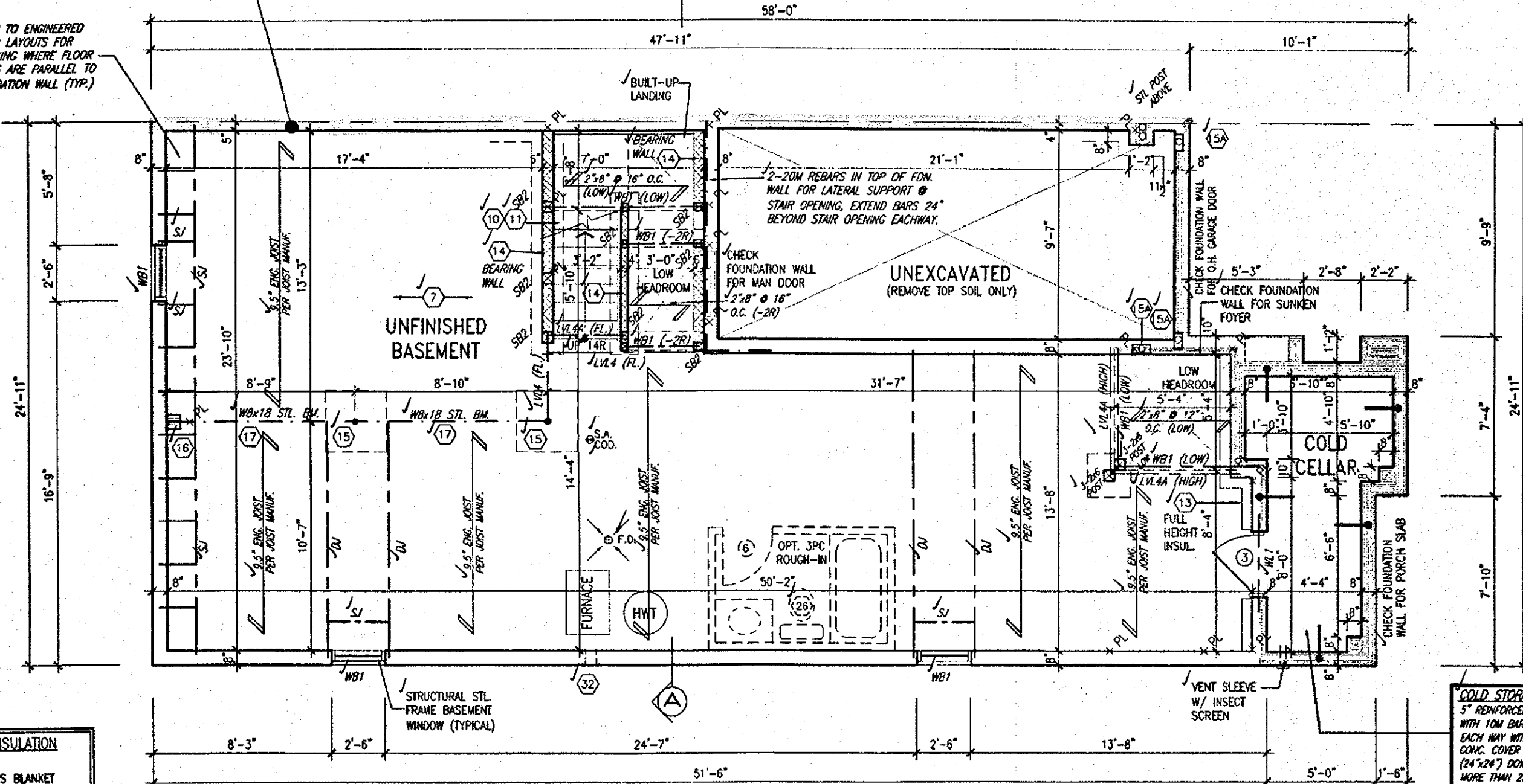


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PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4.4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED
FLOOR LAYOUTS FOR
BLOCKING WHERE FLOOR-
JOISTS ARE PARALLEL TO
FOUNDATION WALL (TYP.)



BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.

-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: Apr. 20, 2018

This stamp certifies compliance with the applicable
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professional responsibility.

BASEMENT PLAN ELEV. '3'



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SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.**

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REVISED
MAY 22 2018

REC. BY _____ DATE _____
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CITY OF HAMILTON
Building Division

Permit No. 17-131966-00-R9

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These drawings and/or specifications have been reviewed by _____

BRL MAY 29/18
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

18				5	REVISED.	APR. 16/18	GA
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GA
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GA
15				6	ISSUED FOR PRICING.	AUG. 23/17	GA
14				5	STUCCO REPLACED.	JUL. 05/17	GA
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WI
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GA
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GA
10				1	PRELIMINARY REVIEW.	APR. 12/17	GA
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.

qualification information

Richards Vink *R Vink* 2

name

signature

registration information

VAS Design Inc. 4

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the product of the Designer which must be retained at the completion of the project. Drawings are not to be copied.



