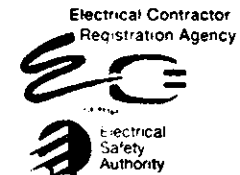
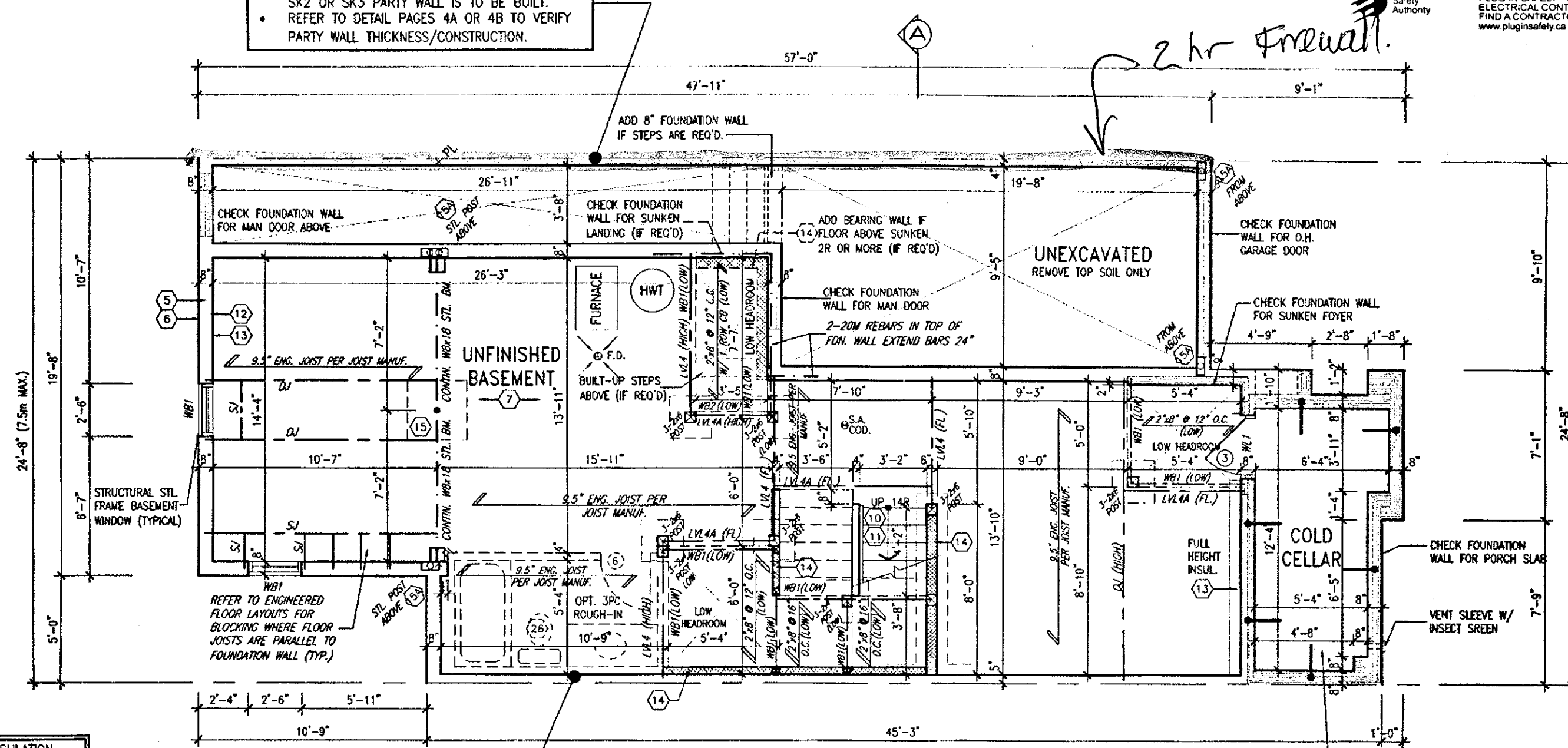


1796 SF.



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233). PLUG IN SAFELY - HIRE A LICENSED ELECTRICAL CONTRACTOR AT www.plugin safely.ca

PARTY WALL AT GARAGE SIDE CONSTRUCTION
 • REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
 • REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



BASEMENT WALL INSULATION
 (TYP) 13
 -6\" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
 -2\" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
 -2\"x4\" @ 16\"o.c. w/ R12 BATT INSULATION.
 -EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2\"x4\" WALL WHERE LOAD BEARING.

PARTY WALL AT HOUSE SIDE CONSTRUCTION
 • REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
 • REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

COLD STORAGE SLAB
 5\" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8\"o.c. EACH WAY WITH MIN. 1 1/4\" CONC. COVER AND 10M BENT (24\"x24\") DOMES SPACED NOT MORE THAN 23 5/8\"o.c.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: Apr. 20, 2018
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BASEMENT PLAN - ELEV. 3

CITY OF HAMILTON
 Building Division

Permit No. 17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and specifications have been reviewed by [Signature] July 24/18 17 2018
 FOR CHIEF BUILDING OFFICIAL DATE



3	REVISED.	APR. 13/18	GW
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
8	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
5	ISSUED FOR PRICING.	AUG. 23/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WI
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW
no	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 Richard Wink 24488
 name registration information BCN
 VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be scaled.

