

BUILDING AREA
7655.37 S.F. (711.21 m2)

PAD FOOTINGS
120 KPa MIN. SOIL
F1 = 42"x42"x12" CONCRETE PAD F2 = 42"x42"x12" CONCRETE PAD
F3 = 36"x36"x12" CONCRETE PAD F4 = 40"x40"x12" CONCRETE PAD
F5 = 30"x30"x12" CONCRETE PAD F6 = 34"x34"x12" CONCRETE PAD
F7 = 24"x24"x12" CONCRETE PAD F8 = 28"x28"x12" CONCRETE PAD
F9 = 18"x18"x12" CONCRETE PAD F10 = 18"x18"x12" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS
32"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 KPa)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
48"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS
(REFER TO FLOOR PLAN FOR REINFORCEMENT)

ASSUME 120KPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/13.0psi FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOIL ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL

SUMP PUMP REQUIRED
LOCATION TO BE DETERMINED ON SITE

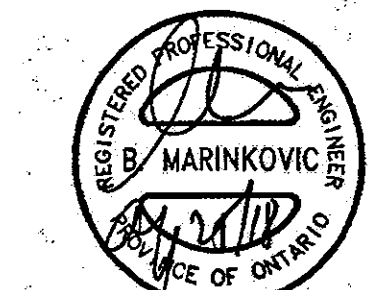
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REVISED
MAY 22 2018
REC. BY: DATE
REFD TO: DATE

NOTE:
CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT.

CITY OF HAMILTON
Building Division

Permit No. 17-13187-00-29
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE

24"x6" (FOR 120 KPa)
CONCRETE FOOTINGS-
EXT. WALLS
(TYP. UNLESS NOTED)



STRUDET INC.
FOR STRUCTURE ONLY

APR 25 2018

NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

**BLK 207
ELEV. 2**

It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the Ontario Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible for any errors or omissions in these drawings or specifications. The Contractor shall be responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the approved plans and specifications. The Contractor shall be responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the approved plans and specifications.

This is to certify that these plans comply with the applicable Ontario Building Code and all other applicable laws. The drawings and specifications are the property of the architect and shall be returned at the completion of the work. Drawings are not to be scaled.

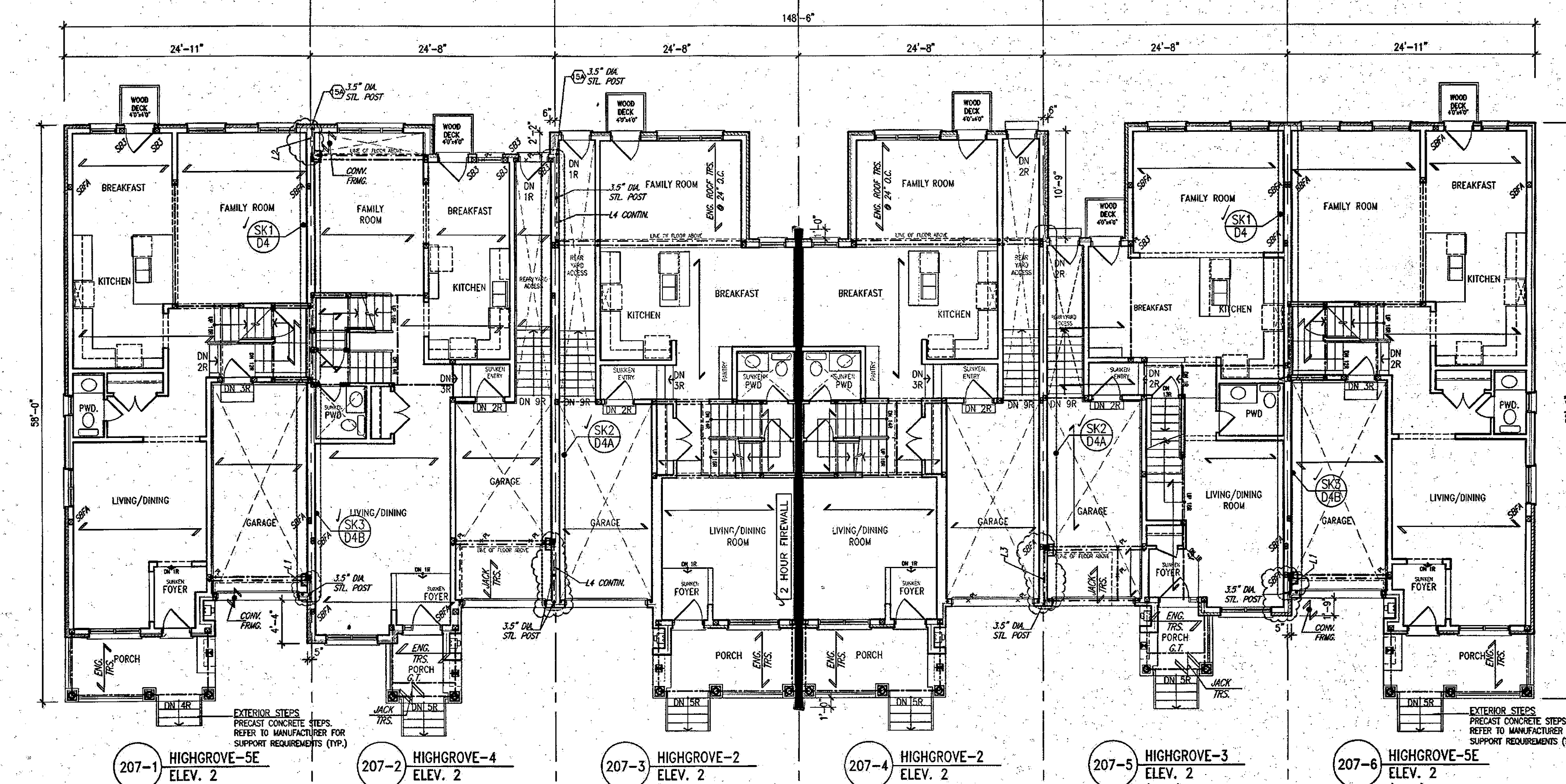
Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are the property of the architect and shall be returned at the completion of the work. Drawings are not to be scaled.

