

2012 SF.

BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

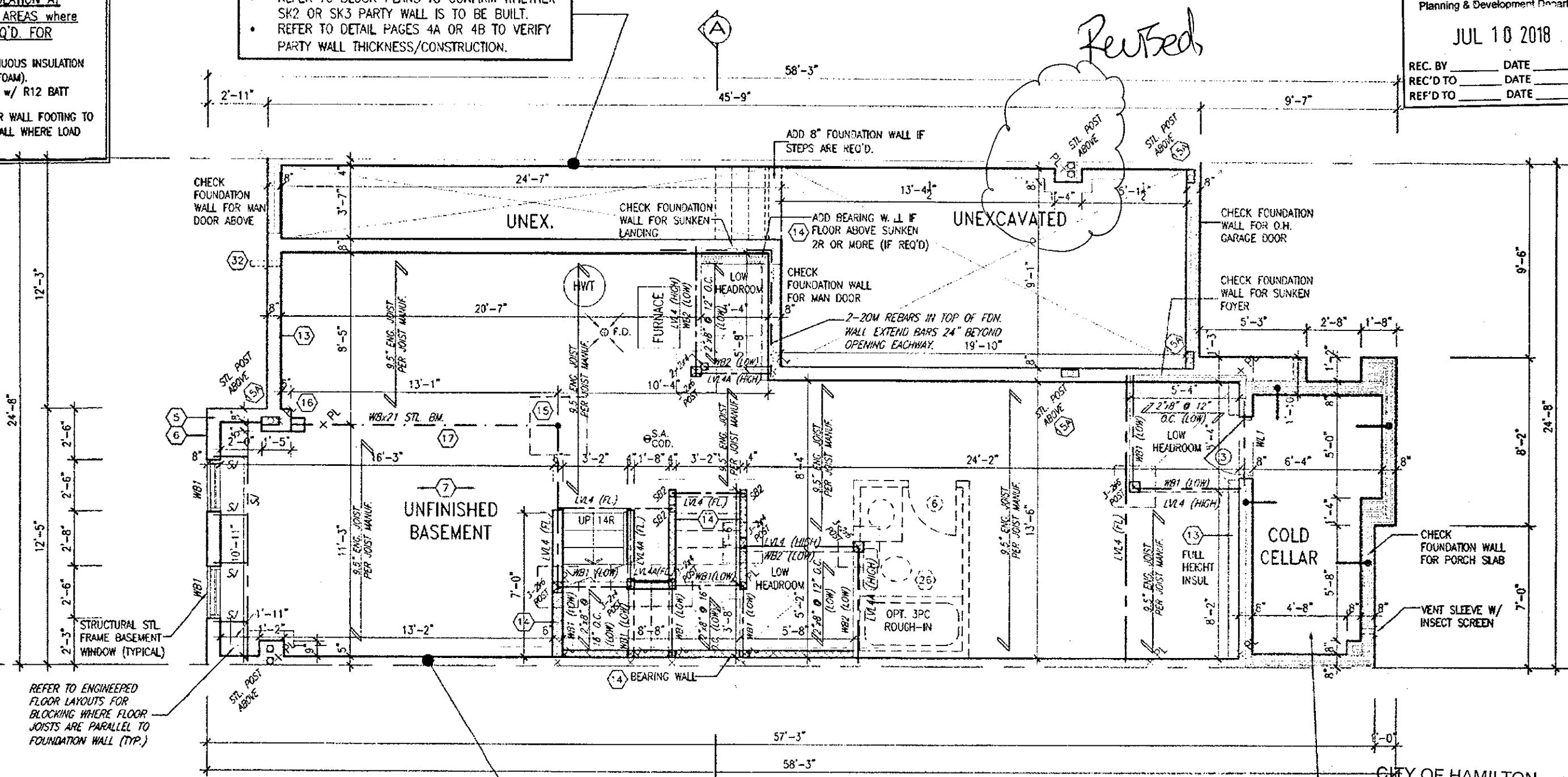
**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS** where
FRAMING IS REQ'D. FOR
SUPPORT.
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER
SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4A OR 4B TO VERIFY
PARTY WALL THICKNESS/CONSTRUCTION.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUL 10 2018

REC. BY _____ DATE _____
REC'D TO _____ DATE _____
REF'D TO _____ DATE _____



REFER TO ENGINEERED
FLOOR LAYOUTS FOR
BLOCKING WHERE FLOOR
JOISTS ARE PARALLEL TO
FOUNDATION WALL (TYP.)

