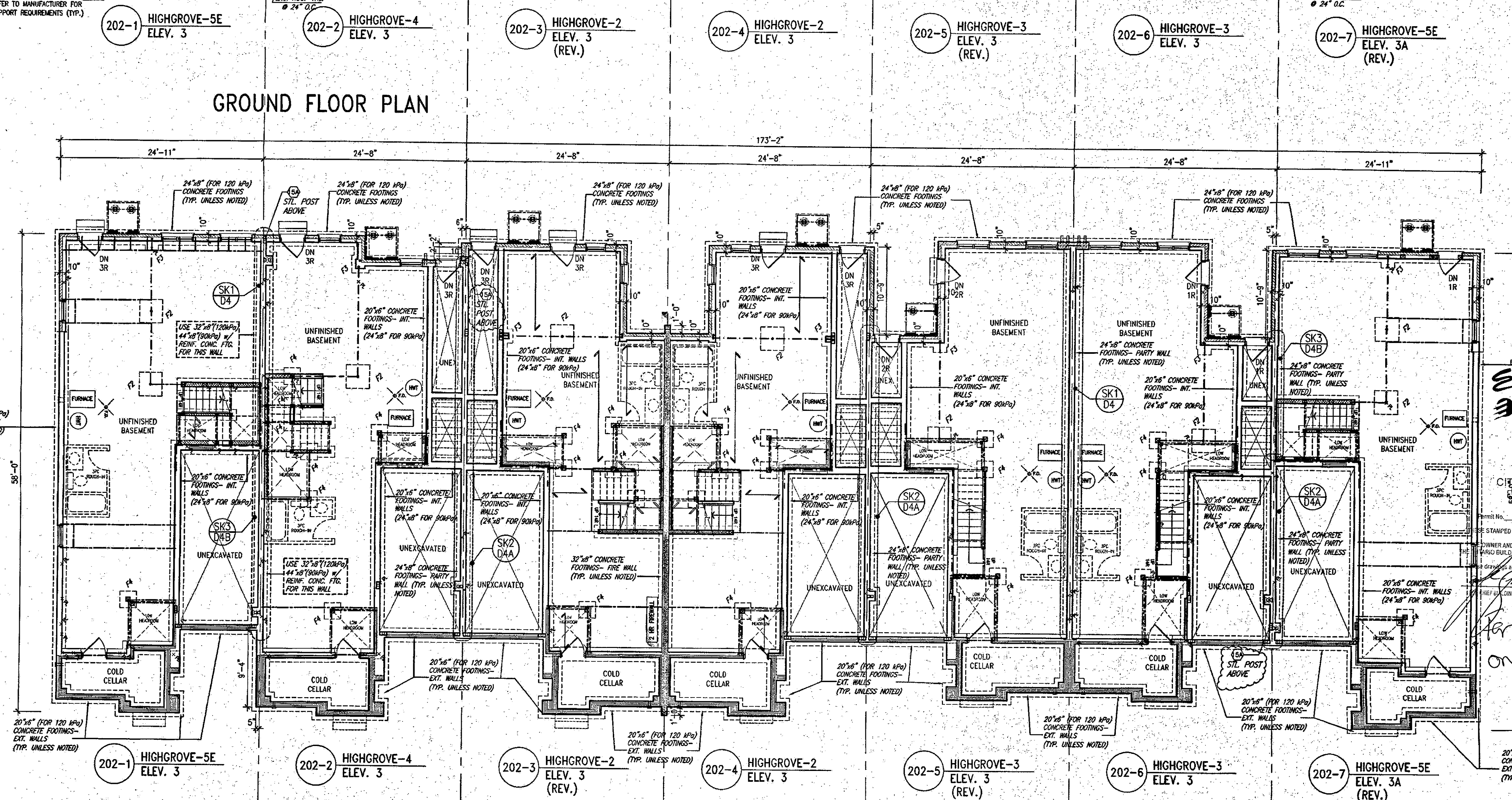
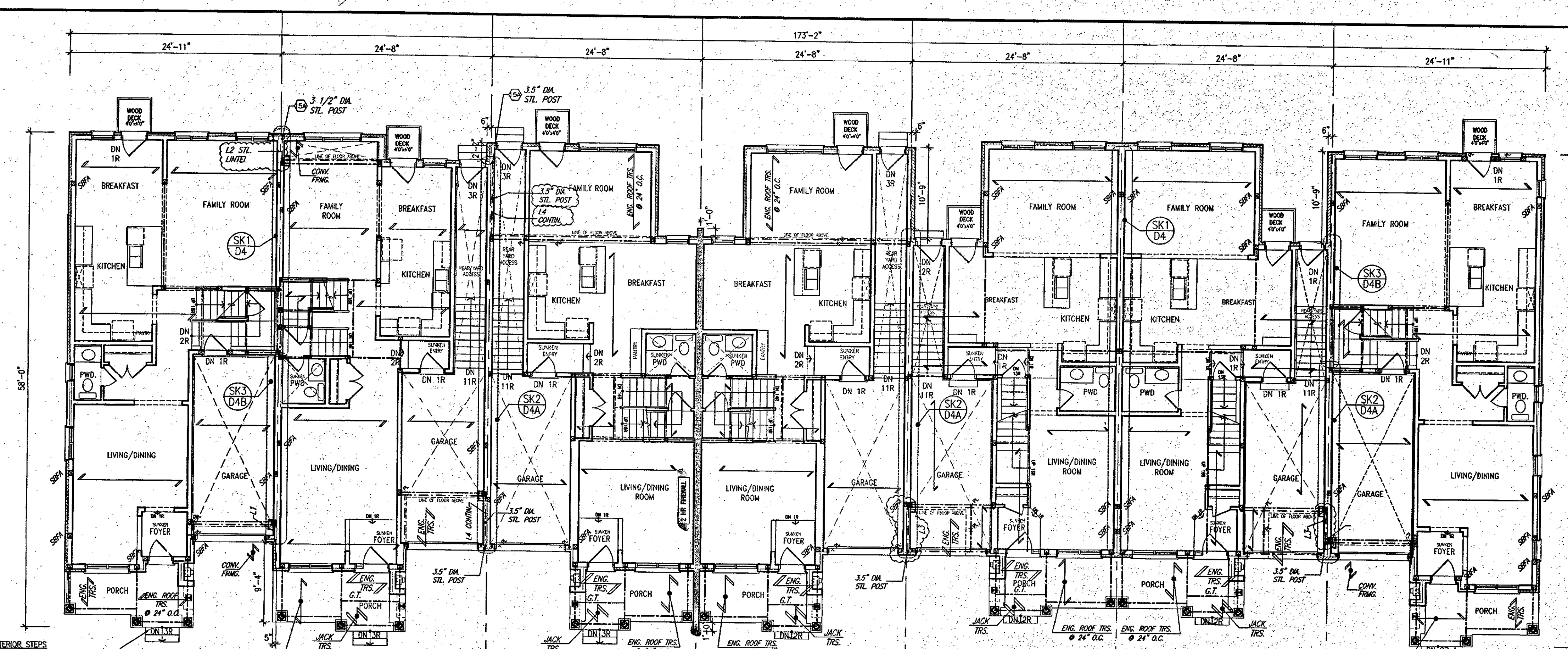
