

BUILDING AREA
6578.09 S.F. (611.12 m²)

PAD FOOTINGS
120 KPa. MIN. SOIL
F1 = 42"x42"x18" CONCRETE PAD F2 = 42"x42"x20" CONCRETE PAD
F3 = 36"x36"x18" CONCRETE PAD F4 = 40"x40"x18" CONCRETE PAD
F5 = 30"x30"x12" CONCRETE PAD F6 = 34"x34"x14" CONCRETE PAD
F7 = 24"x24"x12" CONCRETE PAD F8 = 28"x28"x12" CONCRETE PAD
F9 = 18"x18"x8" CONCRETE PAD F10 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)

24"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS
32"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)

32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FLOOR PLAN FOR REINFORCEMENT)

ASSUME 120 KPa/17.4 psi SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90 KPa/13.0 psi FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING

—GROUND FLOOR ROOF STRUCTURE

—BASEMENT AND GROUND FLOOR LINTELS

—GROUND FLOOR AND SECOND FLOOR STRUCTURE

—DOUBLE VOLUME WALL LOCATION AND DETAILS

—CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL

SUMP PUMP REQUIRED
LOCATION TO BE DETERMINED ON SITE

It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and requirements including zoning and any other requirements in the subdivision agreement. The Contractor shall be responsible for any error or omission in the drawings and specifications. The Contractor shall be responsible for any error or omission in the drawings and specifications. The Contractor shall be responsible for any error or omission in the drawings and specifications.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROF. OF ONTARIO
STRUDEL INC.
FOR STRUCTURE ONLY

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

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Greenpark.