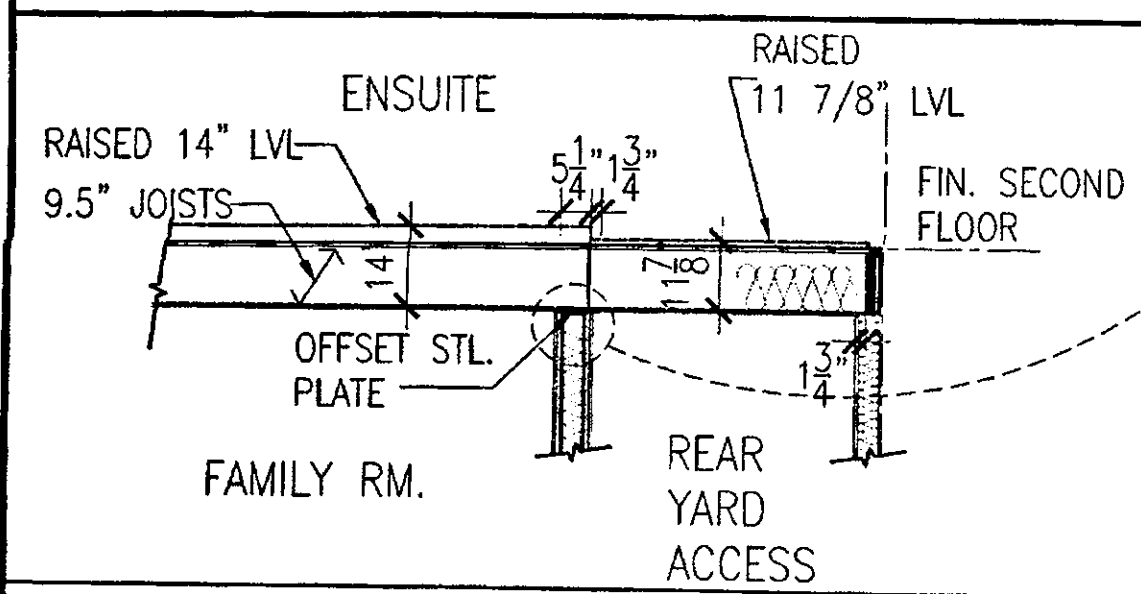
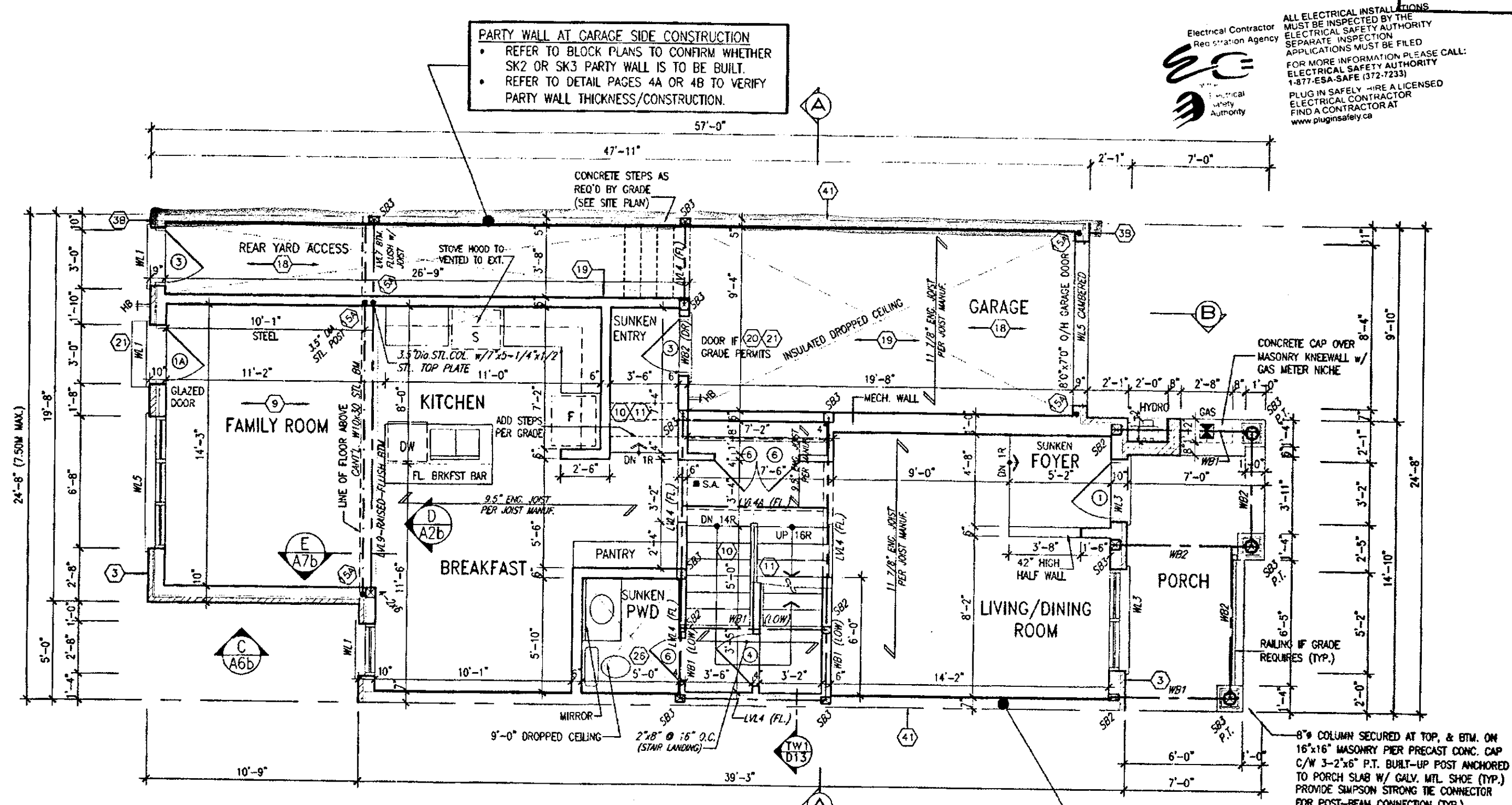


Greenpark.

project name: RUSSELL GARDENS PH.2
 municipality: WATERDOWN, ON.
 date: APRIL 2017
 checked by: [Signature]
 scale: 3/16\" = 1'-0\"
 project no.: 16036-HIGHGROVE 2
 drawing no.: A1b

HIGHGROVE-2
 COMPLIANCE PACKAGE 'A1'

1796 SF.



D A2b

WOOD BEAMS OVER FAMILY RM.

Not to Scale

CITY OF HAMILTON Building Division

Permit No. **17132198**

REGISTERED PROFESSIONAL ENGINEER

MARINKOVIC

STRUDET INC.

FOR STRUCTURE ONLY

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

APPROVED BY:

DATE: APR 20, 2018

THIS STAMP CERTIFIES COMPLIANCE WITH THE APPLICABLE DESIGN GUIDELINES ONLY AND BEARS NO FURTHER PROFESSIONAL RESPONSIBILITY.

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JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

DATE: APR 20, 2018

THIS STAMP CERTIFIES COMPLIANCE WITH THE APPLICABLE DESIGN GUIDELINES ONLY AND BEARS NO FURTHER PROFESSIONAL RESPONSIBILITY.

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

9	REVISED	APR 13/18	GW
8	REV. PER CITY COMMENTS, REISSUED	FEB 08/18	GW
7	REVISED FOR PERMIT	SEP 22/17	GW
6	ISSUED FOR PRICING	AUG 23/17	GW
5	REVISED AS PER CLIENT COMMENTS	JUN 21/17	WT
4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
3	REVISED PER CLIENT COMMENTS	APR 27/17	GW
2	PRELIMINARY REVIEW	APR 12/17	GW
1	DESCRIPTION	DATE	BY

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information

Richard Vink

name

24488

BCA

VA3 Design Inc.

