

2264 SF.

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8' to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER
(ORC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR FRAMING LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT
WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" o.c. FULL HEIGHT, c/o SOLID
BLOCKING @ 4'-0" o.c. VERTICAL AND 1/16"
EXT. PLYWOOD SHEATHING.

The diagram illustrates a cross-section of a two-storey wall. It shows two horizontal layers of 2x6 studs, with solid blocking (indicated by diagonal hatching) between them. The wall is sheathed with 1/16" plywood on the exterior. Dimensions are given as 12" o.c. for the studs and 4'-0" o.c. for the blocking.

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 18'-0" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

[illegible]

STRUDET INC.
FOR STRUCTURE ONLY

UNREGULATED OPENINGS (PER OBC SB-12.3.1.(7))			
HIGHGROVE SE AND REAR 1	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.42 S.F.	23.15 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	299.90 S.F.	9.98 %
TOTAL SQ. M.	279.24 S.M.	27.86 S.M.	9.98 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 5E AND ELEV. 2	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.67 S.F.	23.20 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.11 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	300.15 S.F.	9.99 %
TOTAL SQ. M.	279.24 S.M.	27.88 S.M.	9.99 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
HIGHGROVE SE AND ELEV. 3	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	299.16 S.F.	9.95 %
TOTAL SQ. M.	279.24 S.M.	27.79 S.M.	9.95 %

<u>AREA CALCULATIONS</u>	<u>ELEV '1'</u>
GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
TOTAL FLOOR AREA	2264 SF (210.33 m ²)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2264 SF (210.33 m ²)
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	90 SF
COVERAGE W/ PORCH	1340 SF (124.43 m ²)
COVERAGE W/O PORCH	1250 SF (116.13 m ²)

<u>AREA CALCULATIONS</u>	<u>ELEV '2'</u>
GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
TOTAL FLOOR AREA	2264 SF (210.33 m ²)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREA	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2264 SF (210.33 m ²)
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	102 SF
COVERAGE W/ PORCH	1352 SF (125.81 m ²)
COVERAGE W/O PORCH	1250 SF (116.13 m ²)

AREA CALCULATIONS		ELEV. '3/3A/3B'
GROUND FLOOR AREA	1024 SF	
SECOND FLOOR AREA	1228 SF	
TOTAL FLOOR AREA	2252 SF	
	(209.22 m ²)	
FIRST FLOOR OPEN AREA	00 SF	
SECOND FLOOR OPEN AREA	00 SF	
ADD TOTAL OPEN AREAS	+00 SF	
ADD FINISHED BSMT AREA	+00 SF	
GROSS FLOOR AREA	2252 SF	
	(209.22 m ²)	
GROUND FLOOR COVERAGE	1024 SF	
GARAGE COVERAGE/AREA	220 SF	
PORCH COVERAGE/AREA	96 SF	
COVERAGE W/ PORCH	1340 SF	
	(124.50 m ²)	
COVERAGE W/O PORCH	1244 SF	
	(115.57 m ²)	

CITY OF HAMILTON.
Building Division
17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
 July 24/11

FOR CHIEF BUILDING OFFICIAL DATE

OCT 04 2017

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 **Greenpark.**

HIGHGROVE 5E

[illegible]

VVO
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

project name	project municipality	project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	1603
date MARCH 2017	TYPICAL NOTES & AREAS	
drawing by	scale	file name
checked by	$3/16'' = 1'-0''$	1603B-HIGHROAD SE
HIT		
EBCG - BLVD-CLASHING WORKS (2016) 1603B AND CLASHING HIGHROAD HIGHROAD-SALISBURY-HIGHROAD, Siding - Fri - Sep (19' 2016) - 1.35 PM		

project name	project municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.
date MARCH 2017	drawing no. 1603
drawn by	TYPICAL NOTES & AREAS
checked by	scale
WT	3/16" = 1'-0"
FILE NAME	1603B-HIGHROAD SE
EBC - BLVD-CLARK HORNING 2016 / 1603B-GREENWAY HIGHROAD HIGHROAD-SALISBURY HIGHROAD, Siding - Fra - Sep. (3' 201) - 1.35 PU	

[illegible]

project name	project municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.
date MARCH 2017	drawing no. 1603
drawn by	TYPICAL NOTES & AREAS
checked by	scale
WT	3/16" = 1'-0"
FILE NAME	160336-HIGHROAD SE
EBCG - BLVD&CUTTING@2016-160336-ON-LAN-KO-GROVE-HIGHROAD-S&T&N-HIGHROAD SE.dwg - Fri - Sep 9 @ 1:41 - 1:35 PM	

project name	project
RUSSELL GARDENS PH.2	WATERDOWN, ON. 1603
date	drawing no.
MARCH 2017	1603
drawn by	checked by
WIT	3/16" = 1'-0"
TYPICAL NOTES & AREAS	
160336-HIGHROAD SE	file name
EXC - BLASTING WORKING 2016-160336 (CLAY) HIGHROAD HIGHROAD - SATURDAY-HIGHROAD 56.5g - Fri - Sep 16 2017 - 1:35 PM 160336-HIGHROAD SE	

project name	project municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.
date MARCH 2017	drawing no. 1603
drawn by	TYPICAL NOTES & AREAS
checked by	scale
WT	3/16" = 1'-0"
file name	1603B-HIGHROAD SE
EBC - BLVD-CLARK HORNING 2016 / 1603B-GREENWAY HIGHROAD HIGHROAD-SALISBURY HIGHROAD Se/dg - Feb - Sep (2017) - 1:35 PM	

project name	project municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.
date MARCH 2017	drawing no. 1603
drawn by	TYPICAL NOTES & AREAS
checked by	scale
WT	3/16" = 1'-0"
file name	1603B-HIGHROAD SE
EBC - BLVD-CLARKSON RD (2016) 1603B AND CLARKSON RD GROVE HIGH ROAD - SATURDAY - HIGH ROAD 56 day - Fri - Sep 19 2016 - 1:35 PM	

project name	project municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.
date MARCH 2017	drawing no. 1603
drawn by	TYPICAL NOTES & AREAS
checked by	scale
WT	3/16" = 1'-0"
FILE NAME	160336-HIGHROAD SE
EBCG - BLVD&CUTTING@2016-160336-ON-LAN-KO-GROVE-HIGHROAD-S&T&N-HIGHROAD SE.dwg - Fri - Sep 9 @ 1:13 PM	

[illegible]

project name	project municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.
date MARCH 2017	drawing no. 1603
drawn by	TYPICAL NOTES & AREAS
checked by	scale
WT	3/16" = 1'-0"
FILE NAME	160336-HIGHROAD SE
EBCG - BLVD&CUTTING@2016-19835(ON)AVENUEHIGHROADSE-SATURN-HIGHROAD SE.dwg - Fri - Sep 16 2017 - 1:35 PM	

project name	project municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.
date MARCH 2017	drawing no. 1603
drawn by	TYPICAL NOTES & AREAS
checked by	scale
WT	3/16" = 1'-0"
FILE NAME	160336-HIGHROAD SE
EBCG - BLVD&CUTTING@2016-160336-ON-LAN-KO-GROVE-HIGHROAD-S&T&N-HIGHROAD SE.dwg - Fri - Sep 9 @ 1:13 PM	

project name	project municipality	project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	1603
date MARCH 2017	TYPICAL NOTES & AREAS	
drawing by	scale	file name
checked by	$3/16'' = 1'-0''$	1603B-HIGHROAD SE
HIT		
EBCG - BLVD-CLASHING WORKS (2016) 1603B AND LANE HIGH ROAD HIGH ROAD - SATURDAY-HIGH ROAD, 8:50am - Fri - Sep 9 (2016) - 1:35 PM		

project name	project
RUSSELL GARDENS PH.2	WATERDOWN, ON. 1603
date	drawing no.
MARCH 2017	1603
drawn by	checked by
WIT	3/16" = 1'-0"
TYPICAL NOTES & AREAS	
160336-HIGHROAD SE	
E502 - BLVD. E. HORNING 2016.15635 (6' ELEV) HIGHROAD HIGHROAD - SAT. 10.16.16 - 1.35 PM	

