

PAD FOOTINGS

120 KPa NATIVE SOIL

50 KPa ENGINEERED FILL SOIL

- F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

- WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

- WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

- L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
 L5 = 6" x 4" x 3/8" L (150x100x10.0L)
 L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8' to 9'	10' OR MORE	
		Ceiling	Ceiling	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	6'-8"	8'-0"	INSULATED EXL. SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0" 7'0".
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

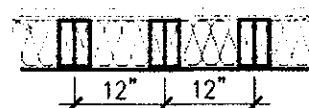
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, w/ SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
DEWBERRY 2E AND ELEV. 1			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	635.50 S.F.	164.90 S.F.	25.95 %
LEFT SIDE	1059.50 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1059.50 S.F.	108.65 S.F.	10.25 %
REAR	718.17 S.F.	166.55 S.F.	23.19 %
* OPENINGS OMITTED AS PER SB-12.3.1.1(9)(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3472.67 S.F.	440.10 S.F.	12.67 %
TOTAL SQ. M.	322.62 S.M.	40.89 S.M.	12.67 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
DEWBERRY 2E AND ELEV. 2			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	635.50 S.F.	163.37 S.F.	25.71 %
LEFT SIDE	1059.50 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	1059.50 S.F.	108.65 S.F.	10.25 %
REAR	718.17 S.F.	166.55 S.F.	23.19 %
* OPENINGS OMITTED AS PER SB-12.3.1.1(9)(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3472.67 S.F.	438.57 S.F.	12.63 %
TOTAL SQ. M.	322.62 S.M.	40.74 S.M.	12.63 %

CITY OF HAMILTON
Building Division

Permit No. 17-132430

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUL 17 2018

REC BY DATE
REF'D TO CB DATE

JUL 09 2018

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

18			9	REVISED SIDE ELEVATION. RE-ISSUED.	JUL 06/18 DB
17			8	REVISED.	APR 26/18 GW
16			7	REVISED PER CITY COMMENTS. REISSUED.	MAR 06/18 GW
15			6	REVISED. ISSUED FOR PERMIT.	SEP 29/17 GW
14			5	ISSUED FOR PRICING.	AUG 24/17 GW
13			4	REVISED AS PER ENGINEER COMMENTS.	AUG 22/17 WT
12			3	FLOOR JOIST CO-ORD.	JUL 13/17 GW
11			2	REV. PER CLIENT COMMENTS. REISSUED.	JUN 26/17 GW
10			1	PLANS ISSUED FOR PRE-IM. REVIEW.	JUN 21/17 GW
no. description	date	by	no. description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24488
 name signature BCN
 registration information
 VA3 Design Inc. 42658

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto, ON M2J 1R4
 T 416.630.2255 F 416.630.4782
 va3design.com

Greenpark.
 Project name
 RUSSELL GARDENS PH.2
 Municipality
 WATERDOWN, ON.
 Date
 JUNE 2017
 Drawn by
 WT
 checked by
 3/16" = 1'-0"
 scale
 TYPICAL NOTES & AREAS
 16036-DEWBERRY-2E
 JUL 6 2018 - 4:03 PM

DEWBERRY 2E

project no.

16036

drawing no.

A0

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2598 SF.

BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2" x 16" o.c. w/ R12 BATT INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2" x 4" WALL WHERE LOAD BEARING.

A separate permit is required to finish the basement

PARTY WALL AT GARAGE SIDE CONSTRUCTION
✓ REFER TO BLOCK PLANS TO CONFIRM WHETHER SK4 OR SK5 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4 OR 4A TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