VA
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
ro3design.com

Greenpark.

project name	RUSSELL GARDENS PH.2		locality	WATERDOWN, ON.
date	MARCH 2017		BASEMENT	
drawn by	checked by	scale		
WTE	GW	3/16" = 1'-0"		

HIGHGROVE 5E

project no.
16036

LAN ELEV. '3'

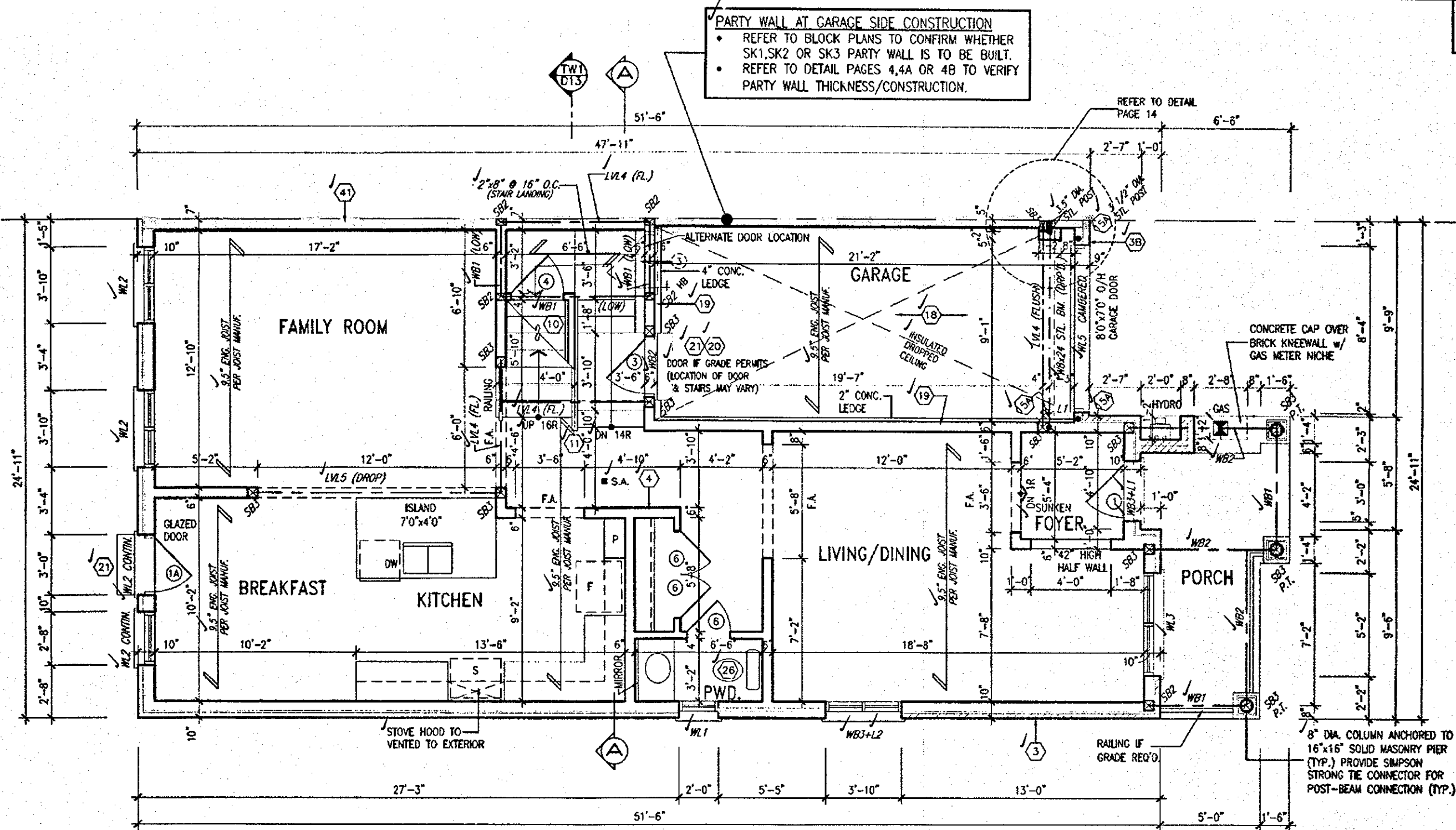
file name
6036-HIGHCROVE SE

drawing no.
A1b

Apr 17 2018 - 8:42 AM

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2264 SF.



GROUND FLOOR PLAN ELEV. '3'

CITY OF HAMILTON
Building Division

Permit No. 17-131966-00-R9

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These drawings and/or specifications have been reviewed by

[Signature] MAY 29/18
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1



STRUDET INC.
FOR STRUCTURE ONLY

ALL GARAGE SLABS, PORCH
SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa
WITH 5-BX AIR ENTRAINMENT.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



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fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: APR 20, 2018

