

2264 SF.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
9113
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

HIGHROVE SE AND ELEV. 3	ENERGY EFFICIENCY - DEC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	299.16 S.F.	9.95 %
TOTAL SQ. M.	279.24 S.M.	27.79 S.M.	9.95 %

GROUND FLOOR AREA	1024 SF
SECOND FLOOR AREA	1228 SF
TOTAL FLOOR AREA	2252 SF (209.22 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2252 SF (209.22 m2)
GROUND FLOOR COVERAGE	1024 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	1340 SF (124.50 m2)
COVERAGE W/O PORCH	1244 SF (115.57 m2)

OCT 04 2017

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

18	.	.	.	9	.	.	.
17	.	.	.	8	.	.	.
16	.	.	.	7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GM
15	.	.	.	6	ISSUED FOR PRICING.	AUG. 23/17	GM
14	.	.	.	5	STUCCO REPLACED.	JUL. 05/17	GM
13	.	.	.	4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WM
12	.	.	.	3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GM
11	.	.	.	2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GM
10	.	.	.	1	PRELIMINARY REVIEW.	APR. 12/17	GM
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink 24 name <i>R. Vink</i> signature registration information VAS Design Inc. 42	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

VA3
DESIGN
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

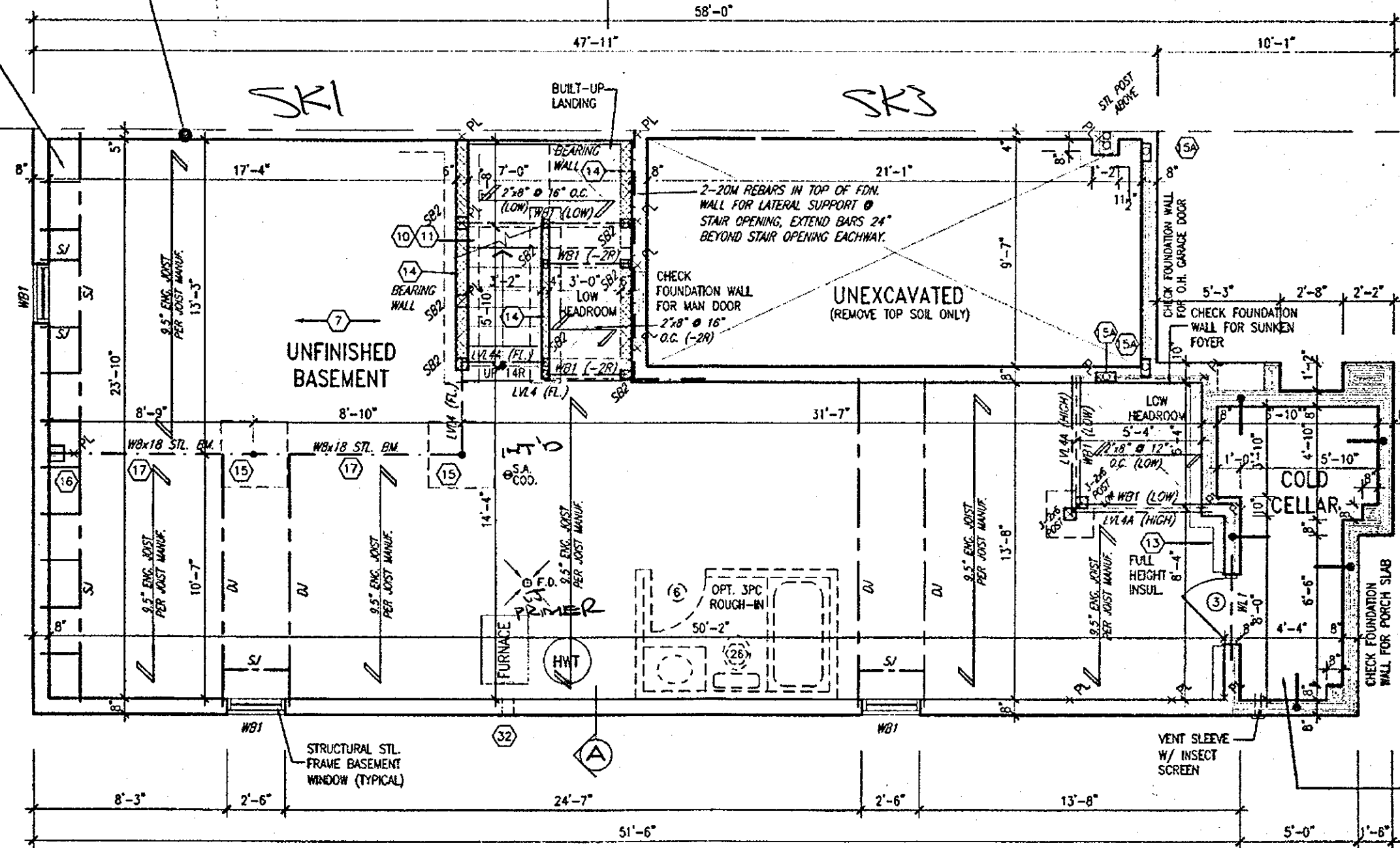
 Greenpark.		HIGHGROVE 5E	
project name RUSSELL GARDENS PH.2		municipality WATERDOWN, ON.	
date MARCH 2017		project 1603	
drawing no. 1603		drawing no. 1603	
title TYPICAL NOTES & AREAS		title TYPICAL NOTES & AREAS	
drawn by WTC		checked by WTC	
scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
sheet 1603SE-HIGHGROVE 5E		sheet 1603SE-HIGHGROVE 5E	
project 1603SE-HIGHGROVE 5E		project 1603SE-HIGHGROVE 5E	

