

Bik 205

2264 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16" SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 8" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 8" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

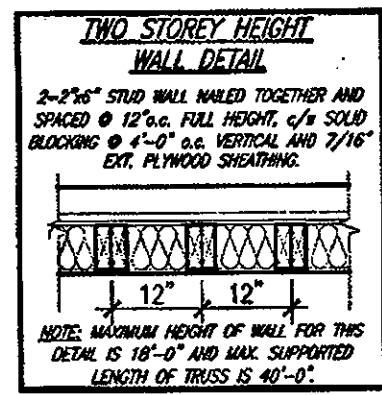
NOS.	WIDTH	HEIGHT 8' to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER
 (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

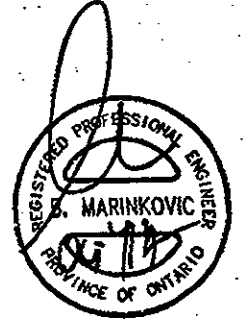
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS. UNLESS OTHERWISE NOTED.



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 ensure that all plans submitted for approval
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 and all applicable regulations and requirements
 including zoning provisions and any provisions
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 Architect is not responsible in any way for
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 working drawings with respect to any zoning or
 building code or permit matter or that any
 house can be properly built or located on its lot.

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 with the applicable Architectural Design
 Guidelines approved by the City of
 HAMILTON.



STRUDET INC.
 FOR STRUCTURE ONLY

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 5ES AND ELEV. 1			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.42 S.F.	23.15 %
LEFT SIDE	1012.83 S.F.	56.29 S.F.	5.56 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	298.12 S.F.	9.92 %
TOTAL SQ. M.	279.24 S.M.	27.70 S.M.	9.92 %

AREA CALCULATIONS

	ELEV '1'
GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
TOTAL FLOOR AREA	2264 SF (210.33 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2264 SF (210.33 m2)
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	145 SF
COVERAGE W/ PORCH	1395 SF (129.60 m2)
COVERAGE W/O PORCH	1250 SF (116.13 m2)

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 5ES AND ELEV. 3			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.88 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	87.29 S.F.	8.62 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	328.38 S.F.	10.93 %
TOTAL SQ. M.	279.24 S.M.	30.51 S.M.	10.93 %

AREA CALCULATIONS

	ELEV '3'
GROUND FLOOR AREA	1024 SF
SECOND FLOOR AREA	1228 SF
TOTAL FLOOR AREA	2252 SF (209.22 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2252 SF (209.22 m2)
GROUND FLOOR COVERAGE	1024 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	176 SF
COVERAGE W/ PORCH	1420 SF (131.92 m2)
COVERAGE W/O PORCH	1244 SF (115.57 m2)

CITY OF HAMILTON
 Building Division

Permit No. 17-131941

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
 [Signature] Aug 13/18
 FOR CHIEF BUILDING OFFICIAL

OCT 04 2017

HIGHGROVE 5ES
COMPLIANCE PACKAGE A1

no.	description	date	by	no.	description	date	by
18				9			
17				8	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW
16				7	ISSUED FOR PRICING.	AUG. 23/17	GW
15				6	STUCCO REPLACED.	JUL 05/17	GW
14				5	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	GW
13				4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
12				3	REAR EL. 3 ROOF REVISED TO MATCH BLKS.	JUN. 01/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design
 and has the qualifications and meets the requirements set out in the
 Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24488
 [Signature]
 VAS Design Inc. 42658

**VAS
DESIGN**
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 vasdesign.com

Greenpark. **HIGHGROVE 5ES**

project name **RUSSELL GARDENS PH.2** municipality **WATERDOWN, ON.** project no. **16036**