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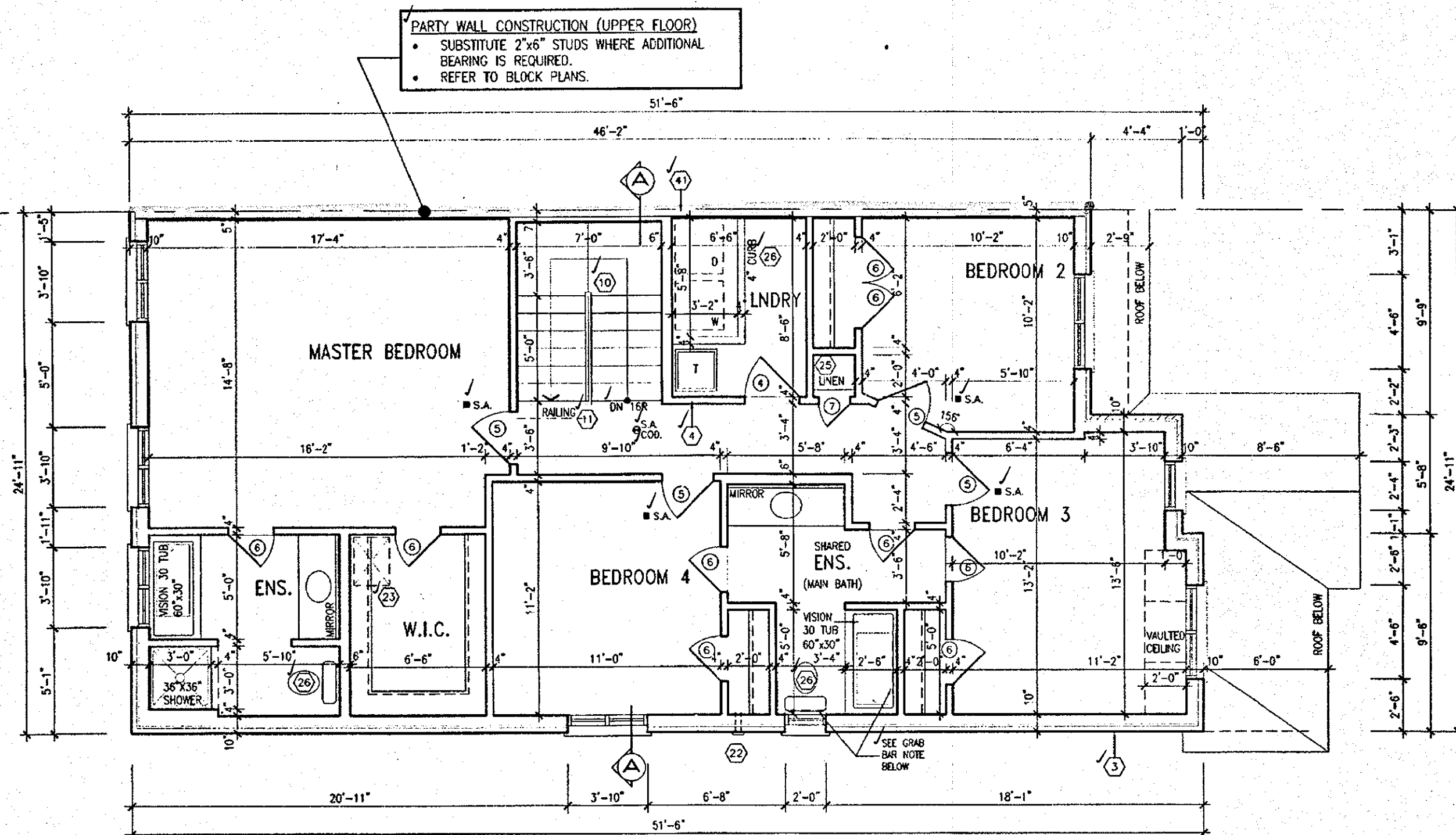
18		3	REVISED	APR. 16/18	GW	the undersigned has reviewed and takes responsibility for this design
17		8	REV. PER CITY COMMENTS, REISSUED	FEB. 06/18	GW	and has the qualifications and meets the requirements set out in the
16		7	REVISED, ISSUED FOR PERMIT	SEP. 28/17	GW	Ontario Building Code to be a Designer.
15		6	ISSUED FOR PRICING	AUG. 23/17	GW	qualification information
14		5	STUCCO REPLACED	JUL. 05/17	GW	Richard Vink 24488
13		4	REVISED AS PER CLIENT COMMENTS	JUN. 21/17	WT	name
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	registration information
11		2	REVISED PER CLIENT COMMENTS	APR. 28/17	GW	VAS Design Inc. 42655
10		1	PRELIMINARY REVIEW	APR. 12/17	GW	Contractor must verify all dimensions on the job and report any
9						discrepancy to the Designer before proceeding with the work. All
8						drawings and specifications are instruments of service and the property
7						of the Designer which must be returned at the completion of the work.
6						Drawings are not to be scaled
5						
4						
3						
2						
1						
no	description	date	by	no	description	date

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2S 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
MARCH 2017
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 5E
project no.
16036
drawing no.
A2b
16036-HIGHGROVE 5E-NEW
FILE NAME
16036-HIGHGROVE 5E-NEW.dwg - dwg - Apr 16 2018 - 11:27 AM

2264 SF.



SECOND FLOOR PLAN ELEV. '3'

CITY OF HAMILTON
Building Division

Permit No. 17-131966-00-R9

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 FOR CHIEF BUILDING OFFICIAL DATE


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REVISED
MAY 22 2018

REC. BY _____ DATE _____
REF'D TO _____ DATE _____

APR 17 2018

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: Apr. 20, 2018

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NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

18				9	REVISED.	APR. 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by	no.	description	date	by

Richard Vink
signature
24488
BCA
42658

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VAD
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t: 416.630.2255 f: 416.630.4782
vadesign.com

Greenpark.

project name
RUSSELL GARDENS PH.2

city/township
WATERDOWN, ON.

date
MARCH 2017

drawn by
WT

checked by
GW

scale
3/16" = 1'-0"

HIGHGROVE 5E

project no.
16036

drawing no.
A3b

SECOND FLOOR PLAN ELEV. '3'

16036-HIGHGROVE 5E-NEW

17-131966-00-R9

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REC. BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