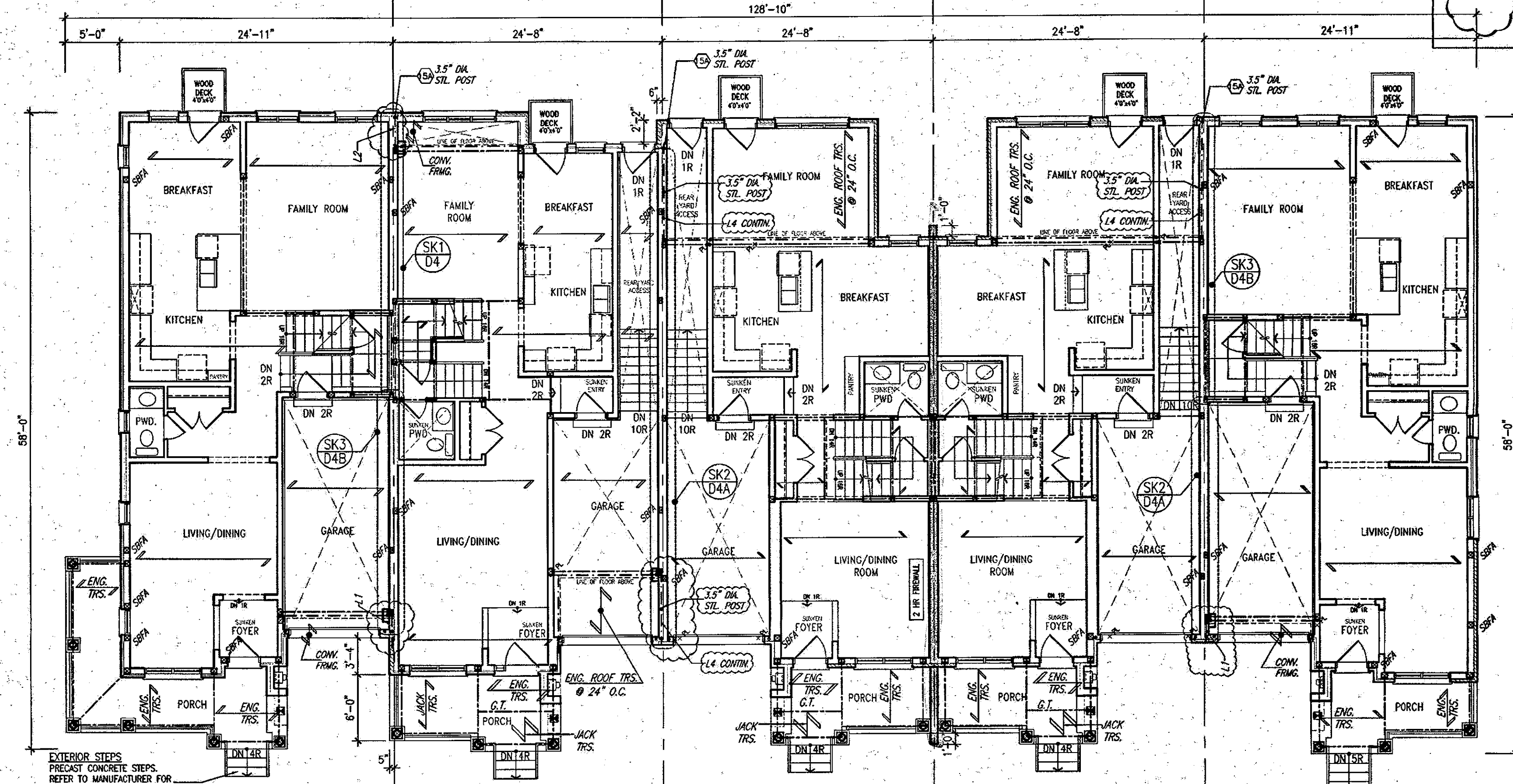
RUSSELL GARDENS PH2
WATERLOO, ON.
HIGHGROVE SERIES

BLOCK 205
BLOCK 205 PLANS

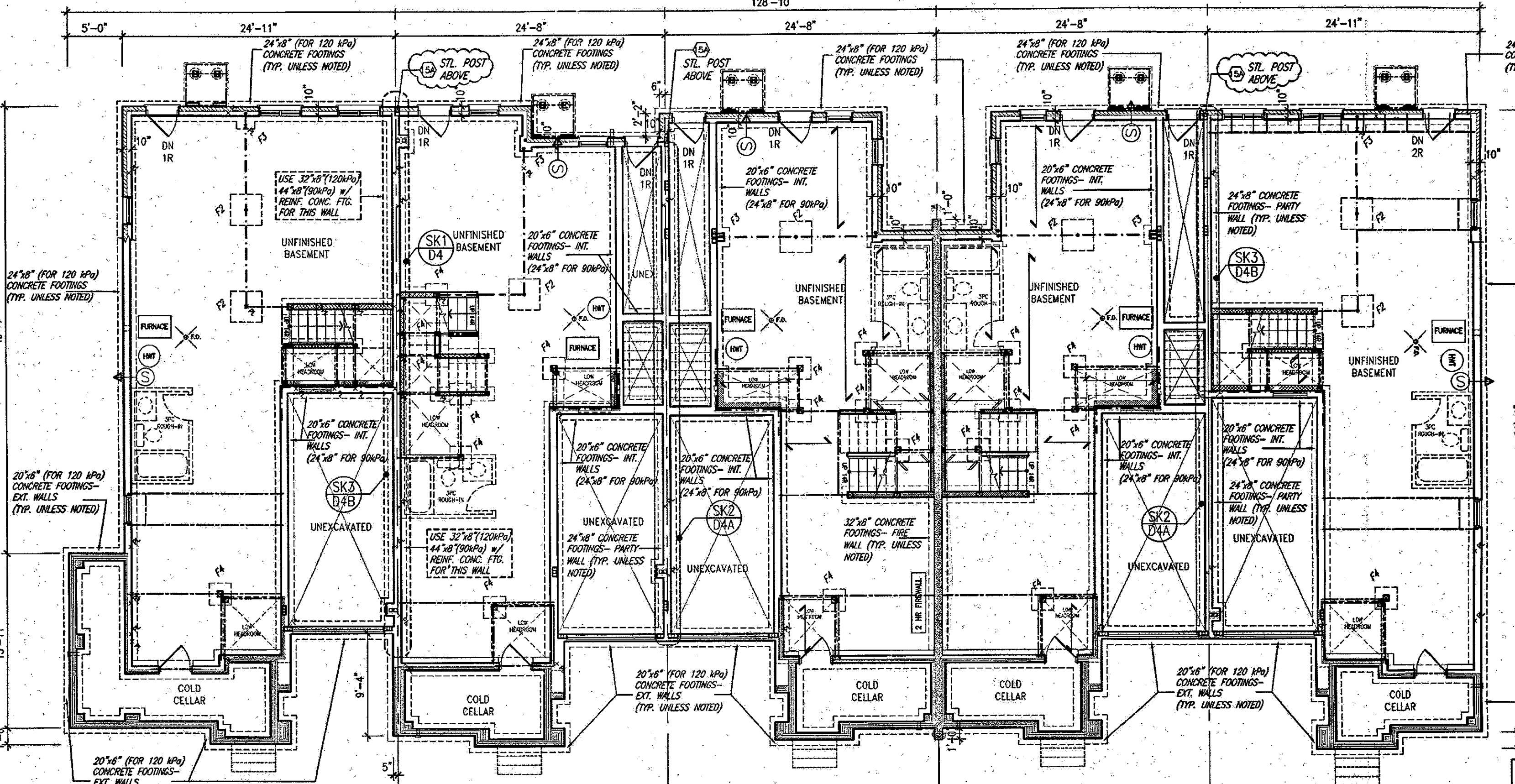
Scale: 1/8" = 1'-0"
JULY 2017
Sheet: B1

NOTE:
CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC'D BY: DATE
REC'D TO: DATE
REF'D TO: DATE