CITY OF HAMILTON
Building Division

Permit No. **17-132430**

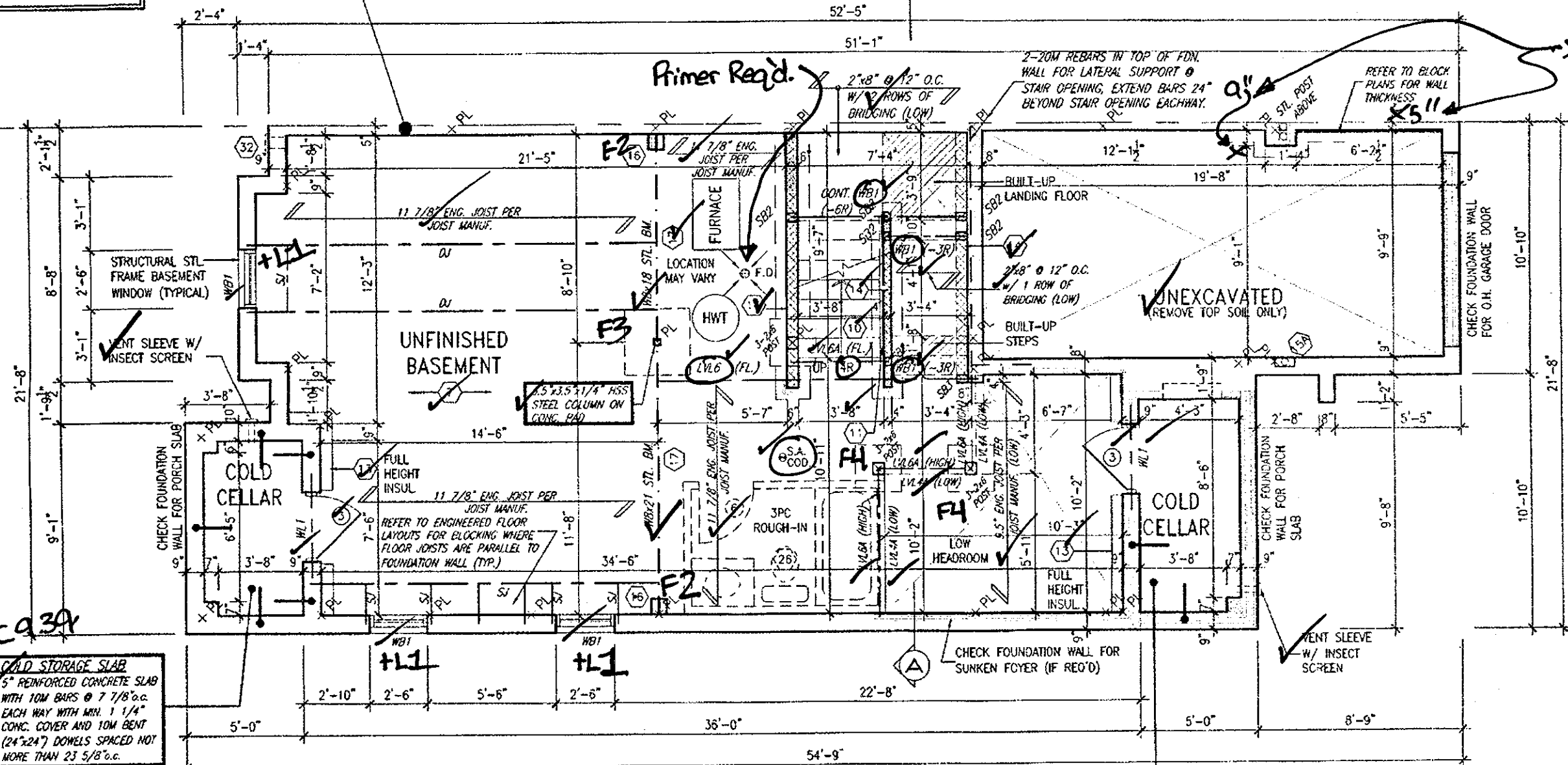
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE **July 31/18**

**As per updated details on page 12B*



BASEMENT PLAN ELEVATION '1'

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUL 17 2018

REC BY _____ DATE _____
REF'D TO **CB** DATE _____

JUN 28 2018

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: **JUN 29, 2018**
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