PARTY WALL AT HOUSE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER
SK1 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4 OR 4B TO VERIFY
PARTY WALL THICKNESS/CONSTRUCTION.

BASEMENT PLAN ELEV. '3'

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOMES SPACED NOT
MORE THAN 23 5/8" o.c.

CITY OF HAMILTON
Building Division

Permit No. **H-132190**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature]
FOR CHIEF BUILDING OFFICIAL
DATE **JUN 28 2018**

HIGHGROVE 4
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: **JUN 29 2018**

This stamp certifies compliance with the applicable
Design Guidelines only and does not constitute
professional responsibility.

REGISTERED PROFESSIONAL ENGINEER
STRUDET INC.
FOR STRUCTURE ONLY
[Signature]
STRUDET INC.
FOR STRUCTURE ONLY

ALL GARAGE SLABS, PORCH
SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa.
WITH 5-BX AIR ENTRAINMENT.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

16	REVISION	APR 13/18	GW
17	REVISED PER CITY COMMENTS. REISSUED.	FEB 15/18	GW
18	REVISED ISSUED FOR PERMIT.	SEP 28/17	GW
19	ISSUED FOR PRICING.	AUG 23/17	GW
20	STUCCO REPLACED.	JUL 05/17	GW
21	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
22	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 13/17	GW
23	REVISED PER CLIENT COMMENTS.	APR 28/17	GW
24	PRELIMINARY REVIEW	APR 12/17	GW
25	REVISION		
26	description	date	by

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.

Qualification Information:
[Signature] 24488
name
registration information
VAS Design Inc. 42655

Candidate must notify all dimensions on the job and report any
discrepancies to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be loaned.

VAS DESIGN
255 Consumers Rd Suite 170
Toronto ON M2N 1S4
1 416.630.2255 1 416.630.4762
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
APRIL 2017
checked by
GW
scale
3/16" = 1'-0"
drawing no.
16036-HIGHGROVE-4

