

BUILDING AREA
5376.56 S.F. (499.49 m²)

PAD FOOTINGS
120 MPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 3 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 MPa)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).

FOOTINGS ON ENGINEERED FILL (90 MPa)
24"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS
32"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 MPa)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).

32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
48"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90kPa/13.0kPa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

NOTE:
SUMP PUMP LOCATION

NOTE:
CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT.

NOTE:
IT IS THE BUILDER'S COMPLETE RESPONSIBILITY TO ensure that all plans submitted for approval fully comply with the Architectural Code and all applicable regulations and requirements including zoning, fire, and other applicable laws. The Contractor shall be responsible for obtaining all necessary permits and approvals for the project. The City of Hamilton is not responsible for any errors or omissions in these drawings or for any consequences arising from their use.

NOTE:
THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE applicable Architectural Design Guidelines approved by the City of Hamilton.

NOTE:
APPROVED BY: [Signature]
DATE: 12.22.2018

NOTE:
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by:
DATE: AUG 22 2018

NOTE:
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED.

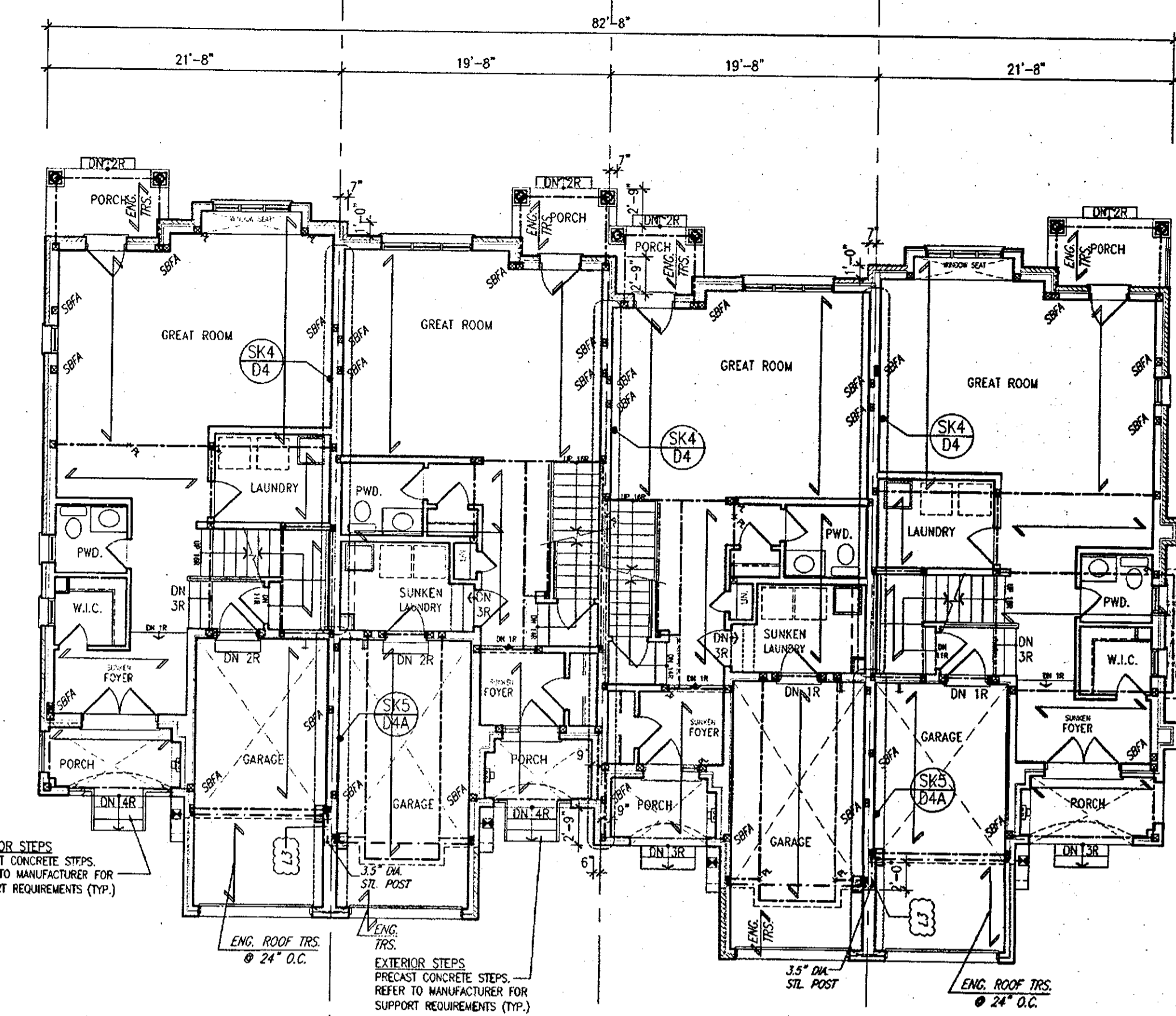
NOTE:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED.

NOTE:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED.