18				9	REVISED.	JUN. 26/18	GW	
17				8	REVISED.	APR. 26/18	GW	
16				7	REVISED PER CITY COMMENTS. REISSUED.	MAR. 06/18	GW	
15				6	REVISED. ISSUED FOR PERMIT.	SEP. 29/17	GW	
14				5	ISSUED FOR PRICING.	AUG. 24/17	GW	
13				4	REVISED AS PER ENGINEER COMMENTS.	AUG. 22/17	WT	
12				3	FLOOR JOIST CO-ORD.	JUL 13/17	GW	
11				2	REV. PER CLIENT COMMENTS. REISSUED.	JUN 26/17	GW	
10				1	PLANS ISSUED FOR PRELIM. REVIEW.	JUN 21/17	GW	
9								
8								
7								
6								
5								
4								
3								
2								
1								

The Designer has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Wink
signature
24488
BCW
47858
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
1.416.630.2255 1.416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
JUNE 2017
checked by
scale
3/16" = 1'-0"
drawing no.
16036-DEWBERRY-2E
drawing no.
A1

END
DEWBERRY 2E
project no.
16036
drawing no.
A1

2598 SF.

CITY OF HAMILTON
Building Division

Permit No. **17-132430**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

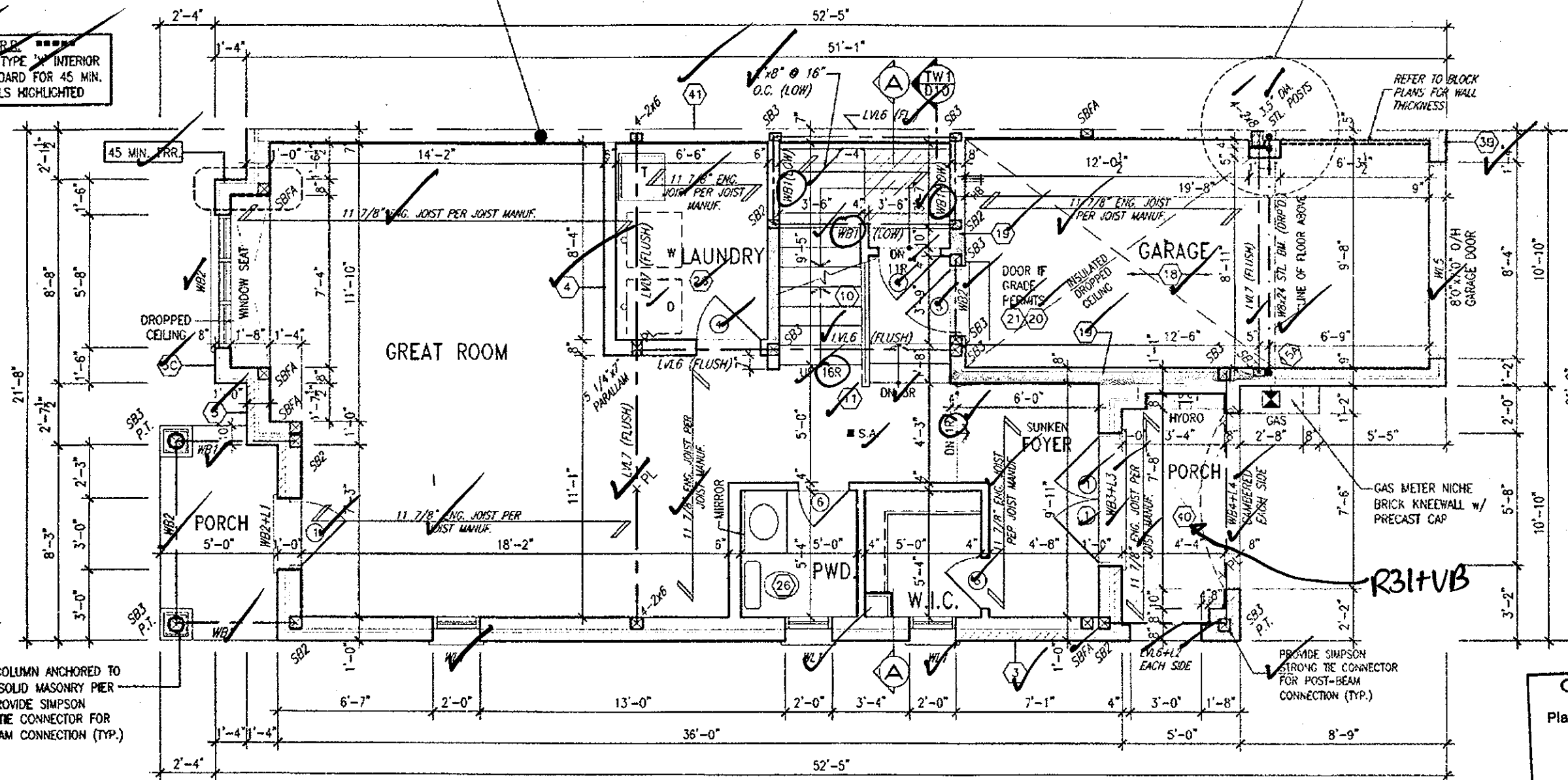
FOR CHIEF BUILDING OFFICIAL *July 31/18* DATE