HIGHGROVE 4
project no.
16036
drawing no.
A1b

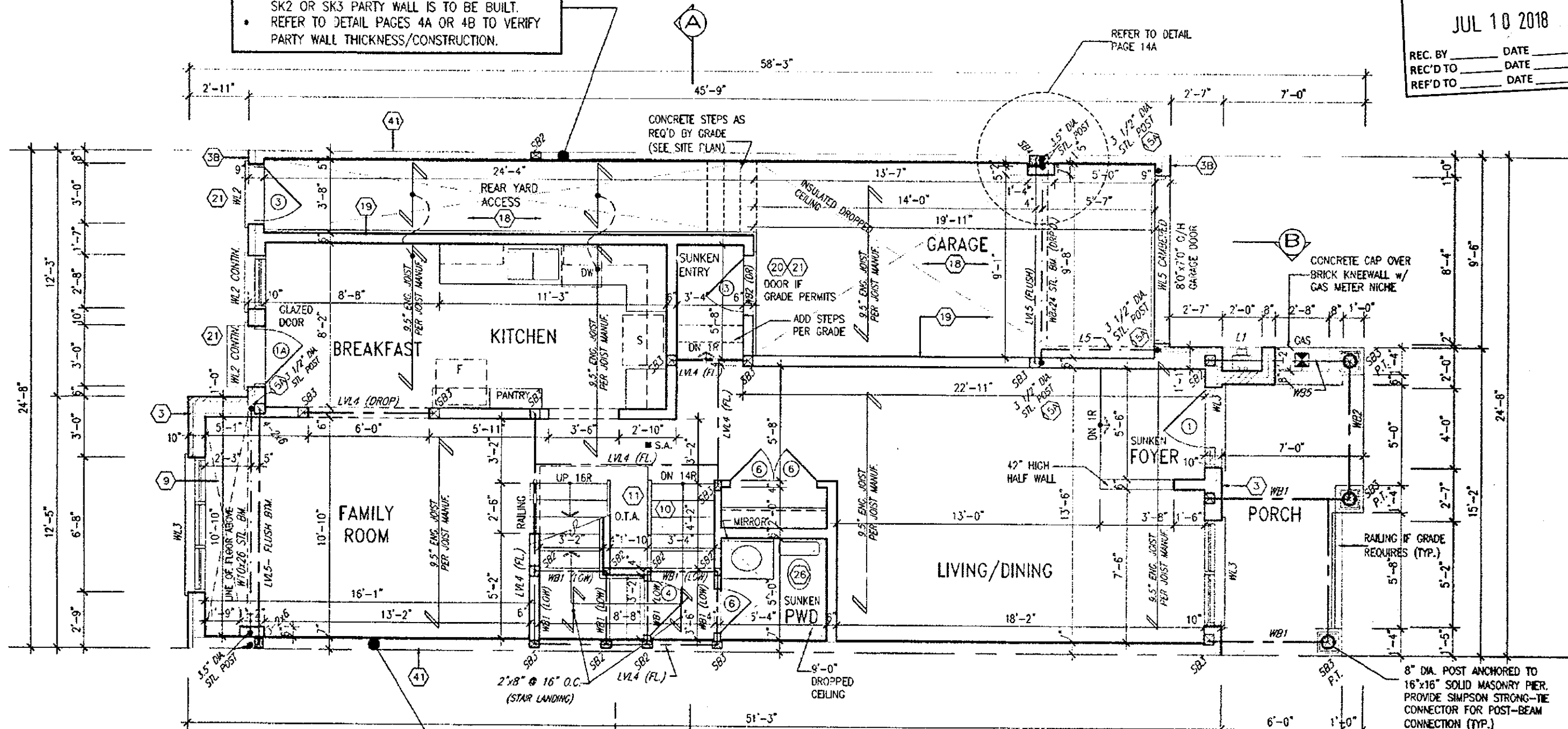
2012 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUL 10 2018

REC. BY _____ DATE _____
REC'D TO _____ DATE _____
REF'D TO _____ DATE _____

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
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GROUND FLOOR PLAN ELEV. '3'

CITY OF HAMILTON
Building Division

Permit No. **A-52198**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE

JUN 28 2018

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

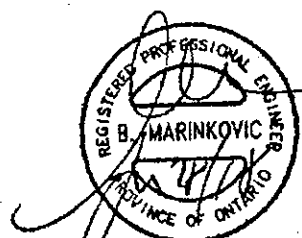
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE JUN 29 2018

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

18	REVISED	APR 13/18	GW	5	REVISED	APR 13/18	GW
17	REVISED PER CITY COMMENTS. REISSUED.	FEB 15/18	GW	4	REVISED PER CITY COMMENTS. REISSUED.	FEB 15/18	GW
16	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW	3	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW
15	ISSUED FOR PERMITING.	AUG 23/17	GW	2	ISSUED FOR PERMITING.	AUG 23/17	GW
14	STUCCO REPLACED.	JUL 05/17	GW	1	STUCCO REPLACED.	JUL 05/17	GW
13	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT		REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN 13/17	GW		CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN 13/17	GW
11	REVISED PER CLIENT COMMENTS.	APR 28/17	GW		REVISED PER CLIENT COMMENTS.	APR 28/17	GW
10	REVISED	APR 12/17	GW		REVISED	APR 12/17	GW
9	PRELIMINARY REVIEW	JUN 26/18	GW		PRELIMINARY REVIEW	JUN 26/18	GW
8	DESCRIPTION	DATE	BY	8	DESCRIPTION	DATE	BY