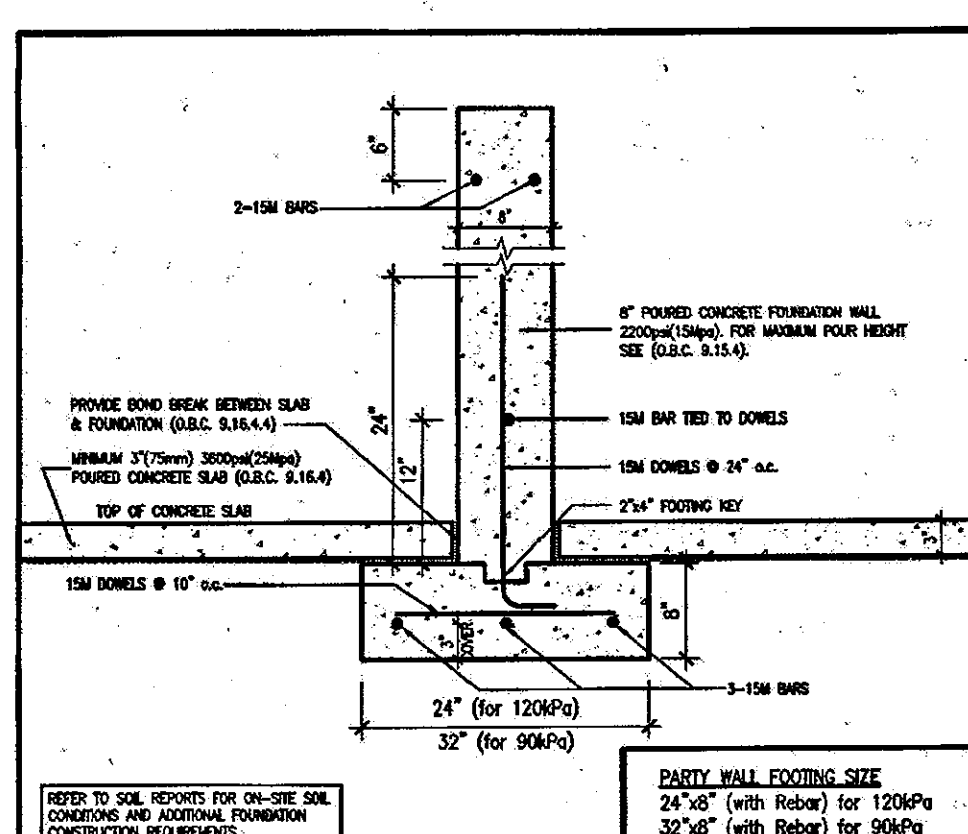
GROUND FLOOR PLAN



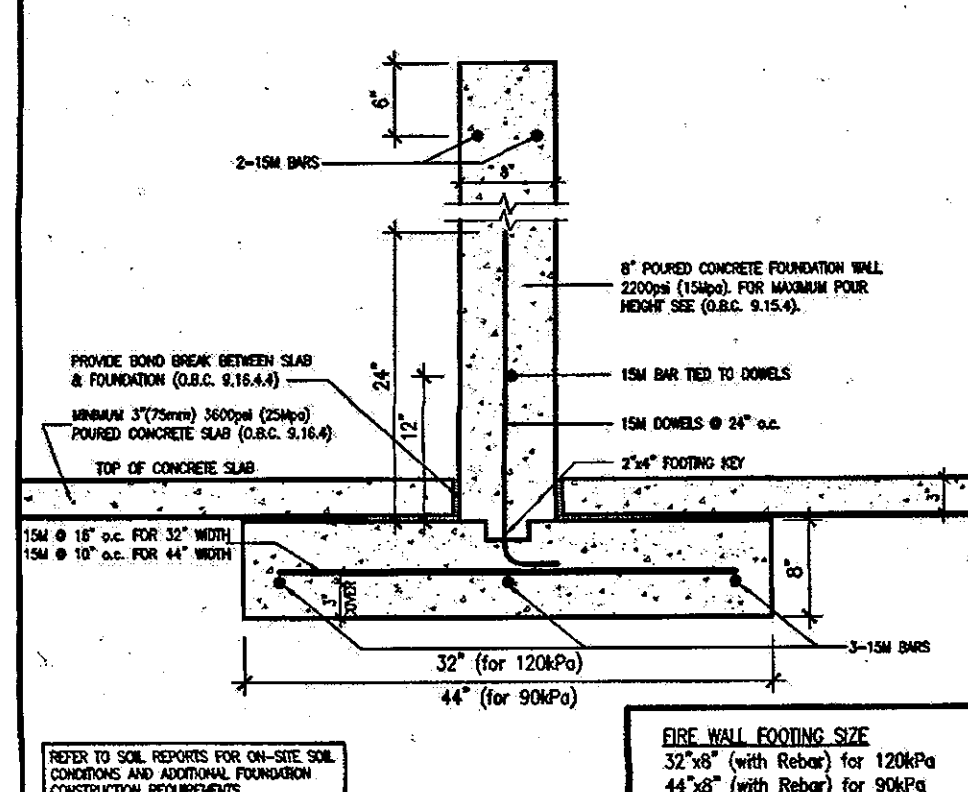
BASEMENT PLAN

NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

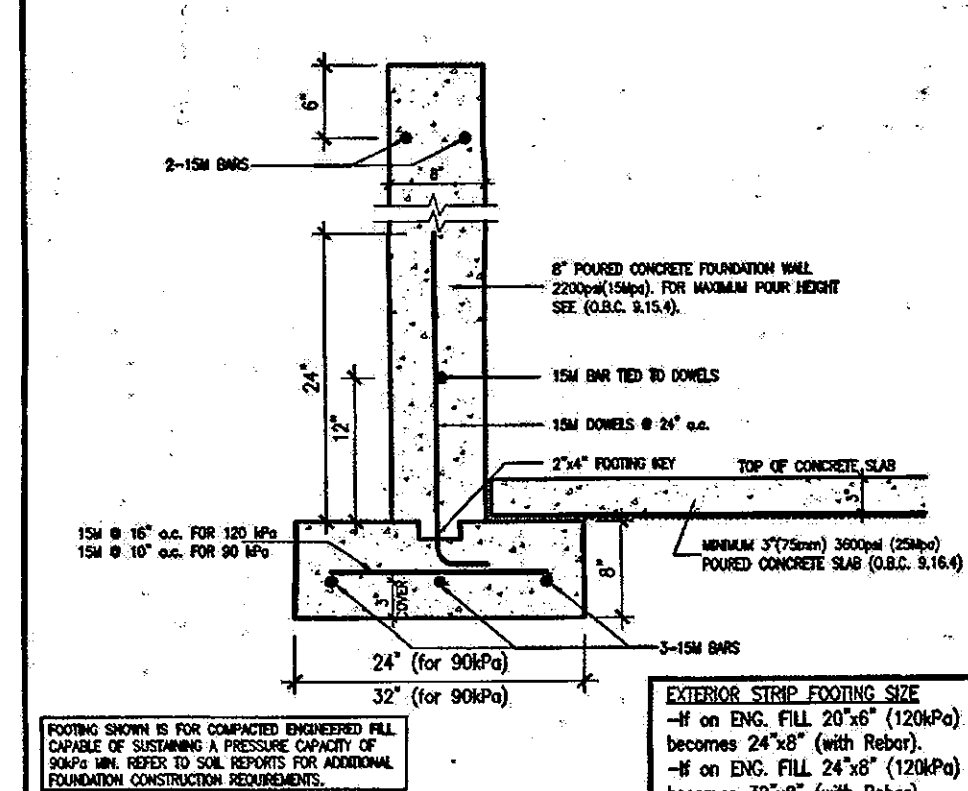
BLK 205
ELEV. 3



W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale

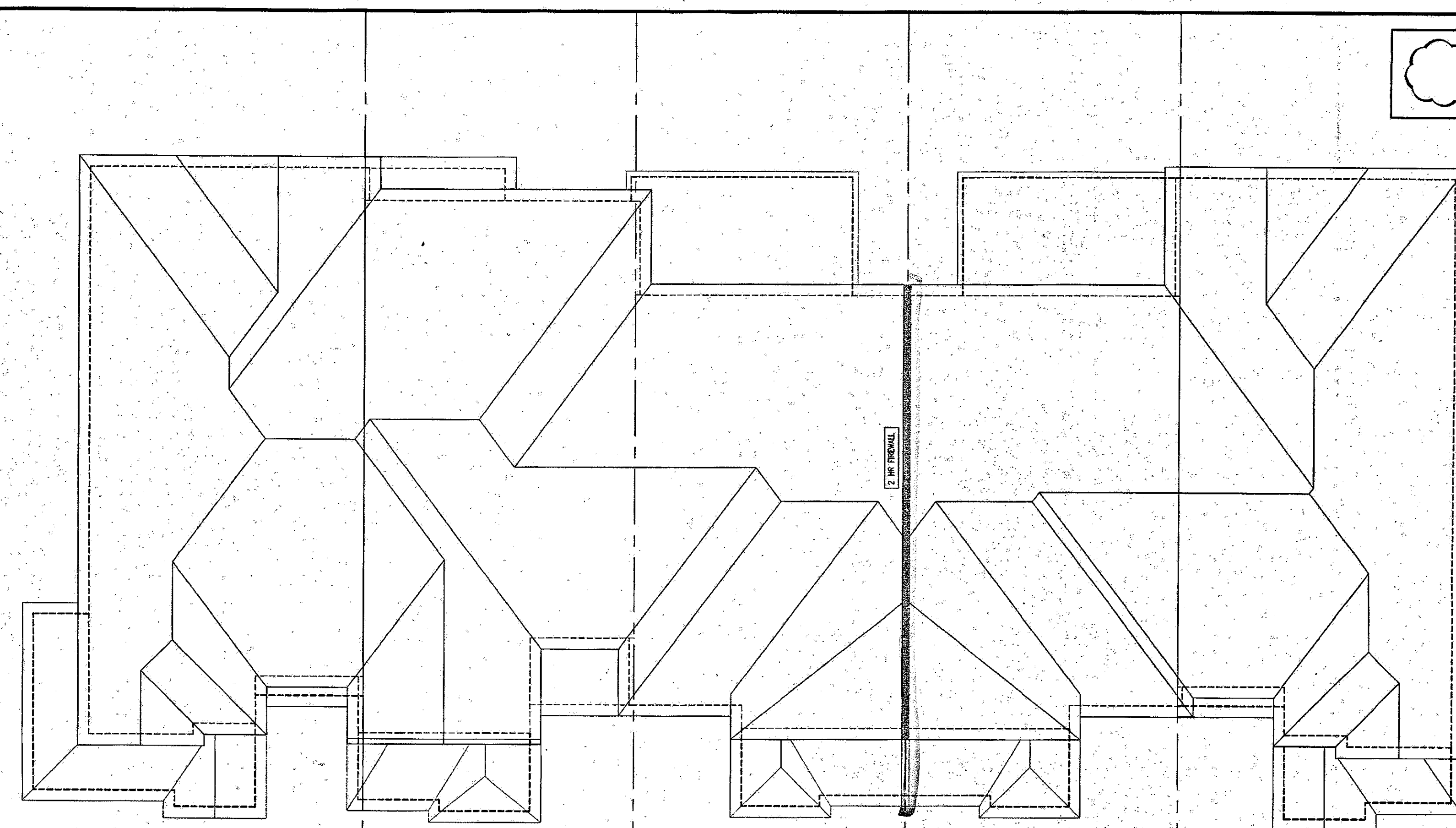


W2b TYPICAL FIRE WALL FOOTING
SCALE: Not to Scale

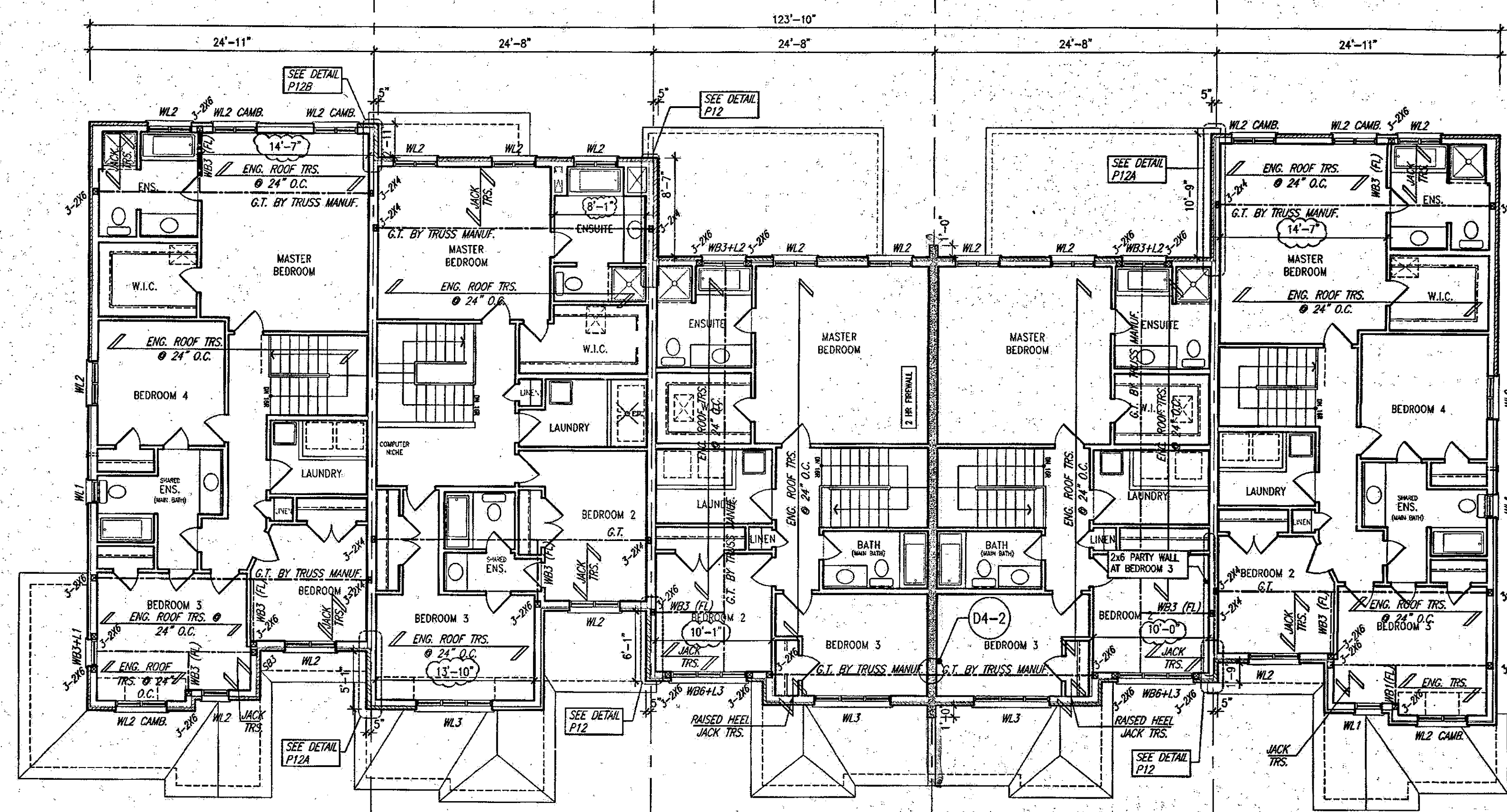


W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90 KPa. Minimum)
SCALE: Not to Scale

SUMP PUMP REQUIRED ON THIS LOT.
SUMP PUMP TO CONNECT TO STORM SEWER. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEETS W12010-N1 & W12010-GP1.



ROOF PLAN



SECOND FLOOR PLAN

NOTE:
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UNIT.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC'D TO: _____ DATE: _____