42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

416.630.2255 / 416.630.4782

va3design.com

VA3 DESIGN

Greenpark.

HIGHGROVE 2

RUSSELL GARDENS PH.2

WATERDOWN, ON.

GROUND FLOOR PLAN - ELEV. 3

DATE: APRIL 2017

checked by: 3/16" = 1'-0"

16038-HIGHGROVE 2

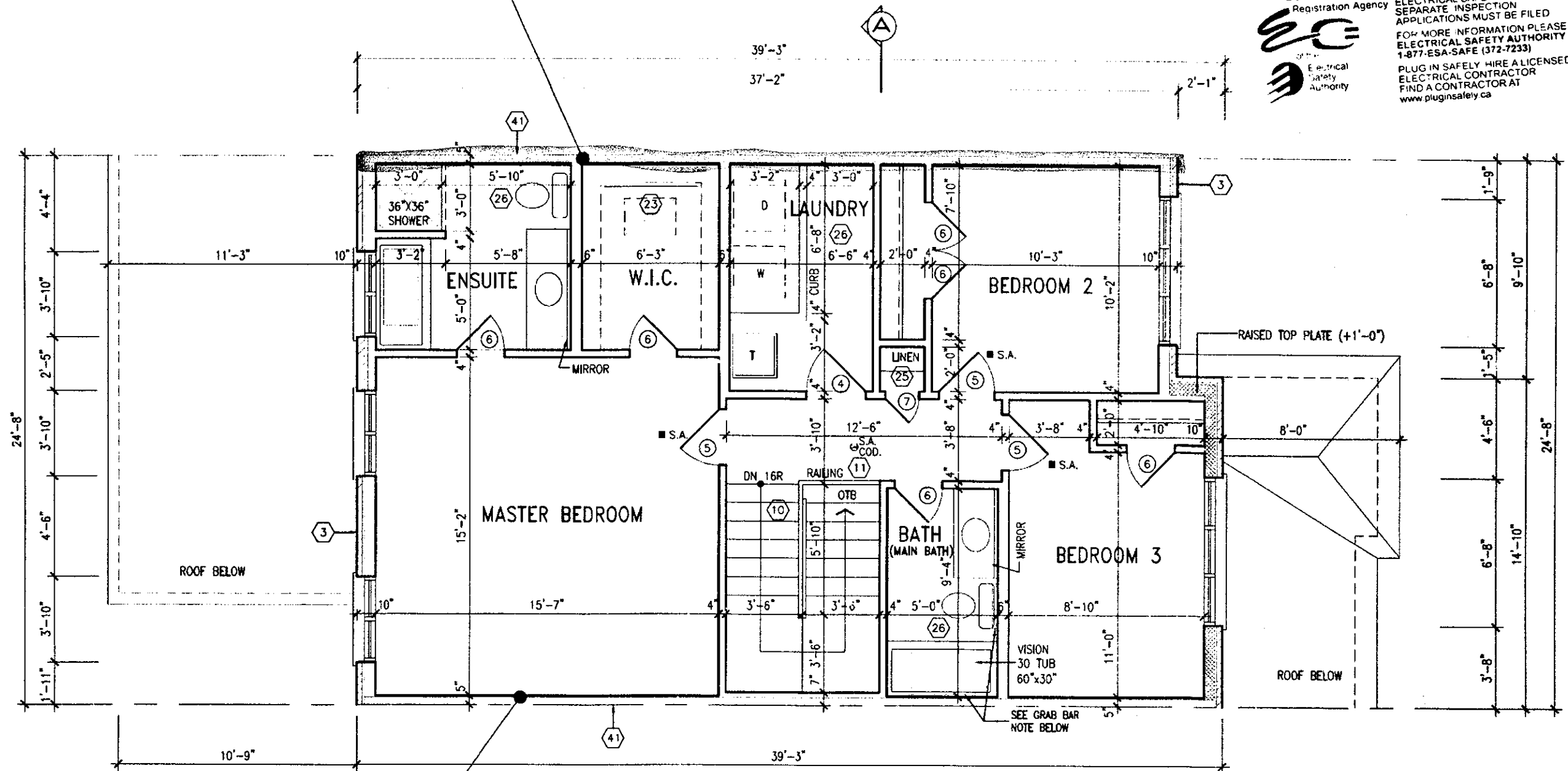
A2b

1796 SF.

- PARTY WALL CONSTRUCTION (UPPER FLOOR)
- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
 - REFER TO BLOCK PLANS.



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- PARTY WALL CONSTRUCTION (UPPER FLOOR)
- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
 - REFER TO BLOCK PLANS.

SECOND FLOOR PLAN - ELEV. 3

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

CITY OF HAMILTON
Building Division

Permit No. 17-132198

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE

FEB 09 2018

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HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW	Richard Vink 24488
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	BCN
5	ISSUED FOR PRICING.	AUG. 23/17	GW	42658
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	
1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no	description	date	by	

VA
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T 416.630.2255 F 416.630.4782
va3design.com

Greenpark.

project name	RUSSELL GARDENS PH.2	municipality	WATERDOWN, ON.	project no.	16036
date	APRIL 2017	checked by	scale	3/16" = 1'-0"	16036-HIGHGROVE 2
drawn by		checked by	scale	3/16" = 1'-0"	16036-HIGHGROVE 2
drawn by		checked by	scale	3/16" = 1'-0"	16036-HIGHGROVE 2

HIGHGROVE 2

SECOND FLOOR PLAN - ELEV. 3

A3b

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1796 SF.

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ARCHITECTURAL REVIEW & APPROVAL