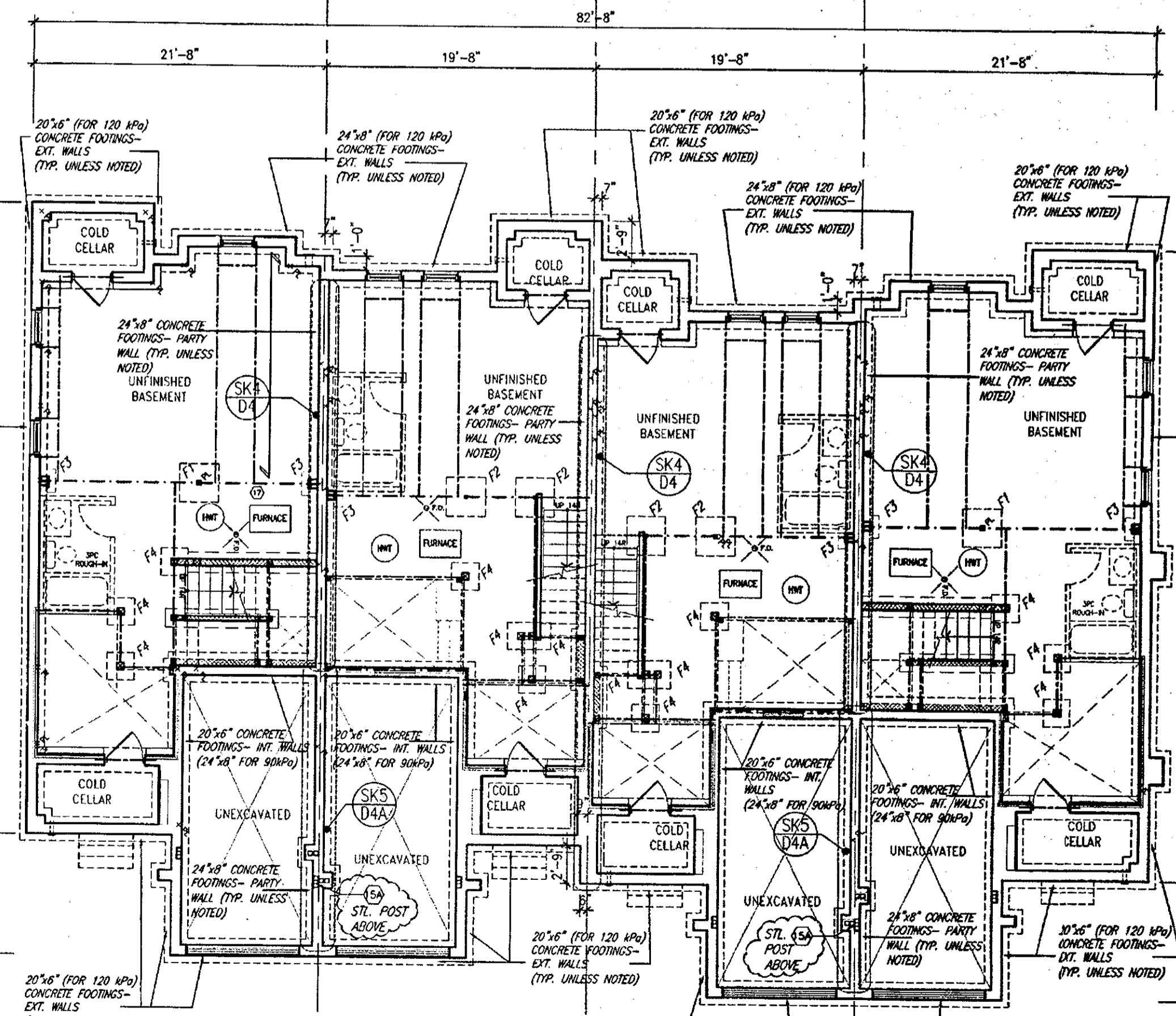
NOTE:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED.

NOTE:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED.

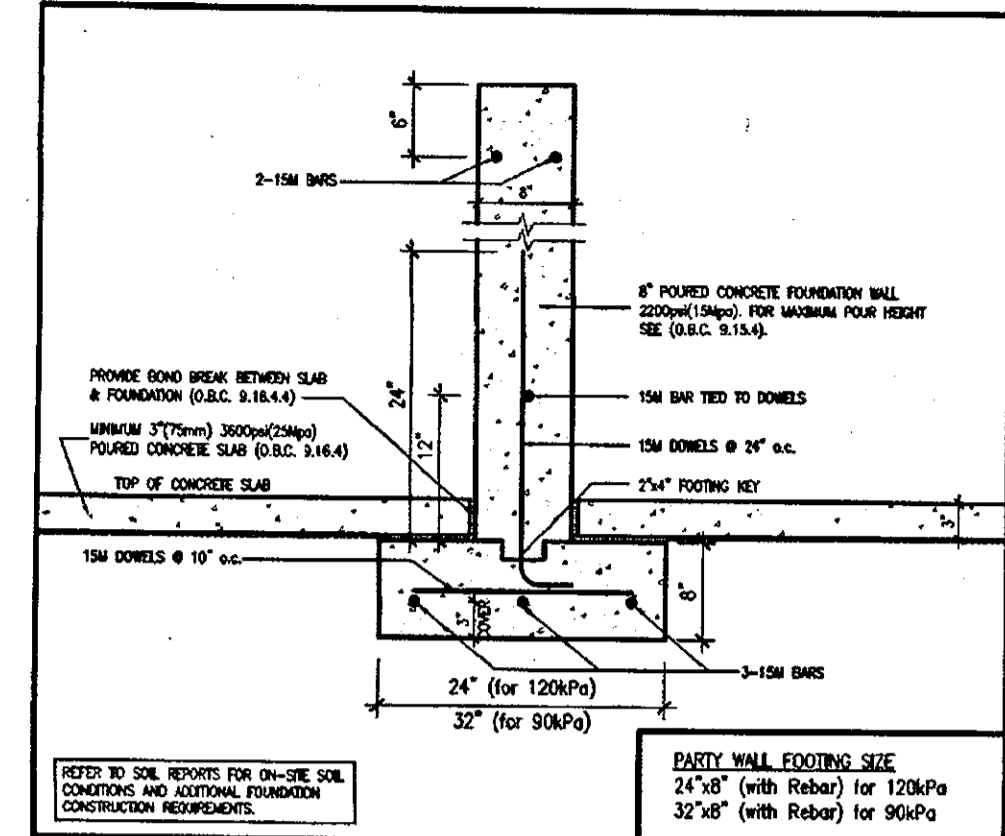
NOTE:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED.