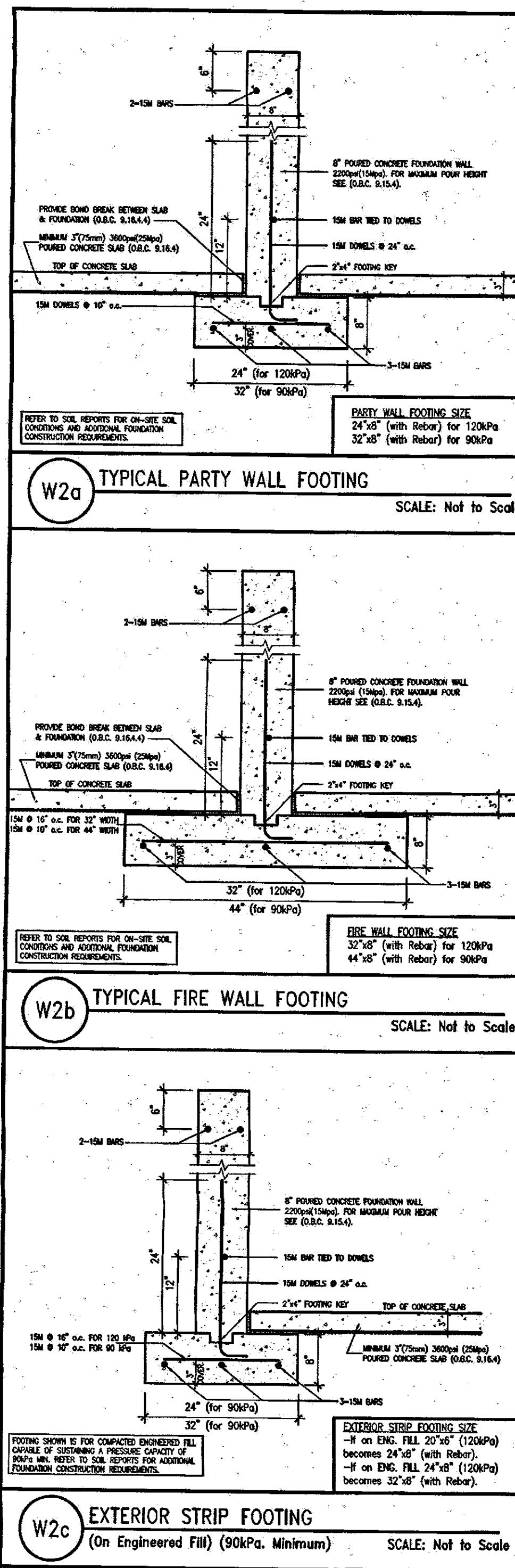




CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC'D TO: DATE
REC'D TO: DATE
REC'D TO: DATE

BUILDING AREA
9088.63 S.F. (844.36 m²)

PAD FOOTINGS
F1 = 42"x42"x18" CONCRETE PAD F2 = 48"x48"x20" CONCRETE PAD
F3 = 36"x36"x16" CONCRETE PAD F4 = 40"x40"x18" CONCRETE PAD
F5 = 30"x30"x12" CONCRETE PAD F6 = 34"x34"x14" CONCRETE PAD
F7 = 24"x24"x12" CONCRETE PAD F8 = 28"x28"x14" CONCRETE PAD
F9 = 18"x18"x8" CONCRETE PAD F10 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 kPa.)
24"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
32"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS
32"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 kPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90kPa/12.6psi FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VEENER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable building codes and all applicable regulations and requirements including zoning provisions and any provisions of the City of Hamilton Building By-Law. The Contractor is not responsible for any errors or omissions in the drawings or specifications. The Contractor is responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the approved plans and specifications. This is to certify that these plans comply with the applicable building codes and regulations. The City of Hamilton Building Division has approved these plans for construction.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
1471 BROADVIEW AVE. #100
SCARBOROUGH, ONT. M1S 1V8
TEL: (416) 291-1111
WWW.JGWLTD.COM

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	APR 26/18
2	ISSUED FOR PERMIT	FEB 15/18
3	ISSUED FOR PERMIT	NOV 15/17
4	ISSUED FOR PERMIT	SEP 29/17
5	ISSUED FOR PERMIT	AUG 14/17
6	ISSUED FOR PERMIT	AUG 14/17
7	ISSUED FOR PERMIT	AUG 14/17
8	ISSUED FOR PERMIT	AUG 14/17
9	ISSUED FOR PERMIT	AUG 14/17
10	ISSUED FOR PERMIT	AUG 14/17

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
Toronto, ON M2J 1R4
TEL: 416.630.2255
TEL: 416.630.4782
WWW.V3DESIGN.COM

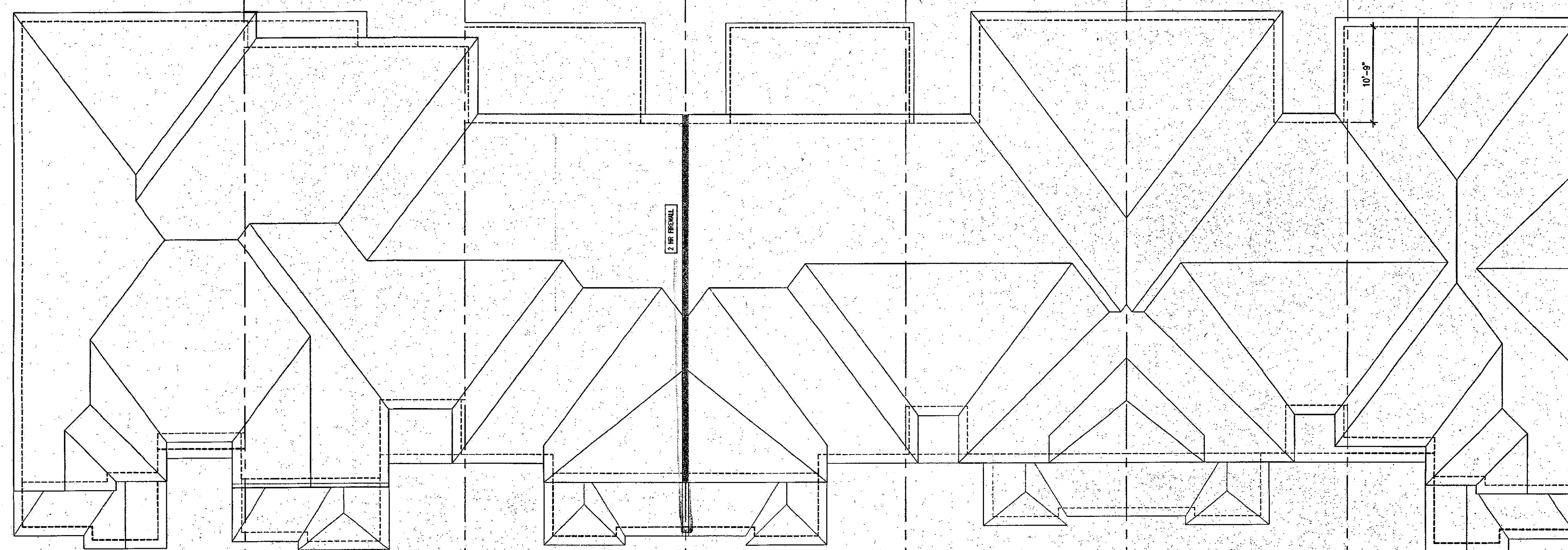
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Greenpark

