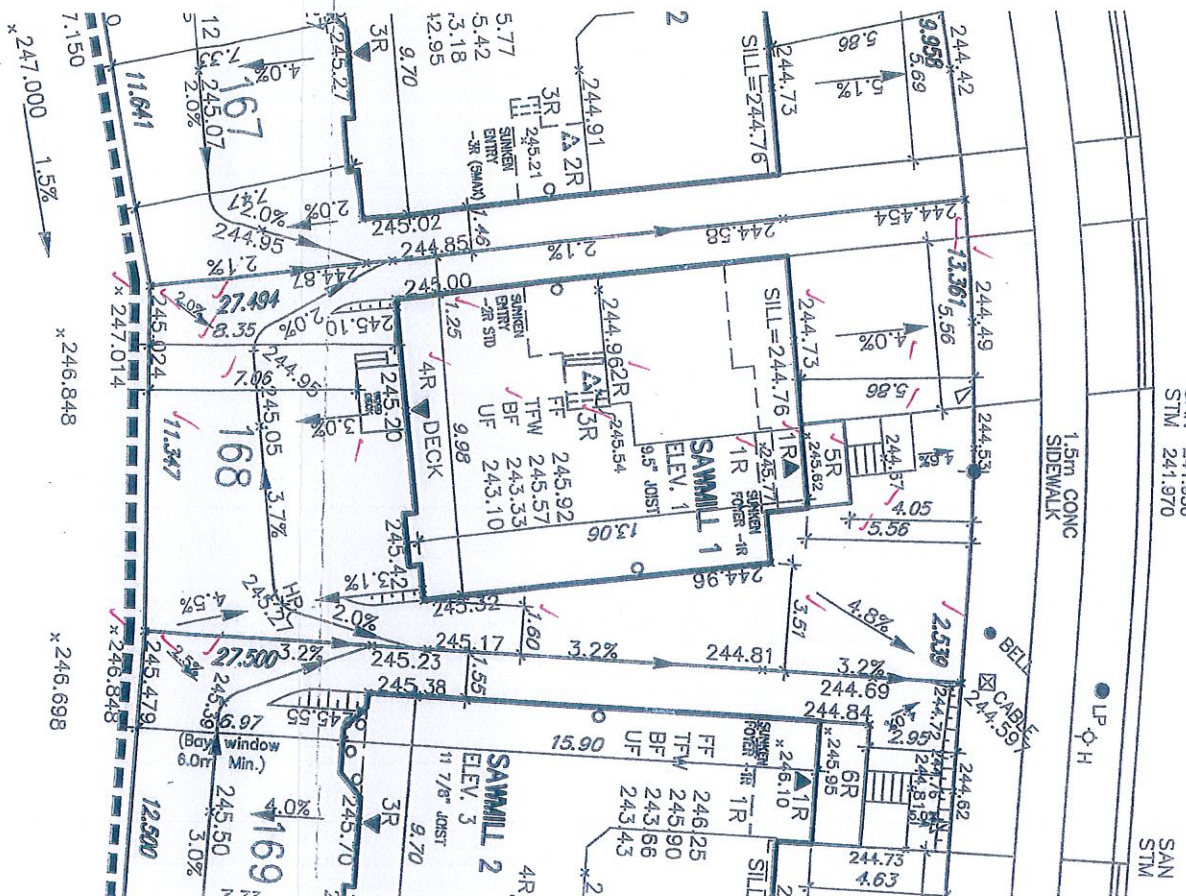


SAN 241.780
STM 241.790
x 244.268
HUMPHREY STREET
x 244.349
x 244.416
x 244.435
SAN 241.860
STM 241.500
SAN 241.950
STM 241.970
SAN 241.950
STM 241.970
SAN 241.950
STM 241.970



LOT No.	LOT WIDTH (M)	LOT AREA (M ²)
168	15.9	377

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

no.	description	date	by
1	ISSUED FOR PERMIT.	NOV 16/18 GW	
2	ISSUED FOR REVIEW.	NOV 09/18 GW	

PROPOSED VINE
LIGHT POLE
TRANSFORMER
WATER SERVICE
DOUBLE SW/SEA CONNECTION
SINGLE SW/SEA CONNECTION
CATCH BASIN
CABLE TELEPHONE PEDSIAL
BEEL PEDSIAL

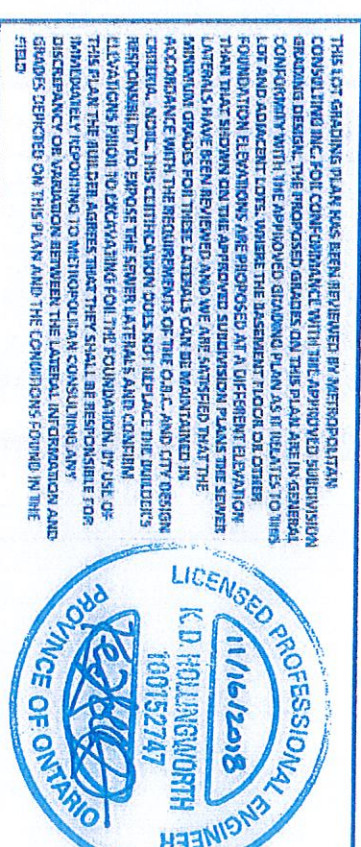
FINISHED FLOOR ELEVATION
UNDERGROUND FLOOR ELEVATION
FIN. RESIDENT FLOOR SLAB
TOP OF FOUNDATION WALL
UNDERGROUND FLOORING AT REAR
UNDERGROUND FLOORING AT FRONT
UNDERGROUND FLOORING AT SIDE
W.A.O. WALK OUT DECK
W.A.O. WALK OUT DECK
REFERENCE PLAN

STREET SIGN
SUPER MAIL BOX
REMAINING WALL
CHAIN LINK FENCE
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
SIDE WINDOW LOCATION
REAR WINDOW LOCATION
REAR WINDOW LOCATION

PRIVACY 3/4" DIA. CLEAR
STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED
RAIN WATER DOWNSPOUT LOCATION
(CONSPICUOUS ORTO SP/SLAND)
SIDE WINDOW LOCATION
REAR WINDOW LOCATION

PROJECT NAME
RUSSELL GARDENS PHASE 2
LOT SITING/GRADING
168

DATE
NOV 2018
DRAWN BY
12280
CHECKED BY
12280
DATE
NOV 16 2018
DRAWING NO.
16036



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 12 2018
REC. BY
DATE
REFD TO
DATE
Permit No. 18-148508-00-129
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE L.A.M.
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE

ARCHITECTURAL REVIEW & APPROVAL
NOV 30 2018
John G. Williams Limited, Architect
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Architectural Guidelines and all applicable regulations and requirements including zoning provisions and setbacks in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.