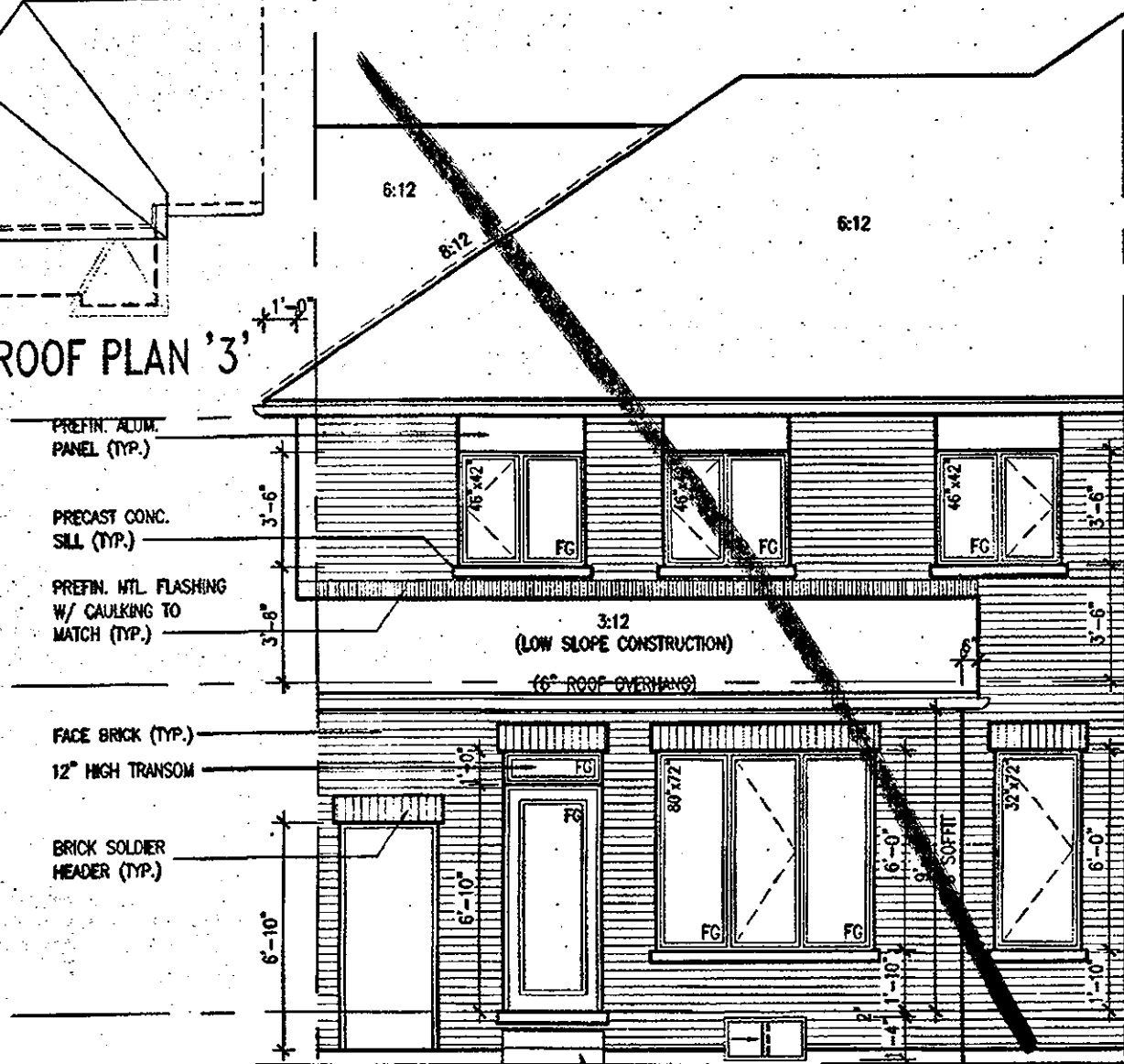
OCT 18 2017

John G. Williams Limited, Architect

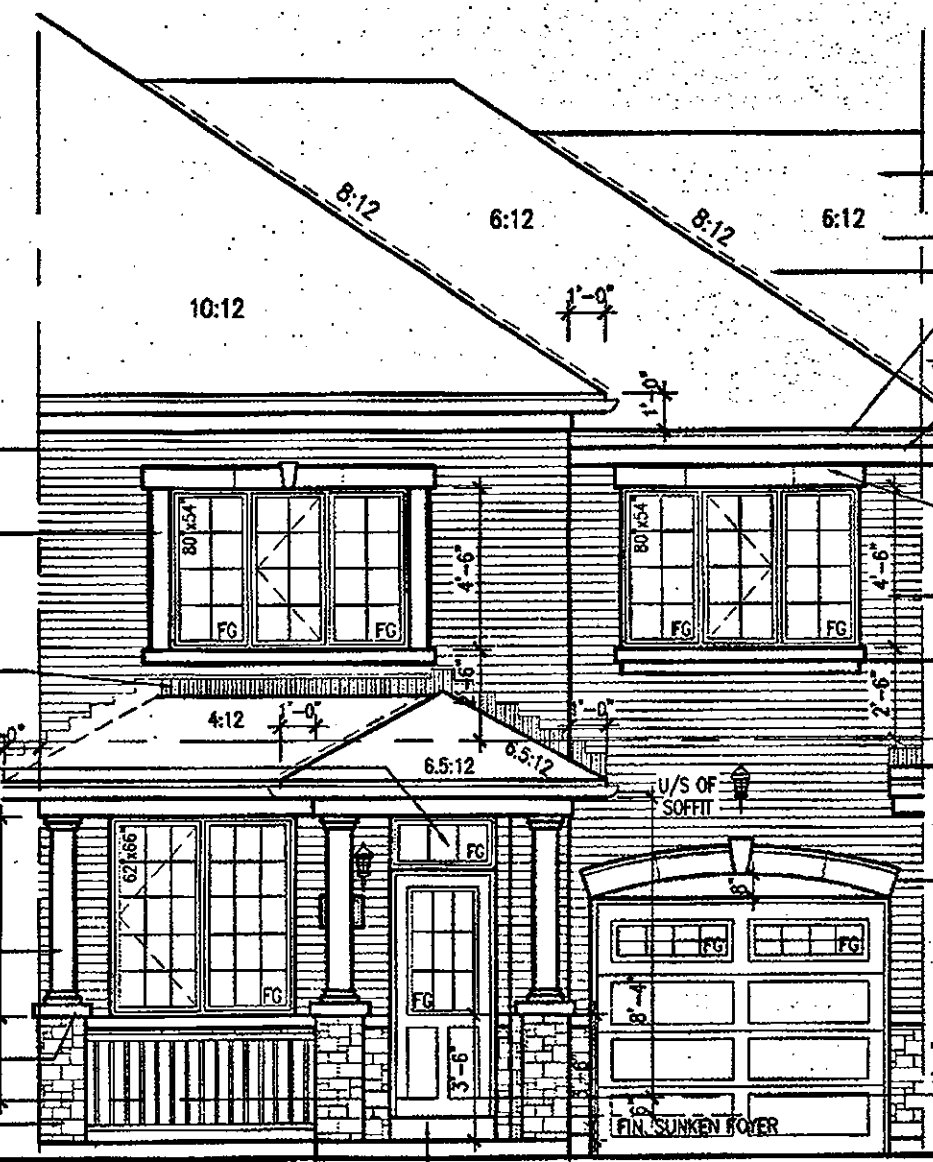


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ROOF PLAN '3'