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project name	project
RUSSELL GARDENS PH.2	WATERDOWN, ON. 1603
date	drawing no.
MARCH 2017	1603
drawn by	checked by
WIT	3/16" = 1'-0"
TYPICAL NOTES & AREAS	
160336-HIGHROAD SE	file name
EXC - BLASTING WORKING 2016 (160336) ON LEAN HOG GROVE HIGHROAD - S&S 13.36-HIGHROAD SE, 56.5g - Fri - Sep 16 2017 - 1:35 PM 160336-HIGHROAD SE	

[illegible]

18.				9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17.				8.				
16.				7 REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW		
15.				6 ISSUED FOR PRICING.	AUG. 23/17	GW		
14.				5 STUCCO REPLACED.	JUL. 05/17	GW	name	24488
13.				4 REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information	BCN
12.				3 CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	VAS Design Inc.	42658
11.				2 REVISED PER CLIENT COMMENTS.	APR. 28/17	GW		
10.				1 PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by	no.	description	date	by	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

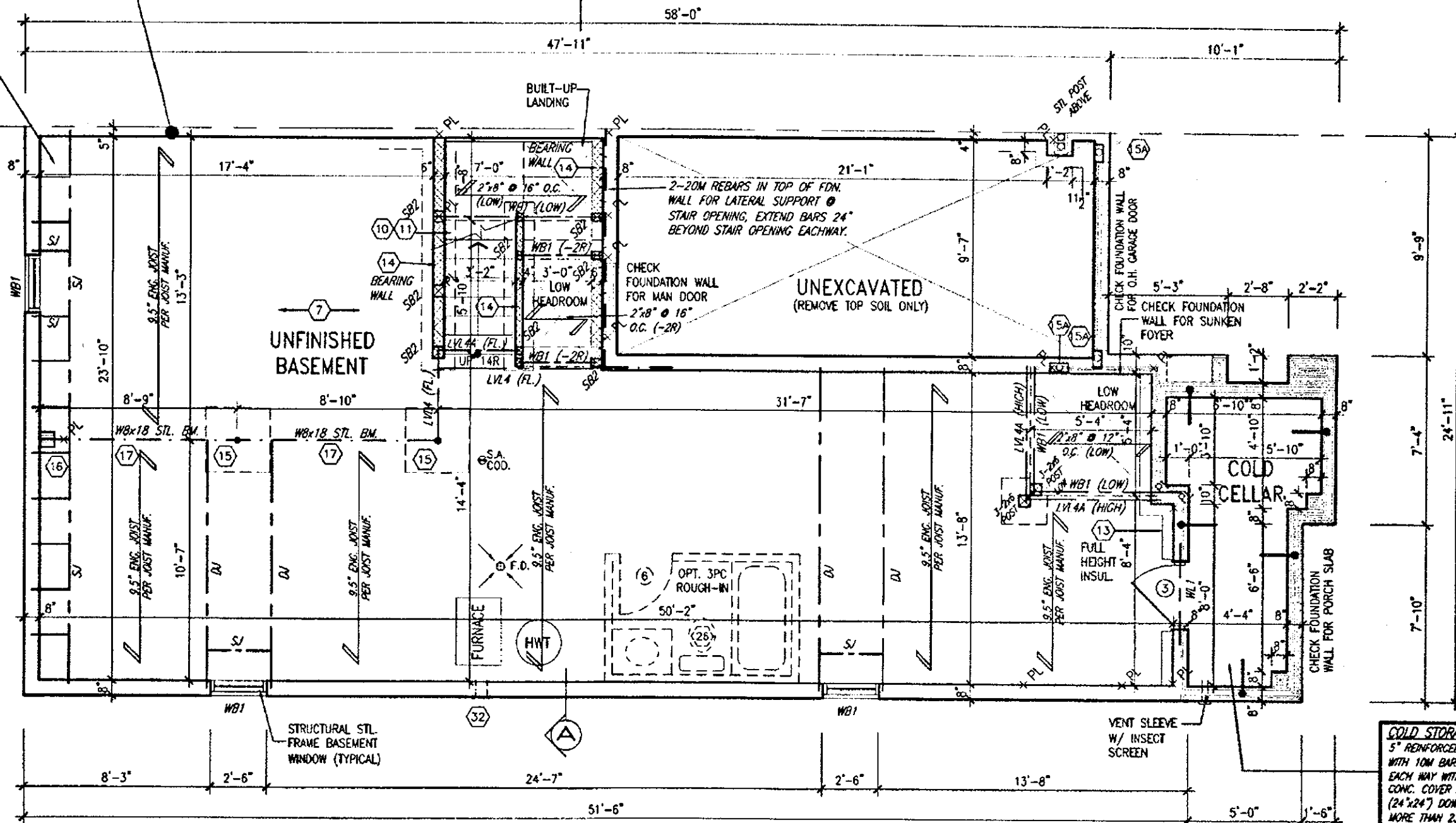
 Greenpark.		HIGHGROVE SE
project name RUSSELL GARDENS PH.2		municipality WATERDOWN, ON.
		project 16036
date MARCH 2017	TYPICAL NOTES & AREAS	
drawn by NIT	checked by 3/16" = 1'-0"	file name 16036-HIGHGROVE SE
drawing no. A0		
NSIC - BLACK FLY MORNING (2016) 16036 CRE (LAW) HIGHGROVE HIGHGROVE SE 16036-HIGHGROVE SE.dwg fr - Sep 19 2017 - 1:25 PM		

2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4, 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT WALL INSULATION (TYP.) (13)

- 6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.

- 2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
- 2"x4" @ 16" o.c. w/ R12 BATT INSULATION.
- EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
DATE: Apr. 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT PLAN ELEV. '3'

CITY OF HAMILTON
Building Division

Permit No. 17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

[Signature] July 24/18
DATE

FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E COMPLIANCE PACKAGE A1

18	REVISED	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	REV. PER CITY COMMENTS REISSUED	FEB. 06/18	GW	Qualification Information
16	REVISED, ISSUED FOR PERMIT	SEP. 28/17	GW	Richards Vink 24488
15	ISSUED FOR PRICING	AUG. 23/17	GW	same registration information
14	STUCCO REPLACED	JUL. 05/17	GW	VAS Design Inc. 42658
13	REVISED AS PER CLIENT COMMENTS	JUN. 21/17	WT	
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
11	REVISED PER CLIENT COMMENTS	APR. 28/17	GW	
10	PRELIMINARY REVIEW	APR. 12/17	GW	
9				
8				
7				
6				
5				
4				
3				
2				
1				

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2G 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