PARTY WALL AT GARAGE SIDE CONSTRUCTION
REFER TO BLOCK PLANS TO CONFIRM WHETHER
SK4 OR SK5 PARTY WALL IS TO BE BUILT.
REFER TO DETAIL PAGES 4 OR 4A TO VERIFY
PARTY WALL THICKNESS/CONSTRUCTION.

45 MIN. F.R.R. **USE 5/8" TYPE "X" INTERIOR
GYPSUM BOARD FOR 45 MIN.
F.R.R. WALLS HIGHLIGHTED**

REFER TO DETAIL
PAGE 12B

REFER TO BLOCK
PLANS FOR WALL
THICKNESS



8" DIA. COLUMN ANCHORED TO
16"x16" SOLID MASONRY PIER
(TYP.) PROVIDE SIMPSON
STRONG TIE CONNECTOR FOR
POST-BEAM CONNECTION (TYP.)

ENGINEERED FLOOR SURFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO
BE GLUED AND NAILED ON THIS FLOOR FOR
ENGINEERED JOIST ONLY.

ENTRY LEVEL PLAN ELEVATION '1'

COPY

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BUILDING DIVISION
Planning & Development Department

JUL 17 2018

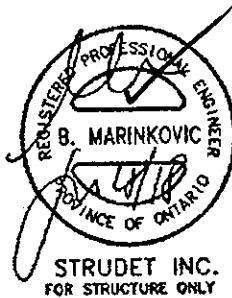
REC BY CB DATE
REF'D TO CB DATE

JUN 28 2018

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.



JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY *[Signature]*
DATE Jun 29, 2018
This stamp certifies compliance with the Architectural Design Guidelines only and bears no further professional responsibility.

18	REVISED	JUN 26/18	GW	5	REVISED	JUN 26/18	GW
17	REVISED	APR 26/18	GW	4	REVISED	APR 26/18	GW
16	REVISED PER CITY COMMENTS. REISSUED	MAR 06/18	GW	3	REVISED PER CITY COMMENTS. REISSUED	MAR 06/18	GW
15	REVISED ISSUED FOR PERMIT	SEP 29/17	GW	2	REVISED ISSUED FOR PERMIT	SEP 29/17	GW
14	ISSUED FOR PRICING	AUG 24/17	GW	1	ISSUED FOR PRICING	AUG 24/17	GW
13	REVISED AS PER ENGINEER COMMENTS	AUG 22/17	WT				
12	FLOOR JOIST CO-ORD.	JUL 13/17	GW				
11	REV. PER CLIENT COMMENTS. REISSUED	JUN 26/17	GW				
10	PLANS ISSUED FOR PRELIM. REVIEW	JUN 21/17	GW				
9							
8							
7							
6							
5							
4							
3							
2							
1							

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name
registration information
VAS Design Inc. 42655

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA DESIGN
255 Consumers Rd Suite 120
Toronto ON M2S 1R4
416.630.2255 416.630.4782
vasdesign.com

Greenpark
Project Name: RUSSELL GARDENS PH.2
Municipality: WATERDOWN, ON.
Date: JUNE, 2017
Scale: 3/16" = 1'-0"
File Name: 16036-DEWBERRY-2E
Drawing No: A2

END
DEWBERRY 2E
Project No: 16036
Drawing No: A2

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2598 SF.