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE

2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
 • REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.
 • REFER TO DETAIL PAGES 4, 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT WALL INSULATION (TYP.) (13)
 -6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
 -2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
 -2"x4" @ 16" o.c. w/ R12 BATT INSULATION.
 -EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving s.d.o. (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: APR 20, 2018
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



STRUDET INC.
 FOR STRUCTURE ONLY

BASEMENT PLAN ELEV. '3'

CITY OF HAMILTON
 Building Division

Permit No. 17-131847

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

[Signature] AUG 11 2018
 FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E COMPLIANCE PACKAGE A1

18				9	REVISED.	APR 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	GW
16				7	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW
15				6	ISSUED FOR PRICING.	AUG 23/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
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10				1	PRELIMINARY REVIEW.	APR 12/17	GW
no description		date	by	no description		date	by



255 Consumers Rd Suite 120
 Toronto, ON M2J 1R4
 416.630.2255 / 416.630.4782
 vasdesign.com



project name: RUSSELL GARDENS PH.2 municipality: WATERDOWN, ON.

DATE: MARCH 2017
 drawn by: [Signature]
 checked by: [Signature]
 scale: 3/16" = 1'-0"

BASEMENT PLAN ELEV. '3'

HIGHGROVE 5E

project no. 16036

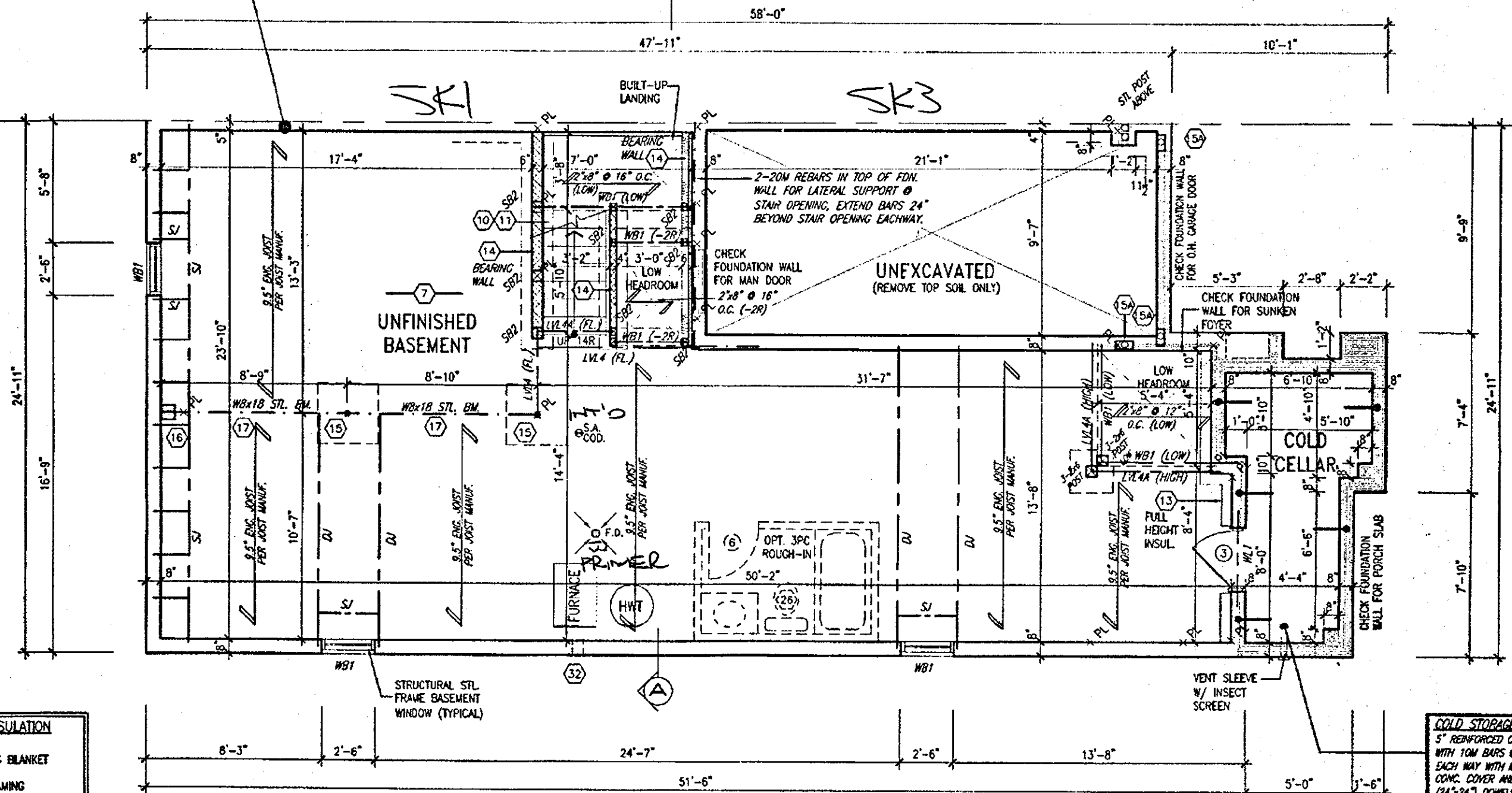
16036-HIGHGROVE 5E

A1b

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2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
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 • REFER TO DETAIL PAGES 4, 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



BASEMENT PLAN ELEV. '3A' - B202-UNIT 7/B211-UNIT6/B212-UNIT1

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 Building Division

Permit No. 131847

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These drawings and/or specifications have been reviewed by

[Signature] DATE APR 11/18
 FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E
 COMPLIANCE PACKAGE A1