255 Consumers Rd Suite 120
Toronto, ON M2N 1P4
416.630.2235 / 416.630.4792
va@va-design.com



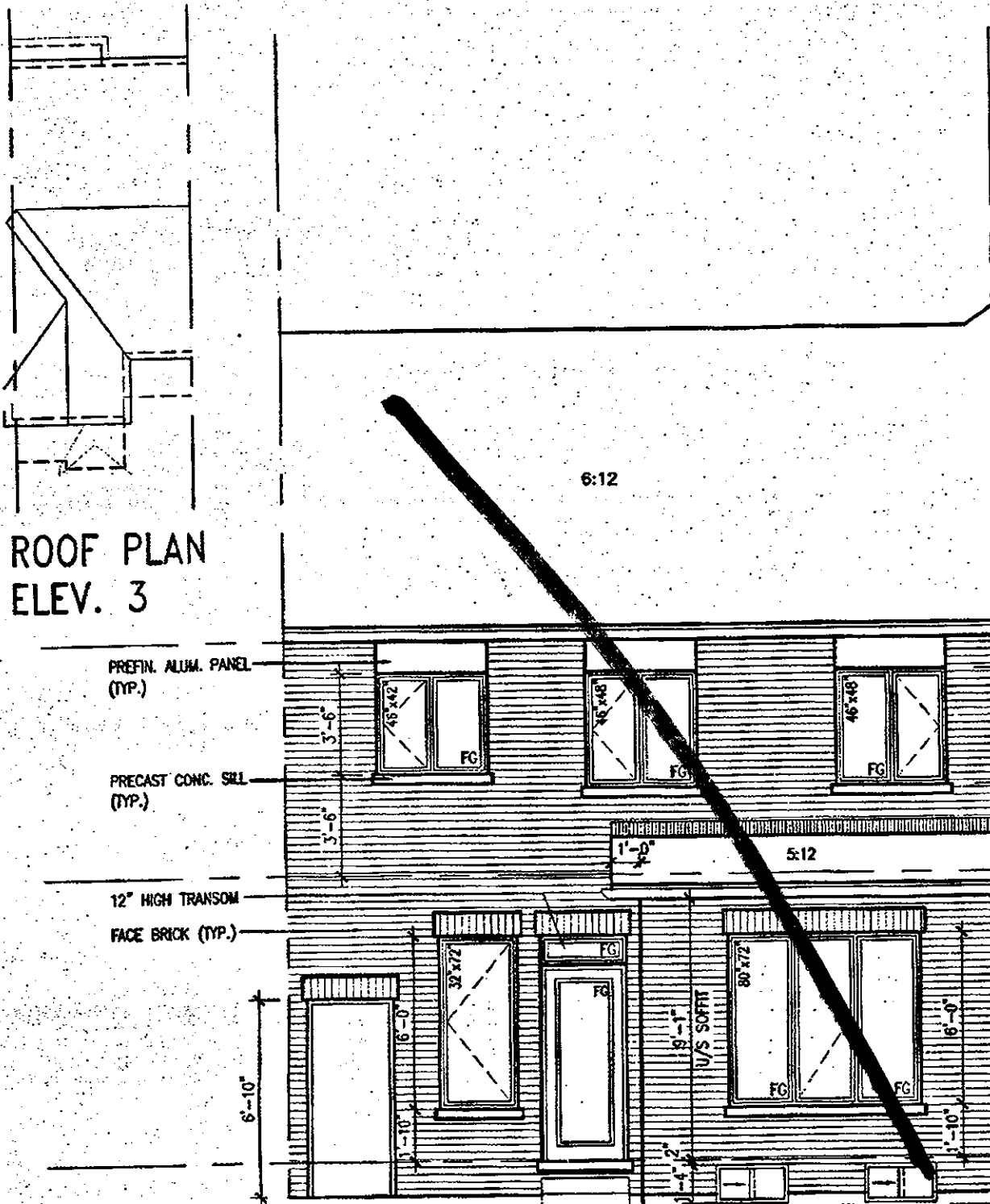
RUSSELL GARDENS PH.2 WATERDOWN, ON.

HIGHGROVE 4

APRIL 2017
checked by _____ scale 3/16" = 1'-0"
16036-HIGHGROVE-4
drawing no. **A2b**

2012 SF.

ROOF PLAN ELEV. 3



PREFIN. ALUM. PANEL (TYP.)