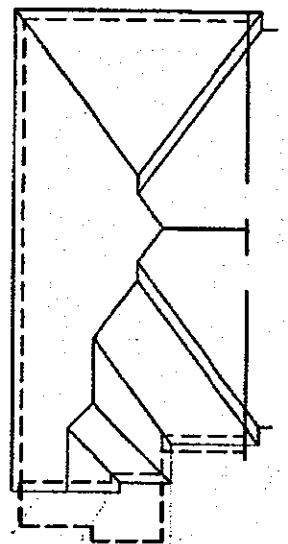
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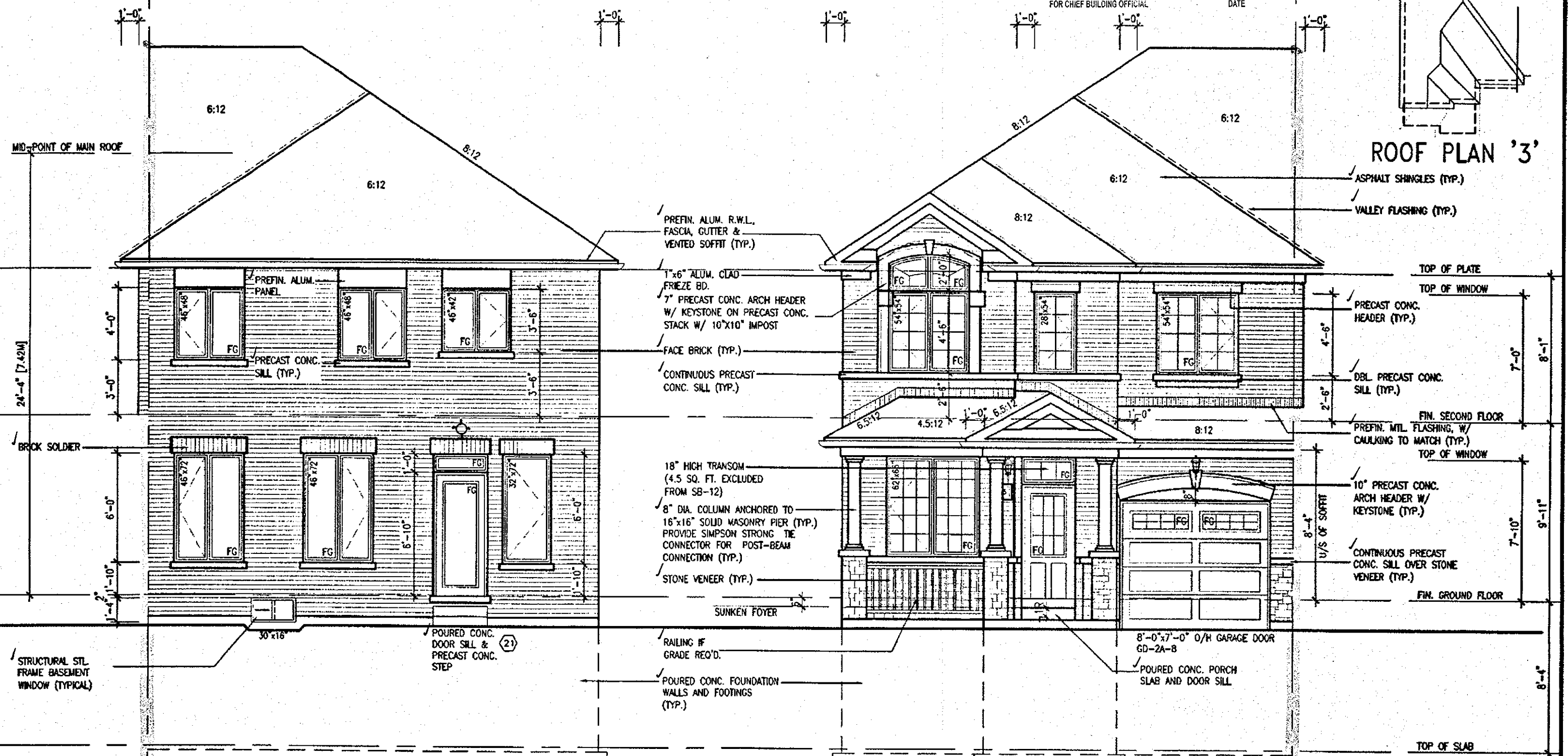
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FOR CHIEF BUILDING OFFICIAL DATE



ROOF PLAN '3'

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)



REAR ELEVATION '3'

FRONT ELEVATION '3'

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: APR 20, 2018

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18		3	REVISED.	APR. 16/18	GW	The architect has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	Qualification Information
16		7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink 24488 BCN
15		6	ISSUED FOR PRICING.	AUG. 23/17	GW	name registration information
14		5	STUCCO REPLACED.	JUL. 05/17	GW	VAS Design Inc. 42558
13		4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WI	
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW	
9						
8						
7						
6						
5						
4						
3						
2						
1						
no.	description	date	by	no.	description	date

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 | 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2 WATERDOWN, ON.

HIGHGROVE 5E

project no. 16036
drawing no. A4b
DATE: MARCH 2017
checked by GW
scale 3/16" = 1'-0"
16036-HIGHGROVE 5E-NEW
1700: W:\PROJECTS\2017\16036-HIGHGROVE 5E\1700-HIGHGROVE 5E-NEW.dwg - May - Apr 18 2018 - 11:21 AM

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FOR CHIEF BUILDING OFFICIAL _____ DATE _____

[illegible]

OCT 04 2017

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

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HAMILTON.
ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

John G. Williams Limited, Architects

18		-	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	8			qualification information
16		-	7	REVISED ISSUED FOR PERMIT.	SEP. 28/17 GH	
15		-	6	ISSUED FOR PRICING.	AUG. 23/17 GW	Richard Vink 244
14		-	5	STUCCO REPLACED.	JUL 05/17 GH	signature R Vink 6
13		-	4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT	scope registration information VAS Design Inc. 426
12		-	3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17 GW	
11		-	2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GH	
10		-	1	PRELIMINARY REVIEW.	APR. 12/17 GW	
no.	description	date	bv	no.	description	date bv

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DESIGN**
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4141
va3design.com

Greenpark

HIGHGROVE 5E

project name	municipality	project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	16035
date	LEFT SIDE ELEVATION '3'	
MARCH 2017		
drawn by	checked by	scale
WT	CN	3/16" = 1'-0"
file name		drawing no.
16035-INGHROVE SE		A5b
DATE - 16/03/2017 12:55 16035-INGHROVE SE 16035-INGHROVE SE.dwg - Fri - Sep 29 2017 - 1:35 PM		

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2264 SF.