18				9	REVISED	APR 16/18	GW
17				8	REV. PER CITY COMMENTS REISSUED	FEB 06/18	GW
16				7	REVISED ISSUED FOR PERMIT.	SEP 28/17	GW
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14				5	STUCCO REPLACED.	JUL 05/17	GW
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10				1	PRELIMINARY REVIEW.	APR 12/17	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24485
 name registration information
 VAS Design Inc. 47658
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 (416) 630-2255 / (416) 630-4782
 vasdesign.com

Greenpark.
 project name: RUSSELL GARDENS PH.2
 municipality: WATERDOWN, ON.
 date: MARCH 2017
 checked by: GW
 scale: 3/16" = 1'-0"

HIGHGROVE 5E
 project no: 16036
 drawing no: 16036-HIGHGROVE 5E
A1c

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
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GROUND FLOOR PLAN ELEV. '3'

CITY OF HAMILTON
Building Division

Permit No. 17-131847

Permit No. _____

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

_____ have been reviewed by _____

THE ONTARIO BUILDING CODE ACT
These drawings and/or specifications have been reviewed by
  1/18
DATE
FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: Apr. 20, 2018

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ALL GARAGE SLABS, PORCH
SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa.
WITH 5-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

ENGINEERED FLOOR FRAMING INFO.
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



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18				9	REVISED	APR. 16/18	GW	The undersigned has received and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17				8	REV. PER CITY COMMENTS. REVISED.	FEB 06/18	GW		
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	qualification information	
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink	2448
14				5	STUCCO REPLACED.	JUL 03/17	GW	name registration information	BCA
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	VAS Design Inc.	4265
12				3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN 14/17	GW		
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Payment may not be agreed	
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by	no.	description	date	by		



V&A
DESIGN

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
y@design.com

Greenpark.

project name	Municipality	
RUSSELL GARDENS PH.2	WATERDOWN, ON.	
date	GROUND FLOOR F	
MARCH 2017		
drawn by	checked by	scale
WT	GW	3/16" = 1'-0"
		180336

HIGHGROVE 5E

Project no.
6036

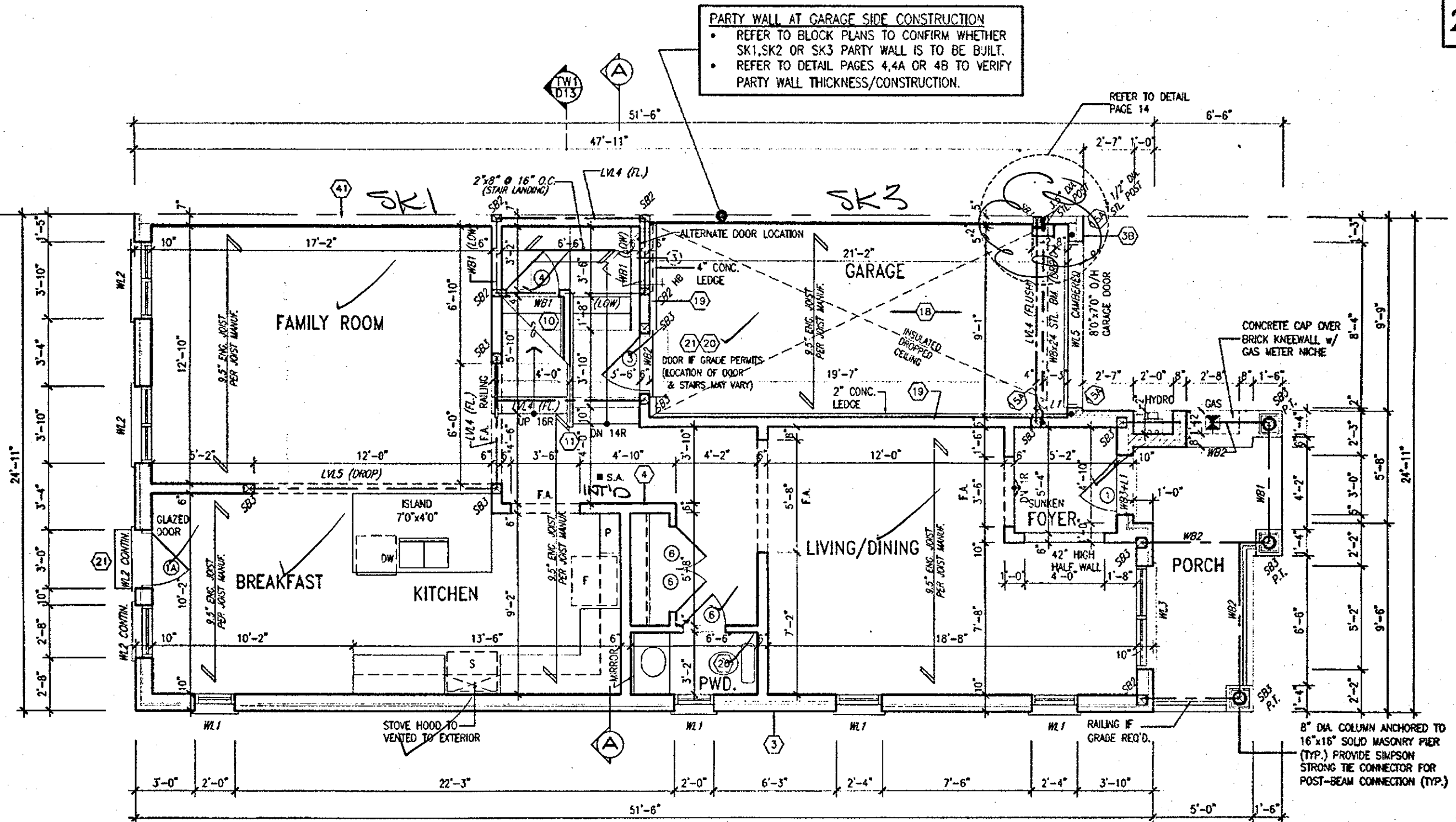
GROUND FLOOR PLAN ELEV. '3'

Following the

2b |

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2264 SF.