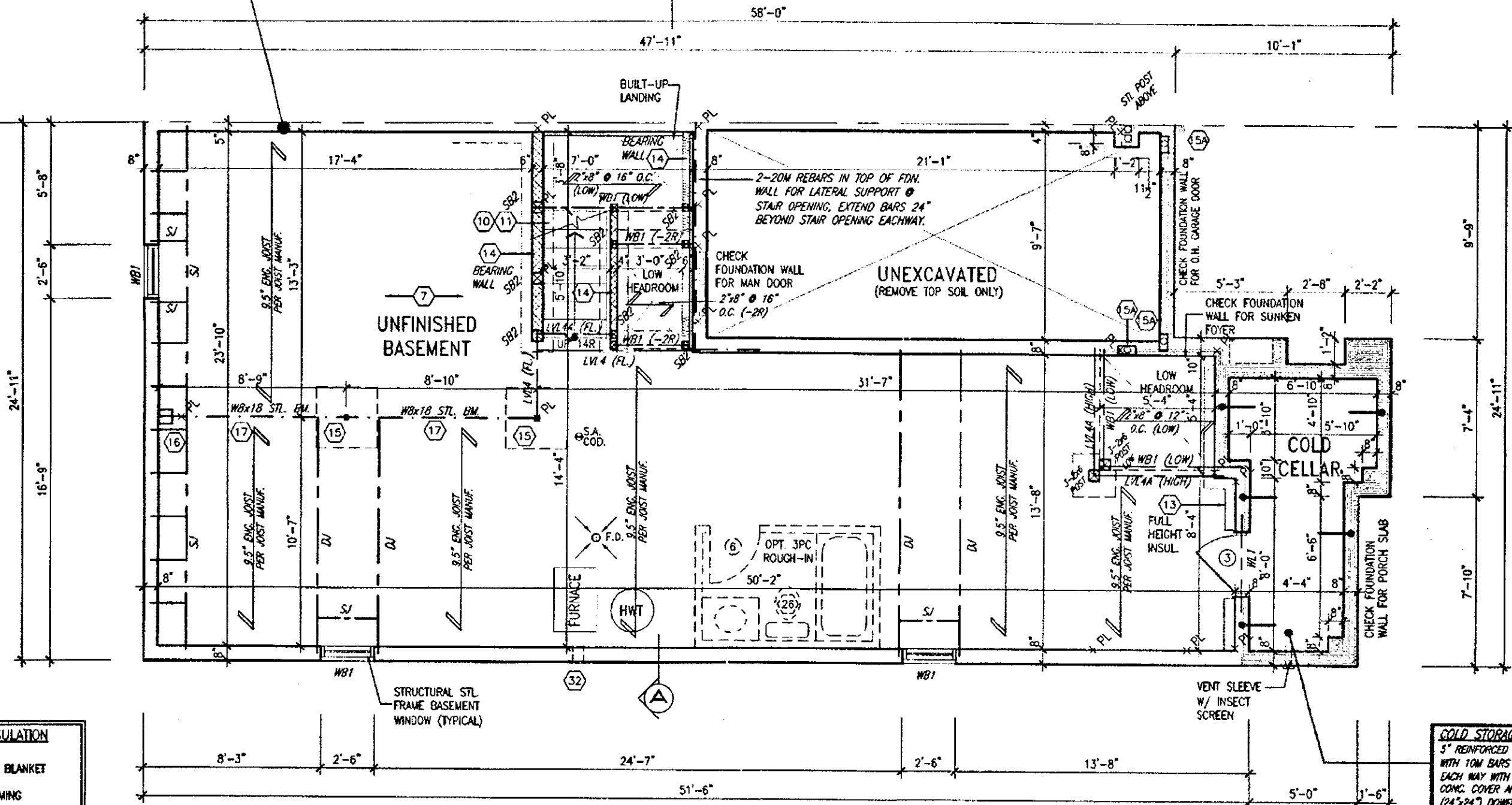
Project Name: RUSSELL GARDENS PH.2
Municipality: WATERDOWN, ON.
Date: MARCH 2017
Scale: 3/16" = 1'-0"

HIGHGROVE 5E

Project No: 16036
Drawing No: 16038-HIGHGROVE 5E
Sheet: A1b

2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: Apr 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



BASEMENT PLAN ELEV. '3A' - B202-UNIT 7/B211-UNIT6/B212-UNIT1

CITY OF HAMILTON
Building Division

Permit No. 17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] July 24/18
FOR CHIEF BUILDING OFFICIAL DATE APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

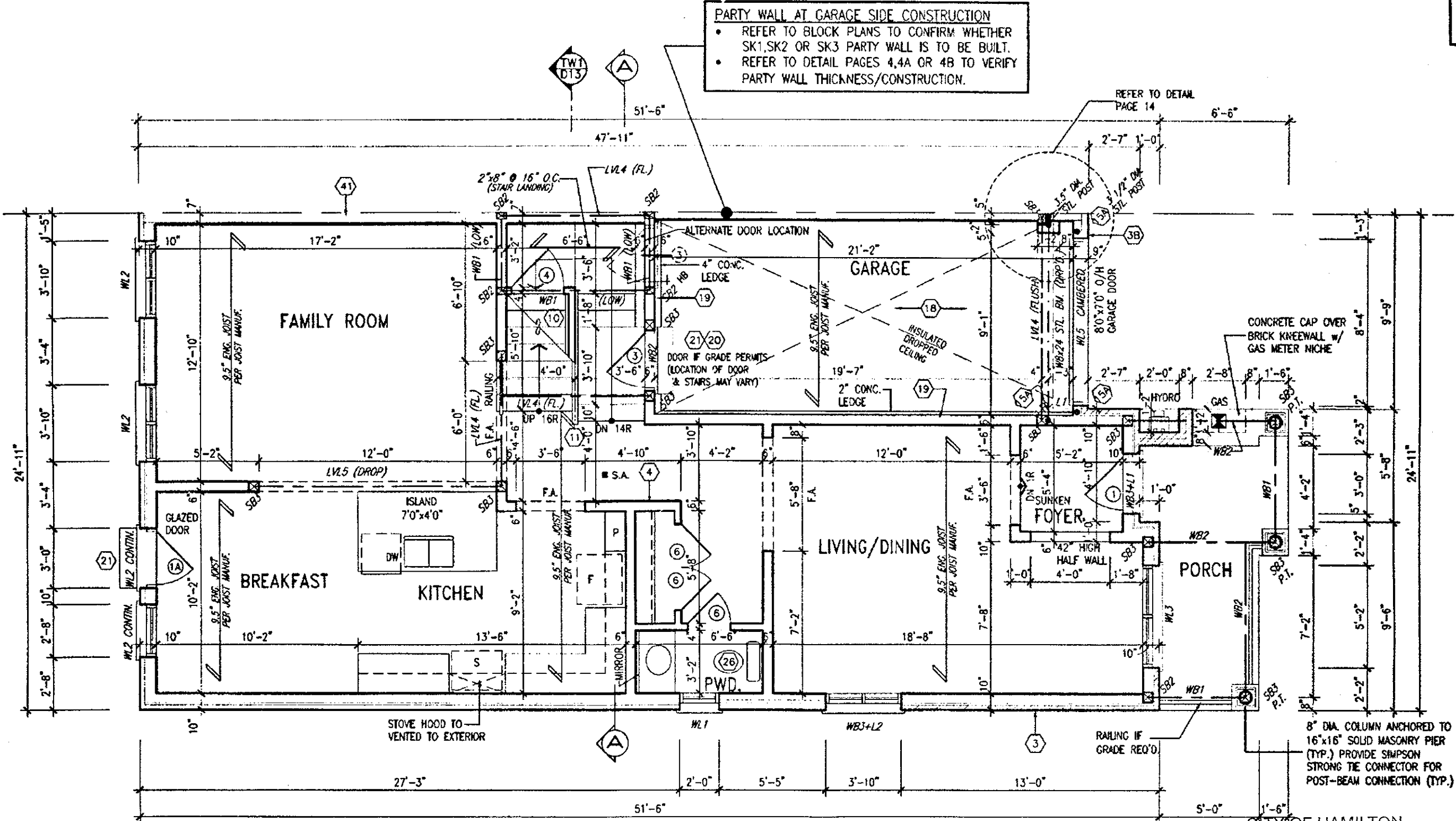
18		9	REVISED	APR 16/18	GW
17		8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	GW
16		7	REVISED ISSUED FOR PERMIT.	SEP 28/17	GW
15		6	ISSUED FOR PRICING.	AUG 23/17	GW
14		5	STUCCO REPLACED.	JUL 05/17	GW
13		4	REVISED AS PER CLIENT COMMENTS	JUN 21/17	WT
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	SW
11		2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW
10		1	PRELIMINARY REVIEW.	APR 12/17	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24483
name
signature
VA3 Design Inc. 47658
registration information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

	HIGHGROVE 5E
project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.
date MARCH 2017	checked by GW
scale 3/16" = 1'-0"	drawing no. 16036-HIGHGROVE 5E
BASEMENT PLAN ELEV. '3A'	
A1c	

2264 SF.



GROUND FLOOR PLAN ELEV. '3'

CITY OF HAMILTON
Building Division

Permit No. 17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

[Signature] July 24/18
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: Apr 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-BX AIR ENTRAINMENT.