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BUILDING DIVISION
Planning & Development Department
REVISED
MAY 22 2018
REC. BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

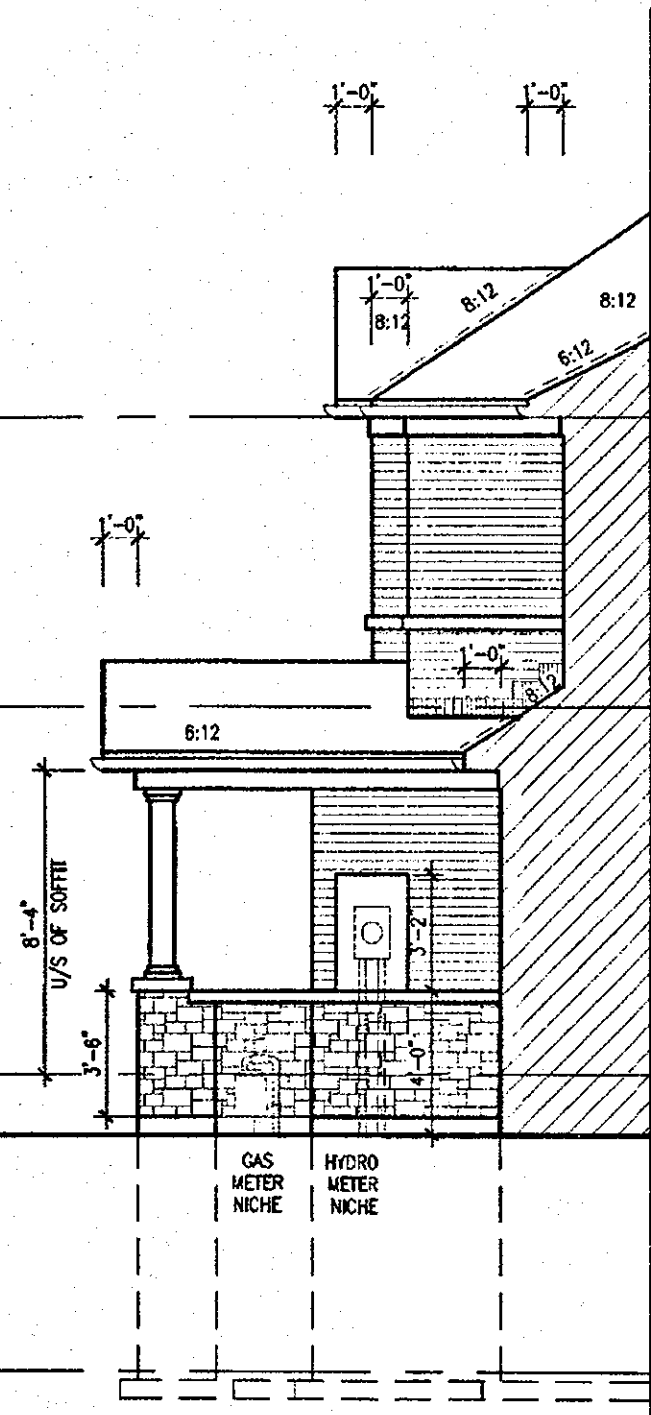
Permit No. 17-131966-00-R9

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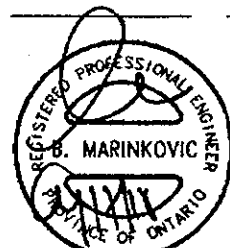
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