GROUND FLOOR PLAN ELEV. '3A' - B202-UNIT 7/B211-UNIT6/B212-UNIT1

CITY OF HAMILTON
Building Division

Permit No. 17-131847

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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These drawings and specifications have been reviewed by
[Signature]
FOR CHIEF BUILDING OFFICIAL
DATE AUG 18

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: APR 20 2018
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STRUDET INC.
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SLABS, STAIRS (EXPOSED CONC.
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ENGINEERED FLOOR FRAMING INFO
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18	REVISED	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	REV. PER CITY COMMENTS, REISSUED	FEB. 06/18	GW	qualification information
16	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink 24488
15	ISSUED FOR PRICING.	AUG. 23/17	GW	name
14	STUCCO REPLACED.	JUL. 05/17	GW	registration information
13	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	VAS Design Inc. 42653
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer must be returned at the completion of the work. Drawings are not to be scaled.
11	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10	PRELIMINARY REVIEW.	APR. 12/17	GW	
9				
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6				
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1				

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name
registration information
VAS Design Inc. 42653

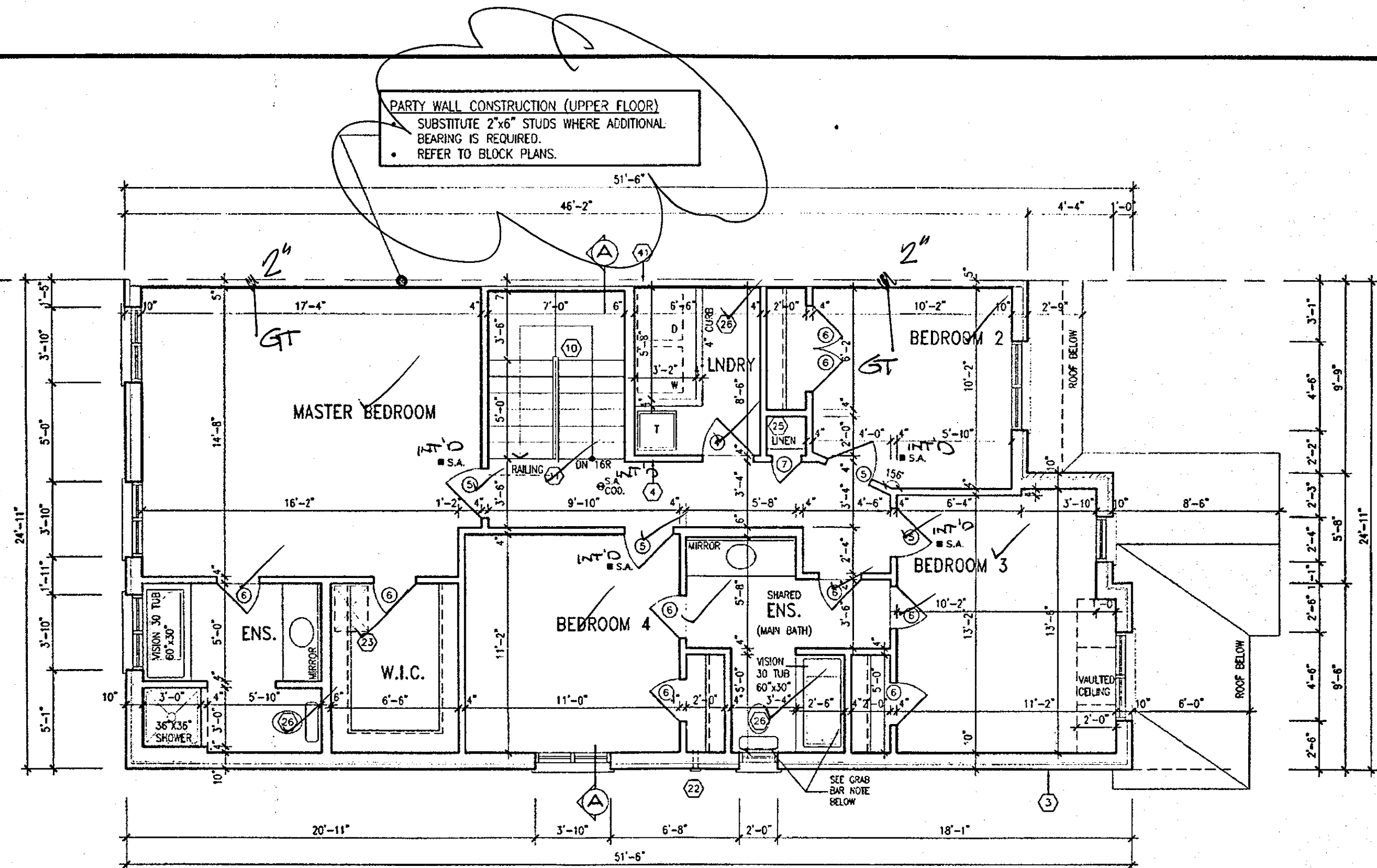
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VAS DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
Project name: RUSSELL GARDENS PH.2
Municipality: WATERDOWN, ON.
Date: MARCH 2017
Drawn by: GW
Checked by: GW
Scale: 3/16" = 1'-0"

HIGHGROVE 5E
Project no. 16036
Drawing no. 16036-HIGHGROVE 5E-NEW
GROUND FLOOR PLAN ELEV. '3A'
A2c

2264 SF.



SECOND FLOOR PLAN ELEV. '3'