NOTE: ROOF FRAMING REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

18			9	REVISED	APR 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	GW	qualification information
16			7	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW	Richard Vink 24488 BCN
15			6	ISSUED FOR PRICING.	AUG 23/17	GW	name registration information VAS Design Inc. 42653
14			5	STUCCO REPLACED.	JUL 03/17	GW	
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	
11			2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW	
10			1	PRELIMINARY REVIEW.	APR 12/17	GW	
9							
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255 Consumers Rd Suite 120
Toronto, ON M2N 1R4
416.630.2255 | 416.630.4782
vasdesign.com



project name RUSSELL GARDENS PH.2 WATERDOWN, ON.

HIGHGROVE 5E

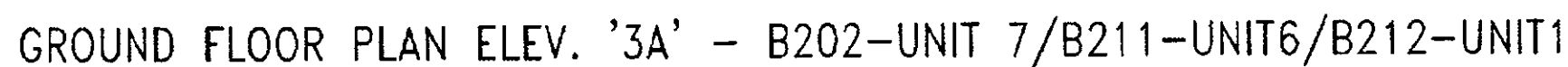
project no. 16036

date MARCH 2017 checked by GW 3/16" = 1'-0" 16036-HIGHGROVE 5E-NEW
drawing no. A2b

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PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4, 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



Permit No. 17-132198

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL _____ DATE July 24/18

HIGHGROVE 5E

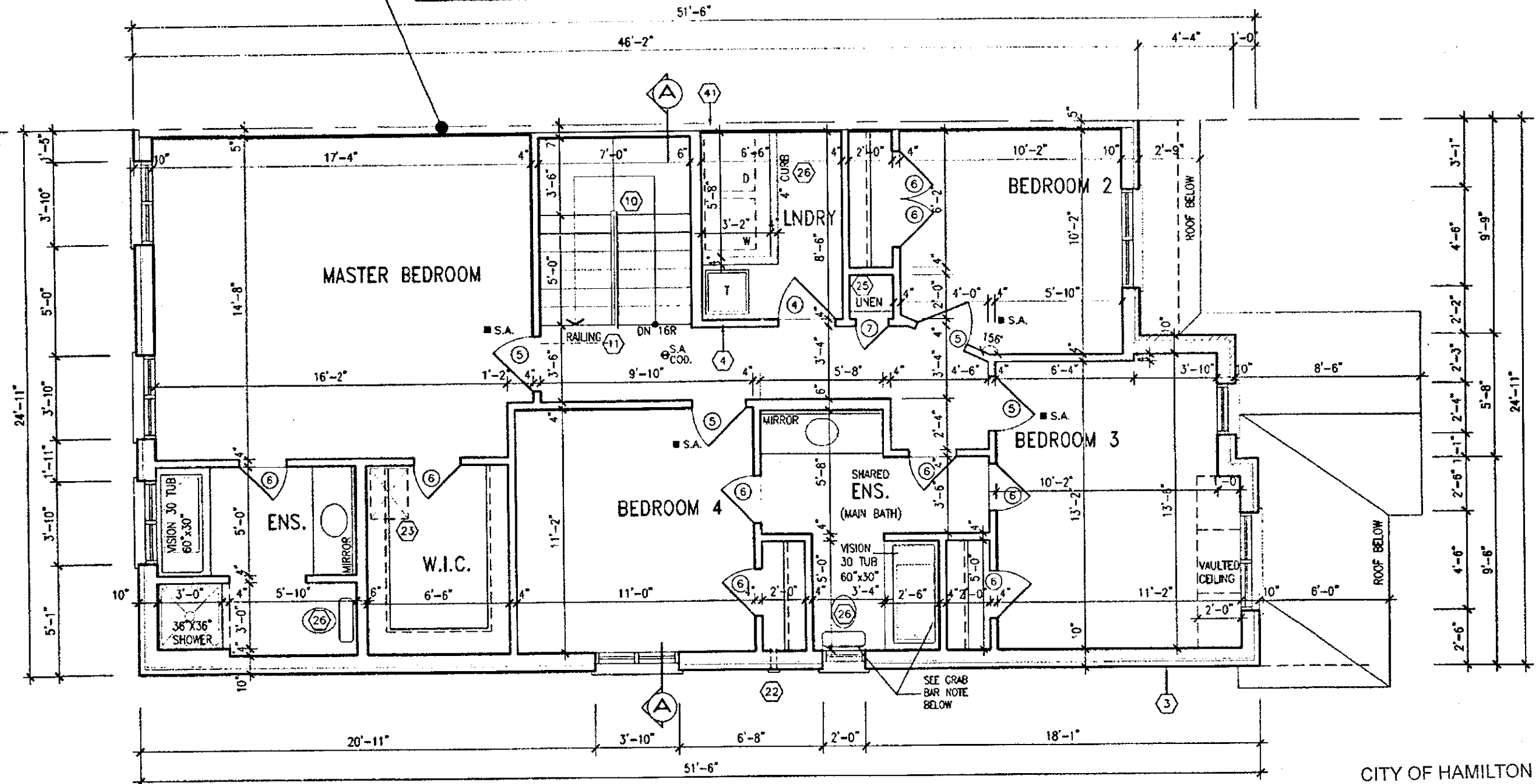
COMPLIANCE PACKAGE A1

A2c

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2264 SF.

- PARTY WALL CONSTRUCTION (UPPER FLOOR)
- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
 - REFER TO BLOCK PLANS.



CITY OF HAMILTON
Building Division

Permit No. 17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

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[Signature] July 21/18
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY *[Signature]*
DATE: Apr. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

18				9	REVISED.	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	qualification information	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink	244
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW	name	8
14				5	STUCCO REPLACED.	JUL. 05/17	GW	registration information	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	GW	VAS Design Inc.	426
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW		
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by	no.	description	date	by		

VA
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
va@va-design.com

Greenpark.

Project Name: RUSSELL GARDENS PH.2
Location: WATERDOWN, ON.
Date: MARCH 2017
Checked by: GW
Scale: 3/16" = 1'-0"

HIGHGROVE 5E

project no. 16036

SECOND FLOOR PLAN ELEV. '3'

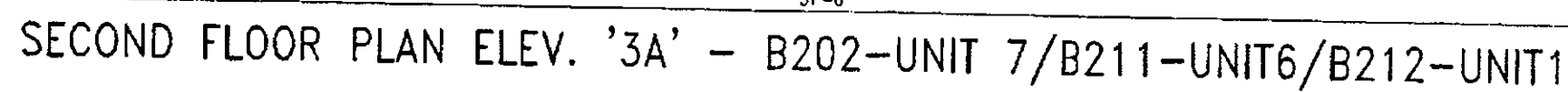
drawing no.

A3b

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PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.

Permit No. 17-132198

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by July 24/18

FOR CHIEF BUILDING OFFICIAL

DATE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: Apr. 20, 2018

DATE: Apr. 20, 2018
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

18				3	REVISED	APR. 16/18	GW
17				8	REV. PER CITY COMMENTS ISSUED.	FEB. 06/18	GW
16				7	REVISED ISSUED FOR PERMIT.	SEP 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				5	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GH
9	description	date	by	no	description		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAD
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255 Consumers Rd Suite 121
Toronto ON M2S 1R4
t 416.630.2255 f 416.630.478
va@vadin.com

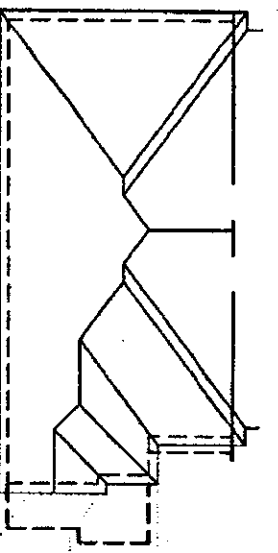
Greenpark.