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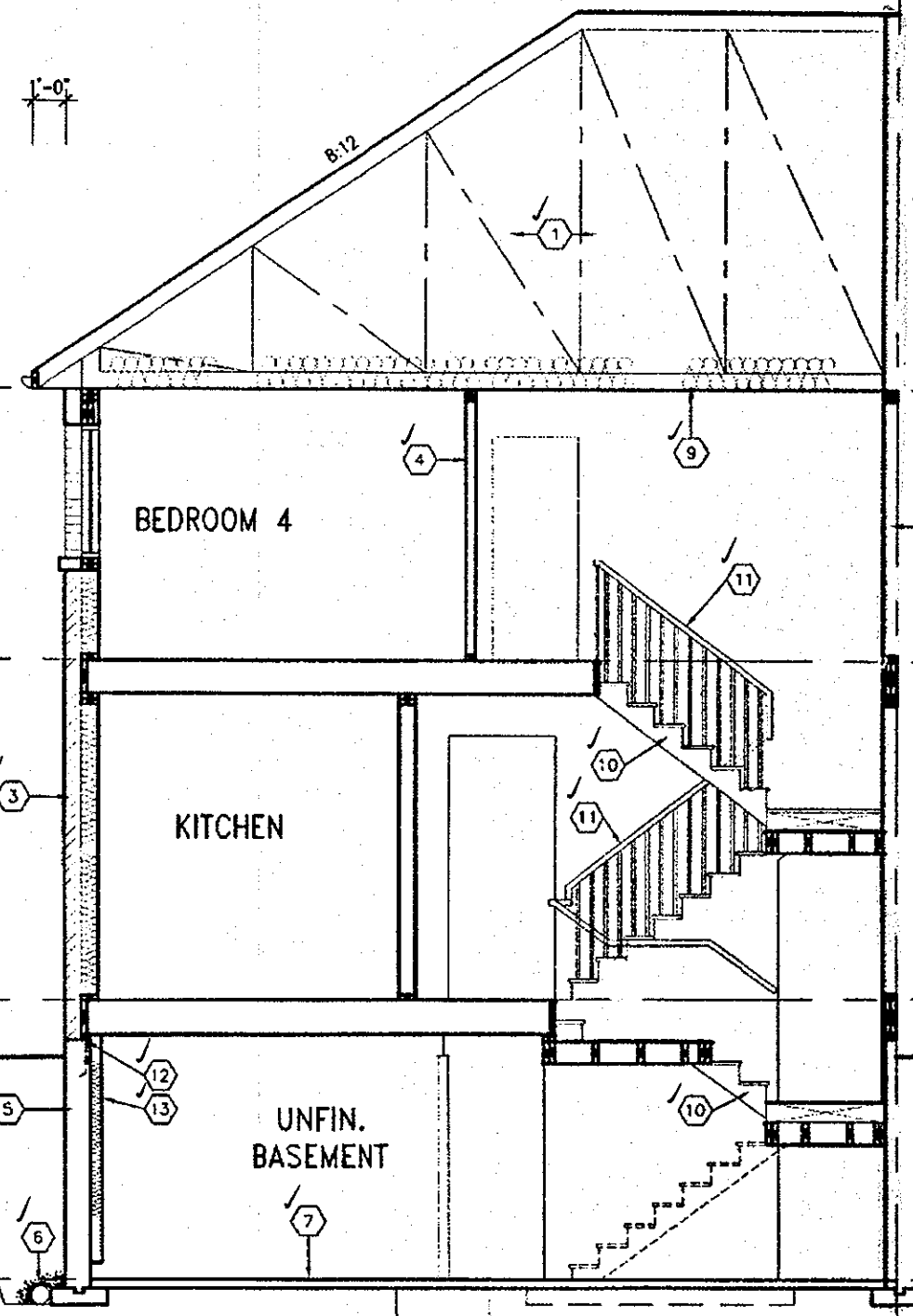
[Signature] MAY 29/18
FOR CHIEF BUILDING OFFICIAL DATE



SECTION B ELEV. 3



STRUDET INC.
FOR STRUCTURE ONLY



SECTION A-A ELEV. '3'

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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18			9	REVISED	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	
14			5	STUCCO REPLACED.	JUL. 05/17	GW	
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW	
9							
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1							
0							

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
MARCH 2017
drawn by
WT
checked by
CW
scale
3/16" = 1'-0"

HIGHGROVE 5E
project no.
16036
drawing no.
A6b
SECTION A-A AND SECTION B ELEV. '3'

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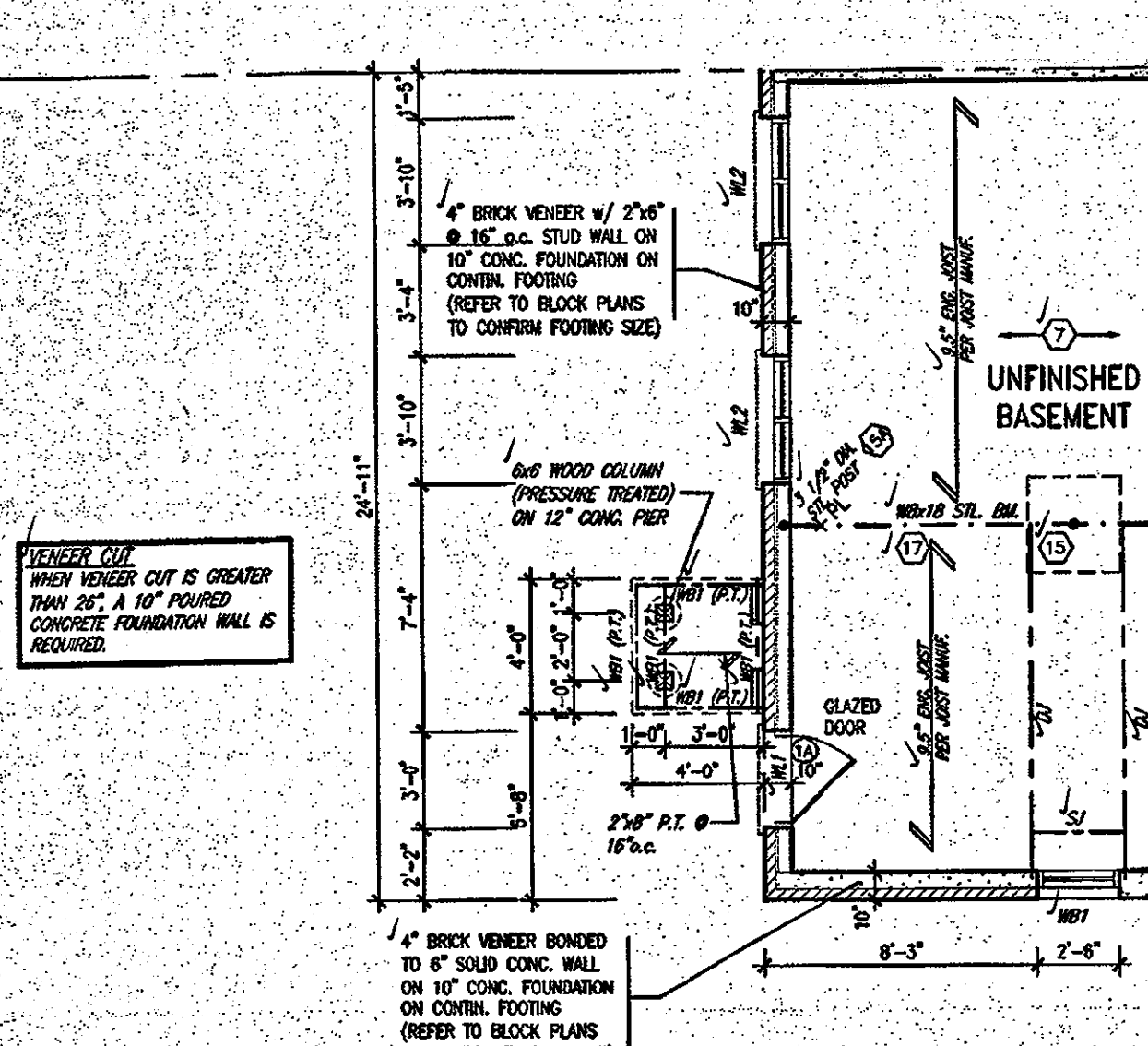
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or writing drawings with respect to any zoning or building code or permit matter or their any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