CITY OF HAMILTON
Building Division

Permit No. **17-132430**

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These drawings and specifications have been reviewed by
[Signature] **July 31/18**
FOR CHIEF BUILDING OFFICIAL DATE



WALL AREA	1385.63 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	96.99 SQ. FT.
OPENING PROVIDED	93.94 SQ. FT.

SIDE ELEVATION '1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **JUL 09 2018**
The stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUL 17 2018
REC BY **CB** DATE
REC'D TO

JUL 09 2018

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

18.	9	REVISED SIDE ELEVATION. RE-ISSUED.	JUL 06/18	DB	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17.	6	REVISED.	APR 26/18	GW	qualification information
16.	7	REVISED PER CITY COMMENTS. REISSUED.	MAR 06/18	GW	Richard Vink
15.	6	REVISED. ISSUED FOR PERMIT.	SEP 29/17	GW	signature
14.	5	ISSUED FOR PRICING.	AUG 24/17	GW	name
13.	4	REVISED AS PER ENGINEER COMMENTS.	AUG 22/17	WT	VA3 Design Inc.
12.	3	FLOOR JOIST CO-ORD.	JUL 13/17	GW	registration information
11.	2	REV. PER CLIENT COMMENTS. REISSUED.	JUN 26/17	GW	24488
10.	1	PLANS ISSUED FOR PRELIM. REVIEW.	JUN 21/17	GW	42658
no. description	date	by	no. description	date	by

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2 municipality
WATERDOWN, ON.
date
JUNE, 2017 checked by
WT scale
3/16" = 1'-0"
drawing no.
16036-DEWBERRY-2E
file name
16036-DEWBERRY-2E.dwg - Fri - Jul 6 2018 - 4:03 PM
D:\ARCHIVE\WORKING\2016\16036 GRE\units\DEWBERRY\DEWBERRY 2E\16036-DEWBERRY-2E.dwg

END
DEWBERRY 2E project no.
16036
SIDE ELEVATION '1' drawing no.
A6

2598 SF.

R22+
R5

BEDROOM 4

LIVING/DINING

W.I.C.

HALL

R200 UNFINISHED
BASEMENT

1 hr F.R.R.

CITY OF HAMILTON
Building Division
Permit No. 17-132432

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
DATE July 31/18
FOR CHIEF BUILDING OFFICIAL

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018

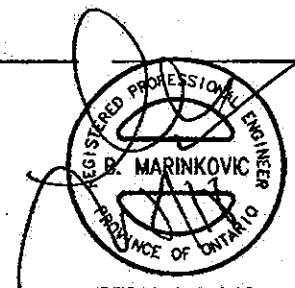
REC BY *CP* DATE
REF'D TO DATE

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

SECTION A-A - ELEV. '1'

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STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7	REVISED PER CITY COMMENTS, REISSUED.	MAR. 06/18	GW
15				6	REVISED, ISSUED FOR PERMIT.	SEP. 29/17	GW
14				5	ISSUED FOR PRICING.	AUG. 24/17	GW
13				4	REVISED AS PER ENGINEER COMMENTS.	AUG. 22/17	WT
12				3	FLOOR JOIST CO-ORD.	JUL 13/17	GW
11				2	REV. PER CLIENT COMMENTS, REISSUED.	JUN 26/17	GW
10				1	PLANS ISSUED FOR PREJM. REVIEW.	JUN 21/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information
VAS Design Inc. 42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAR DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
Project name
RUSSELL GARDENS PH.2
Waterdown, ON.
date
JUNE, 2017
checked by
3/16" = 1'-0"
16036-DEWBERRY-2E
JUN 5 2018 - 258 PM