VAD DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
T: 416.630.2255
F: 416.630.4762
info@vad-design.com
www.vad-design.com

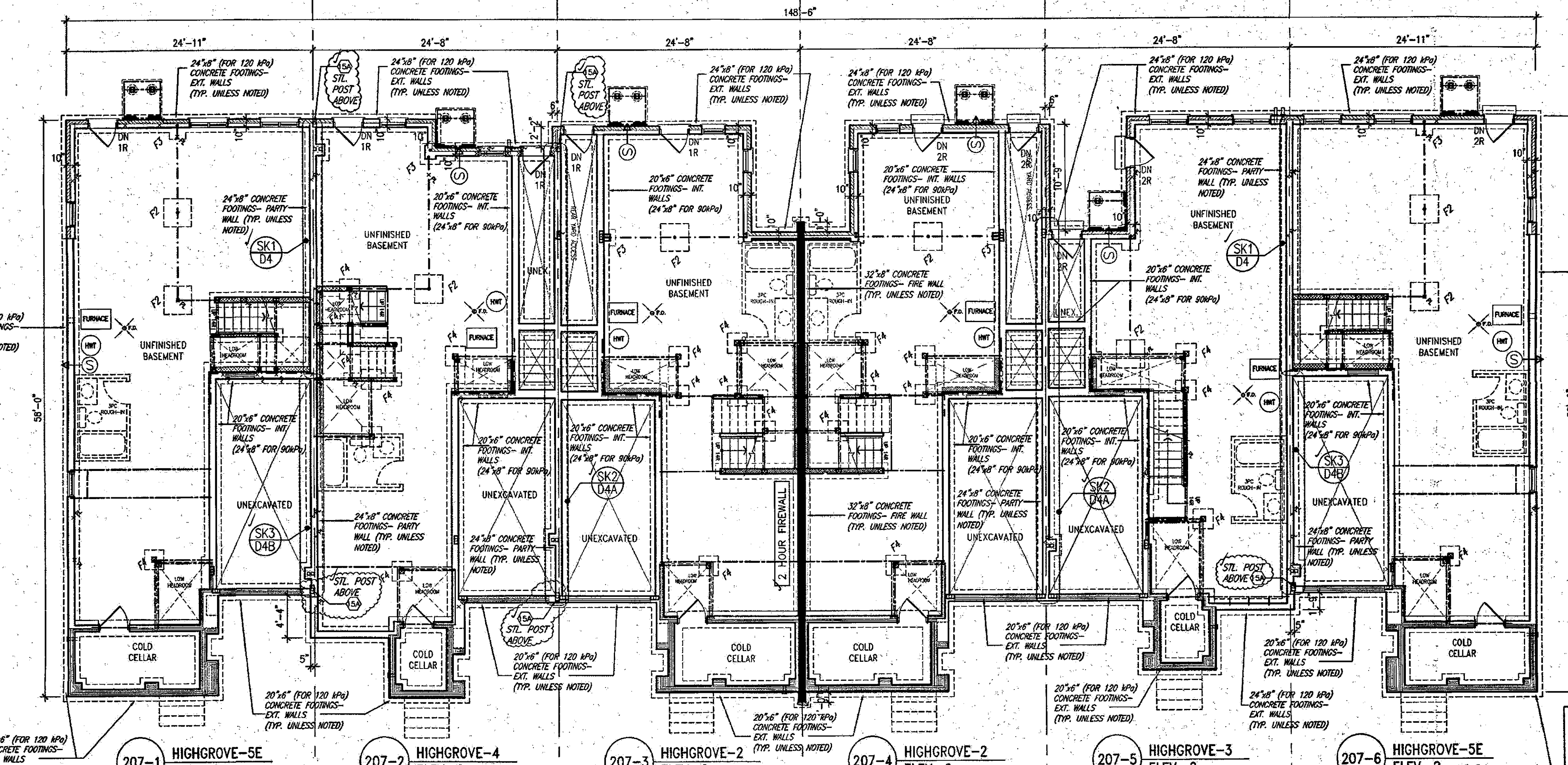
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Greenpark.