PRECAST CONC. SILL (TYP.)

12" HIGH TRANSOM
FACE BRICK (TYP.)

POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP

REAR ELEVATION '3'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines and the City of Hamilton Building Code.

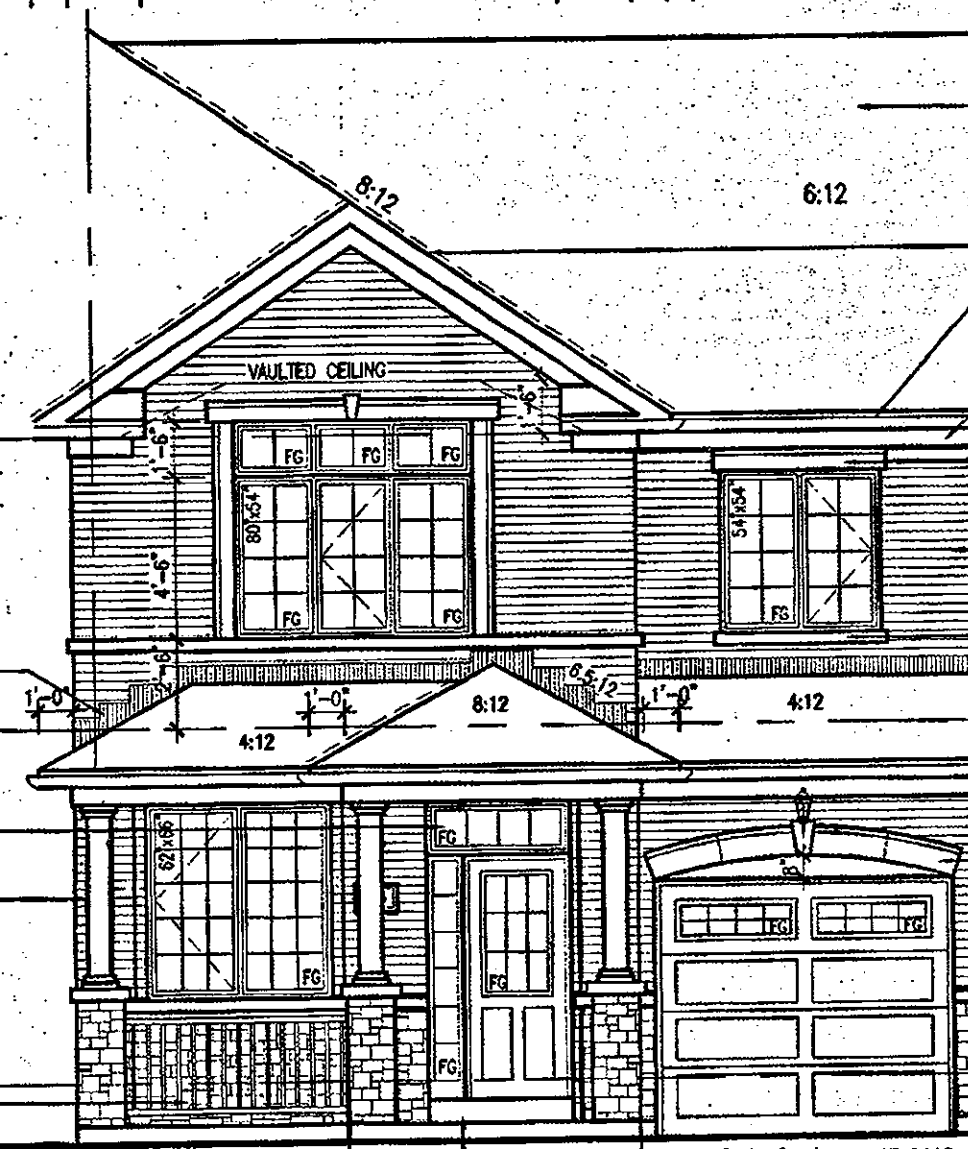
OCT 16 2017

John G. Williams Limited, Architect

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

1'-0" 4'-1"

2'-1" 1'-0"



ASPHALT SHINGLES (TYP.)