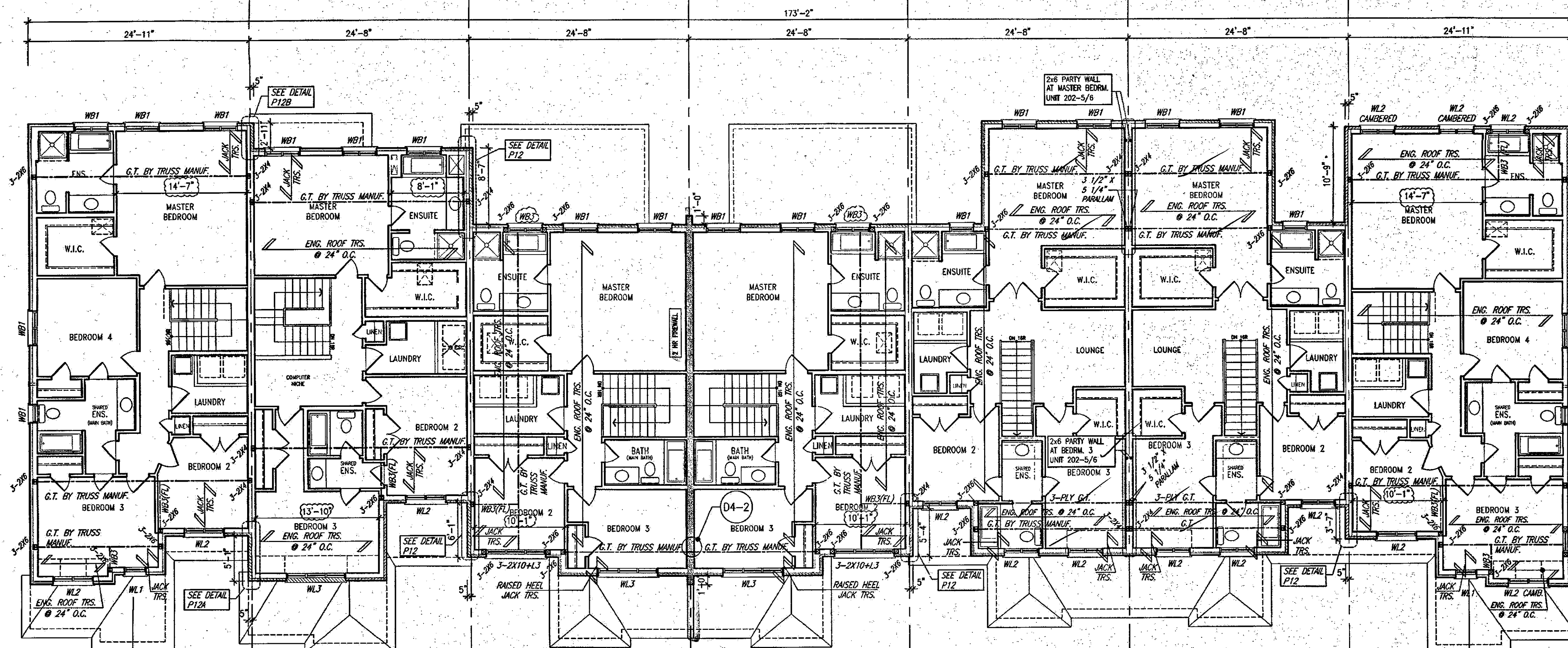
PROJECT NAME	RUSSELL GARDENS PH2	PROJECT NO.	16036
LOCATION	WATERDOWN, ON.	DATE	APR 23 2018
DESIGNER	HIGHGROVE SERIES	BLOCK	202
DATE	APR 23 2018	PLAN	B1

NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

BLK 202 ELEV. 3



ROOF PLAN



SECOND FLOOR PLAN

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC'D BY: DATE
REC'D TO: DATE
REF'D TO: DATE

BUILDING AREA
9088.63 S.F. (844.36 m²)

PAD FOOTINGS
120 KPA. MIN. SOL.
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
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F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPA.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x6" CONCRETE STRIP FOOTINGS (with REIN) BELOW PARTY WALLS
30"x6" CONCRETE STRIP FOOTINGS (with REIN) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 KPA.)
20"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)
30"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
40"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.7kPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 30KPa/ 13.0kPa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL UNITS