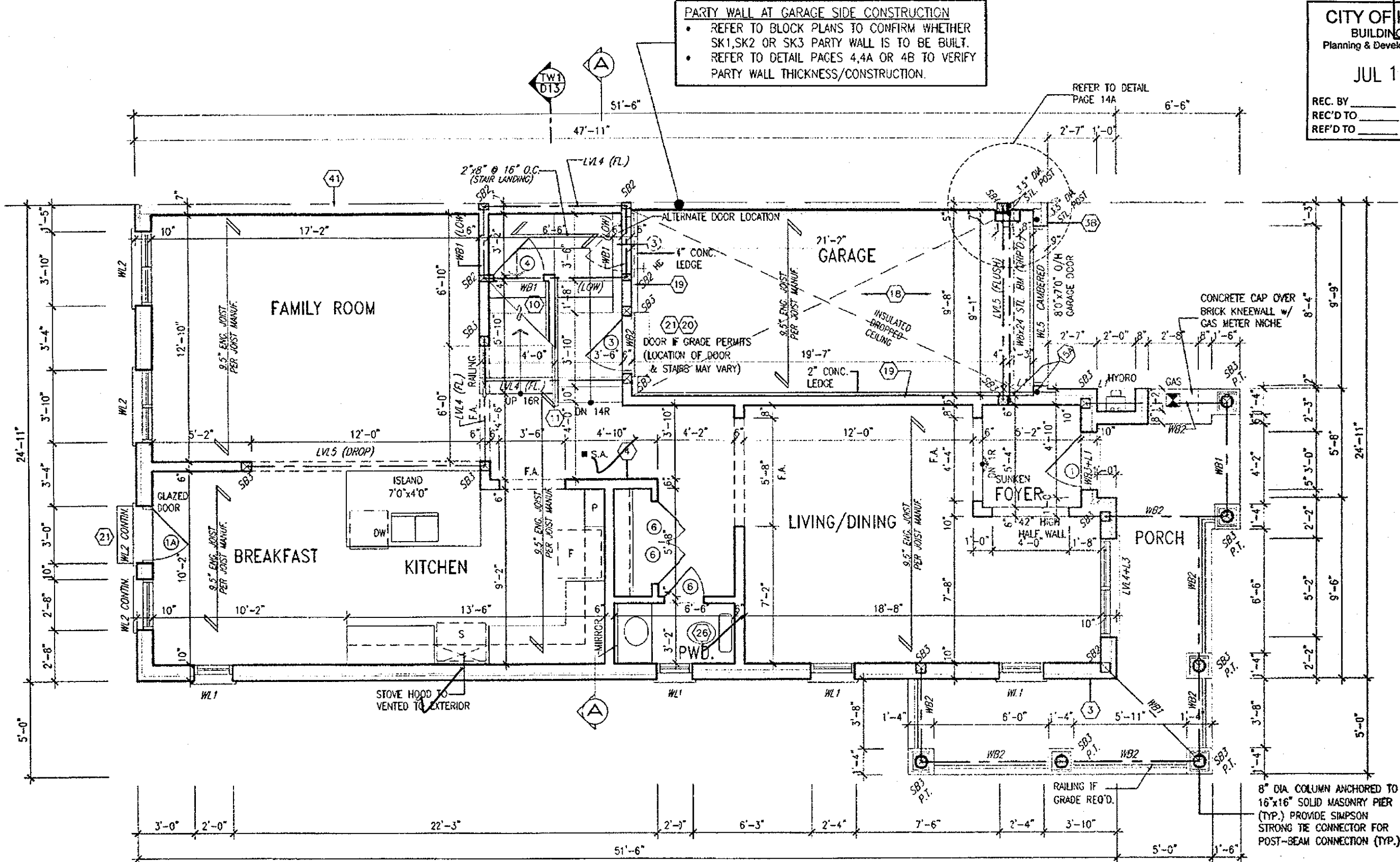
date **MARCH 2017** checked by **scale 3/16" = 1'-0"** drawing no. **A0**

TYPICAL CHARTS AND AREAS

16036-HIGHGROVE 5ES
 16036-HIGHGROVE 5ES.dwg - Rev - Sep 22 2017 - 507 PW

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUL 10 2018
REC. BY _____ DATE _____
REC'D TO _____ DATE _____
REF'D TO _____ DATE _____



GROUND FLOOR PLAN ELEV. '3' - BLOCK 205, UNIT 1

CITY OF HAMILTON
Building Division

Permit No. 17-131941

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These drawings and/or specifications have been reviewed by

[Signature] Aug 01/18
FOR CHIEF BUILDING OFFICIAL DATE

JUN 28 2018

HIGHGROVE 5ES
COMPLIANCE PACKAGE A1

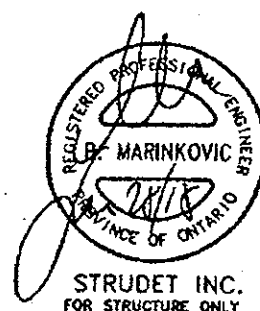
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: _____
DATE: JUN 29, 2018

This stamp certifies compliance with the applicable Architectural Design Guidelines and does not constitute professional responsibility.



NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

15	REV. PER CITY COMMENTS, ISSUED	FEB. 21/18	GW
17	REVISED, ISSUED FOR PERMIT	SEP. 22/17	GW
16	7 ISSUED FOR PRICING	AUG. 23/17	GW
15	5 STUCCO REPLACED	JUL. 05/17	GW
14	3 REVISED AS PER CLIENT COMMENTS	JUN. 21/17	GW
13	4 CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
12	3 REAR EL. 3 ROOF REVISED TO MATCH BLKS.	JUN. 01/17	GW
11	REVISED	JUN. 26/18	GA
10	REVISED	APR. 17/18	GA
9	REVISED PER CLIENT COMMENTS	APR. 28/17	GW
8	PRELIMINARY REVIEW	APR. 12/17	GW
7	REVISED PER CLIENT COMMENTS	APR. 28/17	GW
6	REVISED, ISSUED FOR PERMIT	SEP. 22/17	GW
5	STUCCO REPLACED	JUL. 05/17	GW
4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
3	REAR EL. 3 ROOF REVISED TO MATCH BLKS.	JUN. 01/17	GW
2	REVISED AS PER CLIENT COMMENTS	JUN. 21/17	GW
1	7 ISSUED FOR PRICING	AUG. 23/17	GW
0	REVISED, ISSUED FOR PERMIT	SEP. 22/17	GW

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24483
BCH
registration information
VAS Design Inc.
42655

755 Consumers Rd Suite 120
Toronto ON M2J 1S4
1 416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
MARCH 2017
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 5ES
project no.
16036
drawing no.
A2b

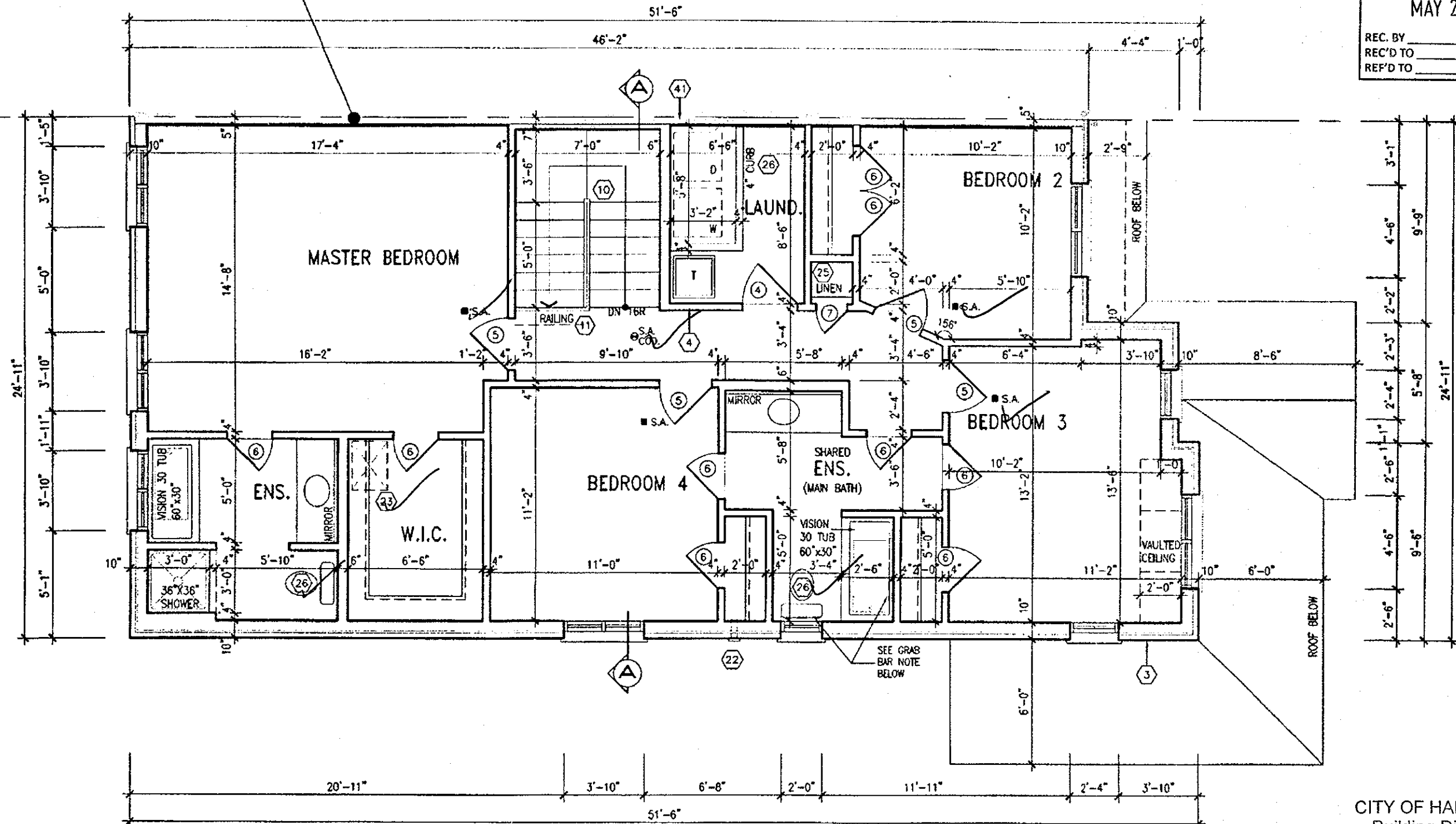
2264 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC. BY _____ DATE _____
REC'D TO _____ DATE _____
REF'D TO _____ DATE _____