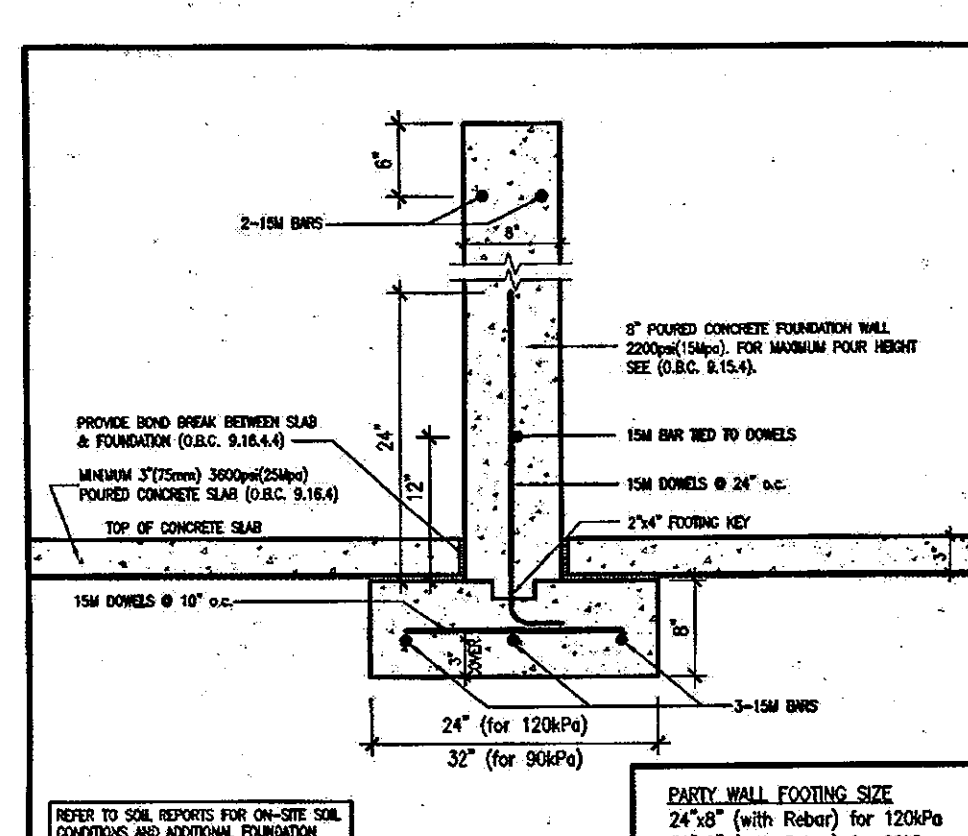
Project Name: RUSSELL GARDENS PH2
Location: WATERDOWN, ON.
Block: BLOCK 207
Highgrove Series
Date: JULY 2017
Scale: 1/8" = 1'-0"
Sheet: B1