HIGHGROVE 5E

project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.	project no. 16036
date MARCH 2017	drawing no. SECOND FLOOR PLAN ELEV. '3A'	
drawn by NT	checked by GW	scale 3/16" = 1'-0"
file name 16036-HIGHGROVE SE-NEW		A3c

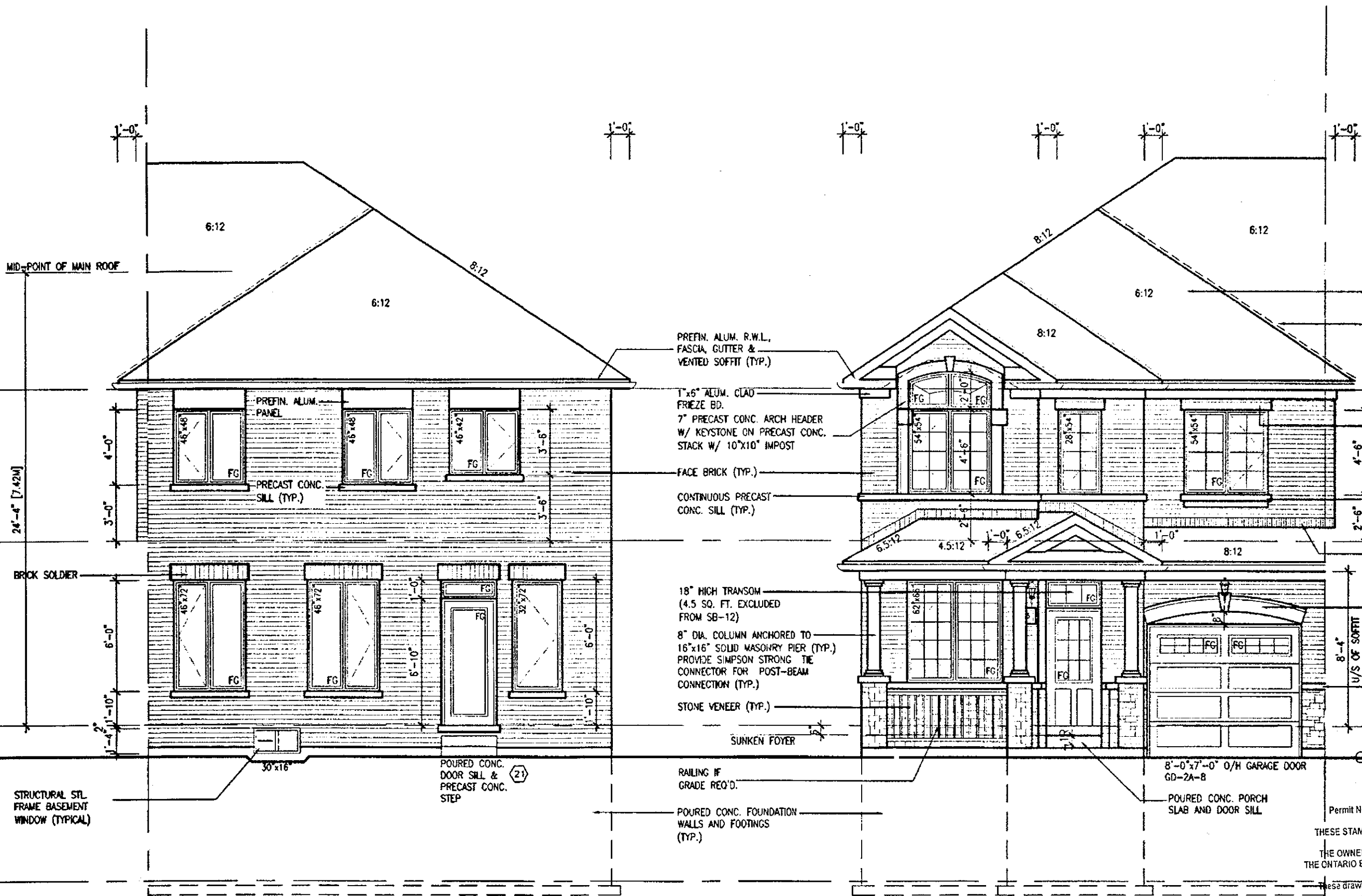
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2264 SF.



ROOF PLAN '3'

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)



REAR ELEVATION '3'

FRONT ELEVATION '3'

CITY OF HAMILTON
Building Division

Permit No. 17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

TOP OF SLAB
APR 17 2018
DATE

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: APR 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18	REVISED.	APR 16/18	GW	The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	REV. PER CITY COMMENTS, REISSUED.	FEB 06/18	GW	qualification information
16	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink 24488 BCN
15	ISSUED FOR PRICING.	AUG 23/17	GW	name
14	STUCCO REPLACED.	JUL 05/17	GW	registration information
13	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	VAS Design Inc. 42658
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
11	REVISED PER CLIENT COMMENTS.	APR 28/17	GW	
10	PRELIMINARY REVIEW.	APR 12/17	GW	
9	DESCRIPTION	DATE	BY	

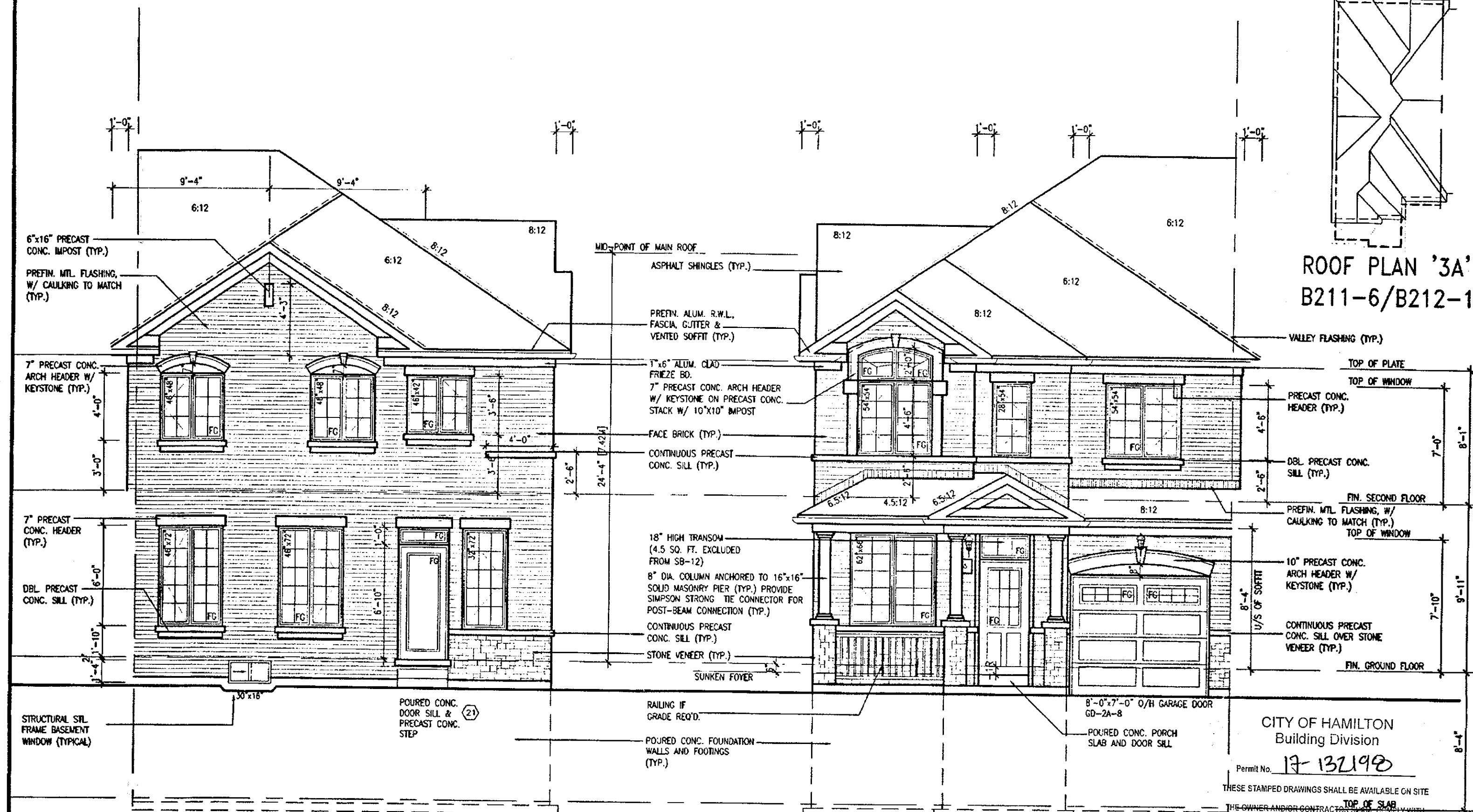
VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
PROJECT NAME
RUSSELL GARDENS PH.2
WATERDOWN, ON.
DATE
MARCH 2017
DRAWN BY
WT
CHECKED BY
GW
SCALE
3/16" = 1'-0"