PARTY WALL CONSTRUCTION (UPPER FLOOR)
• SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
• REFER TO BLOCK PLANS.



SECOND FLOOR PLAN ELEV. '3' - BLOCK 205, UNIT 1

CITY OF HAMILTON
Building Division

Permit No. 17-13941

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
[Signature] Aug 13/18
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5ES
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: APR 20 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

18		9	REV. PER CITY COMMENTS. RESSUED.	FEB. 21/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		8	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	qualification information
16		7	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink 24488
15		6	STUCCO REPLACED.	JUL. 05/17	GW	none
14		5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	GW	signature 47558
13		4	CHANGED JAST DEPTH/ FLOOR HEIGHTS.	JUN. 14/17	GW	
12		3	REAR EL. 3 ROOF REVISED TO MATCH BLKS.	JUN. 01/17	GW	
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10	REVISED.	1	PRELIMINARY REVIEW.	APR. 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no	description	date	by	date	by	

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2H 1R4
416.630.2255 1 416.630.4782
vasdesign.com

Greenpark.

Project name: RUSSELL GARDENS PH.2 WATERDOWN, ON.

date: MARCH 2017 checked by: [Signature] scale: 3/16" = 1'-0"

drawing no. 16036-HIGHGROVE 5ES A3b

HIGHGROVE 5ES

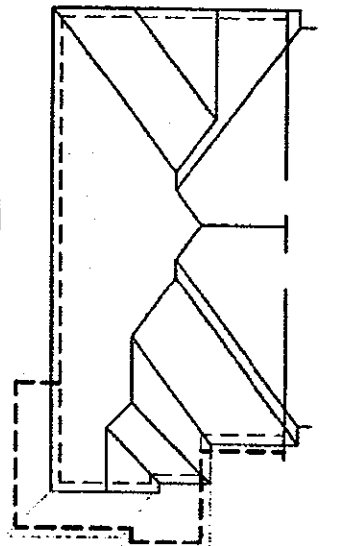
project no. 16036

drawing no. A3b

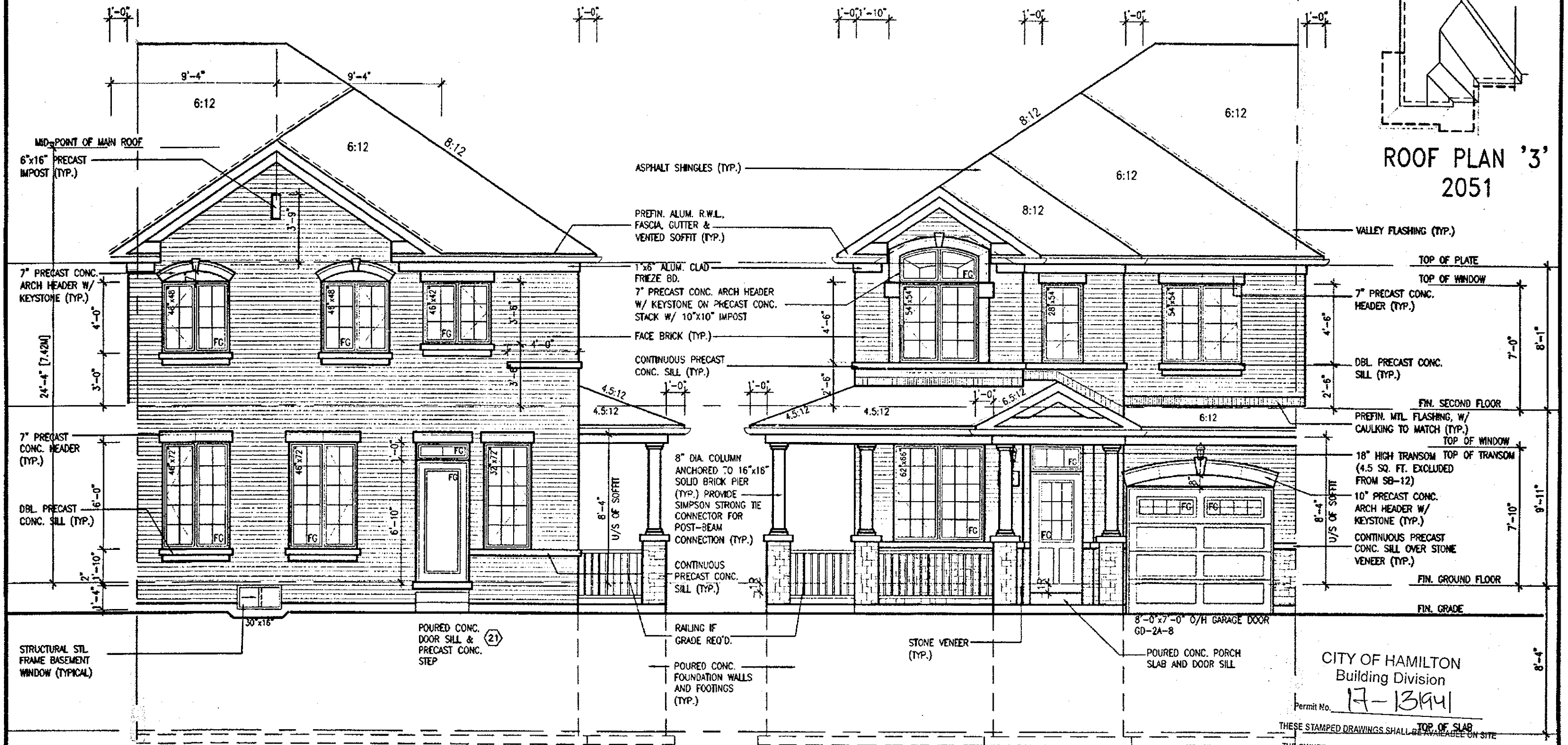
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2264 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC. BY _____ DATE _____
REC'D TO _____ DATE _____
REF'D TO _____ DATE _____



ROOF PLAN '3'
2051



REAR ELEVATION '3'
BLOCK 205, UNIT 1

FRONT ELEVATION '3'
BLOCK 205, UNIT 1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: APR 20 2018