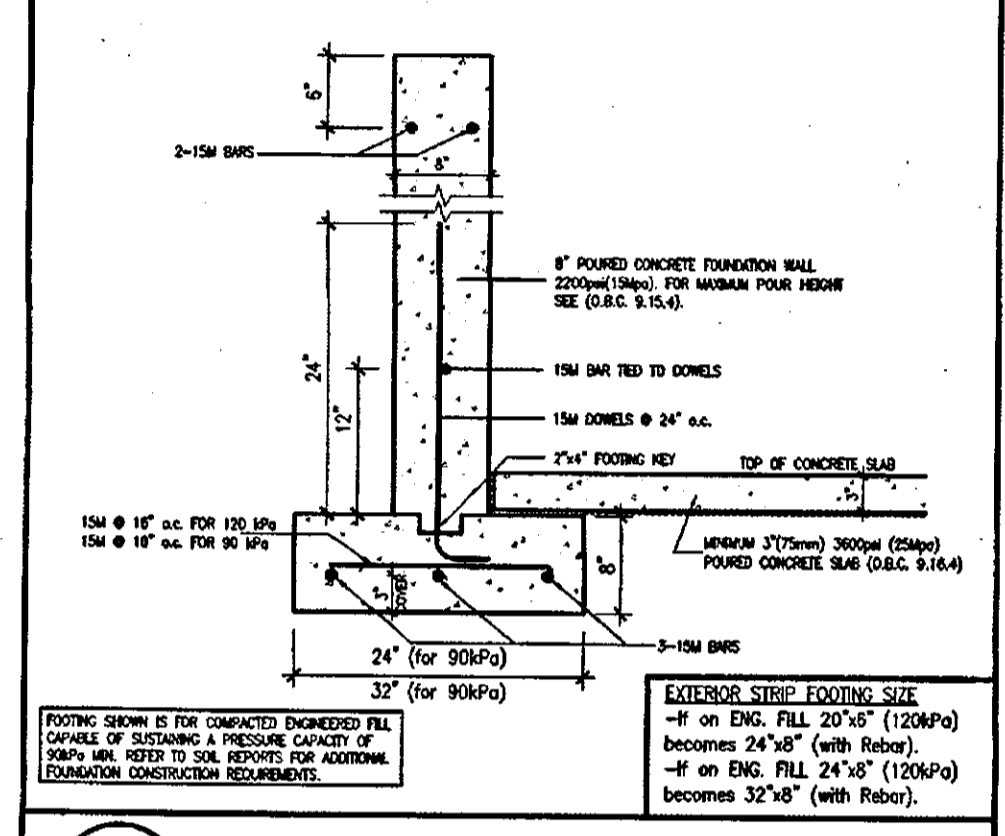
213-1 DEWBERRY-2E ELEV. 1
213-2 DEWBERRY-1 ELEV. 1 (REV.)
213-3 DEWBERRY-1 ELEV. 1
213-4 DEWBERRY-2ES ELEV. 1 (REV.)
ENTRY FLOOR PLAN



213-1 DEWBERRY-2E ELEV. 1
213-2 DEWBERRY-1 ELEV. 1 (REV.)
213-3 DEWBERRY-1 ELEV. 1
213-4 DEWBERRY-2ES ELEV. 1 (REV.)
BASEMENT PLAN



W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90kPa. Minimum)
SCALE: Not to Scale

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 2 4 2018

REC BY: _____ DATE: _____
REFD TO: _____ DATE: _____

CITY OF HAMILTON
Building Division
17-132417
Permit No. _____
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by:
DATE: AUG 22 2018



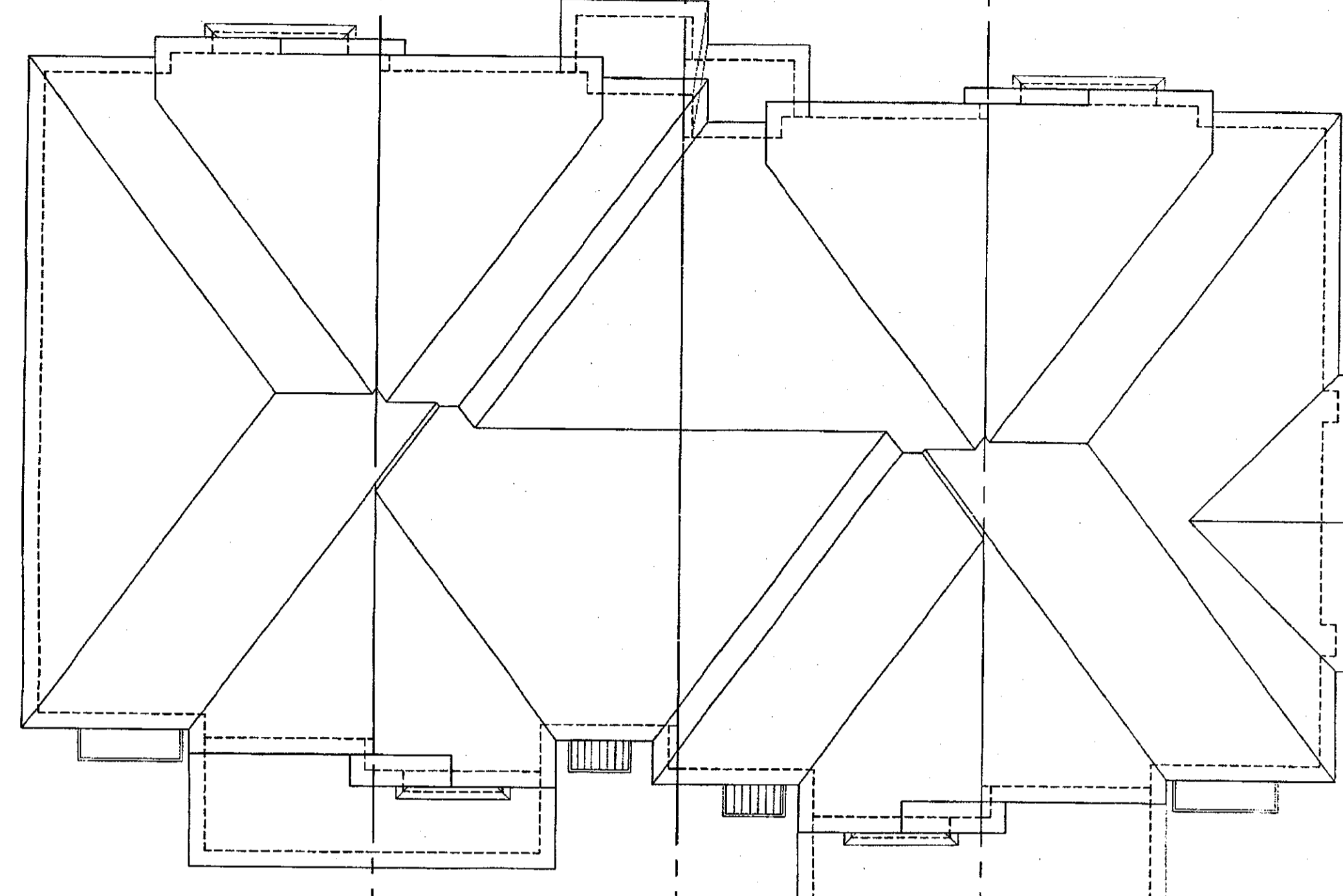
STRUET INC.
FOR STRUCTURE ONLY
MAY 03 2018

NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

BLK 213 ELEV. 1

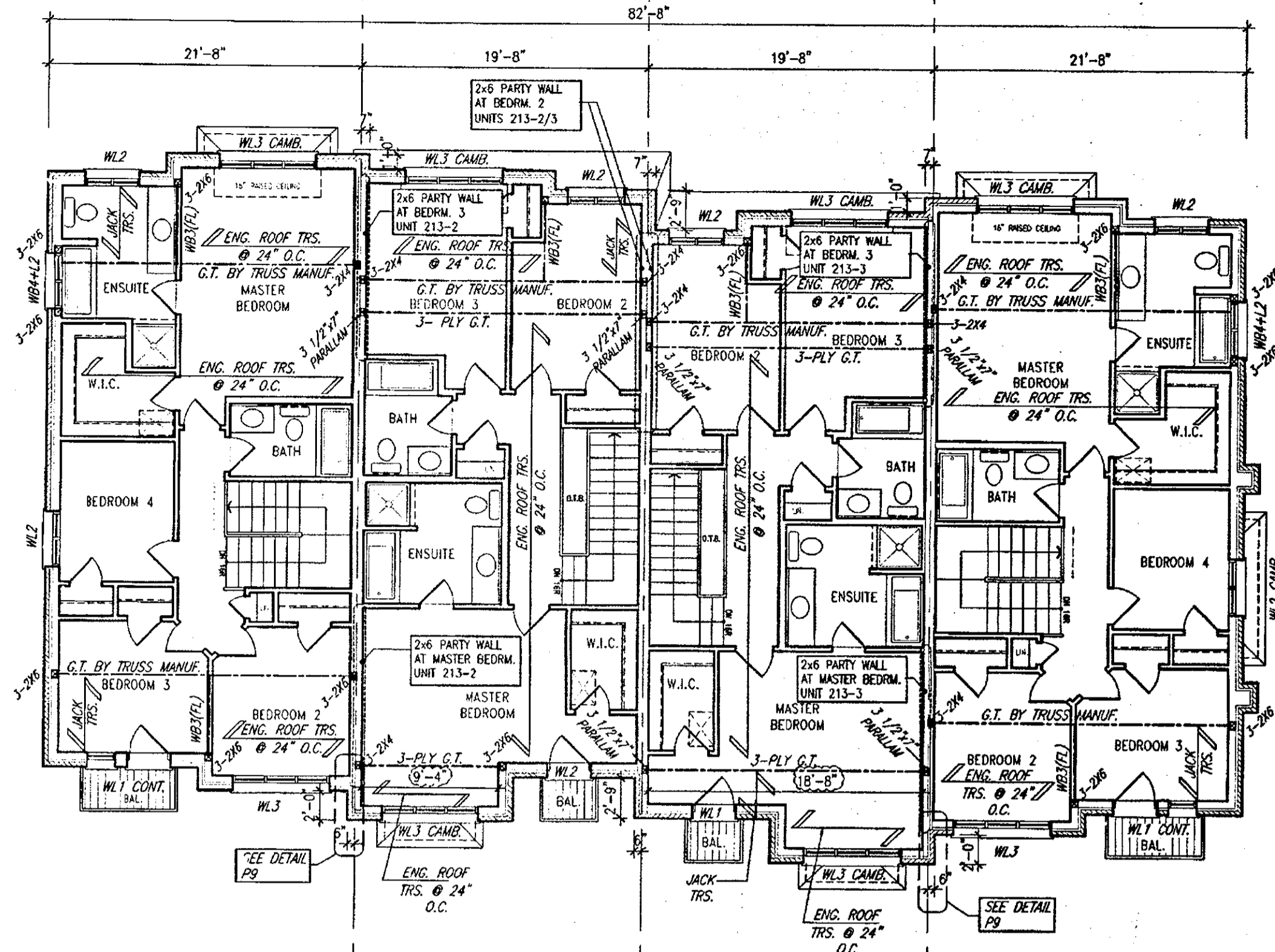
V&B DESIGN
255 Consumers Rd
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
vbdesign.com

Greenpark.
RUSSELL GARDENS PH2
WATERDOWN, ON. 16036
DEWBERRY SERIES BLOCK 213
BLOCK 213 PLANS
JANUARY 2017 1/2" = 1'-0"
BCC 16036-BLOCK 213 B1



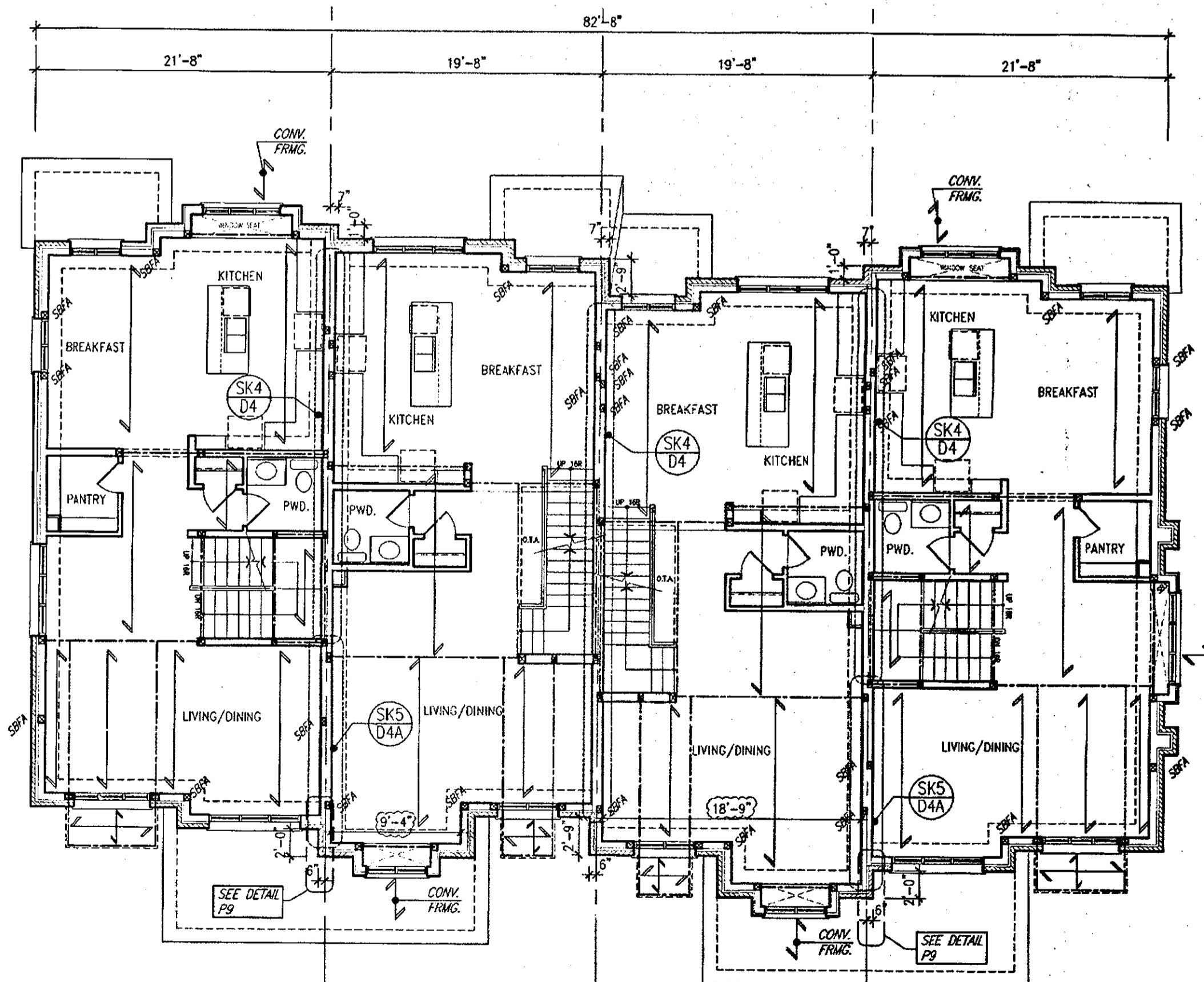
213-1 DEWBERRY-2E ELEV. 1
 213-2 DEWBERRY-1 ELEV. 1 (REV.)
 213-3 DEWBERRY-1 ELEV. 1
 213-4 DEWBERRY-2ES ELEV. 1 (REV.)