HIGHGROVE 5E
PROJECT NO.
16036
FRONT AND REAR ELEVATION '3'
DATE
APR 17 2018
DRAWING NO.
A4b

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ROOF PLAN '3A'
B211-6/B212-1



FRONT ELEVATION '3A'
B202-UNIT 7/B211/Unit 6 &
B212/Unit 1

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

APPROVED BY: [Signature]
DATE: Apr. 20, 2018
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

18				3	REVISED.	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink name registration information VAS Design Inc. signature 2448 BC 4263
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	GW	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW	
14				5	STUCCO REPLACED.	JUL. 05/17	GW	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description			



VARD
DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

Project name	Municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON

date MARCH 2017 FRONT & REAR PLAN ELEV. '3A
 drawn by _____ checked by _____ scale _____ file no. _____

WT	GW	3/16" = 1'-0"	16036-HIGHGROVE SE-NEW
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HIGHGROVE 5E

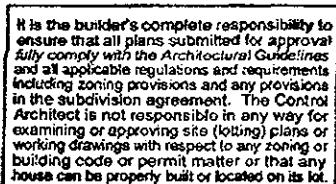
project no.	16036
-------------	-------

drawing no.

A4C

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UPGRADE NOTES FOR BLOCK 208-1
& 208-6 ONLY



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ARCHITECTURAL REVIEW & APPROVAL

OCT 1/6 2017

John G. Williams Limited, Architects

LEFT SIDE ELEVATION '3'

18		-	-	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	-	8			qualification information
16		7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink	2448
15		6	ISSUED FOR PRICING.	AUG. 23/17	GW	signature	60
14		5	STUCCO REPLACED.	JUL 05/17	GW	VAS Design Inc.	4268
13		4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT		
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW		
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW		
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by	no.	description	date	by

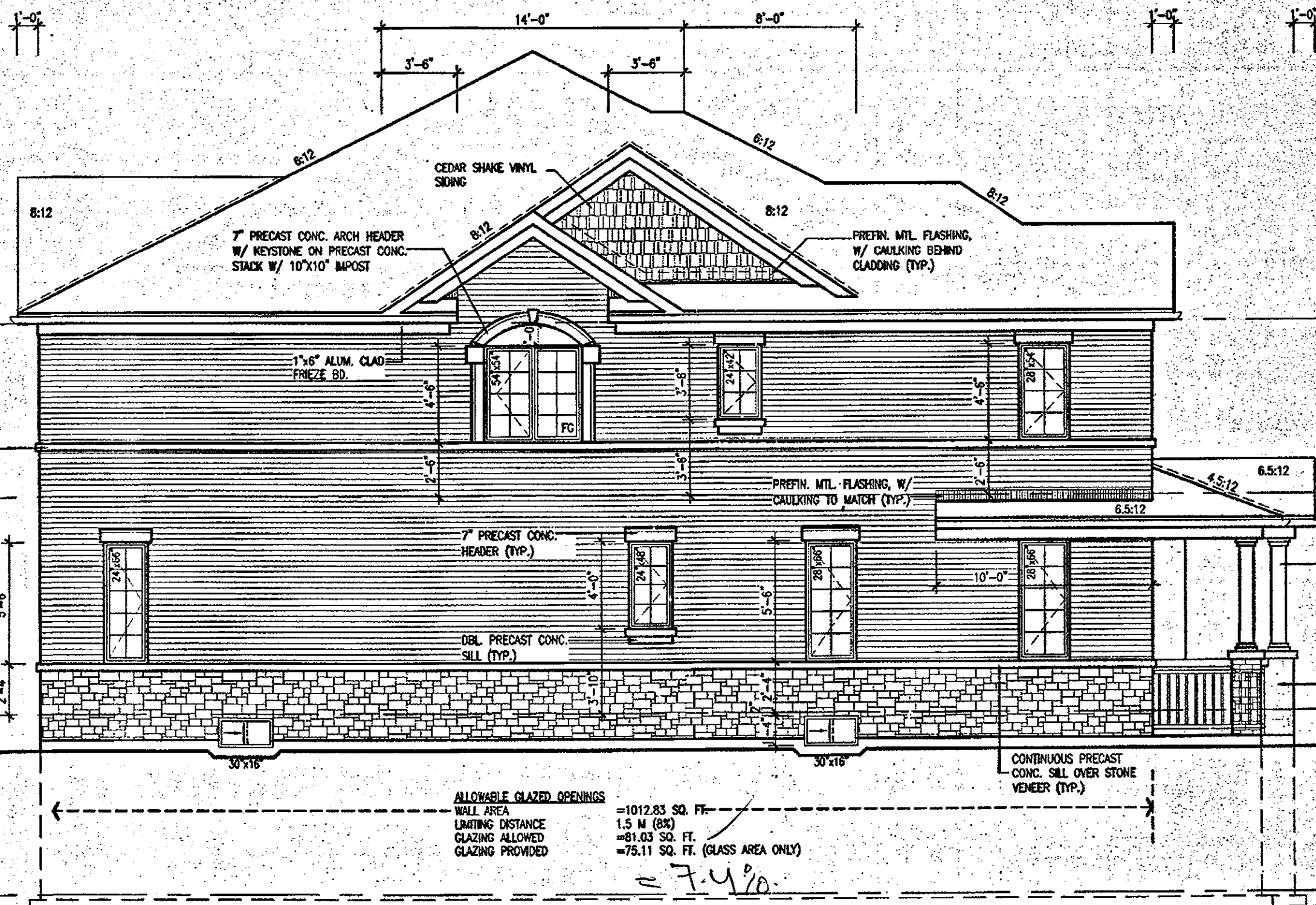
**VA3
DESIGN**
255 Consumers Rd Suite
Toronto ON M2J 1R1
t 416.630.2255 f 416.63
va3design.com

Greenpark.

HIGHGROVE 5E

project name RUSSELL GARDENS PH.2	city WATERDOWN, ON.	project no. 16033
date MARCH 2017	drawing title LEFT SIDE ELEVATION '3'	
drawn by WT	checked by GN	scale 3/16" = 1'-0"
file name 160336-HIGHGROVE SE		drawing no. A5b

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL
OCT 16 2007
John G. ...
... Architect

UPGRADE SIDE ELEVATION '3A'

8'-4" U/S OF SOFFIT

8" DIA. COLUMN ANCHORED TO 16"x16" SOLID MASONRY PIER (TYP.) PROVIDE SIMPSON STRONG TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)

STONE VENEER (TYP.)