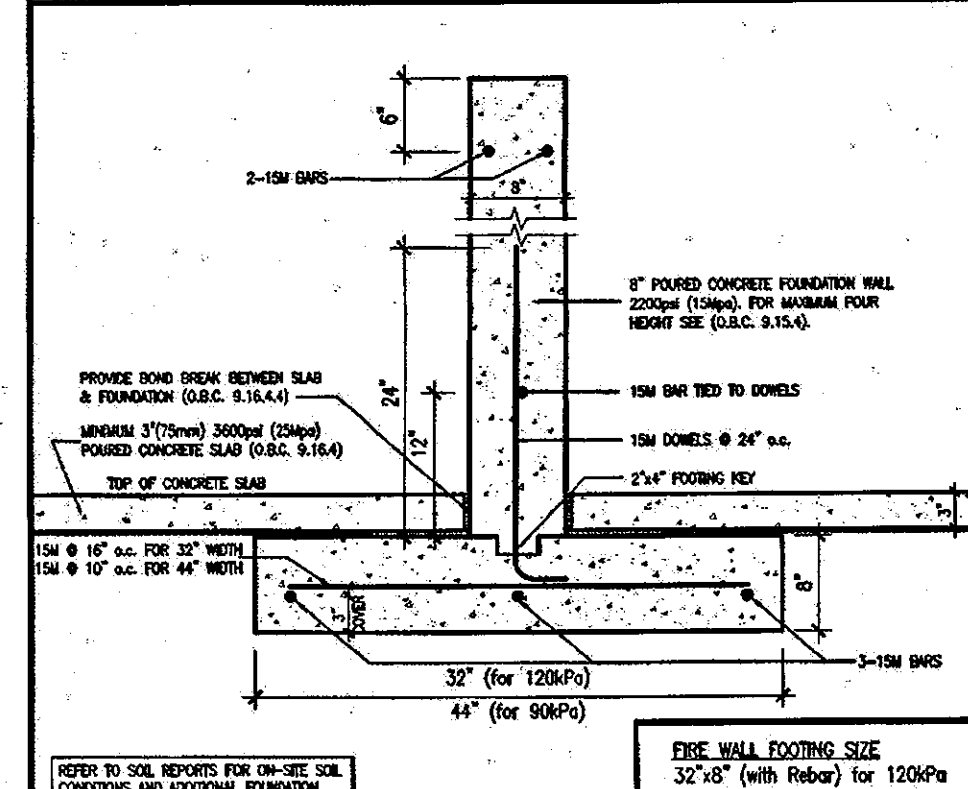
GROUND FLOOR PLAN



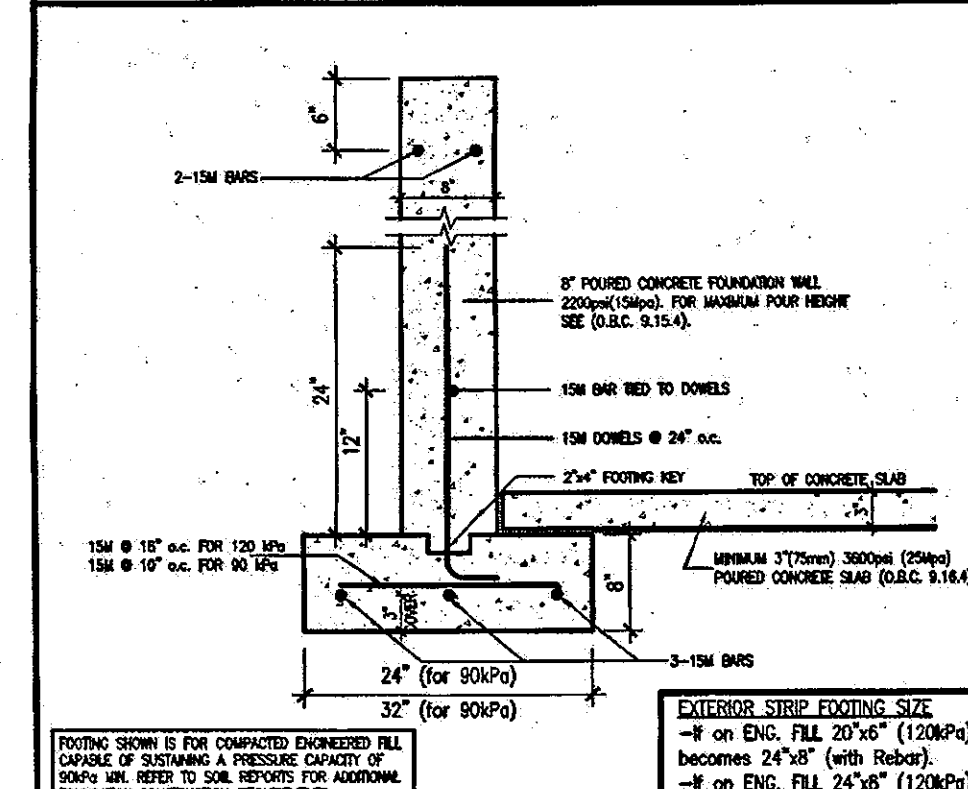
BASEMENT PLAN



W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale

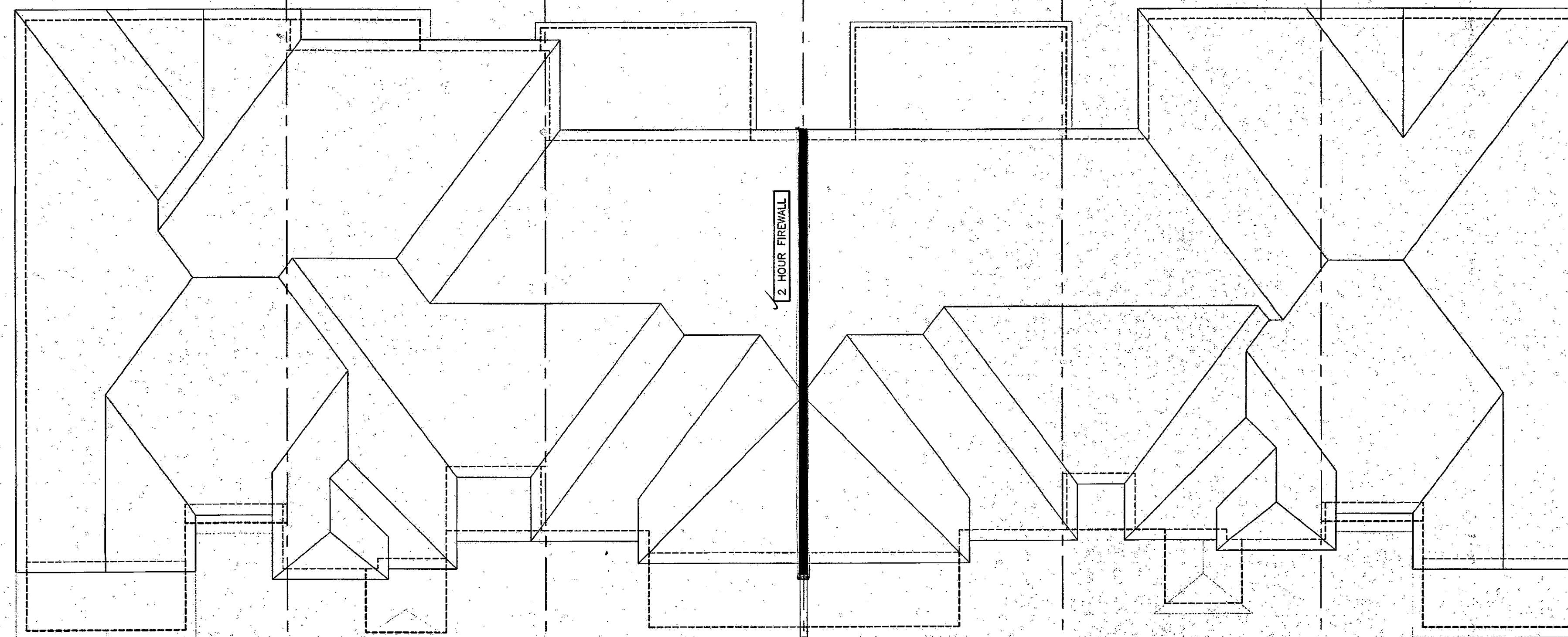


W2b TYPICAL FIRE WALL FOOTING
SCALE: Not to Scale



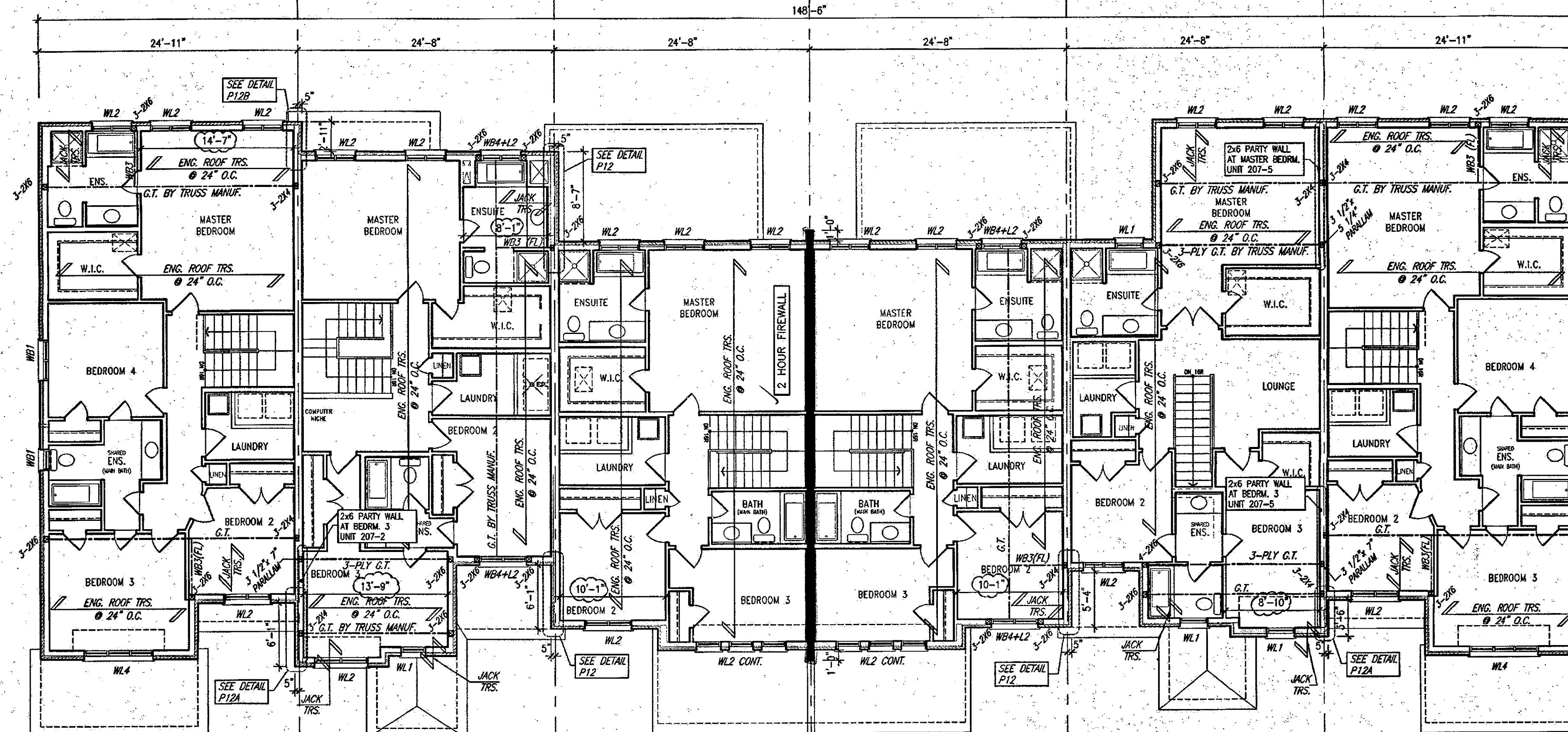
W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90KPa. Minimum)
SCALE: Not to Scale

SUMP PUMP REQUIRED ON THIS LOT.
SUMP PUMP TO CONNECT TO STORM
SEWER. REFER TO DRAWINGS
PREPARED BY METROPOLITAN
CONSULTING INC. SHEETS W12010-N1
& W12010-GP1.



207-1 HIGHGROVE-5E ELEV. 2
207-2 HIGHGROVE-4 ELEV. 2
207-3 HIGHGROVE-2 ELEV. 2 (REV.)
207-4 HIGHGROVE-2 ELEV. 2
207-5 HIGHGROVE-3 ELEV. 2 (REV.)
207-6 HIGHGROVE-5E ELEV. 2 (REV.)

ROOF PLAN



207-1 HIGHGROVE-5E ELEV. 2
207-2 HIGHGROVE-4 ELEV. 2
207-3 HIGHGROVE-2 ELEV. 2 (REV.)
207-4 HIGHGROVE-2 ELEV. 2
207-5 HIGHGROVE-3 ELEV. 2 (REV.)
207-6 HIGHGROVE-5E ELEV. 2 (REV.)