FOR THE FOLLOWING

-GROUND FLOOR ROOF

STRUCTURE

-BASEMENT AND GROUND

FLOOR LINTELS

-GROUND FLOOR AND

SECOND FLOOR STRUCTURE

-DOUBLE VOLUME WALL

LOCATION AND DETAILS

-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
AND SIGNATURE MUST BE FILED
FOR MORE INFORMATION PLEASE CALL:
1-877-664-SAFE (372-7233)
PLUG IN SAFELY - HIRE A LICENSED
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FIND A CONTRACTOR AT
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CITY OF HAMILTON
Building Division
Permit No. 17-132-198
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and specifications have been reviewed by
FOR OFFICIAL BUILDING OFFICIAL DATE
FOR REVIEW ONLY
DATE

PROFESSIONAL ENGINEER
MARINKOVIC
STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval are correct and that the Architectural Guidelines including zoning provisions and any provisions in the building code are followed. The Contractor is not responsible in any way for approving or rejecting any building plans or building code or permit matter or that any issue can be properly built or located on the lot.
This is to certify that these plans comply with the applicable Architectural Guidelines and have been approved by the City of Hamilton.
JOHN G. WILLIAMS, LTD., INC. ARCHITECT
ARCHITECTURAL, ENGINEERING, INTERIOR DESIGN
DATE: 25.05.2018

255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
1 416.630.2255
1 416.630.4782
va3design.com

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Greenpark.
RUSSELL GARDENS PH2
WATERDOWN, ON.
HIGHGROVE SERIES
BLOCK 202
BLOCK 202 PLANS
1/8" = 1'-0"
MAY 2017
16035-BLOCK 202

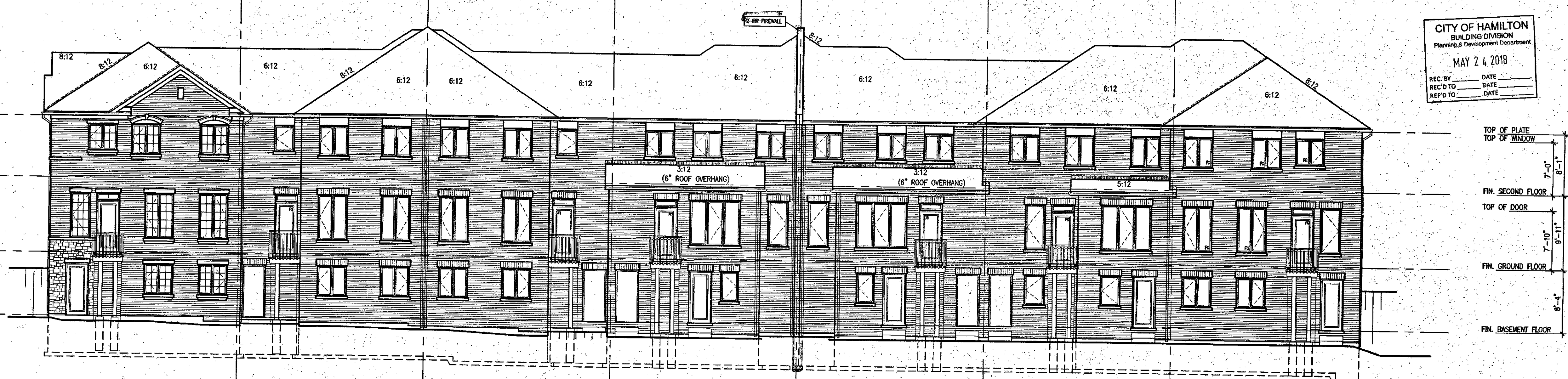
BLK 202
ELEV. 3

APR 23 2018

16035-BLOCK 202

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 2 4 2018
REC'D BY: DATE
REC'D TO: DATE
REC'D TO: DATE



202-7 HIGHGROVE-5E
ELEV. 3A
(REV.)

202-6 HIGHGROVE-3
ELEV. 3

202-5 HIGHGROVE-3
ELEV. 3
(REV.)