MID-POINT, MAIN ROOF

VALLEY FLASHING (TYP.)
PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CEAD
FRIEZE BD. (TYP.)

PRECAST CONC.
HEADER (TYP.)

BRICK VENEER (TYP.)

PRECAST CONC.
SILL (TYP.)

PRECAST CONC. ARCH
WITH KEYSTONE (TYP.)

CONT. PRECAST CONC.
SILL OVER STONE VENEER
(TYP.)

STONE VENEER (TYP.)

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

8'-0"x7'-0" O/H GARAGE DOOR
GD-2A-8

CITY OF HAMILTON
Building Division

Permit No. *July 24/18*

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by

[Signature] *July 24/18*

FOR CHIEF BUILDING OFFICIAL DATE

OCT 04 2017

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

**VAS
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH.2

WATERDOWN, ON.

date
APRIL 2017

drawn by
WT

checked by
GW

scale
3/16" = 1'-0"

project no.
16036-HIGHGROVE-4

date
OCT 28 2017 - 5:28 PM

HIGHGROVE 4

project no.
16036

drawing no.
A4b

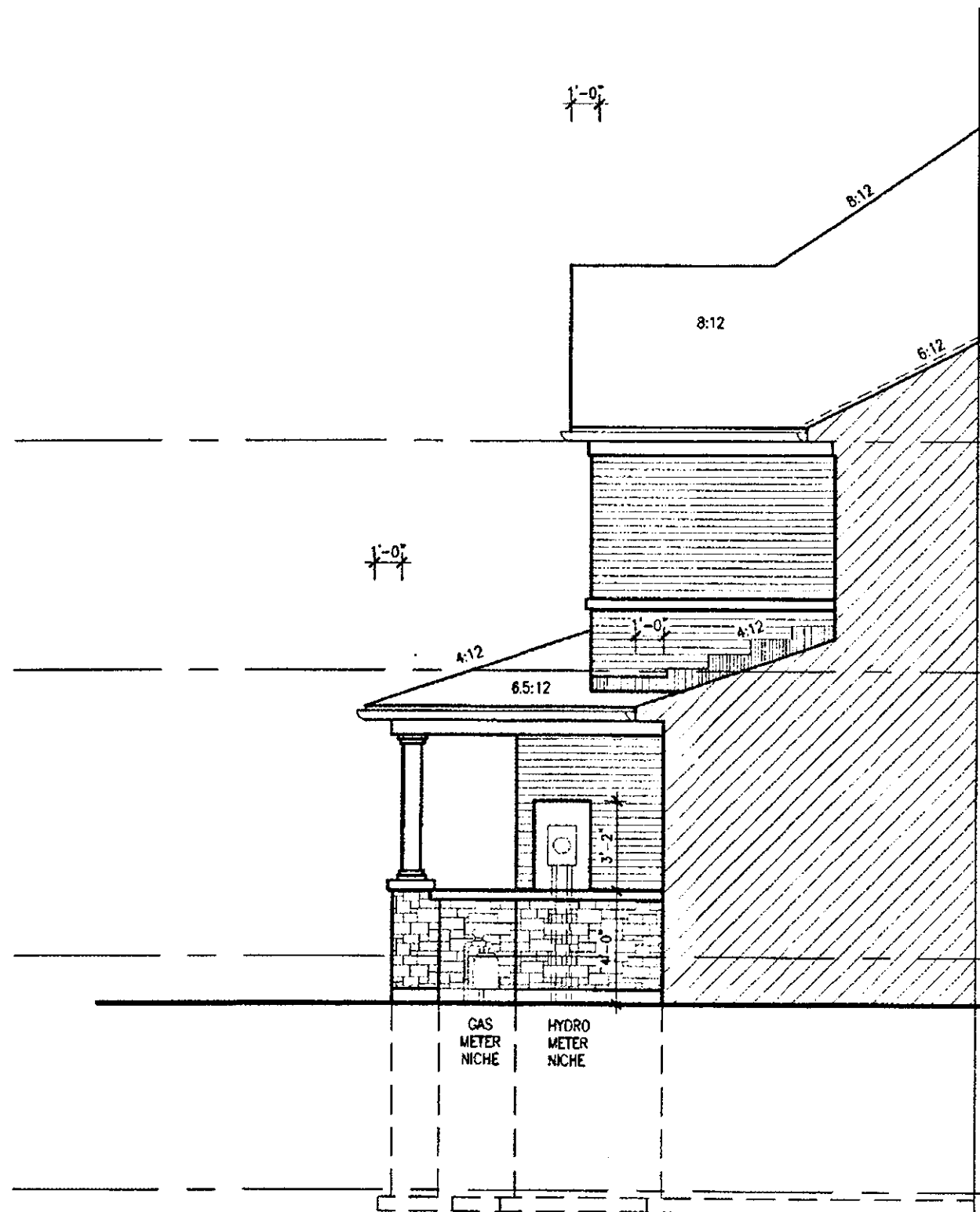
sheet
FRONT & REAR ELEVATIONS ELEV. '3'