ROOF PLAN



213-1 DEWBERRY-2E ELEV. 1
 213-2 DEWBERRY-1 ELEV. 1 (REV.)
 213-3 DEWBERRY-1 ELEV. 1
 213-4 DEWBERRY-2ES ELEV. 1 (REV.)

UPPER FLOOR PLAN



213-1 DEWBERRY-2E ELEV. 1
 213-2 DEWBERRY-1 ELEV. 1 (REV.)
 213-3 DEWBERRY-1 ELEV. 1
 213-4 DEWBERRY-2ES ELEV. 1 (REV.)

MAIN FLOOR PLAN

BUILDING AREA
 5376.56 S.F. (499.49 m2)

PAO FOOTINGS
 120 LBS. NATIVE SOIL NO. 100 ENGINEERED FILL SOIL
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS - FOR 3 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 LBS.)
 20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
 24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
 24"x6" CONCRETE STRIP FOOTINGS (with REIN) BELOW PARTY WALLS
 32"x6" CONCRETE STRIP FOOTINGS (with REIN) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 LBS.)
 24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
 32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)
 32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
 44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS
 (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90kPa/13.0kPa FOR ENGINEERED FILL
 SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
 -GROUND FLOOR ROOF STRUCTURE
 -BASEMENT AND GROUND FLOOR LINTELS
 -GROUND FLOOR AND SECOND FLOOR STRUCTURE
 -DOUBLE VOLUME WALL LOCATION AND DETAILS
 -CONCRETE SLABS

NOTE:
 ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
 NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department
 MAY 2 4 2018
 REC BY _____ DATE _____
 REF TO _____ DATE _____

NOTE:
 CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT.

CITY OF HAMILTON
 Building Division
 P-132417
 Permit No. _____
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
 THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN REVIEWED BY
 AUG 22 2018
 FOR ONE YEAR ONLY



USTRUDE INC.
 FOR STRUCTURE ONLY

In the builder's complete responsibility to ensure that all plans and specifications are fully compliant with the Architectural Code of Ontario and all other applicable laws, regulations and by-laws, the Architect is not responsible in any way for any errors or omissions or for any damage to the building or for any other matter on the site.

This is to certify that these plans comply with the applicable Architectural Code of Ontario approved by the City of Hamilton.

JOHN C. WELLS LTD. ARCHITECT
 ARCHITECTURAL CONTROL SEAL
 APPROVED BY _____
 DATE: MAY 17, 2018
 This stamp is the control seal with the appropriate stamp of the professional responsible.

10	ISSUED FOR PERMITS / TRUSS COORD	DATE
9	ISSUED FOR PERMITS / TRUSS COORD	DATE
8	ISSUED FOR PERMITS / TRUSS COORD	DATE
7	REVISION	DATE
6	REVISION FOR CITY COMMENTS, RESSUED	APR 27/18 CH
5	REVISION ISSUED FOR PERMITS	MAY 06/18 CH
4	ISSUED FOR PERMITS	MAY 06/18 CH
3	ISSUED FOR PERMITS	MAY 06/18 CH
2	REVISION FOR PERMITS COMMENTS	MAY 24/17 CH
1	ISSUED FOR PERMITS / TRUSS COORD	MAY 24/17 CH

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be retained at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
 255 Consumers Rd
 Suite 120
 Toronto ON M2J 1R4
 T 416.630.2255
 F 416.630.4782
 v3design.com

All drawings, specifications, related documents and design are the copyright property of V3 DESIGN. Reproduction of the property in whole or in part is strictly prohibited without the designer's written permission.