SECOND FLOOR PLAN

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

BUILDING AREA
7655.37 S.F. (711.21 m²)

PAD FOOTINGS
120 KPa NATIVE SOIL
F1 = 42"x12"x16" CONCRETE PAD F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 KPa)
24"x6" CONCRETE STRIP FOOTINGS (with REINFORCEMENT, AS NOTED ON PLAN)
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (with REINFORCEMENT (UNLESS OTHERWISE NOTED)
32"x6" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW PARTY WALLS
46"x6" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW FIRE WALLS
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/174psi SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/130psi FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REVISED
MAY 22 2018
REG. BY _____ DATE _____
REFD TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 17-13872-20-29
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
B. R. L. MAY 30/18
FOR CHIEF BUILDING OFFICIAL DATE

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
P. ENG.
STRUTER INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for inspection and all applicable regulations and requirements including zoning provisions and any amendments in the subdivision agreement. The Control Authority is not responsible in any way for issuing drawings with respect to any zoning or building code provisions or for their use. House can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Building Code and all other applicable laws and regulations approved by the City of Hamilton.

JOHN G. WILLIAMS LTD. ARCHITECT - PROFESSIONAL CONTROL SYSTEM
APPROVED BY: _____
DATE: MAY 30/18
The rights conferred by this application Design Certificate are not to be used in any other project without the written consent of the Design Certificate holder.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	APR. 23/18	CM
2	REVISED PER CITY COMMENTS, RESSUED	FEB. 15/18	CM
3	REVISED FOR PERMIT	OCT. 03/17	CM
4	ISSUED FOR PERMIT	MAY. 23/17	CM
5	REVISED AS PER ENGINEER COMMENTS	AUG. 18/17	MT
6	REVISED AS PER CLIENT COMMENTS	AUG. 11/17	MT
7	ISSUED FOR ROOF TRUSS LAYOUT	JAN. 14/17	MT

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4752
vasdesign.com

All drawings, specifications, related documents and designs are the copyright property of VAS Design. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

The undersigned has reviewed and taken responsibility for the design and for the construction and use of the materials as set in the Ontario Building Code to be a design professional. Signature: Richard Visk 244623
Registration Number: 1433 Design Inc. 42650

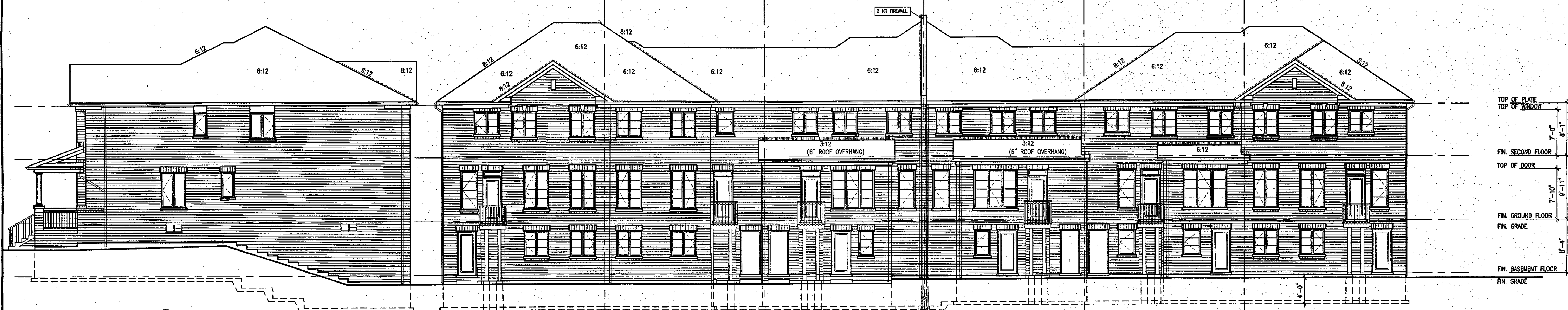
Greenpark

PROJECT NAME
RUSSELL GARDENS PH2
PROJECT NO.
16036
LOCATION
WATERDOWN, ON.
BLOCK 207
HIGHGROVE SERIES
BLOCK 207 PLANS
DATE
JULY 2017
SCALE
1/8" = 1'-0"
DRAWN BY
16036-BLOCK 207
CHECKED BY
B2

BLK 207
ELEV. 2

APR 25 2018

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.