John G. Williams Limited, Architect

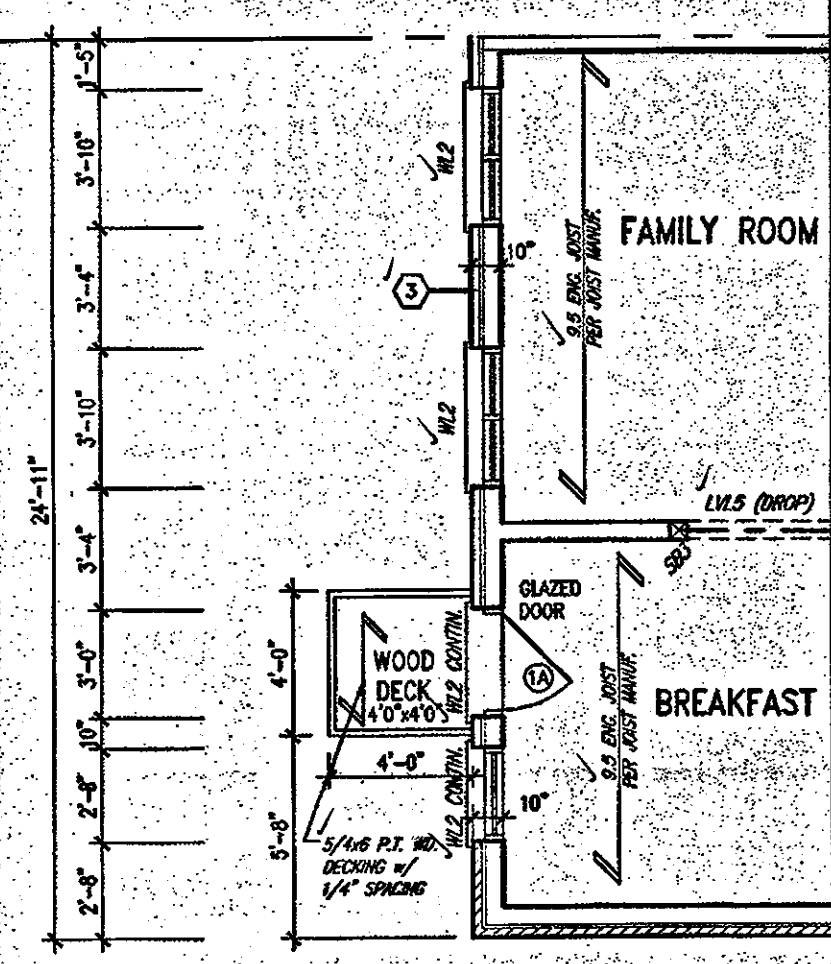


TO CONFIRM FOOTING SIZE)
PART. BASEMENT PLAN - ELEV. '1 1/2/3'
W.O.B. CONDITION

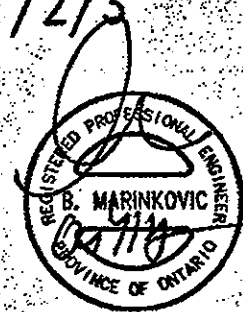
LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 8-2) FOR
ADDITIONAL WOOD DECK INFORMATION.



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PART. GROUND FLOOR PLAN- ELEV. '1/2/3'
W.O.B. CONDITION



STRUDET INC.
FOR STRUCTURE ONLY

OCT 04 2017

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 16 2017

REC. BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 17-131966-00-R9

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FOR CHIEF BUILDING OFFICIAL

DATE _____

18				9			
17				8			
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GI
15				6	ISSUED FOR PRICING.	AUG. 23/17	GI
14				5	STUCCO REPLACED.	JUL. 05/17	GI
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	W
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GI
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GI
10				1	PRELIMINARY REVIEW.	APR. 12/17	GI
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 244

name signature

registration information

VAS Design Inc. 428

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark.

project name	RUSSELL GARDENS PH.2	municipality	WATERDOWN, ON.
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date **MARCH 2017** PART. PLANS- WOB CONDITION
drawn by **WT** checked by **GW** scale **3/16" = 1'-0"** file name **16036-HIGHCROVE 5E**