REAR ELEVATION
ELEV. 3



FRONT ELEVATION
ELEV. 3

CITY OF HAMILTON
Building Division

Permit No. 17-132198

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These drawings and/or specifications have been reviewed by *[Signature]* for CHIEF BUILDING OFFICIAL. DATE OCT 04 2017

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.
3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.				qualification information	
7.				Richard Vink	24483
6.	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	none	6021
5.	ISSUED FOR PRICING.	AUG. 23/17	GW	none	
4.	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	qualification information	42658
3.	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	VAS Design Inc.	
2.	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1.	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name: RUSSELL GARDENS PH.2
location: WATERDOWN, ON.
date: APRIL 2017
scale: 3/16" = 1'-0"
drawing no.: 16036-HIGHGROVE 2
drawing no.: A4b

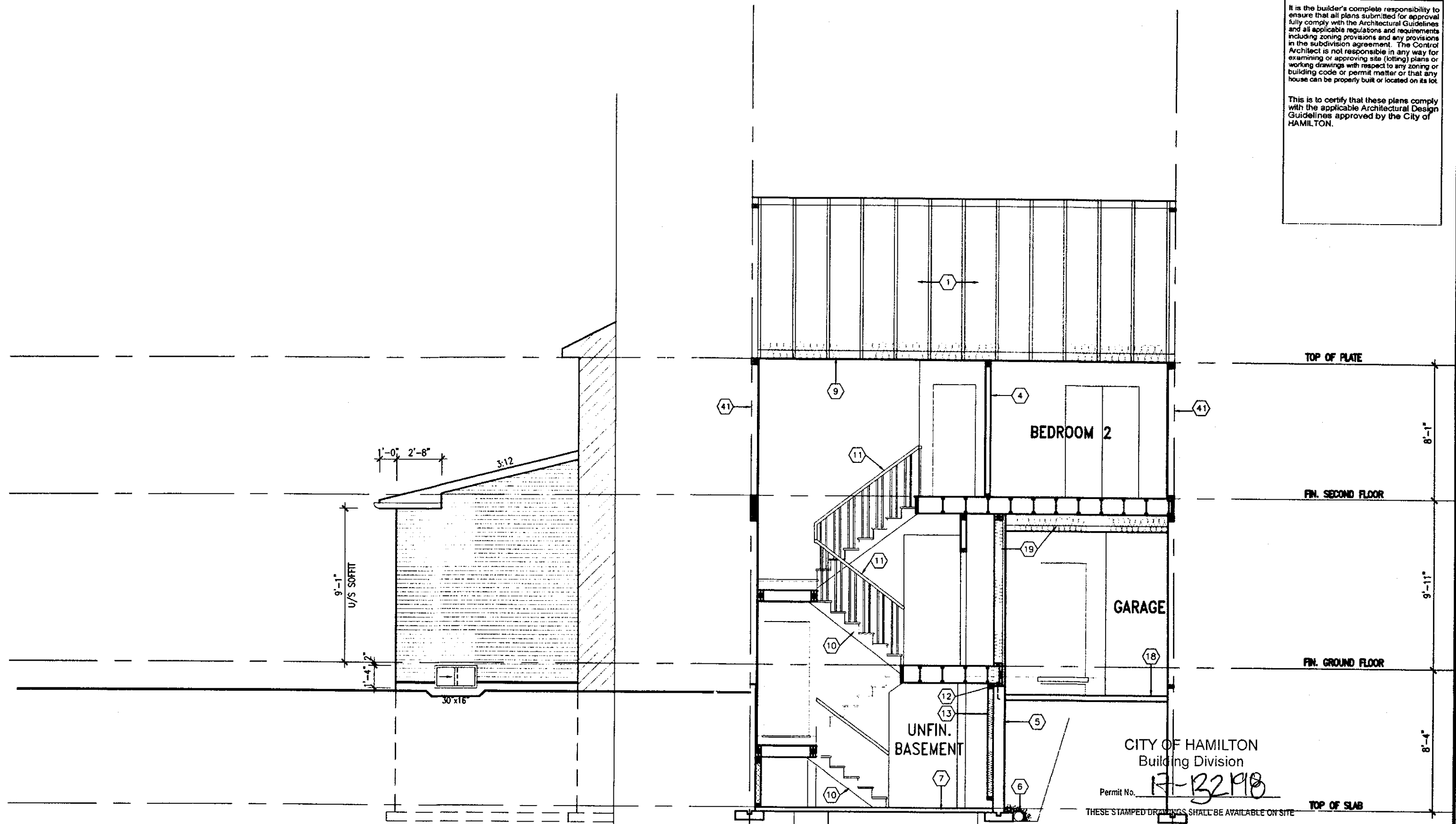
HIGHGROVE 2
project no.: 16036
drawing no.: A4b

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1796 SF.

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C SIDE ELEV. '3'

ALLOWABLE GLAZED OPENINGS
WALL AREA = 115.56 SQ. FT.
LIMITING DISTANCE 1.5 M (10%)
GLAZING ALLOWED = 11.55 SQ. FT.
GLAZING PROVIDED = 2.44 SQ. FT. (GLASS AREA ONLY)

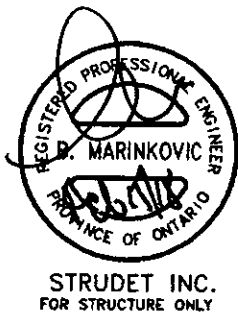
SECTION A-A ELEV.

CITY OF HAMILTON
Building Division
Permit No. **17-132198**

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
[Signature] **July 24/18**
FOR CHIEF BUILDING OFFICIAL DATE
FEB 15 2018

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

9					
8					
7	REV. PER CITY COMMENTS, ISSUED.	FEB. 08/18	GW		
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW		
5	ISSUED FOR PRICING.	AUG. 23/17	GW		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW		
2	REVISED PER CLIENT COMMENTS	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 25/17	GW		
0	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name registration information
VAS Design Inc. 42658

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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
3/16" = 1'-0"
checked by
18036-HIGHGROVE 2
scale
18036-HIGHGROVE 2
drawing no.
A6b