REC'D TO: _____ DATE: _____

BUILDING AREA
6578.09 S.F. (611.12 m²)

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120 KPa NATIVE SOIL
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FOOTINGS ON ENGINEERED FILL (90 KPa)
24"x6" CONCRETE STRIP FOOTINGS - with REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS - with REINFORCEMENT (UNLESS OTHERWISE NOTED)
32"x6" CONCRETE STRIP FOOTINGS - with REINFORCEMENT BELOW PARTY WALLS
44"x6" CONCRETE STRIP FOOTINGS - with REINFORCEMENT BELOW FIRE WALLS
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/ 13.0kPa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

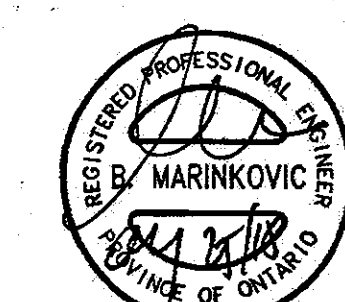
VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL

CITY OF HAMILTON
Building Division
Permit No. 17-13941
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings are for information only and do not constitute a contract.
FOR CHIEF BUILDING OFFICIAL DATE



STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any approvals for the subdivision agreement. The Contractor is not responsible in any way for the design, engineering or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANTS
AND ENGINEERS
APPROVED BY: _____
DATE: _____
The above certified structures are the property of John G. Williams Ltd. and shall not be further distributed or reproduced.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	APR 25/18
2	REVISED FOR CITY COMMENTS	APR 25/18
3	REVISED FOR PERMIT	APR 25/18
4	ISSUED FOR PROPOSAL	APR 25/18
5	REVISED AS PER ENGINEER COMMENTS	AUG 15/17
6	REVISED AS PER CLIENT COMMENTS	AUG 11/17
7	ISSUED FOR ROOF TRUSS LAYOUT	JUL 14/17

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VAS DESIGN
255 Consumers Rd
Suite 120
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416.630.2255
416.630.4782
vasdesign.com

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For information only, the following information is provided for the client's use and is not to be used for any other purpose. The information is provided for the client's use and is not to be used for any other purpose.

Author: Richard Vitek
Date: 24/08/18
Version: 02

***Greenpark.**
RUSSELL GARDENS PH2
WATERDOWN, ON. 16036
HIGHGROVE SERIES BLOCK 205
BLOCK 205 PLANS
JULY 2017 1/8" = 1'-0"
16036-BLOCK 205 B2

BLK 205
ELEV. 3

APR 25 2018

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 2 4 2018
REC'D BY: DATE
REC'D TO: DATE
REC'D TO: DATE



205-5 HIGHGROVE-5E
ELEV. 3 (UPGRADED)
(REV.)

RIGHT SIDE ELEVATION

205-5 HIGHGROVE-5E
ELEV. 3
(REV.)

205-4 HIGHGROVE-2
ELEV. 3
(REV.)