CITY OF HAMILTON
Building Division

Permit No. **17-131847**
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[Signature] AUG 1/18
DATE
FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
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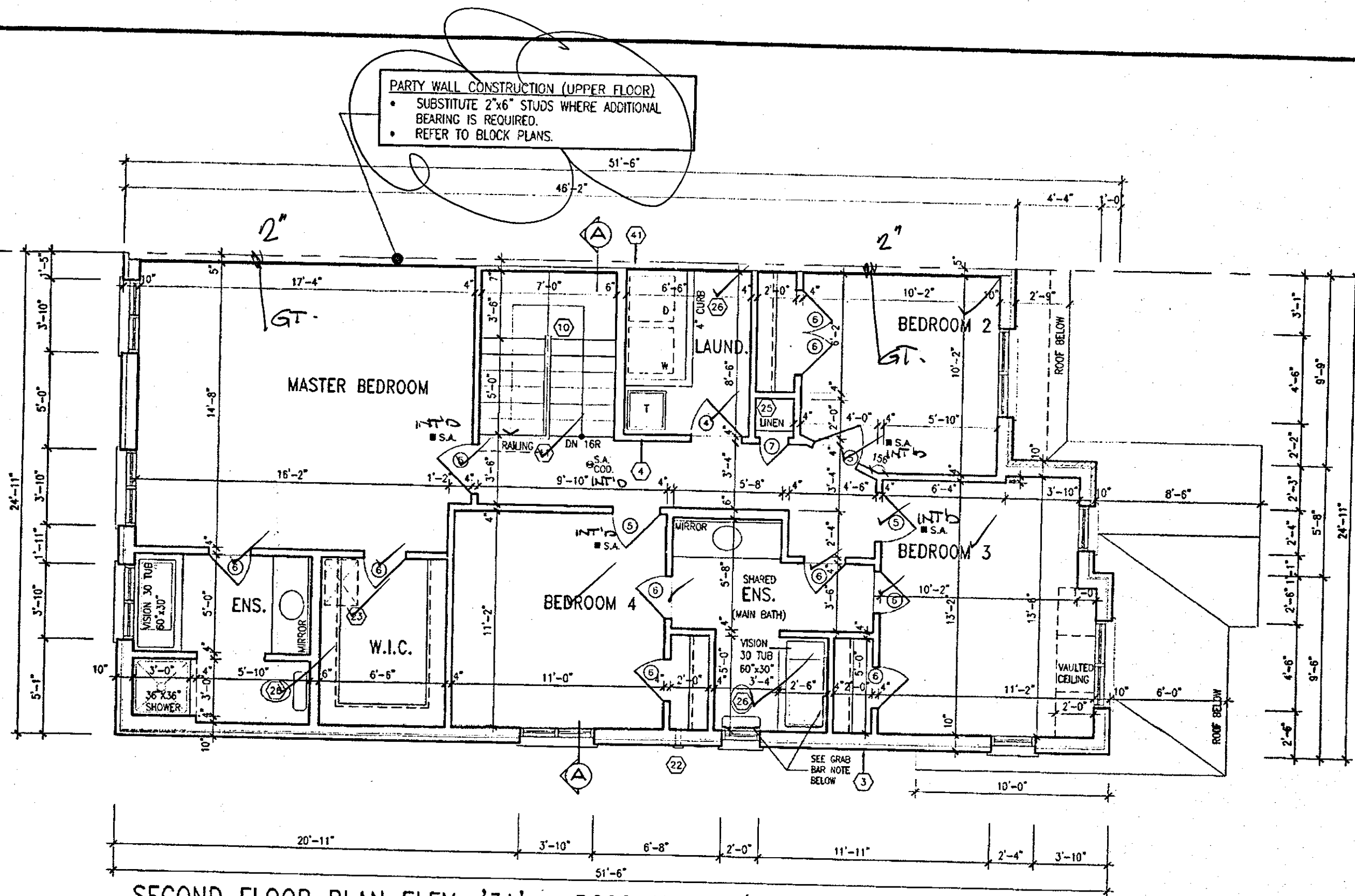
18				9	REVISED.	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink  24488 signature none regulation information VAS Design inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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14				5	STUCCO REPLACED.	JUL. 05/17	GW	
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no.	description	date	by	no.	description	date	by	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
Project name: **RUSSELL GARDENS PH.2**
City: **WATERDOWN, ON.**
Date: **MARCH 2017**
Drawn by: **GW**
Checked by: **GW**
Scale: **3/16" = 1'-0"**

HIGHGROVE 5E
Project no. **16036**
Drawing no. **A3b**
SECOND FLOOR PLAN ELEV. '3'

2264 SF.



SECOND FLOOR PLAN ELEV. '3A' - B202-UNIT 7/B211-UNIT6/B212-UNIT1
CITY OF HAMILTON
Building Division

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[Signature] DATE 11/18
FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: Apr. 20, 2018