16036-HIGHGROVE-4

date
OCT 28 2017 - 5:28 PM

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2012 SF.



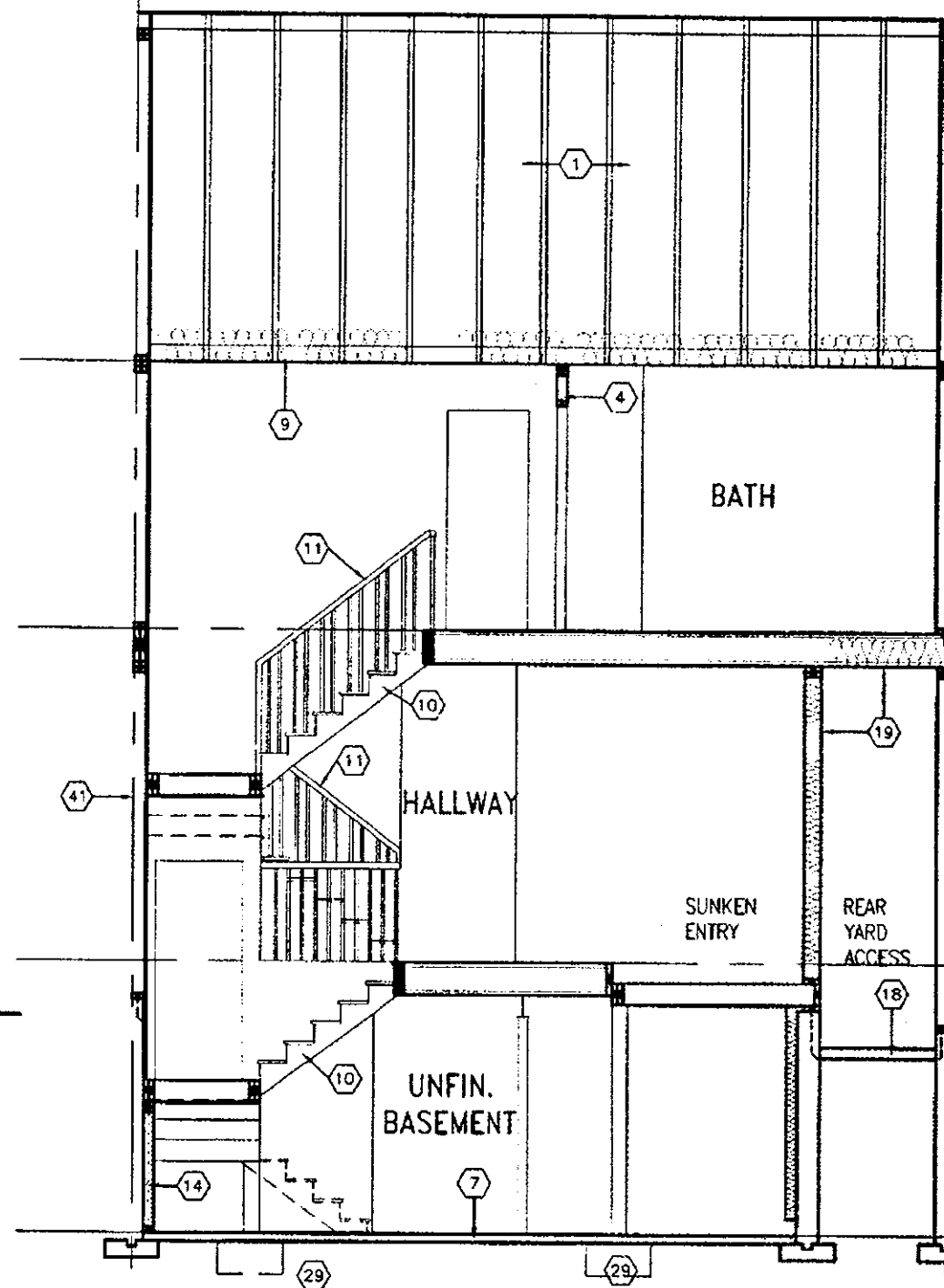
SECTION B ELEV. 3

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SECTION A-A ELEV. 3

CITY OF HAMILTON
Building Division

Permit No. **17-1321908**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

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These drawings and specifications have been reviewed by
[Signature] **July 24/18**
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

18				9	REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. certification information Richard Vink 2448 BC signature VA3 Design Inc. 4265 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.
17				8	REVISED PER CITY COMMENTS REISSUED.	FEB. 15/18	GW	
16				7	REVISED ISSUED FOR PERMIT.	SEP. 28/17	GW	
15				6	ISSUED FOR PRICING.	AUG. 22/17	GW	
14				5	STUCCO REPLACED.	JUL. 05/17	GW	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN. 13/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no	description	date	by	no	description	date	by	

VAD DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vadesign.com

Greenpark.
Project name: **RUSSELL GARDENS PH.2**
Municipality: **WATERDOWN, ON.**
Date: **APRIL 2017**
Checked by: **GW**
Scale: **3/16" = 1'-0"**

HIGHGROVE 4
Project no. **16036**
Drawing no. **A6b**
Section: **SECTION A-A ELEV. 3**
File name: **16036-HIGHGROVE-4**

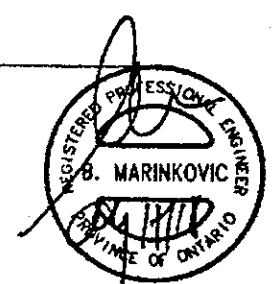
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: APR 20 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

NOTE:
REFER TO STANDARD DRAWINGS FOR ADDITIONAL INFORMATION.



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division
Permit No. 17-132198

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] JULY 24/18
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 4