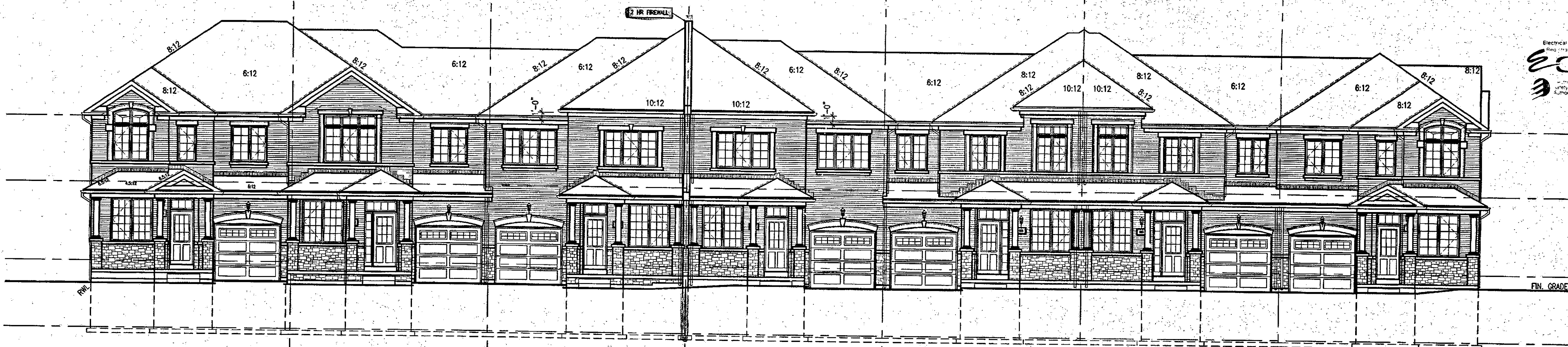
202-4 HIGHGROVE-2
ELEV. 3

202-3 HIGHGROVE-2
ELEV. 3
(REV.)

202-2 HIGHGROVE-4
ELEV. 3

202-1 HIGHGROVE-5E
ELEV. 3

REAR ELEVATION



202-1 HIGHGROVE-5E
ELEV. 3

202-2 HIGHGROVE-4
ELEV. 3

202-3 HIGHGROVE-2
ELEV. 3
(REV.)

202-4 HIGHGROVE-2
ELEV. 3

202-5 HIGHGROVE-3
ELEV. 3
(REV.)

202-6 HIGHGROVE-3
ELEV. 3

202-7 HIGHGROVE-5E
ELEV. 3A
(REV.)

FRONT ELEVATION

Electrical Contractor
Inspection Agency
ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICANTS MUST BE FILED
FOR REVIEW AND APPROVAL. PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-654-SAFE (7423)
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ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.electrify.ca

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF DOOR
FIN. GROUND FLOOR
FIN. BASEMENT FLOOR

CITY OF HAMILTON
Building Division
Permit No. 17-B2-198
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS.
These drawings and specifications have been reviewed by
[Signature] DATE
[Signature] DATE
[Signature] DATE

APR 23 2018

BLK 202
ELEV. 3

It is the architect's complete responsibility to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any approvals in the development agreement. The Contractor is not responsible for any errors or omissions in the drawings or specifications. The Contractor is responsible for obtaining all necessary permits and approvals. The Contractor is responsible for obtaining all necessary permits and approvals. The Contractor is responsible for obtaining all necessary permits and approvals.

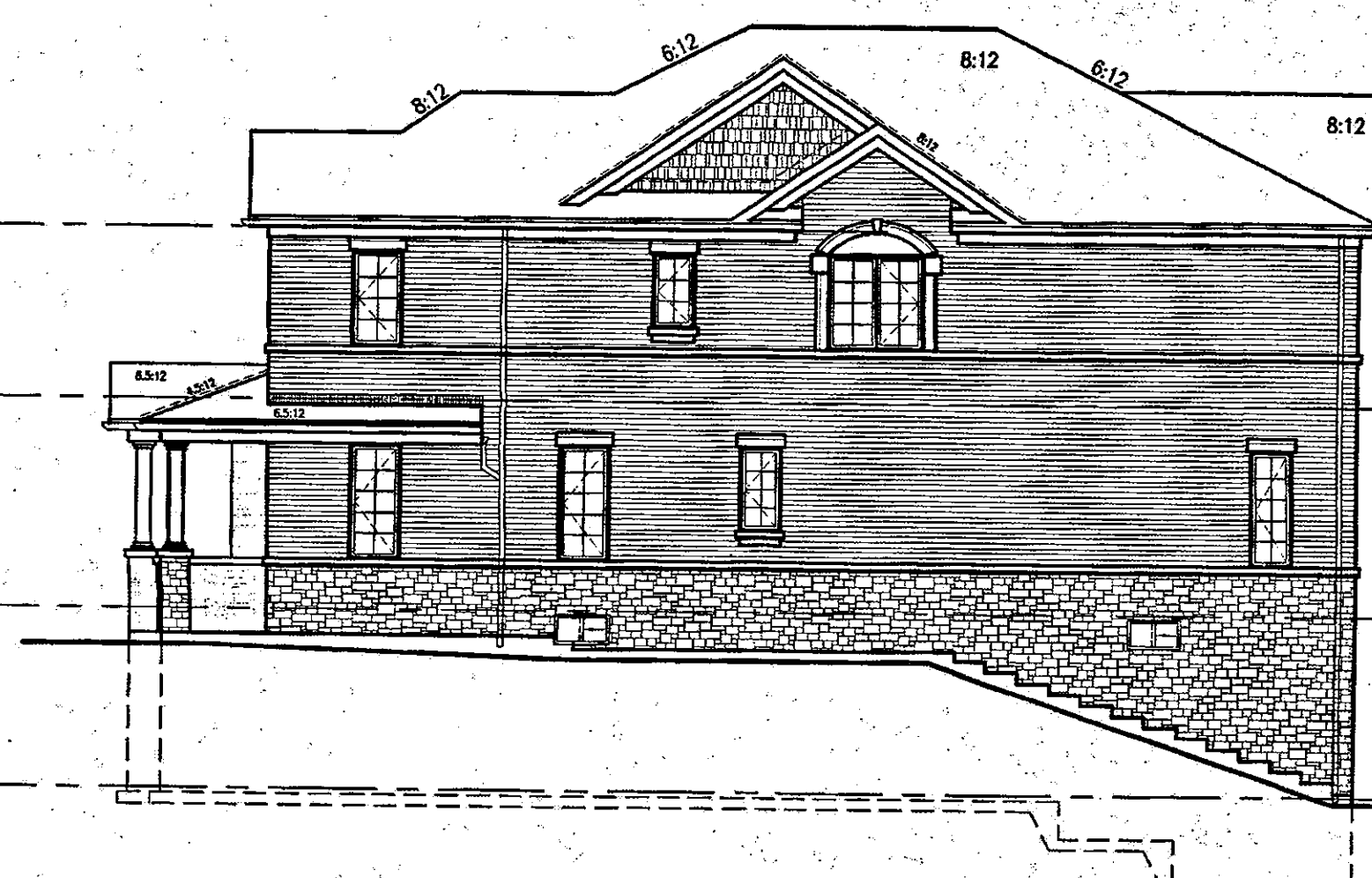
JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTING
AND APPROVAL
DATE: APR 23 2018
The drawings and specifications are the property of the architect and shall be returned at the completion of the work. Drawings are not to be scaled.