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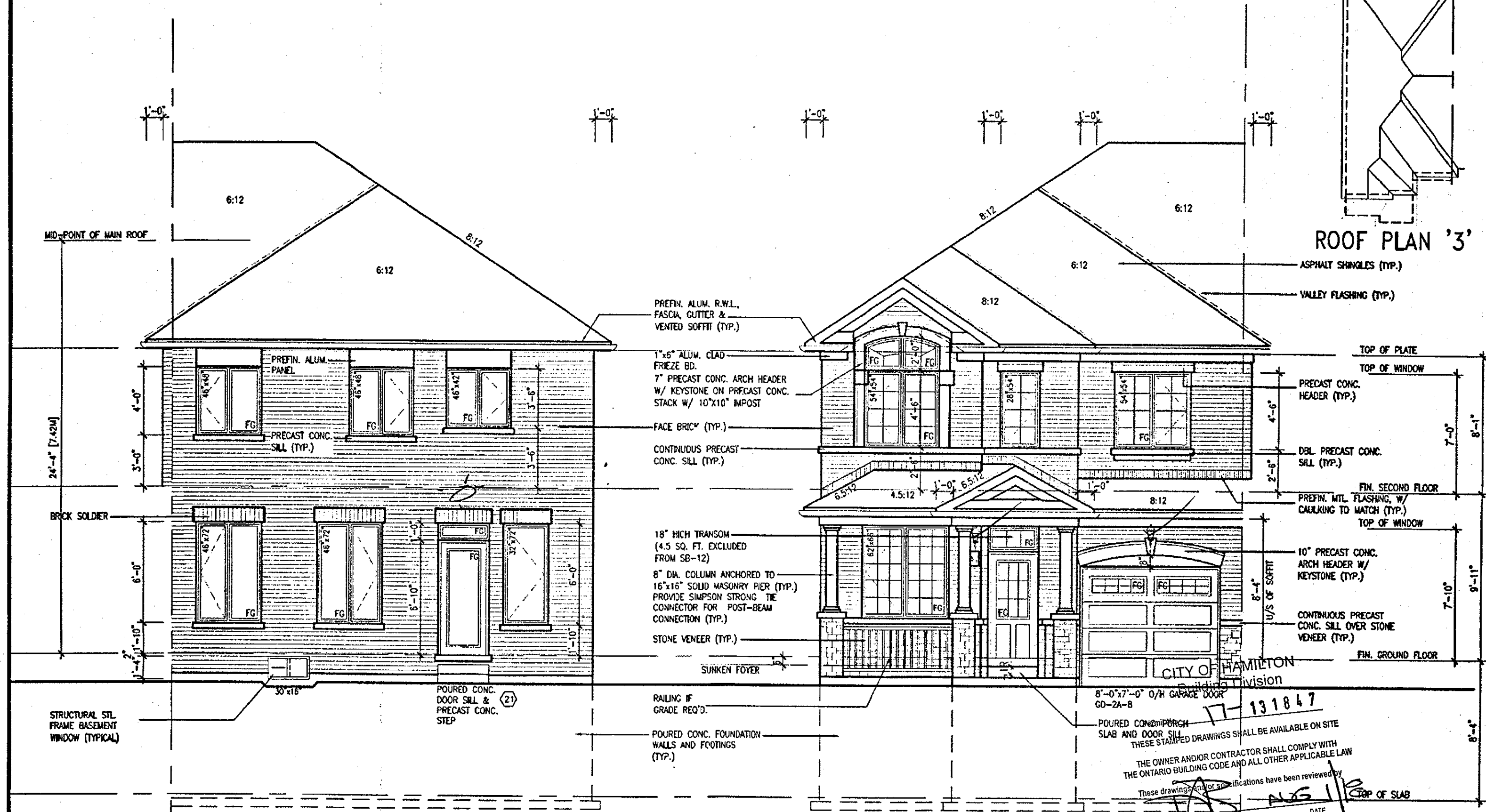
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Toronto, ON M2G 1R4
416.630.2755 416.630.4782
vasdesign.com

Greenpark.
Project name: RUSSELL GARDENS PH.2
Location: WATERDOWN, ON.
Date: MARCH 2017
Checked by: GW
Scale: 3/16" = 1'-0"

HIGHGROVE 5E
Project no: 16036
Drawing no: A3c
SECOND FLOOR PLAN ELEV. '3A'

— ASPHALT SHINGLES (TYP.)



FRONT ELEVATION '3'

APR 17 2018

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

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professional responsibility.

18				9	REVISED.	APR. 16/18
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17
15				6	ISSUED FOR PRICING.	AUG 23/17
14				5	STUCCO REPLACED.	JUL 05/17
13				4	REVISED AS PER CLIENT COMMENTS	JUN 21/17
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17
10				1	PRELIMINARY REVIEW.	APR. 12/17
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualifications information

Richard Wink 24

name

signature

registration information

V&S Design Inc. 42

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark

Project Name	RUSSELL GARDENS PH.2		Location	WATERDOWN, ON
Date	MARCH 2017		View	FRONT AND REAR
Drawn by	Checked by	Scale		
WT	GW	3/16" = 1'-0"	16	