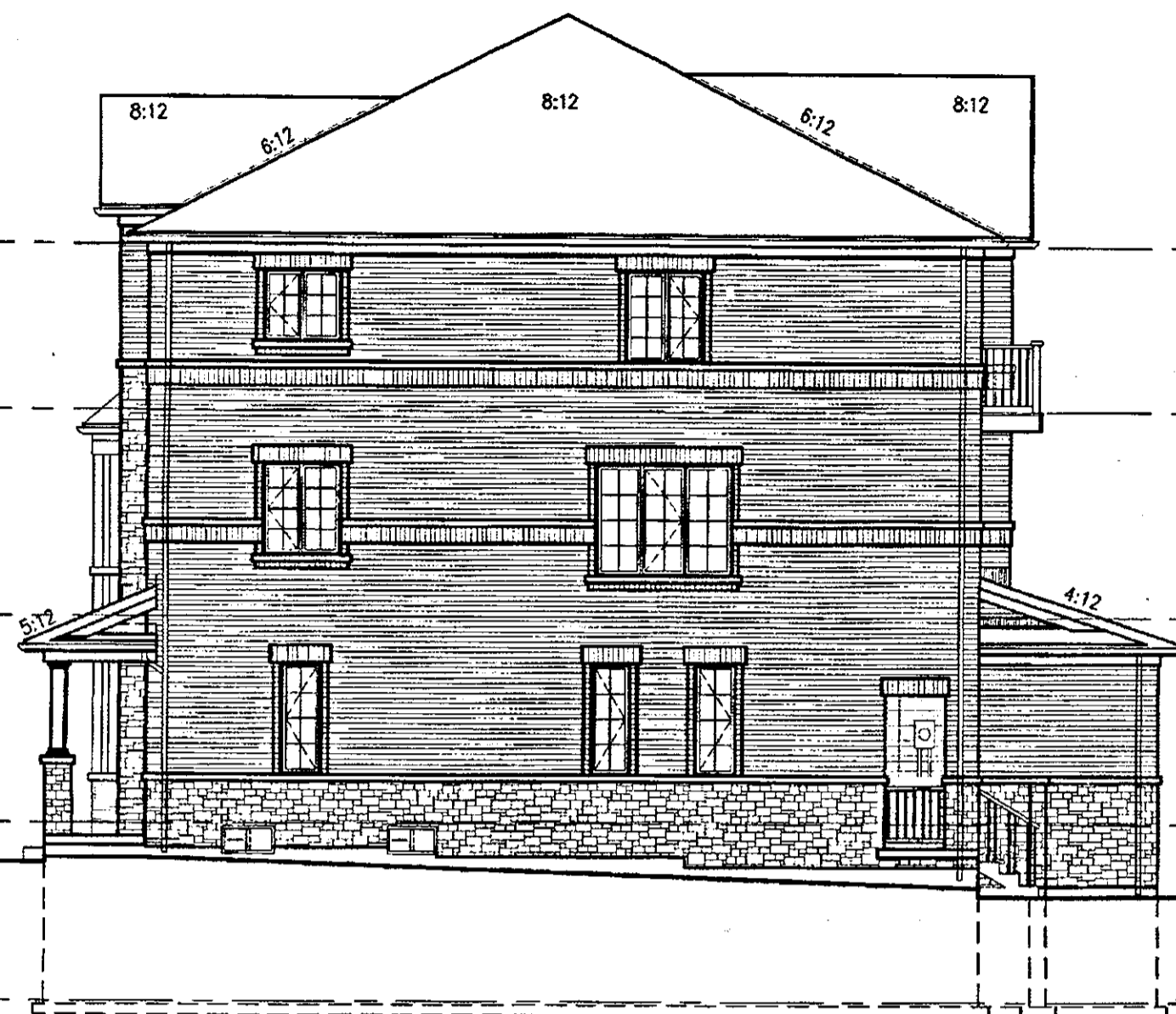
Greenpark

RUSSELL GARDENS PH2
 WATERLOO, ON. L6M 5S5

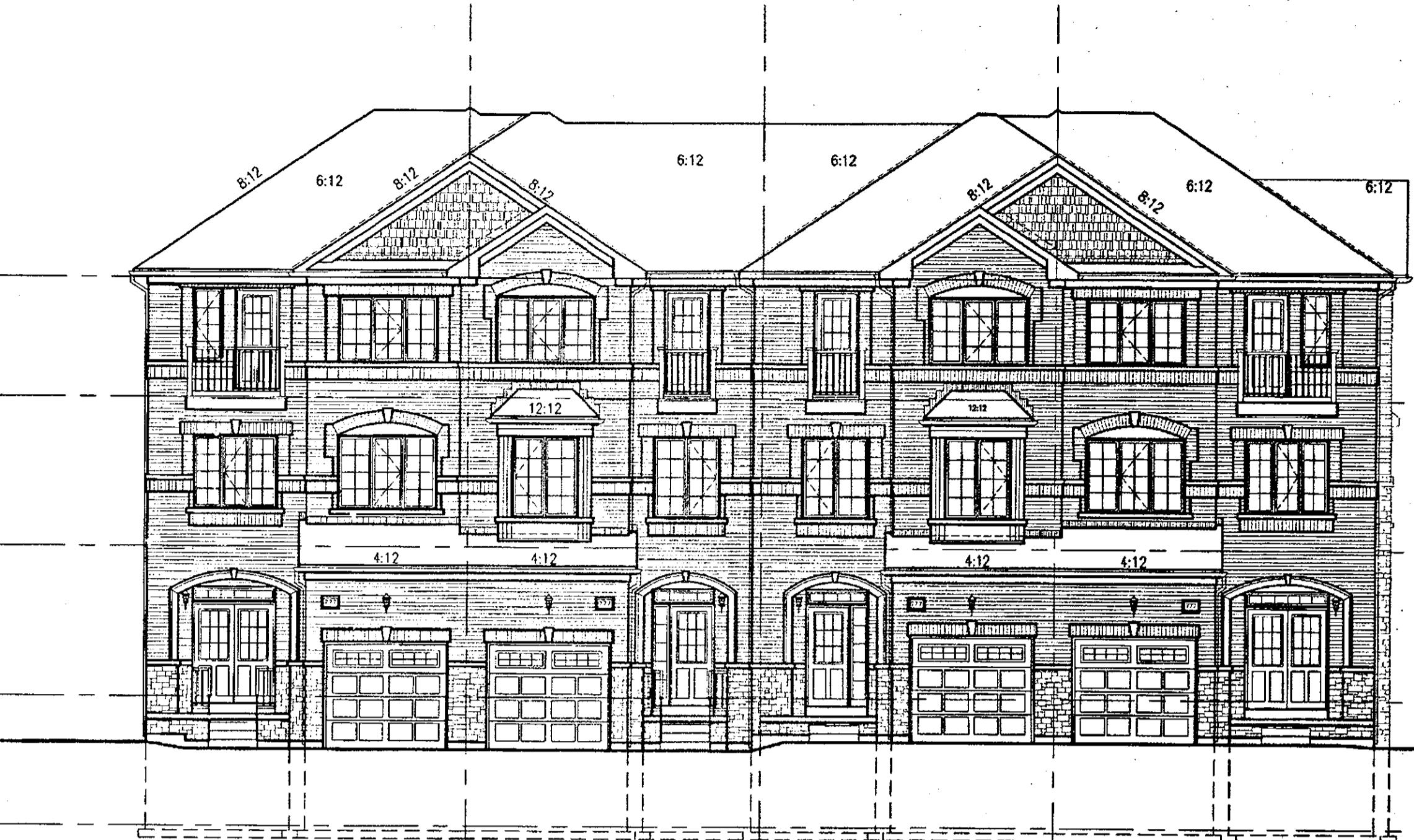
DEWBERRY SERIES
 BLOCK 213
 BLOCK 213 PLANS
 BLOCK 213 PLANS
 JANUARY 2017
 1/8" = 1'-0"
 16009-BLOCK 213