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18				9	REV. PER CITY COMMENTS, REISSUED.	FEB. 21/18	GW		
17				8	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW		
16				7	ISSUED FOR PRICING.	AUG. 23/17	GW		
15				6	STUCCO REPLACED.	JUL. 05/17	GW		
14				5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	GW		
13				4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN. 14/17	GW		
12				3	REAR EL. 3 ROOF REVISED TO MATCH BLKS.	JUN. 01/17	GW		
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW		
10	REVISED.	APR. 17/18	GW	1	PRELIMINARY REVIEW.	APR. 12/17	GW		
00	description	date	by	00	description	date	by		

The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Yink 24488
name
signature
registration information
VA3 Design Inc. 42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2G 1R4
1 416.630.2255 1 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
city
WATERDOWN, ON.
date
MARCH 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 5ES
project no.
16036
drawing no.
A4b
16036-HIGHGROVE 5ES
DATE: APR 17 2018 11:55 AM

Architectural elevation drawing of a two-story building. The drawing includes the following details:

- Roof:** Gabled roof with pitches of 8:12, 6:12, and 8:12.
- Windows:**
 - Second floor: Three windows with heights of 7'-0" and 8'-11".
 - First floor: Four windows, including a large one in the porch area with a height of 8'-11".
- Materials and Details:**
 - 1 1/2" ALUM. CLAD FREEZE BD.
 - PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)
 - 8" PRECAST CONC. HEADER (TYP.)
 - CONTINUOUS PRECAST CONC. SILL OVER FACE BRICK (TYP.)
 - DBL. PRECAST CONC. SILL (TYP.)
 - STONE VENEER (TYP.)
 - CONTINUOUS PRECAST CONC. SILL OVER STONE VENEER (TYP.)
- Dimensions:**
 - Overall height: 17'-0"
 - Overall width: 30'-0"
 - Porch width: 10'-0"
 - Roof overhang: 1'-0"
- Table:**