HIGHGROVE 5E

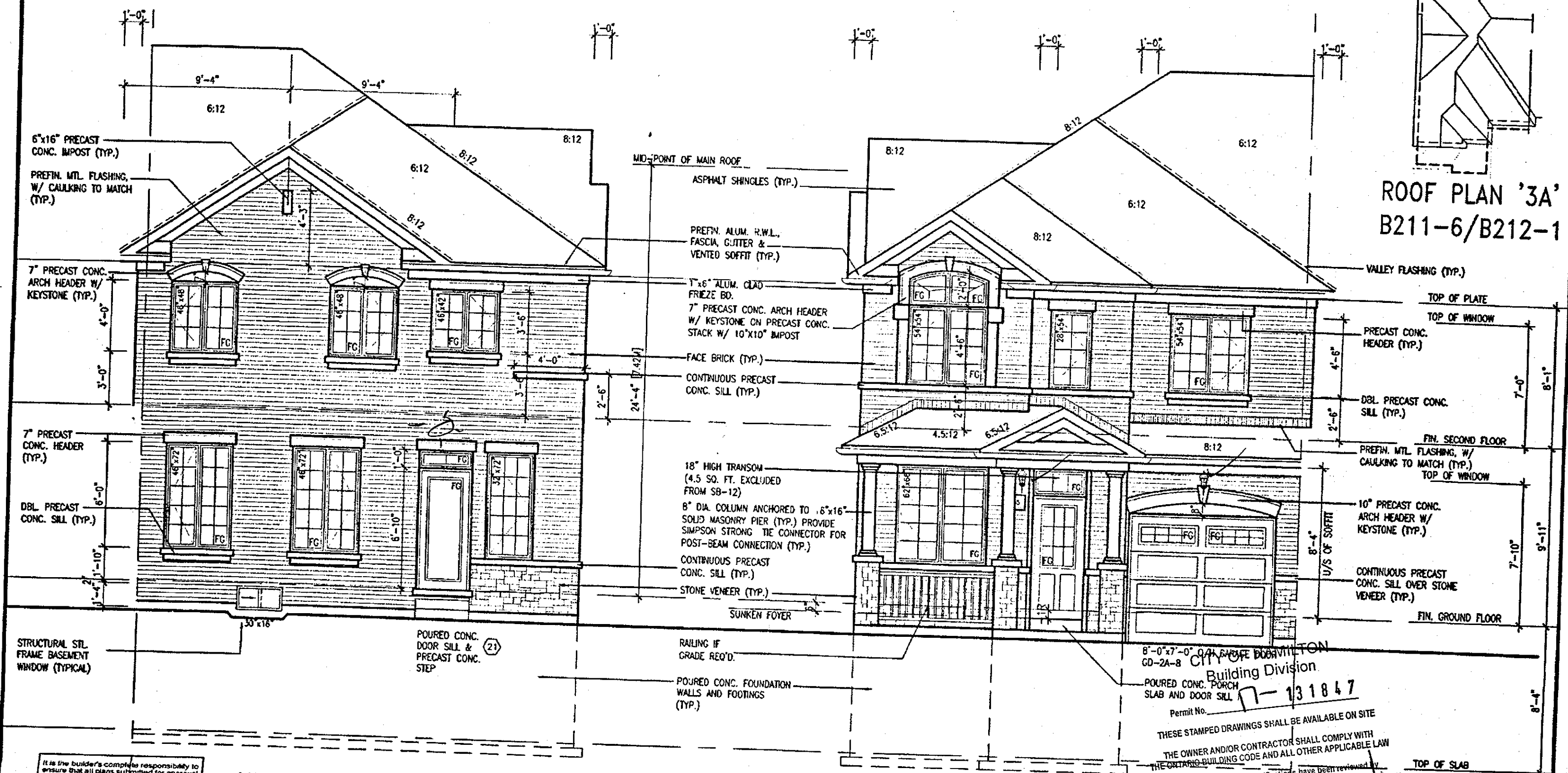
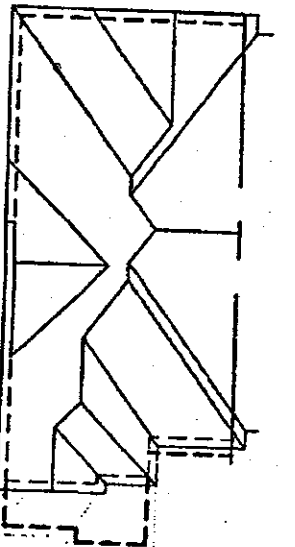
project no.
16036

A4b

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2264 SF.

ROOF PLAN '3A'
B211-6/B212-1



UPGRADE REAR ELEVATION '3A'
B202-UNIT 7/B211/Unit 6 &
B212/Unit 1

FRONT ELEVATION '3A'
B202-UNIT 7/B211/Unit 6 &
B212/Unit 1

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: APR 20 2018

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17		8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	CW	
16		7	REVISED. ISSUED FOR PERMIT.	SEP. 26/17	CW	
15		6	ISSUED FOR PERMIT.	AUG. 23/17	CW	
14		5	SUCCO REPLACED.	JUL. 05/17	CW	
13		4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	CW	
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	CW	
10		1	PRELIMINARY REVIEW.	APR. 12/17	CW	
9						
8						
7						
6						
5						
4						
3						
2						
1						

VAS DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

Project Name: RUSSELL GARDENS PH.2
Municipality: WATERDOWN, ON.