207-6 HIGHGROVE-5E
ELEV. 2

RIGHT SIDE ELEVATION

207-6 HIGHGROVE-5E
ELEV. 2
(REV.)

207-5 HIGHGROVE-3
ELEV. 2
(REV.)

207-4 HIGHGROVE-2
ELEV. 2
(REV.)

207-3 HIGHGROVE-2
ELEV. 2
(REV.)

207-2 HIGHGROVE-4
ELEV. 2

207-1 HIGHGROVE-5E
ELEV. 2

REAR ELEVATION

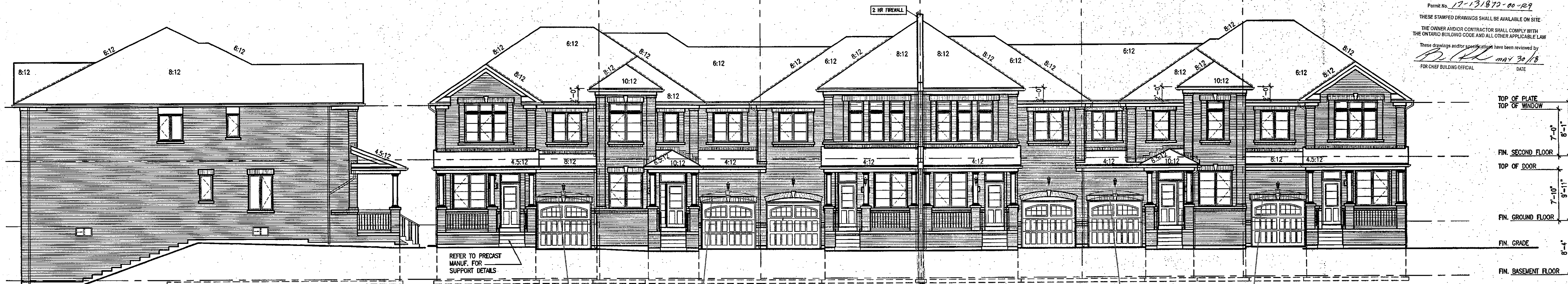
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
RECEIVED
MAY 22 2018
REG. BY: DATE: MAY 30 18
REF'D TO: DATE:

CITY OF HAMILTON
Building Division
Permit No. 17-131870-00-29
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.
These drawings and/or specifications have been reviewed by
DATE: MAY 30 18
FOR CHIEF BUILDING OFFICIAL: DATE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the applicable agreements. The Contractor shall be responsible for any zoning or building code or permit matter or that any house be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILKINS LTD., ARCHITECT
ARCHITECTURAL CONTROL OFFICE
AND REVIEW
APPROVED BY: J.G.W.
DATE: JUL 31 2018
The owner certifies compliance with the applicable zoning guidelines and zoning bylaws and/or other applicable regulations.



207-1 HIGHGROVE-5E
ELEV. 2

LEFT SIDE ELEVATION

207-1 HIGHGROVE-5E
ELEV. 2

207-2 HIGHGROVE-4
ELEV. 2

207-3 HIGHGROVE-2
ELEV. 2
(REV.)

207-4 HIGHGROVE-2
ELEV. 2

207-5 HIGHGROVE-3
ELEV. 2
(REV.)

207-6 HIGHGROVE-5E
ELEV. 2
(REV.)

FRONT ELEVATION

APR 25 2018

BLK 207
ELEV. 2

1	ISSUED FOR PERMIT	APR 23/18	CM
2	REVISED FOR CITY COMMENTS, RESUBMITTED	FEB 15/18	CM
3	REVISED FOR PERMIT	OCT 05/17	CM
4	ISSUED FOR PERMIT	APR 23/17	CM
5	REVISED AS PER ENGINEER COMMENTS	AUG 15/17	MT
6	REVISED AS PER CLIENT COMMENTS	AUG 17/17	MT
7	ISSUED FOR ROOF TRUSS LAYOUTS	JUL 14/17	CM

DESCRIPTION
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are statements of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

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Greenpark.
RUSSELL GARDENS PH2
WATERLOO, ON.
HIGHGROVE SERIES
BLOCK 207
BLOCK 207 ELEVATIONS
1/8" = 1'-0"
JULY 2017
16035-BLOCK 207
B3