ALLOWABLE GLAZED OPENINGS	
WALL AREA	= 1012.83 SQ. FT.
LIMITING DISTANCE	1.5 M (8%)
GLAZING ALLOWED	= 81.03 SQ. FT.
GLAZING PROVIDED	= 72.28 SQ. FT. (GLASS AREA ONLY)
	= 7.1%
- City of Hamilton Building Division Stamp:**

CITY OF HAMILTON
Building Division
17-131941

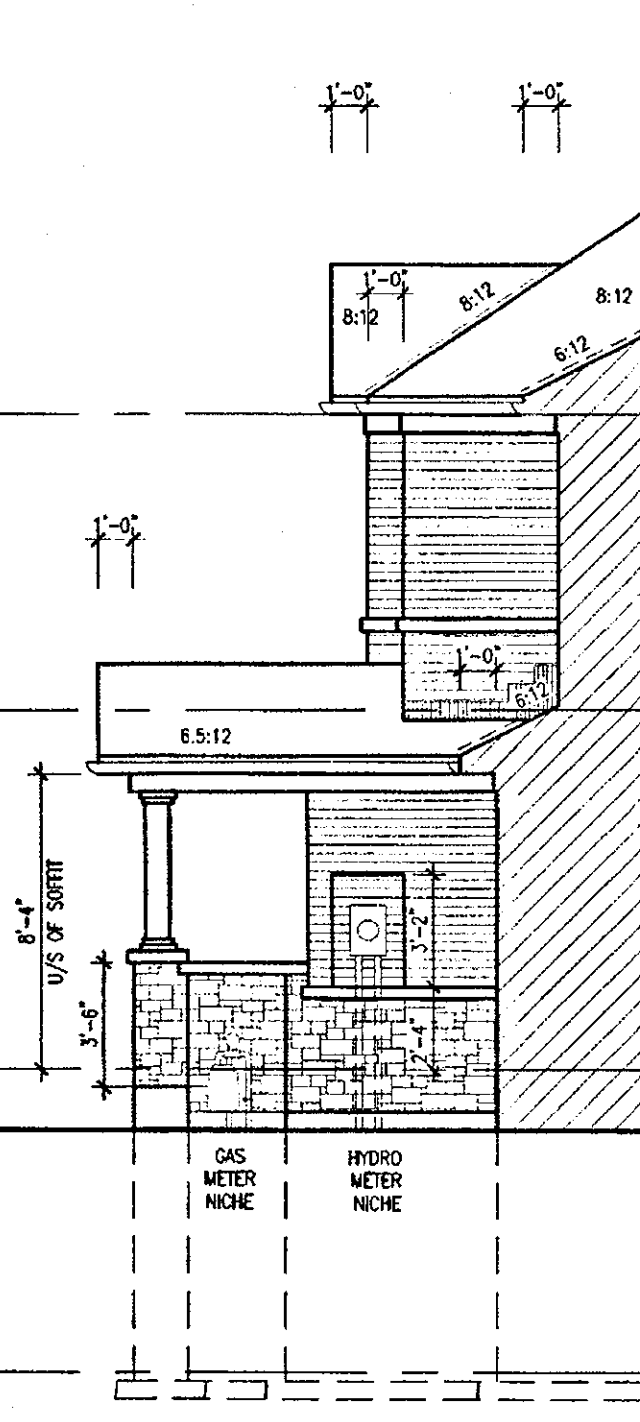
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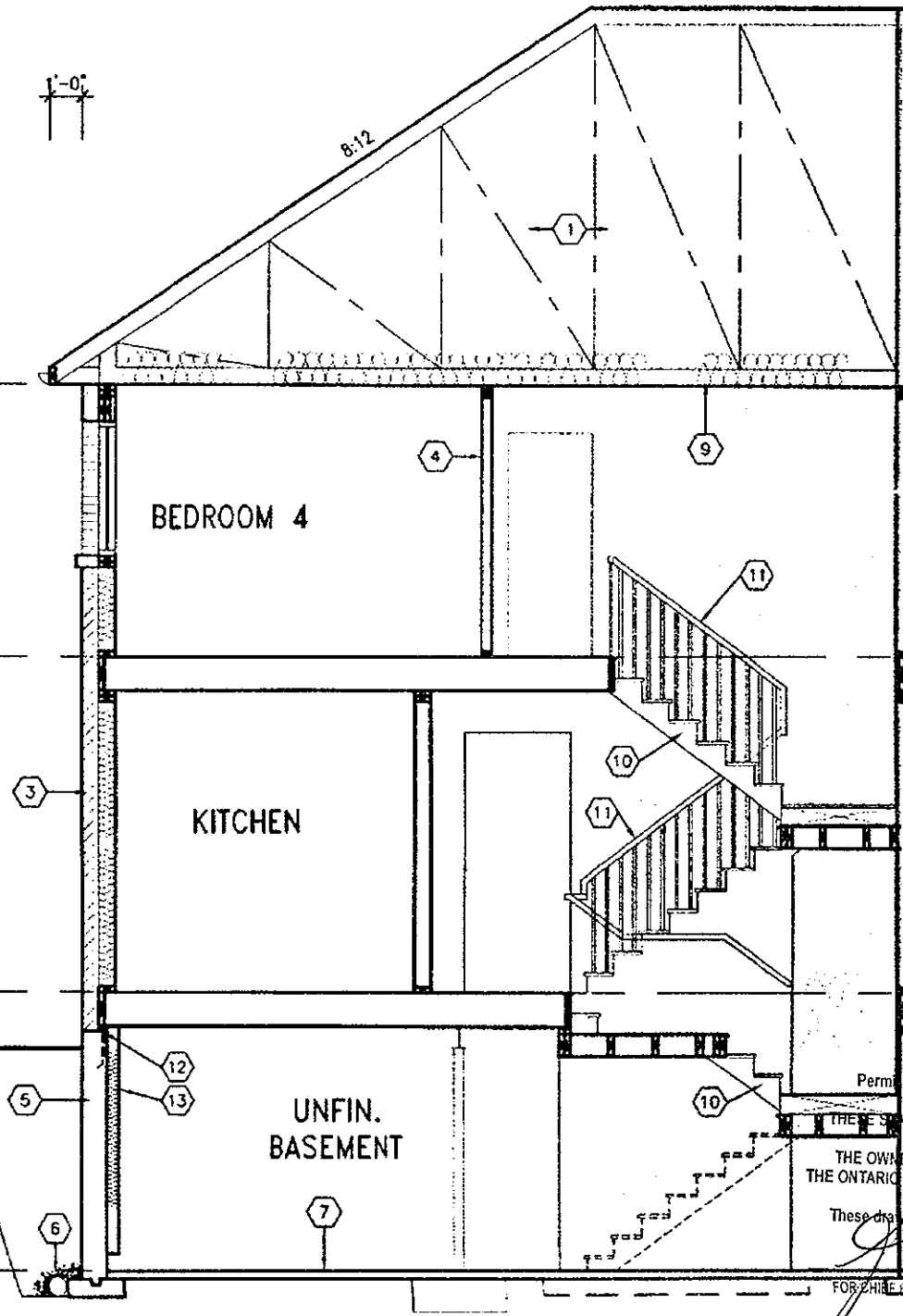
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC. BY _____ DATE _____
REC'D TO _____ DATE _____
REF'D TO _____ DATE _____