END
DEWBERRY 2E
project no.
16036
drawing no.
A7

2598 SF.

CITY OF HAMILTON
Building Division

Permit No. 17-132430

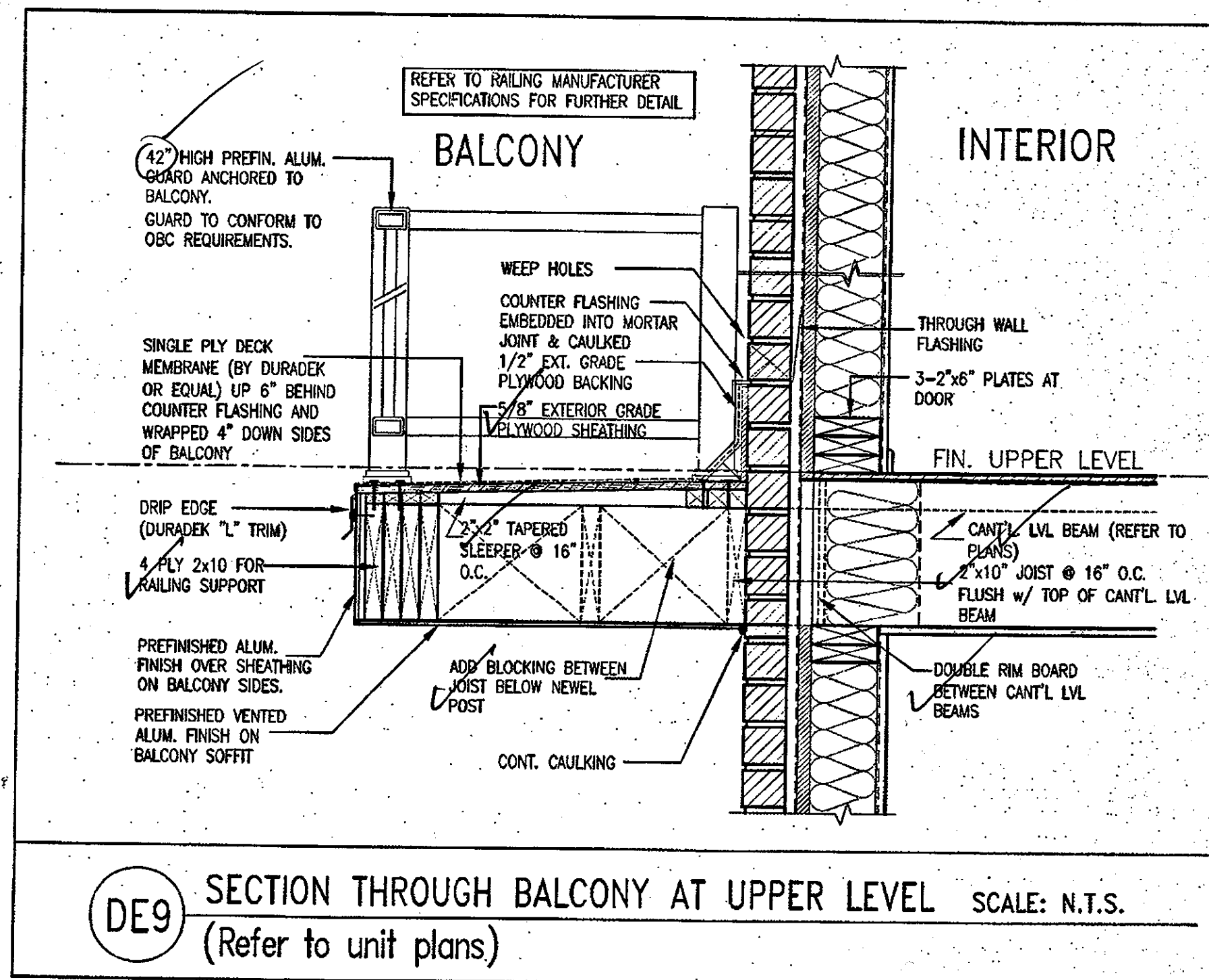
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

08



COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 21 2017

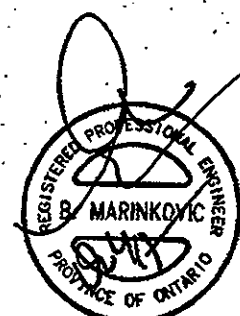
REC BY _____ DATE _____
REF'D TO CLB DATE _____

OCT 04 2017

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



STRUDET INC.
FOR STRUCTURE ONLY

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