MAY 03 2018
 BLK 213
 ELEV. 1

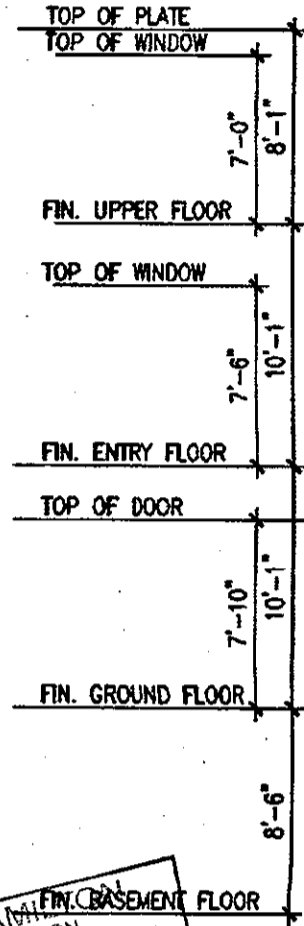
NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.



213-1 DEWBERRY-2E
ELEV. 1
RIGHT SIDE ELEVATION



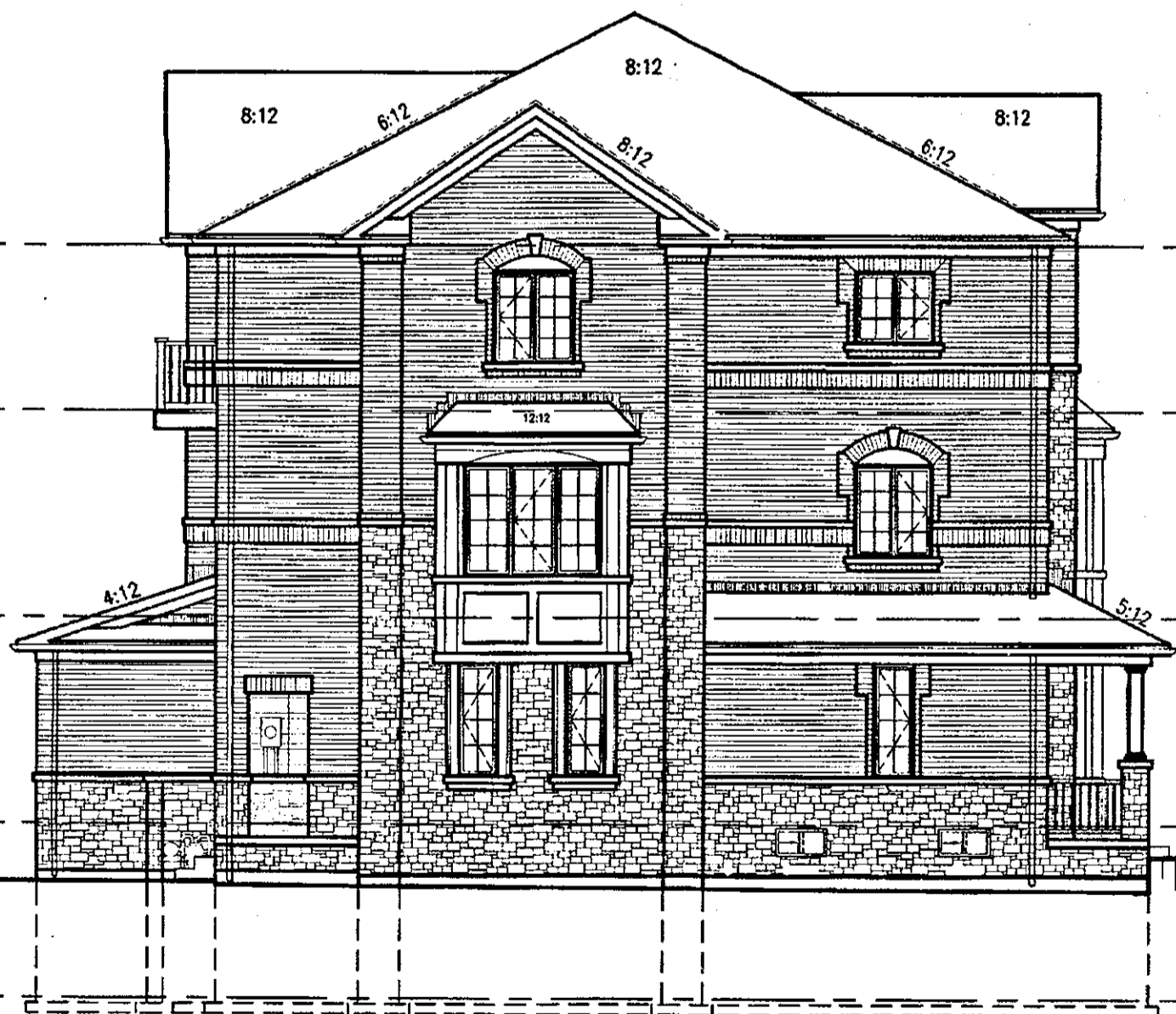
213-1 DEWBERRY-2E
ELEV. 1
213-2 DEWBERRY-1
ELEV. 1 (REV.)
213-3 DEWBERRY-1
ELEV. 1
213-4 DEWBERRY-2ES
ELEV. 1 (REV.)
REAR ELEVATION