205-3 HIGHGROVE-2
ELEV. 3
(REV.)

205-2 HIGHGROVE-4
ELEV. 3
(REV.)

205-1 HIGHGROVE-5ES
ELEV. 3
(REV.)

REAR ELEVATION UPGRADE

TOP OF PLATE
TOP OF WINDOW
8'-0"
FIN. SECOND FLOOR
TOP OF DOOR
7'-10"
FIN. GROUND FLOOR
FIN. GRADE
8'-4"
FIN. BASEMENT FLOOR

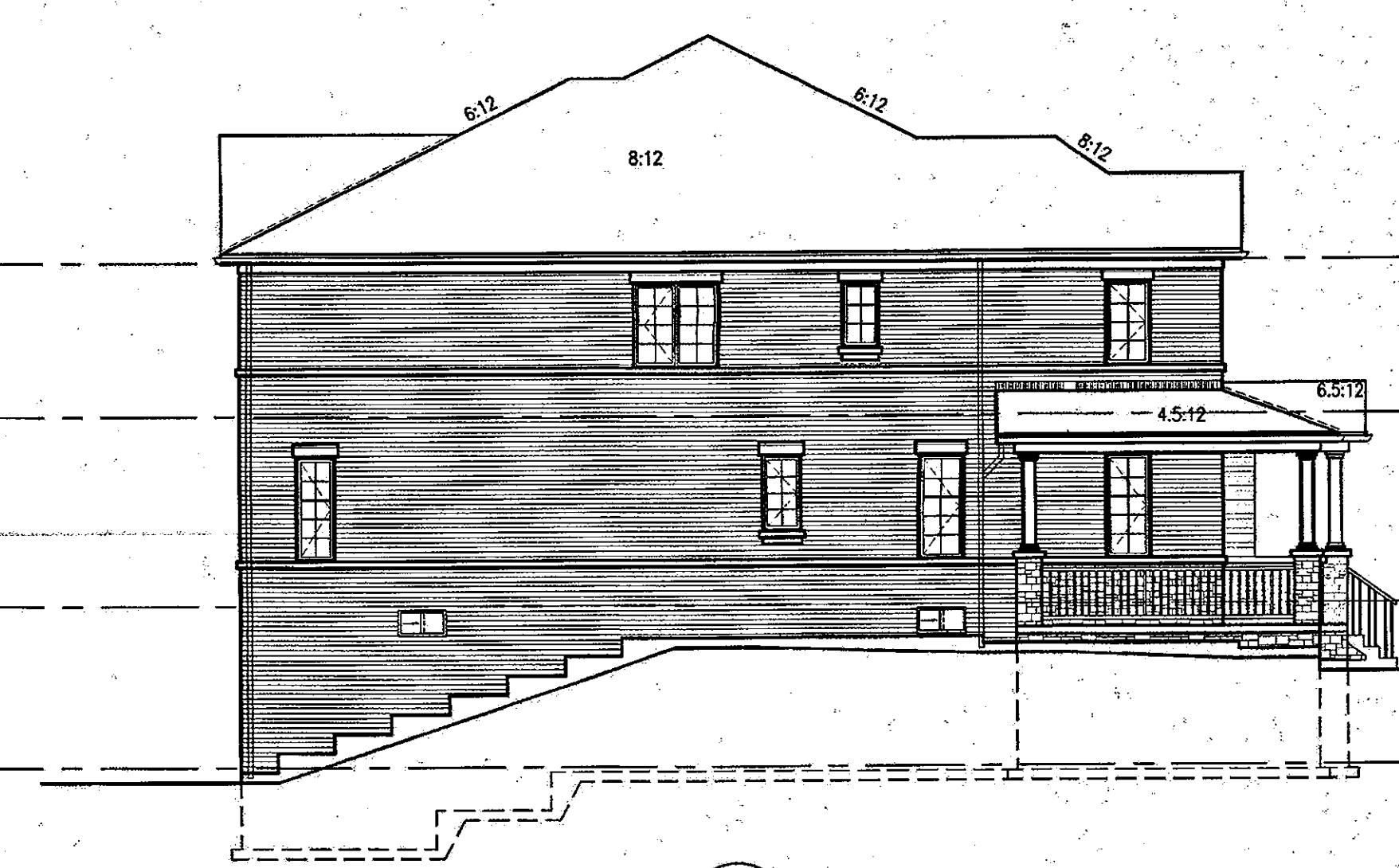
CITY OF HAMILTON
Building Division
Permit No. 17-13044
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and specifications have been reviewed
and approved for construction by the City of Hamilton
FOR CHIEF BUILDING OFFICIAL DATE
APR 25 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the applicable zoning by-law. The City of Hamilton is not responsible in any way for obtaining or interpreting the zoning by-law or building code for permit matters or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