SECTION B ELEV. 3



SECTION A-A ELEV. '3'

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
FIN. GROUND FLOOR
FIN. GRADE
Permit No. 17-131941
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
FOR ZHINE BUILDING OFFICIAL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



STRUDET INC.
FOR STRUCTURE ONLY

HIGHGROVE 5ES COMPLIANCE PACKAGE A1

18		9	REV. PER CITY COMMENTS. REISSUED.	FEB 21/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink signature 24488 BCN 42655	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 416.630.2255 / 416.630.4782 va3design.com	 project name RUSSELL GARDENS PH.2 municipality WATERDOWN, ON.	HIGHGROVE 5ES project no. 16036
17		8	REVISED. ISSUED FOR PERMIT.	SEP 22/17	GW				
16		7	ISSUED FOR PRICING.	AUG 23/17	GW				
15		6	STUCCO REPLACED.	JUL 05/17	GW				
14		5	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and applications are instruments of service and the property of the Designer which must be returned at the completion of the work.	SECTION A-A AND SECTION B ELEV. '3'	drawing no. A6b	
13		4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW				
12		3	REAR EL. 3 ROOF REVISED TO MATCH BLKS	JUN 01/17	GW				
11		2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW				
10	REVISED.	1	PRELIMINARY REVIEW.	APR 12/17	GW	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 416.630.2255 / 416.630.4782 va3design.com	checked by GW scale 3/16" = 1'-0"	18038-HIGHGROVE 5ES DATE MARCH 2017	
no.	description	date	by	no.	description				date

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Architectural drawing of an unfinished basement showing foundation, walls, columns, and structural details.