TOP OF PLATE

TOP OF WINDOW

7'-0"

8'-1"

FIN. SECOND FLOOR

TOP OF WINDOW

7'-10"

9'-11"

FIN. GROUND FLOOR

8'-4"

CITY OF HAMILTON FIN. GRADE

Building Division

Permit No. **R-132198**

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by:

[Signature] **TOP OF SLAB**

24/10

OCT 04 2017

FOR CHIEF BUILDING OFFICIAL DATE

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

18				9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8		
16			-	7	REVISED, ISSUED FOR PERMIT,	SEP. 28/17 GW
15			-	6	ISSUED FOR PRICING,	AUG. 23/17 GW
14			-	5	STUCCO REPLACED,	JUL. 05/17 SH
13			-	4	REVISED AS PER CLIENT COMMENTS,	JUN. 21/17 WT
12			-	3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17 GW
11			-	2	REVISED PER CLIENT COMMENTS,	APR. 28/17 GW
10			-	1	PRELIMINARY REVIEW,	APR. 12/17 GW
no. description		date	by	no. description	date	by

some registration information
VAS Design Inc.
R. Vink
signature
24488
BCN
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark.		HIGHGROVE 5E	
project name RUSSELL GARDENS PH.2		municipality WATERDOWN, ON.	
		project no. 16036	
date MARCH 2017		drawing no. A5c	
drawn by WT		scale 3/16" = 1'-0"	
checked by GW		file name 16036-HIGHGROVE 5E	
title CONCRETE FOUNDATION PLAN FOR 16036-HIGHGROVE 5E			
date Mar 2017			

2264 SF.

CITY OF HAMILTON
Building Division

Permit No. **17-132198**

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
[Signature]
FOR CHIEF BUILDING OFFICIAL

TOP OF PLATE
TOP OF WINDOW
7'-0"
8'-1"
FIN. SECOND FLOOR
9'-11"
FIN. GROUND FLOOR
FIN. GRADE
8'-4"
TOP OF SLAB

BEDROOM 4

KITCHEN

UNFIN.
BASEMENT

SECTION B ELEV. '3'

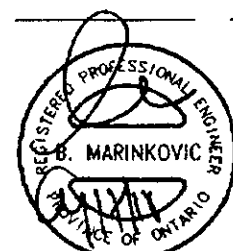
SECTION A-A ELEV. '3'

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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STRUDET INC.
FOR STRUCTURE ONLY

18	REVISED.	APR. 16/18	GW	The designer has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	qualification information
16	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink 24488 BCN
15	ISSUED FOR PRICING.	AUG. 23/17	GW	Home registration information
14	STUCCO REPLACED.	JUL. 05/17	GW	VAS Design Inc. 42653
13	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
11	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10	PRELIMINARY REVIEW.	APR. 12/17	GW	
9	REVISED.	APR. 16/18	GW	
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	
7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	
6	ISSUED FOR PRICING.	AUG. 23/17	GW	
5	STUCCO REPLACED.	JUL. 05/17	GW	
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	description

VAS
DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

Project name
RUSSELL GARDENS PH.2

Municipality
WATERDOWN, ON.

HIGHGROVE 5E

Project no.
16036

DATE
MARCH 2017

Drawn by
WT

checked by
GW

scale
3/16" = 1'-0"

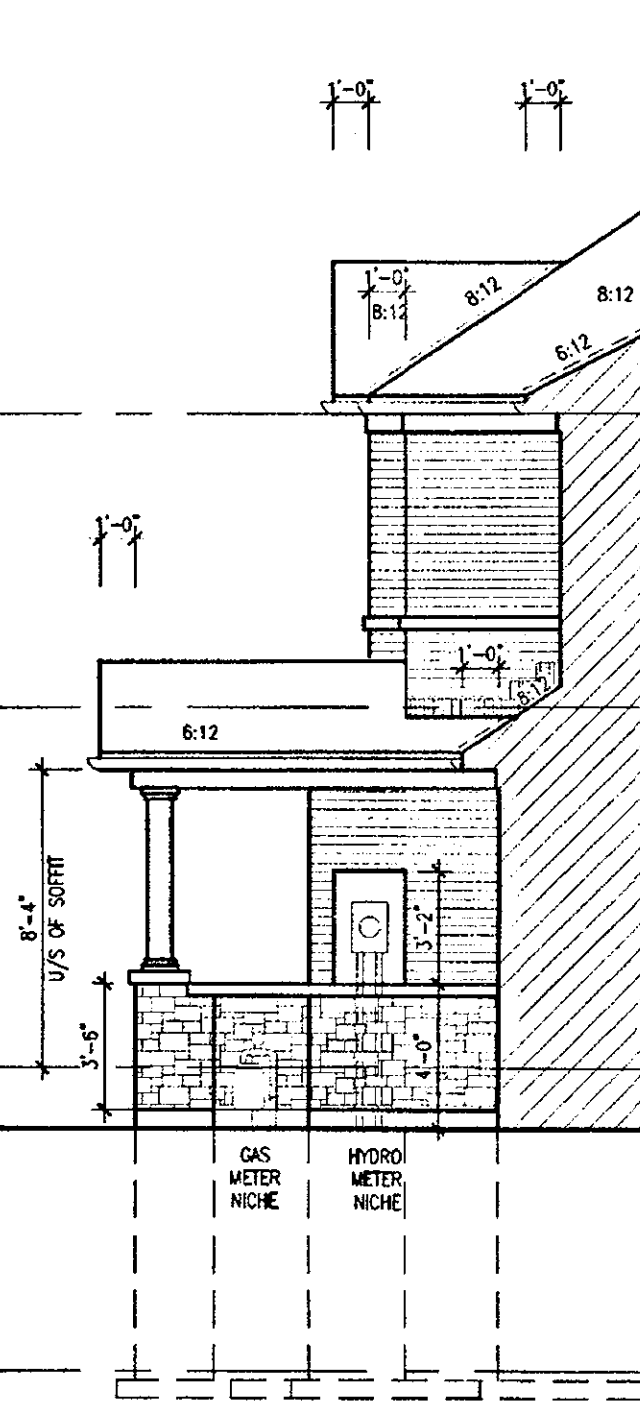
16036-HIGHGROVE 5E-NEW

drawing no.
A6b

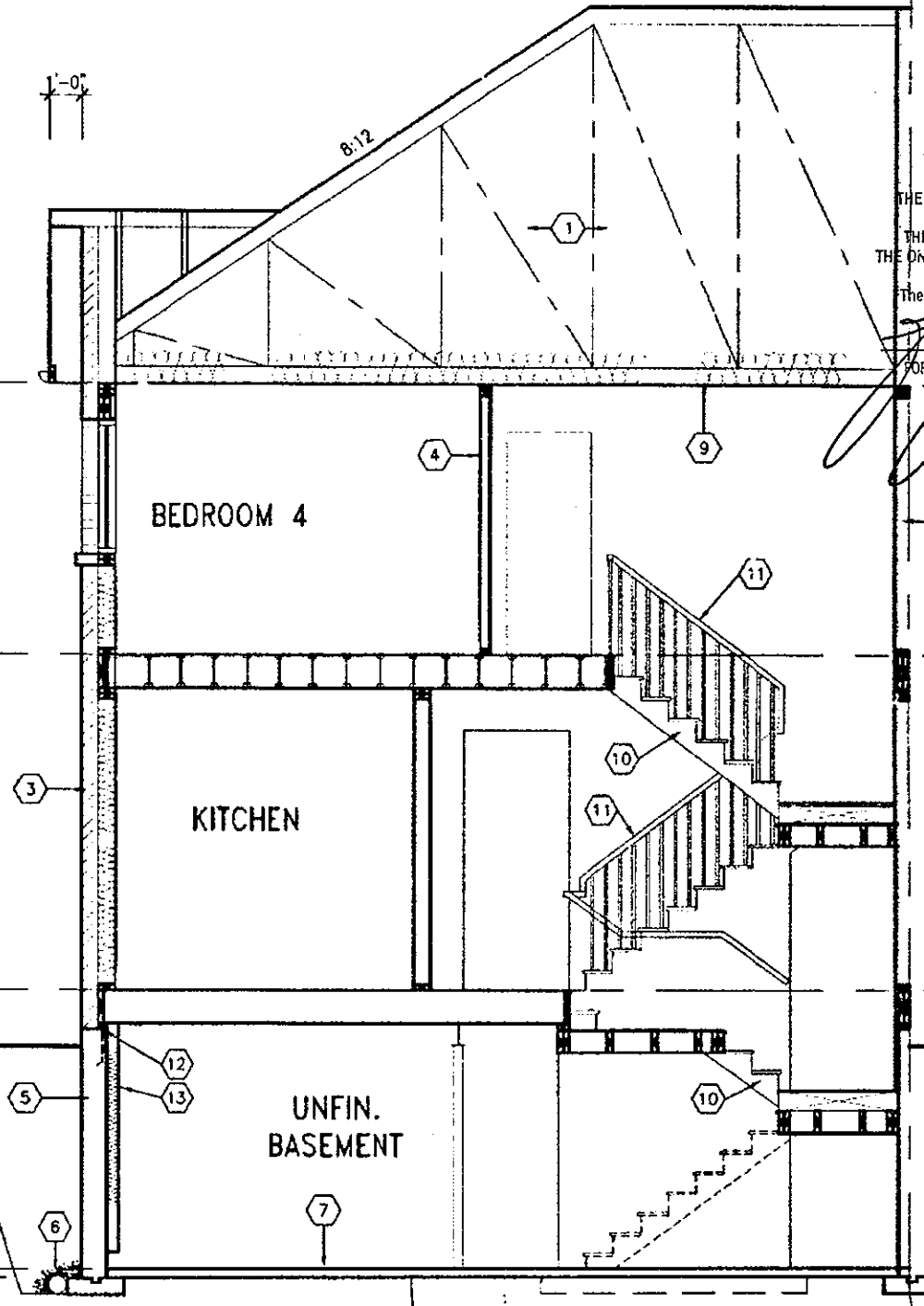
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2264 SF.