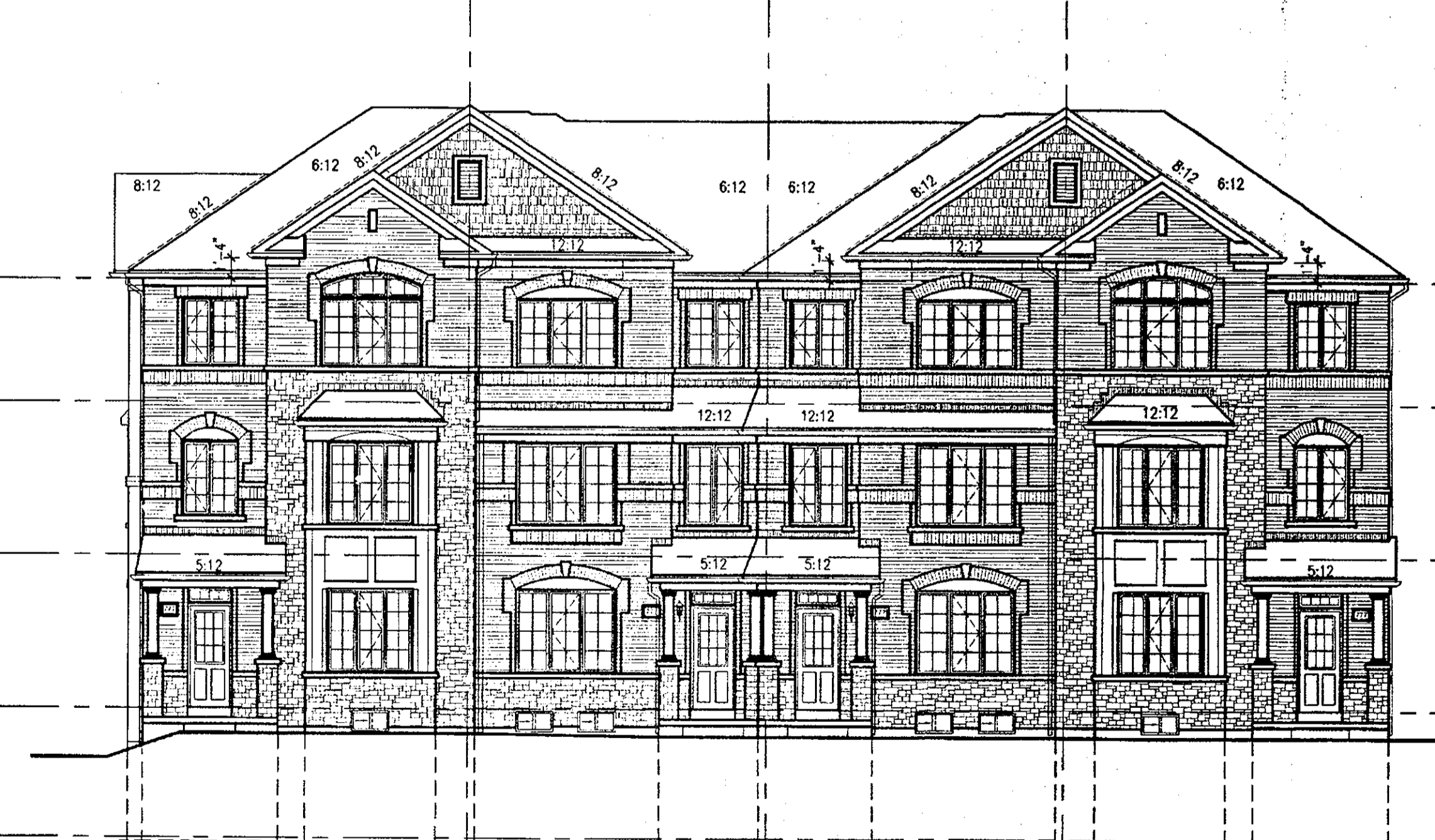
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC'D BY: [Signature]
REF'D TO: [Signature]

CITY OF HAMILTON
Building Division
Permit No. 17-132417
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
DATE: AUG 22 2018
FOR OFFICIAL USE ONLY

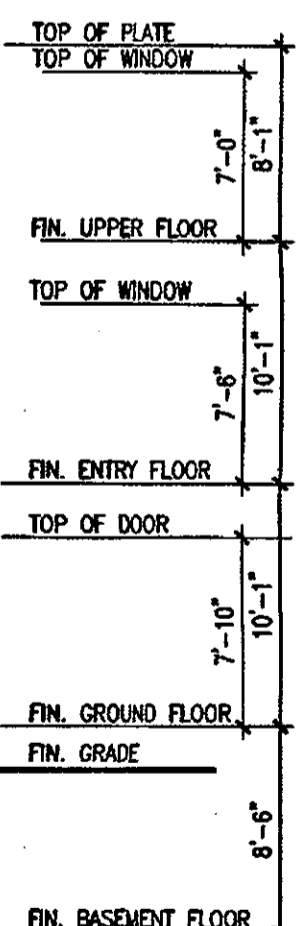
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Code and all applicable regulations and requirements including zoning provisions and any amendments. The Contractor is not responsible in any way for existing or proposed utility lines, poles or existing drawings with respect to any zoning or building code or other matter or that any house can be properly built or located on the lot.
This is to certify that these plans comply with the applicable Architectural Code and all applicable regulations and requirements including zoning provisions and any amendments approved by the City of Hamilton.
JOHN G. WILSONS LTD., ARCHITECT
ARCHITECTURAL CONSULTANTS
APPROVED BY: [Signature]
DATE: MAY 17 2018
The agent certifies compliance with the applicable Design Code and any other applicable regulations.



213-4 DEWBERRY-2ES
ELEV. 1 (REV.)
LEFT SIDE ELEVATION



213-4 DEWBERRY-2ES
ELEV. 1 (REV.)
213-3 DEWBERRY-1
ELEV. 1
213-2 DEWBERRY-1
ELEV. 1 (REV.)
213-1 DEWBERRY-2E
ELEV. 1
FRONT ELEVATION



1	ISSUED FOR PERMITS / TRUSS COORD.	APR 19/17	REC
2	ISSUED AS PER TRUSS COORDS.	MAY 23/17	WT
3	ISSUED AS PER TRUSS COORDS.	MAY 23/17	WT
4	ISSUED FOR PERMITS.	MAY 24/17	ON
5	REVISION: OWNER FOR PERMITS.	JUN 06/17	ON
6	REVISION: PER CITY COMMENTS. REVISIONS.	MAY 06/18	ON
7	REVISION.	APR 27/18	ON
8	ISSUED FOR PERMITS.	MAY 06/18	ON

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

Greenpark
RUSSELL GARDENS PH2
WATERLOO, ON
DEWBERRY SERIES
BLOCK 213
BLOCK 213 ELEVATIONS
JANUARY 2017
1/8" = 1'-0"
16038-BLOCK 213

MAY 03 2018
BLK 213
ELEV. 1