NO.	DESCRIPTION	DATE	BY
10	REVISED	APR 20/18	OW
9	REVISED PER CITY COMMENTS, REISSUED	FEB 15/18	OW
8	REVISED PER CITY COMMENTS, REISSUED	FEB 15/18	OW
7	UNIT 7 SUBMITTED TO CITY FOR ARCH. CONTROL	MAR 22/17	OW
6	REVISED, ISSUED FOR PERMIT	SEP 29/17	OW
5	ISSUED FOR PERMIT	AUG 25/17	OW
4	REVISED AS PER ENG. COMMENTS	AUG 14/17	WT
3	REVISED AS PER CLIENT COMMENTS	AUG 11/17	WT
2	BASE UNIT 7 FORWARD SECOND FLOOR, 18" REAR JOG TO UNIT 6	JUL 24/17	BO
1	ISSUED FOR PERMIT	JUL 13/17	OW

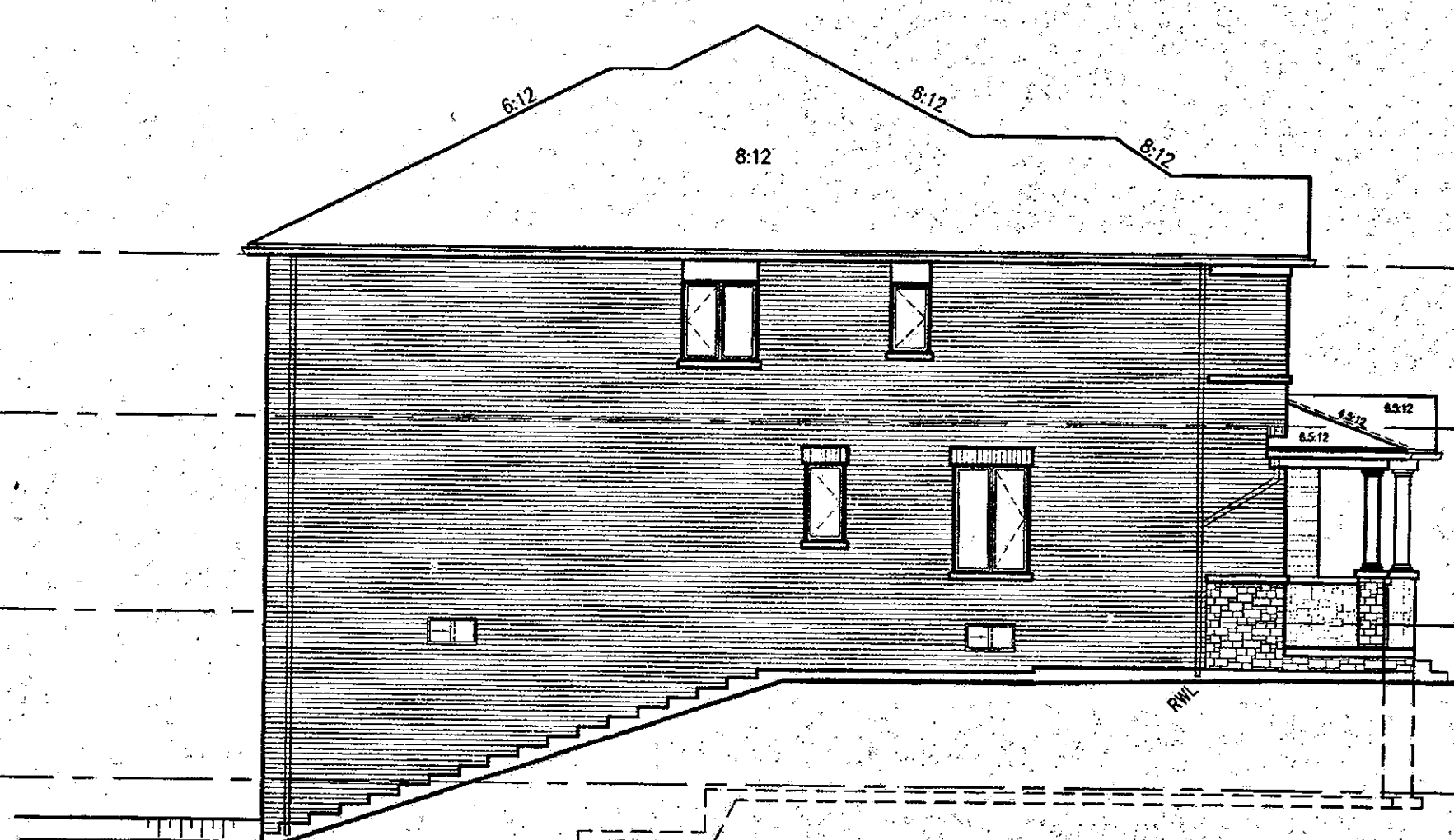
VA3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
T 416.630.2255
F 416.630.4782
va3design.com

Greenpark.
RUSSELL GARDENS PH2
WATERLOO, ON
HIGHGROVE SERIES
BLOCK 202
BLOCK 202 ELEVATIONS
JULY 2017
1/8" = 1'-0"

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC. BY: DATE:
REC'D TO: DATE:
REF'D TO: DATE:



202-7 HIGHGROVE-5E
ELEV. 3A
(REV.)
RIGHT SIDE ELEVATION



202-1 HIGHGROVE-5E
ELEV. 3
LEFT SIDE ELEVATION

Electrical Contractor
Reg. Ontario Agency
ELECTRICAL SAFETY AUTHORITY
FOR MORE INFORMATION PLEASE CALL
1-877-654-SAFE (372-7233)
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.electrify.ca

TOP OF PLATE
TOP OF WINDOW
7'-0" 6'-1"
FIN. SECOND FLOOR
TOP OF DOOR
7'-10" 9'-11"
FIN. GROUND FLOOR
8'-4"
FIN. BASEMENT FLOOR

CITY OF HAMILTON
Building Division
Permit No. 17-132198