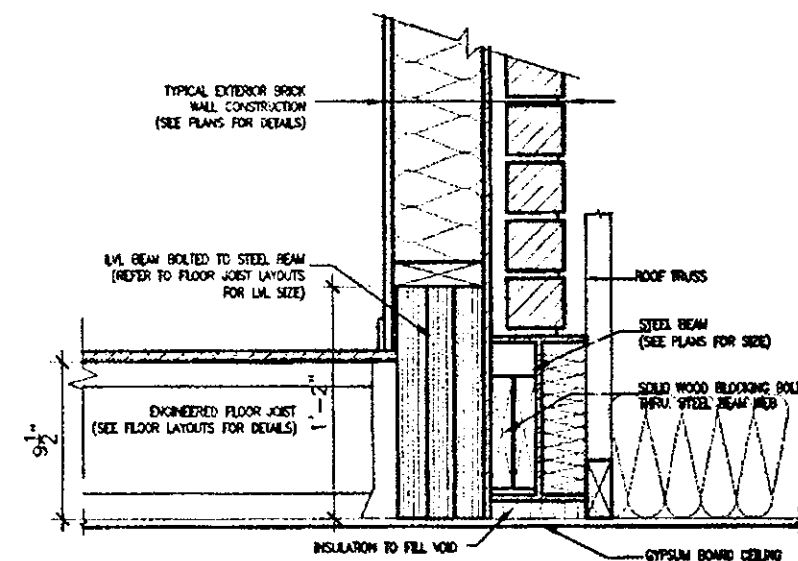
HIGHGROVE 2
project no.
16036
drawing no.
A6b

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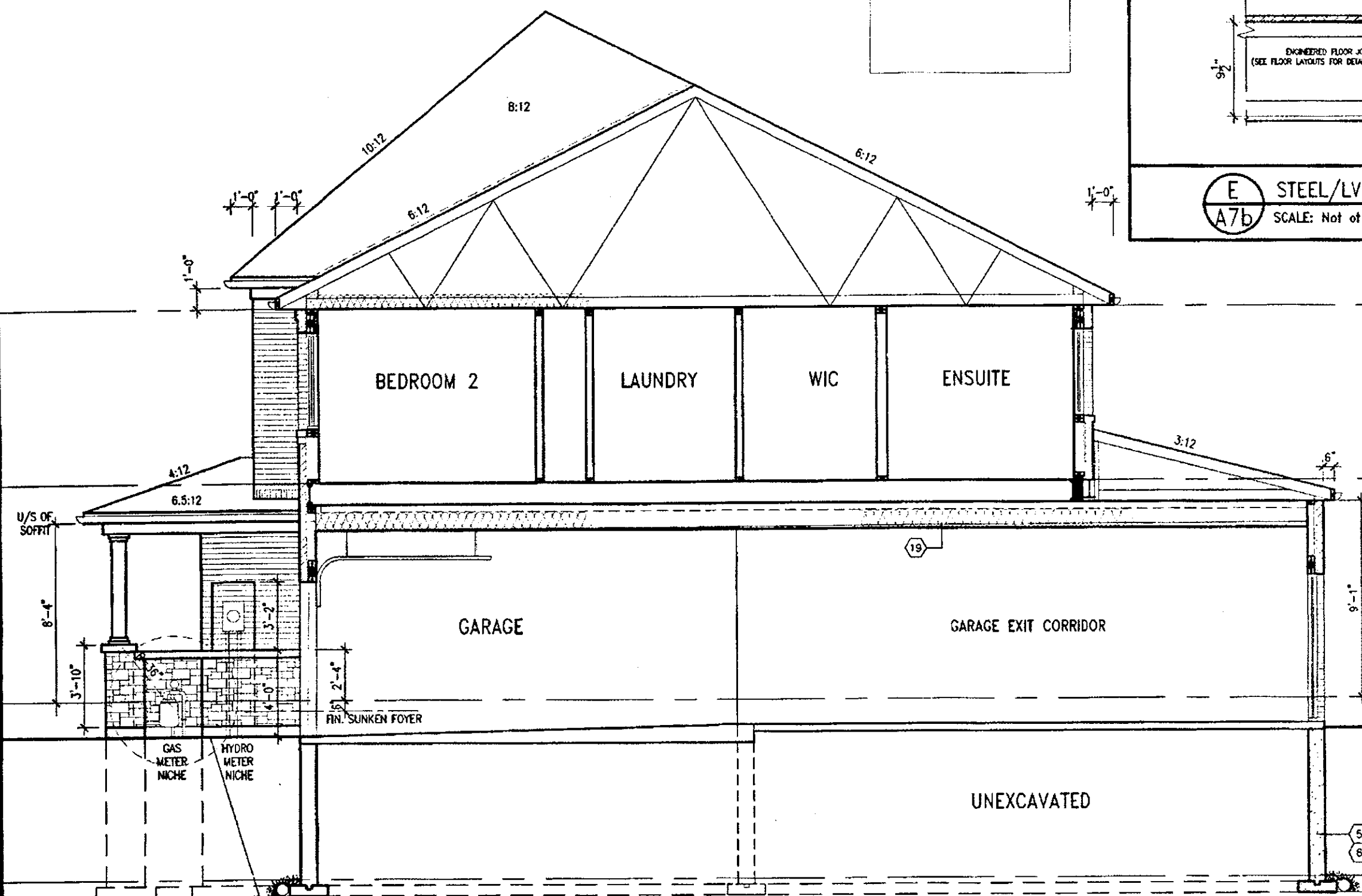
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

HIGHGROVE 2- BEAMS OVER FAMILY ROOM

1796 SF.



E STEEL/LVL BEAM OVER FAMILY RM.
A7b SCALE: Not of Scale



TOP OF PLATE
TOP OF WINDOW
7'-0"
8'-1"
FIN. SECOND FLOOR
9'-11"
FIN. GROUND FLOOR
FIN. GRADE
WHERE BASEMENT IS EXCAVATED
6'-11" MAX FOR 15 TIPS
TOP OF SLAB

SECTION B-B
ELEV. 3



8	REVISED.	APR. 13/18	SW
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	SW
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
5	ISSUED FOR PRICING.	AUG. 23/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW
0	no description	DATE	BY

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qualification information
Richard Wink
signature
24488
BCN
registration information
VAS Design Inc.
42658
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VAS DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2N 1R4
416.630.2255 416.630.4762
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
city
WATERDOWN, ON.
municipality
project no.
16036
date
APRIL 2017
checked by
scale
3/16" = 1'-0"
drawing no.
16036-HIGHGROVE 2
SECTION B-B ELEV. 3
A7b

HIGHGROVE 2
COMPLIANCE PACKAGE 'A1'