Foundation and Walls:

- 4" BRICK VENEER w/ 2"x6" @ 16" o.c. STUD WALL ON 10" CONC. FOUNDATION ON CONTIN. FOOTING (REFER TO BLOCK PLANS TO CONFIRM FOOTING SIZE)
- 4" BRICK VENEER BONDED TO 8" SOLID CONC. WALL ON 10" CONC. FOUNDATION ON CONTIN. FOOTING (REFER TO BLOCK PLANS TO CONFIRM FOOTING SIZE)

Columns and Pier:

- 6x6 WOOD COLUMN (PRESSURE TREATED) ON 12" CONC. PIER
- 2"x6" P.T. @ 16" o.c.

Structural Details:

- W1 (P.T.), W2 (P.T.), W3 (P.T.), W4 (P.T.), W5 (P.T.), W6 (P.T.), W7 (P.T.), W8 (P.T.), W9 (P.T.), W10 (P.T.), W11 (P.T.), W12 (P.T.), W13 (P.T.), W14 (P.T.), W15 (P.T.), W16 (P.T.), W17 (P.T.), W18 (P.T.), W19 (P.T.), W20 (P.T.), W21 (P.T.), W22 (P.T.), W23 (P.T.), W24 (P.T.), W25 (P.T.), W26 (P.T.), W27 (P.T.), W28 (P.T.), W29 (P.T.), W30 (P.T.), W31 (P.T.), W32 (P.T.), W33 (P.T.), W34 (P.T.), W35 (P.T.), W36 (P.T.), W37 (P.T.), W38 (P.T.), W39 (P.T.), W40 (P.T.), W41 (P.T.), W42 (P.T.), W43 (P.T.), W44 (P.T.), W45 (P.T.), W46 (P.T.), W47 (P.T.), W48 (P.T.), W49 (P.T.), W50 (P.T.), W51 (P.T.), W52 (P.T.), W53 (P.T.), W54 (P.T.), W55 (P.T.), W56 (P.T.), W57 (P.T.), W58 (P.T.), W59 (P.T.), W60 (P.T.), W61 (P.T.), W62 (P.T.), W63 (P.T.), W64 (P.T.), W65 (P.T.), W66 (P.T.), W67 (P.T.), W68 (P.T.), W69 (P.T.), W70 (P.T.), W71 (P.T.), W72 (P.T.), W73 (P.T.), W74 (P.T.), W75 (P.T.), W76 (P.T.), W77 (P.T.), W78 (P.T.), W79 (P.T.), W80 (P.T.), W81 (P.T.), W82 (P.T.), W83 (P.T.), W84 (P.T.), 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20'-11"

5'-0"

2'-8"

2'-8"

10'

3'-0"

3'-4"

24'-11"

3'-10"

3'-4"

3'-10"

1'-5"

5'-8"

4'-0"

4'-0"

5/16" P.T. HD. DECKING w/ 1/4" SPACING

W/2 CONTIN.

W/2

W/2

10"

9.5" ENC. JOIST PER JOIST MANUF.

GLAZED DOOR

W/2

10"

9.5" ENC. JOIST PER JOIST MANUF.

LVL 5 (DROP)

WOOD DECK 4'0" x 4'0"

FAMILY ROOM

BREAKFAST

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Architectural elevation drawing of a two-story house. The drawing includes the following dimensions and features:

- Roof:** Gabled roof with a pitch of 6:12. The roof width at the eaves is 9'-4".
- Exterior Walls:** The main walls are 4'-0" high on the second floor and 6'-0" high on the first floor. The total height of the main walls is 10'-0".
- Windows:**
 - Second floor: Three windows, each 4'-0" wide and 3'-6" high. They are labeled "48" x 48" FG".
 - First floor: Four windows, each 4'-0" wide and 6'-0" high. They are labeled "48" x 72" FG".
- Doors:**
 - Front door: 6'-0" high and 3'-0" wide, labeled "FG".
 - Side door: 6'-0" high and 3'-0" wide, labeled "FG".
- Porch:** A front porch with a 4'-0" wide entrance. The porch railing is 42" high.
- Other Dimensions:**
 - Side wall height: 4'-0" (first floor) + 6'-0" (second floor) = 10'-0".
 - Side wall width: 4'-0".
 - Side wall height (excluding porch): 4'-0".
 - Side wall width (excluding porch): 4'-0".
 - Side wall height (including porch): 4'-0" + 4'-0" = 8'-0".
 - Side wall width (including porch): 4'-0" + 4'-0" = 8'-0".
 - Side wall height (including porch): 4'-0" + 4'-0" = 8'-0".
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