UNINSULATED OPENINGS (P.L.R. OBC, SB-12.3.1.1(1))			
HIGHGROVE 5E AND ELEV. 3A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	89.07 S.F.	8.79 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	330.16 S.F.	10.98 %
TOTAL SQ. M.	279.24 S.M.	30.67 S.M.	10.98 %



SECTION B ELEV. 3A



SECTION A-A ELEV. '3A'

CITY OF HAMILTON
Building Division

Permit No. **A 132198**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
[Signature] **July 24/18**
FOR CHIEF BUILDING OFFICIAL

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

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APR 17 2018
HIGHGROVE 5E
COMPLIANCE PACKAGE A1

18		9	REVISED	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t: 416.630.2255 f: 416.630.4782 vasdesign.com	 Project name: RUSSELL GARDENS PH.2 Municipality: WATERDOWN, ON.	HIGHGROVE 5E Project No. 16036
17		8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW				
16		7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	 Richard Vink name signature 24488 BCA 42653	MARCH 2017 Order by checked by 3/16" = 1'-0"	SECTION A-A AND SECTION B ELEV. '3A'	drawing no. A6c
15		6	ISSUED FOR PRICING.	AUG. 23/17	GW				
14		5	STUCCO REPLACED.	JUL. 05/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	16036-HIGHGROVE 5E-NEW	16036-HIGHGROVE 5E-NEW	11/22/18
13		4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT				
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	16036-HIGHGROVE 5E-NEW	16036-HIGHGROVE 5E-NEW	11/22/18
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW				
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	16036-HIGHGROVE 5E-NEW	16036-HIGHGROVE 5E-NEW	11/22/18
9									
no. description		date by no. description		date by					

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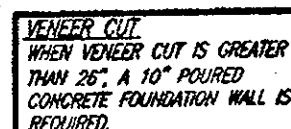
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

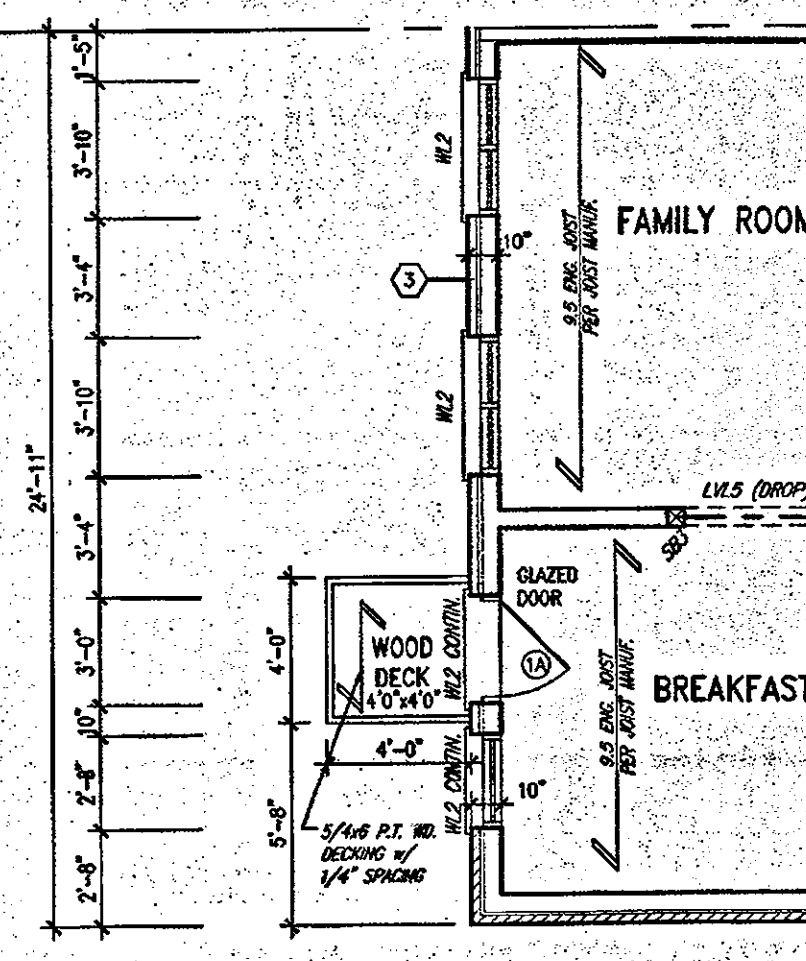
SEP 16 201

John G. Williams Limited, Architects



TO CONFIRM FOOTING SIZE)
PART. BASEMENT PLAN - ELEV. '1/2/3'/3A
W.O.B. CONDITION

LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2) FOR
ADDITIONAL WOOD DECK INFORMATION.



PART. GROUND FLOOR PLAN- ELEV. '1/2/3'/3A
W.O.B CONDITION CITY OF HAMILTON

Permit No. _____

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL



STRUDET INC.
FOR STRUCTURE ONLY

OCT 04 2017

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

17			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer. VAB DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 T 416.630.2255 F 416.630.4782 vabdesign.com	*Greenpark.* project name RUSSELL GARDENS PH.2 date MARCH 2017 drawn by GW scale 3/16" = 1'-0" sheet no. 16036-HIGHGROVE SE-4 DWG - HAWORTH GREEN INC./225 NISSER RD/WATERDOWN/ON/M2J 1P6/PHONE 516-294-1111 FAX 516-294-1112	HIGHGROVE SE project 16036-HIGHGROVE SE drawing no. A12	
16		8							
15		7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17 GW	qualification information				
14		6	ISSUED FOR PRICING.	AUG. 23/17 GW	Richard Vink				24488
13		5	STUCCO REPLACED.	JUL. 05/17 GW	name				BCH
12		4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT	registration information				42658
11		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17 GW	VAS Design Inc.				
10		2	REVISIONS PER CLIENT COMMENTS.	APR. 28/17 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are subject to change without notice. The property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				
9		1	PRELIMINARY REVIEW.	APR. 12/17 GW					
no.	description	date	by	no.	description				date

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2264 SF.

CITY OF HAMILTON
Building Division

Permit No. 17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by gk-h July 24/80.

FOR GREE BUILDING OFFICIAL _____ DATE _____

TOP OF PLATE

TOP OF WINDOW

7-0"

FIN. SECOND FLOOR

TOP OF WINDOW

TOP OF TRANSOM

FIN. GROUND FLOOR

TOP OF SLAB

UPGRADED REAR ELEVATION '3A'
WOB CONDITION

OCT 14 2017

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

HIGHGROVE 5E

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

OCT 18 2017

John G. Williams Limited, Architects

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
17				8			
16				7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW qualification information:
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW Richard Vink 2448
14				5	STUCCO REPLACED.	JUL. 05/17	GW name signature BC
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT registration information VAS Design Inc. 4265
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GH Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at completion of the work. Drawings are not to be scaled.
10				1	PRELIMINARY REVIEW.	APR. 12/17	GH
no.	description	date	by	no.	description	date	by

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

project name	manipulation
RUSSELL GARDENS PH.2	WATERDOWN, ON.

DATE: MARCH 2017
DRAWN BY: WT
CHECKED BY: GW
SCALE: 3/16" = 1'-0"
THE NAME: 16036-HIGHGROVE SE

JOB CONDITION file name 16035-HIGHGROVE 5E	drawing no. A13d
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