1796 SF.

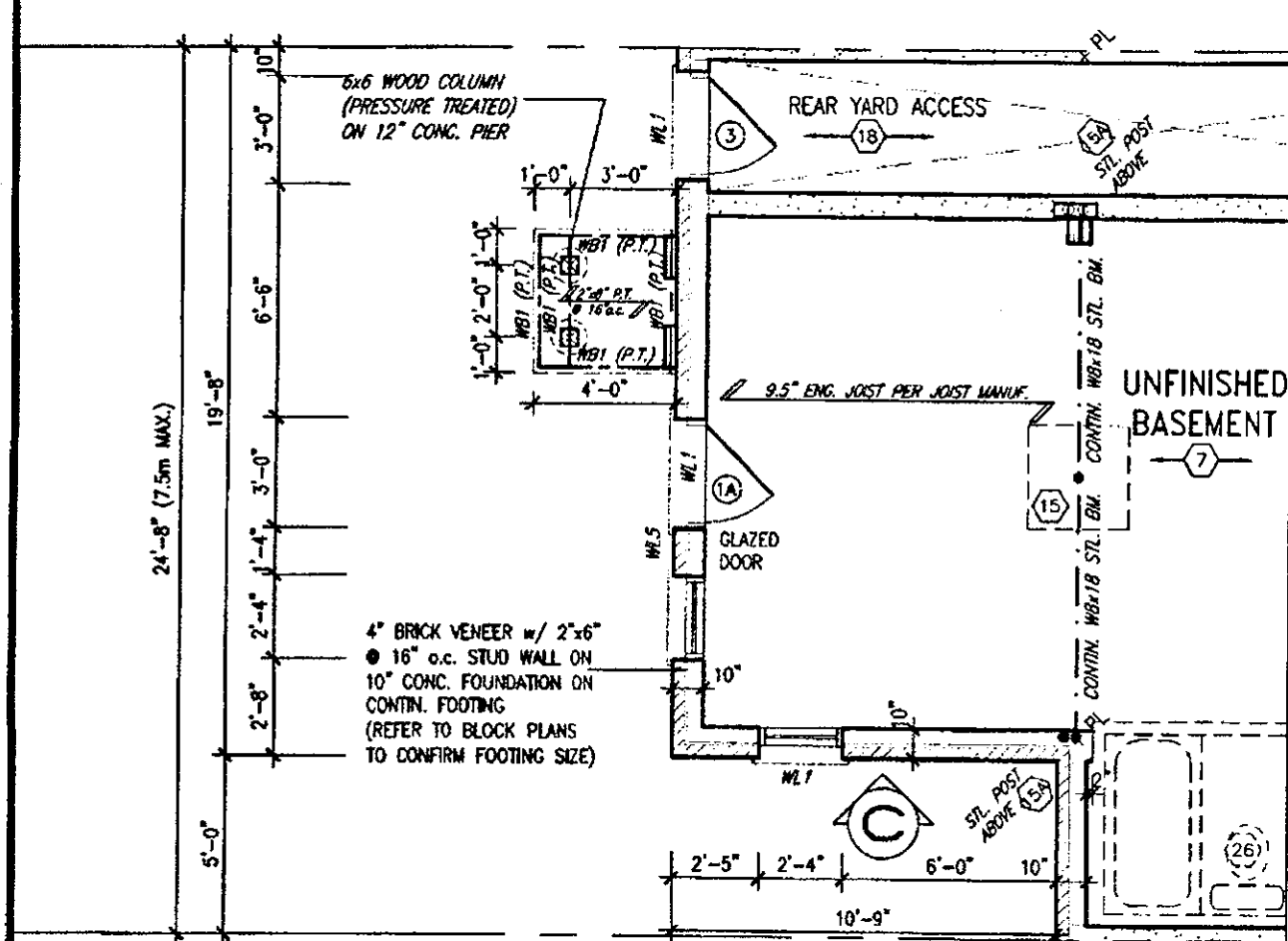
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: APR 20 2018

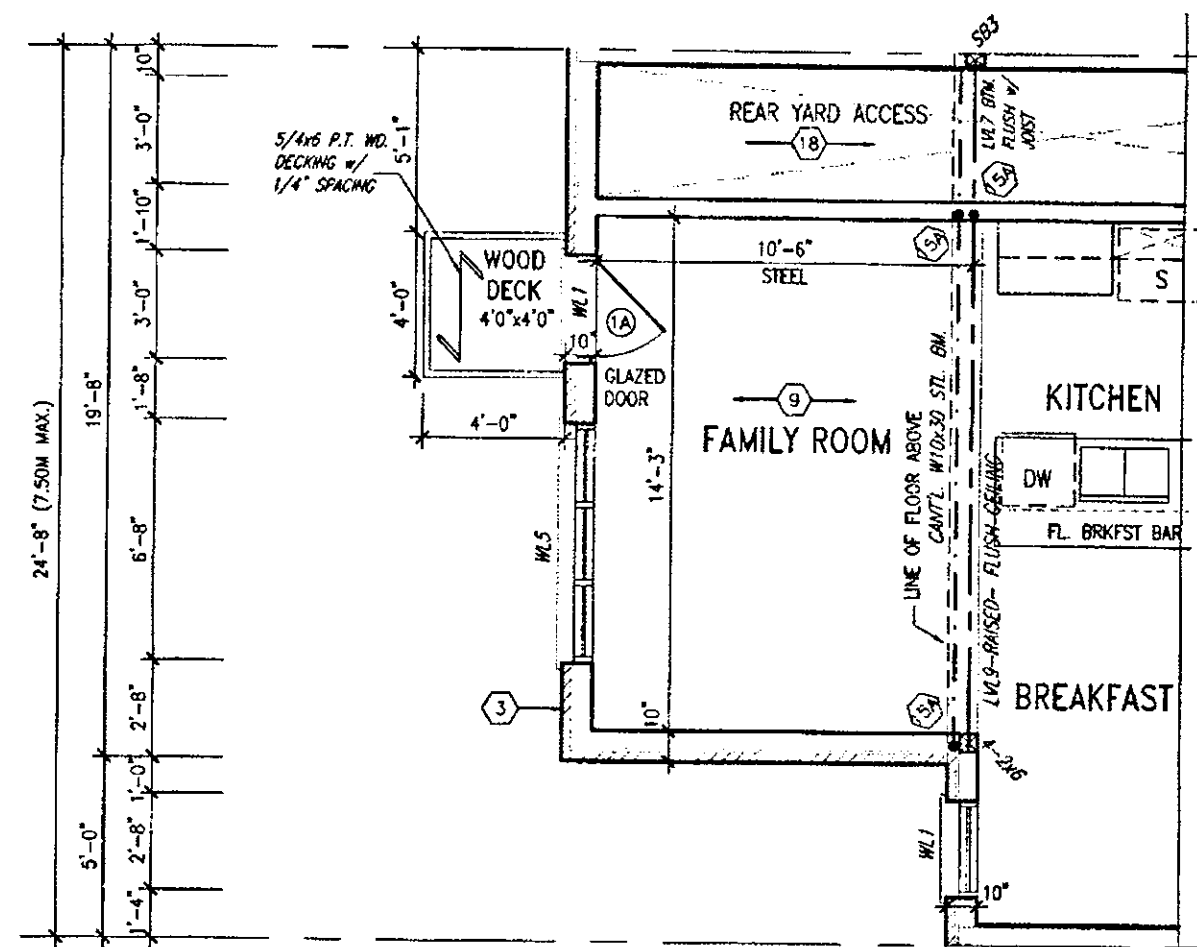
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26\", A 10\"/>

PART. BASEMENT PLAN
W.O.B CONDITION

LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2)
FOR ADDITIONAL WOOD DECK INFORMATION.