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE
FOR LAYOUT ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and requirements including zoning and any other conditions in the subdivision agreement. The Contractor is not responsible in any way for the accuracy or appropriateness of the building plans or building materials used in any building. The owner is responsible for ensuring that the house can be properly built or located on the lot.

JOHN C. WILLIAMS LTD., ARCHITECTS
REGISTERED ARCHITECT
DESIGNED BY
APPROVED BY
This stamp certifies compliance with the applicable Ontario Building Code and the applicable Ontario Building Act. The architect's professional responsibility is not affected by this stamp.

1	ISSUED FOR ROOF TRUSS LAYOUTS	JUL 17/17	DN	
2	SLIDE UNIT 7 FORWARD SECOND FLOOR 18" REAR JOG TO UNIT 6	JUL 24/17	RC	
3	REVISED AS PER CLIENT COMMENTS	AUG 14/17	WT	
4	REVISED AS PER CLIENT COMMENTS	AUG 14/17	WT	
5	ISSUED FOR PERMIT	MAY 23/17	DN	
6	REVISED FOR PERMIT	MAY 23/17	DN	
7	UNIT 7 CHANGED TO CL. OR FOR ARCH. CONTROL	MAY 03/17	DN	
8	REVISED FOR CITY COMMENTS, REVISIONS	APR 20/18	DN	

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

Greenpark.
RUSSELL GARDENS PH2
WATERDOWN, ON.
HIGHGROVE SERIES
BLOCK 202
BLOCK 202 ELEVATIONS
JULY 2017
1/8" = 1'-0"

APR 23 2018
BLK 202
ELEV. 3