COMPLIANCE PACKAGE 'A1'

PART. BASEMENT PLAN
W.O.B CONDITION

PART. GROUND FLOOR PLAN
W.O.B CONDITION

LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2)
FOR ADDITIONAL WOOD DECK INFORMATION.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

18				9	REVISED	APR 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer qualification information Richard Vink 24488  signature BCM 24255	 255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 416.630.2255 / 416.630.4782 vasdesign.com	 RUSSELL GARDENS PH.2 WATERDOWN, ON.	HIGHGROVE 4 - 16036 project no. 16036	project name RUSSELL GARDENS PH.2 WATERDOWN, ON. project no. 16036	drawing no. A10		
17			8	REVISED PER CITY COMMENTS REISSUED	FEB 15/18	GW									
16			7	REVISED ISSUED FOR PERMIT	SEP 28/17	GW									
15			6	ISSUED FOR PRICING	AUG 23/17	GW									
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	description	date	by	no	description	date	by								

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~~OCT 16 2017~~

John G. Williams Limited, Architect.



Permit No. 17-132199 POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

~~THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW~~

These drawings and/or specifications have been reviewed by: 10/14/2017

FOR CHIEF BUILDING OFFICIAL

DATE:

HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

18				9			
17				8			
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	G
15				6	ISSUED FOR PRICING.	AUG. 23/17	G
14				5	STUCCO REPLACED.	JUL. 05/17	G
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	W
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 13/17	G
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no. description				no. description		date	by

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

WT GW $3/16" = 1'-0"$

16036-HIGHCROVE-4

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