PART. GROUND FLOOR PLAN
W.O.B CONDITION



CITY OF HAMILTON
Building Division

Permit No. 17-132190

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

3	REVISED	APR 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7	REV. PER CITY COMMENTS, REISSUED.	FEB 08/18	GW	qualification information
5	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	VA3 Design Inc.
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	PRELIMINARY REVIEW.	APR. 12/17	GW	date
no	description.	date	by	

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.

Project Name: **RUSSELL GARDENS PH.2** Municipality: **WATERDOWN, ON.**

date: **APRIL 2017** checked by: **scale: 3/16\"/>**

down by: **16036-HIGHGROVE 2**

HIGHGROVE 2

project no. **16036**

drawing no. **A11**

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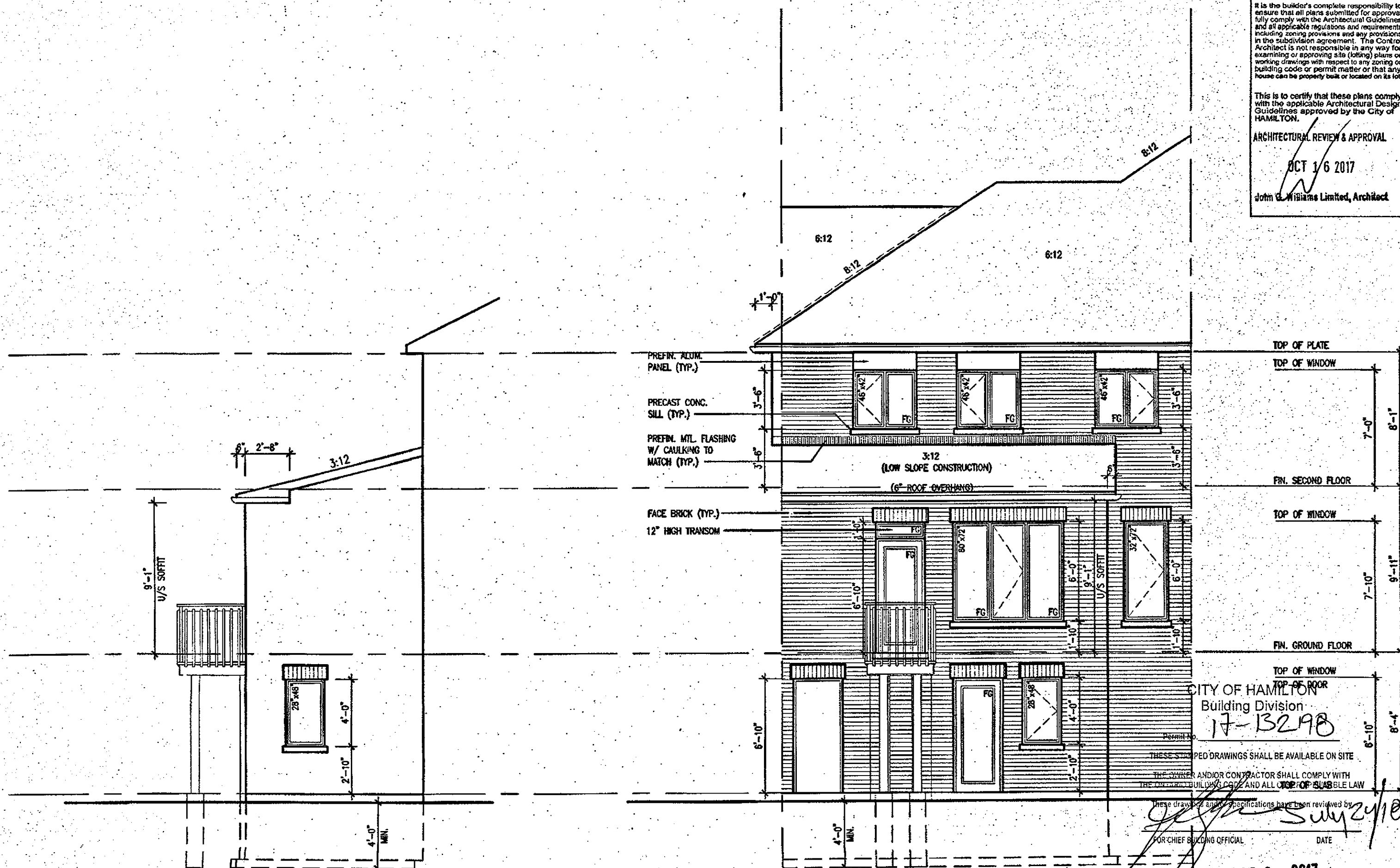
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ARCHITECTURAL REVIEW & APPROVAL

OCT 1/6 2017

John G. Williams Limited, Architects




 SIDE ELEV.
 W.O.B. CONDITION

WALL AREA	192.60 SQ. FT.
LIMITING DISTANCE	1.5 M (8.0%)
GLAZING ALLOWED	15.40 SQ. FT.
GLAZING PROVIDED	7.81 SQ. FT.

REAR ELEVATION-ELEV. 1/2/3
WOB CONDITION

OCT 04 2017

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

9		-	-	The undersigned has reviewed and takes responsibility for this design and how the qualifications meets the requirements set out in the Ontario Building Code to be a Designer.	
8		-	-	qualification information	
7		-	-		
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink	2448
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name	BC
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information	
3	CHANGED JOIST DEPTH/FLOOR HEIGHTS	JUN 12/17	GW	VAS Design Inc.	4265
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GH	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the properties of the Designer which must be obtained at the completion of the work. Drawings are not to be copied.	
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
No.	Description	Date	BV		

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Greenpark.

HIGHGROVE 2

project name	RUSSELL GARDENS PH.2		municipality	WATERDOWN, ON.		project no.	16036
date	APRIL 2017		REAR ELEVATION 1- WEB CONDITION			drawing no.	
drawn by	checked by	scale	3/16" = 1'-0"		file name	16036-HIGHGROVE 2	
						A12	

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