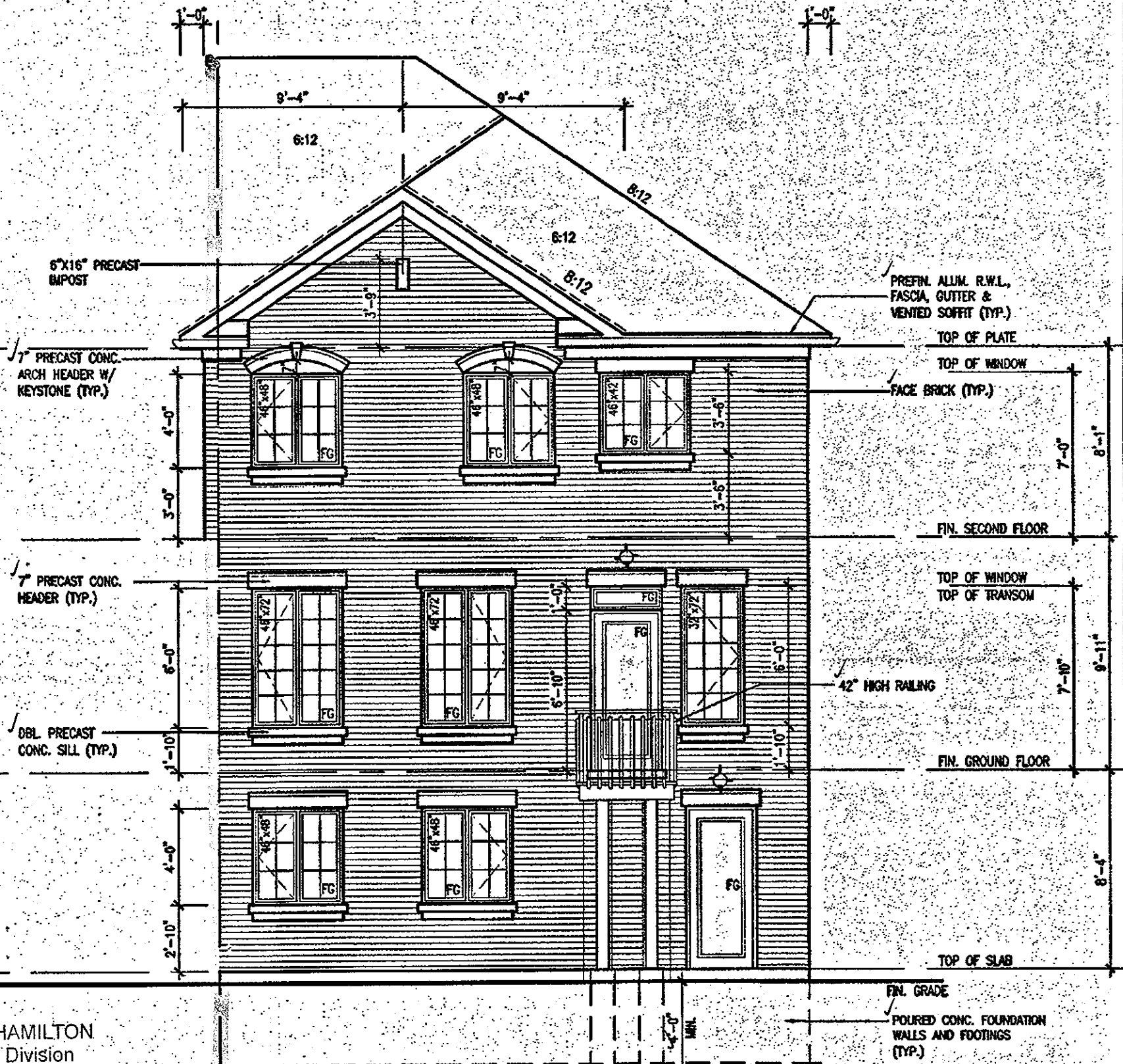
HIGHGROVE 5E

Project #
1603

Growing No.
A12

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2264 SF.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

John G. Williams Limited, Architect

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 16 2017

REC. BY: _____ DATE: _____

REF'D TO: _____ DATE: _____

CITY OF HAMILTON
Building Division

Permit No. 17-131966-00-RP

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

B. RK DEC. 14/17

FOR CHIEF BUILDING OFFICIAL DATE

UPGRADED REAR ELEVATION '3'
WOB CONDITION

OCT 14 2017

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

18			9		
17			8		
16			7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17 GW
15			6	ISSUED FOR PRICING.	AUG. 23/17 GW
14			5	STUCCO REPLACED.	JUL. 05/17 GW
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 23/17 WJ
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17 GW
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW
10			1	PRELIMINARY REVIEW.	APR. 12/17 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24488 BCN

signature

VA3 Design Inc. 42658

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Greenpark.

project name: **RUSSELL GARDENS PH.2** municipality: **WATERDOWN, ON.** project no: **16036**

date: **MARCH 2017** title: **UPGRADED REAR ELEV. '3' - WOB COND.** drawing no: **A13b**

drawn by: **WT** checked by: **GW** scale: **3/16" = 1'-0"** file name: **16036-HIGHGROVE 5E.dwg**

DATE - RELEASED FOR PERMIT: 2016/11/06 08:00 (H:\HIGHGROVE\HIGHGROVE 5E\16036-HIGHGROVE 5E.dwg - Fri - Sep 28 2017 - 1:35 PM)

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