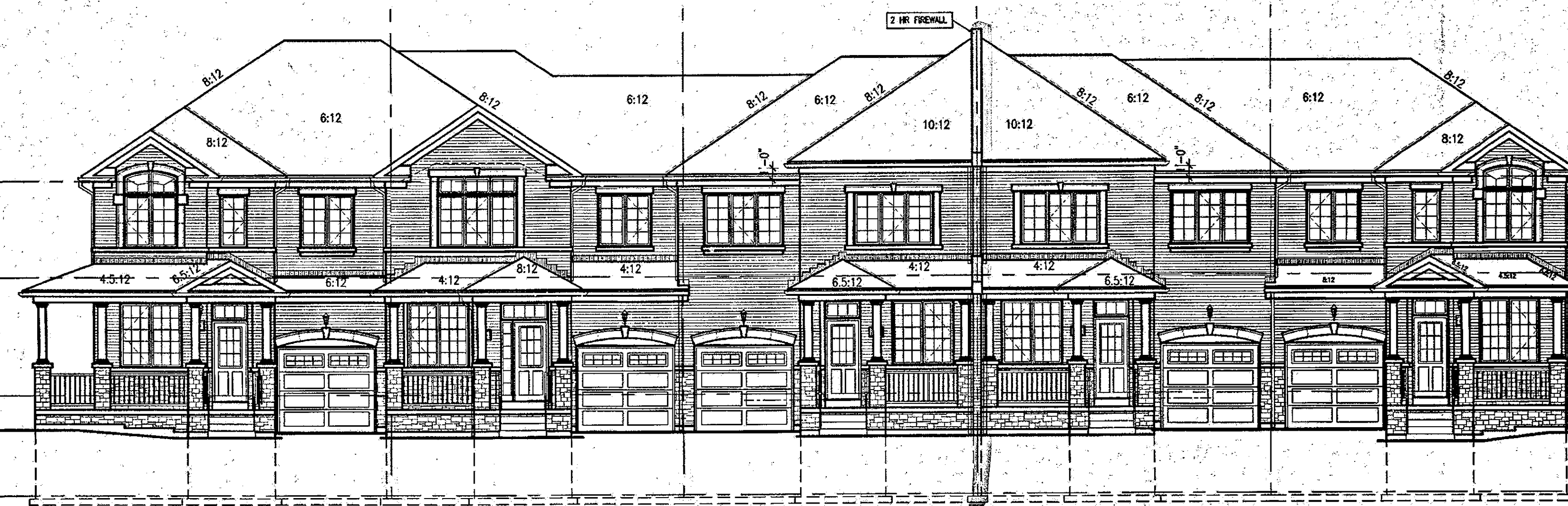
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING AND DESIGN
APPROVED BY: [Signature]
DATE: APR 25 2018
This stamp certifies compliance with the applicable design guidelines only and does not constitute a design or construction approval.

TOP OF PLATE
TOP OF WINDOW
8'-0"
FIN. SECOND FLOOR
TOP OF DOOR
7'-10"
FIN. GROUND FLOOR
FIN. GRADE
8'-4"
FIN. BASEMENT FLOOR



205-1 HIGHGROVE-5ES
ELEV. 3
(REV.)

LEFT SIDE UPGRADE ELEVATION



205-1 HIGHGROVE-5ES
ELEV. 3
(REV.)

205-2 HIGHGROVE-4
ELEV. 3
(REV.)

205-3 HIGHGROVE-2
ELEV. 3
(REV.)

205-4 HIGHGROVE-2
ELEV. 3
(REV.)

205-5 HIGHGROVE-5E
ELEV. 3
(REV.)

FRONT ELEVATION

APR 25 2018

BLK 205
ELEV. 3

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	APR 23/18 GW
2	REV. PER CITY COMMENTS, REISSUED	FEB 21/18 GW
3	REVISED, ISSUED FOR PERMIT	OCT 09/17 GW
4	ISSUED FOR PERMIT	AUG 24/17 GW
5	REVISED AS PER ENGINEER COMMENTS	AUG 15/17 GW
6	REVISED AS PER CLIENT COMMENTS	AUG 11/17 GW
7	ISSUED FOR PERMIT, THESE ELEVATIONS	OCT 14/17 GW
8	NO DESCRIPTION	DATE

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VAD DESIGN
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The undersigned has reviewed and taken responsibility for the design and construction of the project. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

Richard Vink
VAD Design, Inc.
255 Consumers Rd
Toronto ON M2J 1R4
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vadesign.com

Greenpark.
project name: RUSSELL GARDENS PH2
location: WATERDOWN, ON.
unit name: HIGHGROVE SERIES
project no: 16036
unit no: BLOCK 205
date: JULY 2017
scale: 1/8" = 1'-0"
drawn by: [Signature]
checked by: [Signature]
date: [Signature]