HIGHGROVE 5E

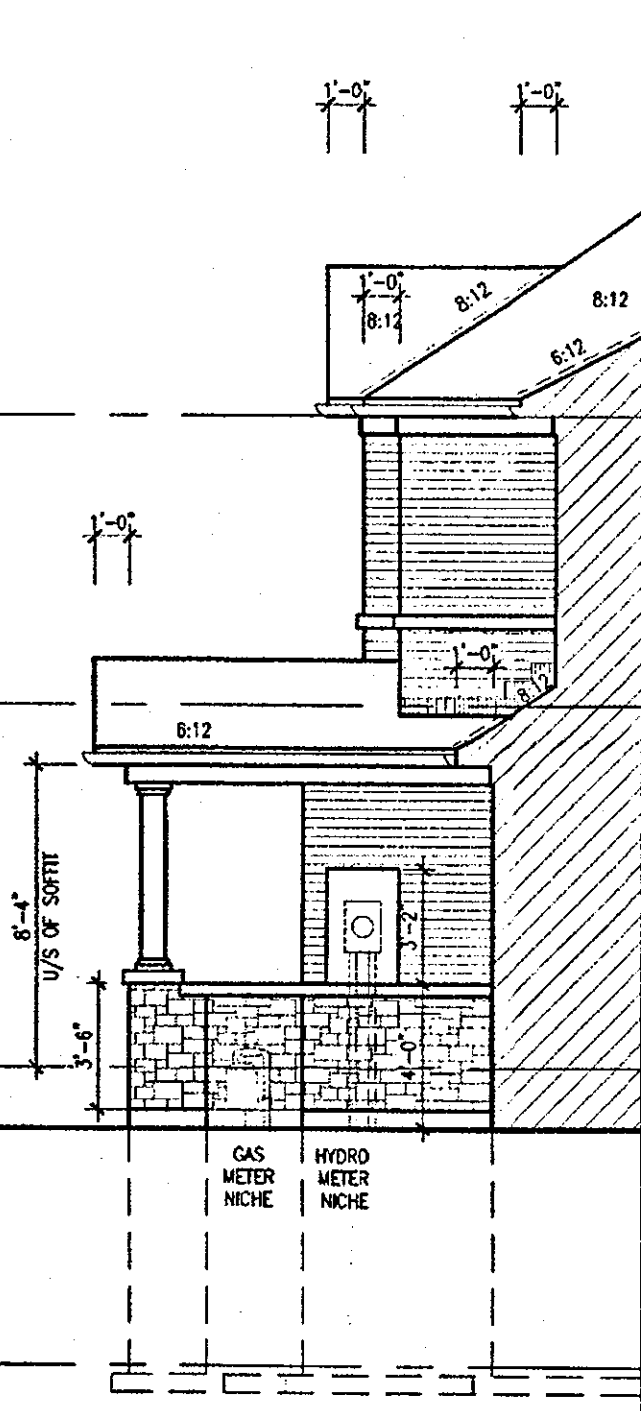
Project No. 16036

DATE: MARCH 2017
checked by: [Signature]
scale: 3/16" = 1'-0"

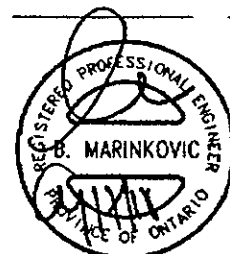
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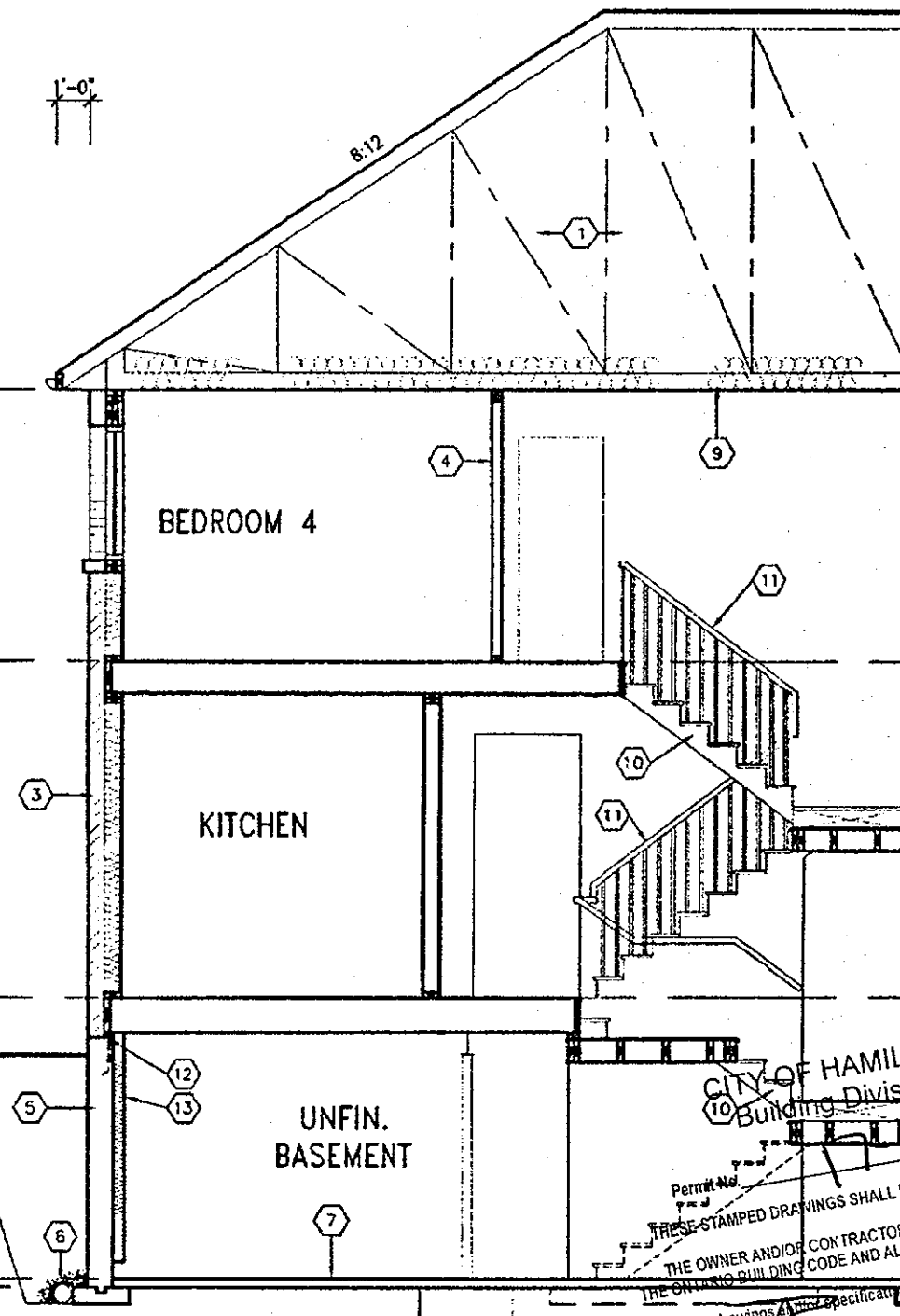
2264 SF.



SECTION B ELEV. 3



STRUDET INC.
FOR STRUCTURE ONLY



SECTION A-A ELEV. '3'

CITY OF HAMILTON
Building Division
Permit No. 1847
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings have been reviewed by
DATE APR 17 2018
FOR CHIEF BUILDING OFFICIAL

HIGHGROVE 5E COMPLIANCE PACKAGE A1

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18				9	REVISED.	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink 24488 home registration information VAS Design Inc. 42858 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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14				5	STUCCO REPLACED.	JUL. 05/17	GW	
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10				1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH.2
MARCH 2017
checked by
CW
3/16" = 1'-0"

HIGHGROVE 5E

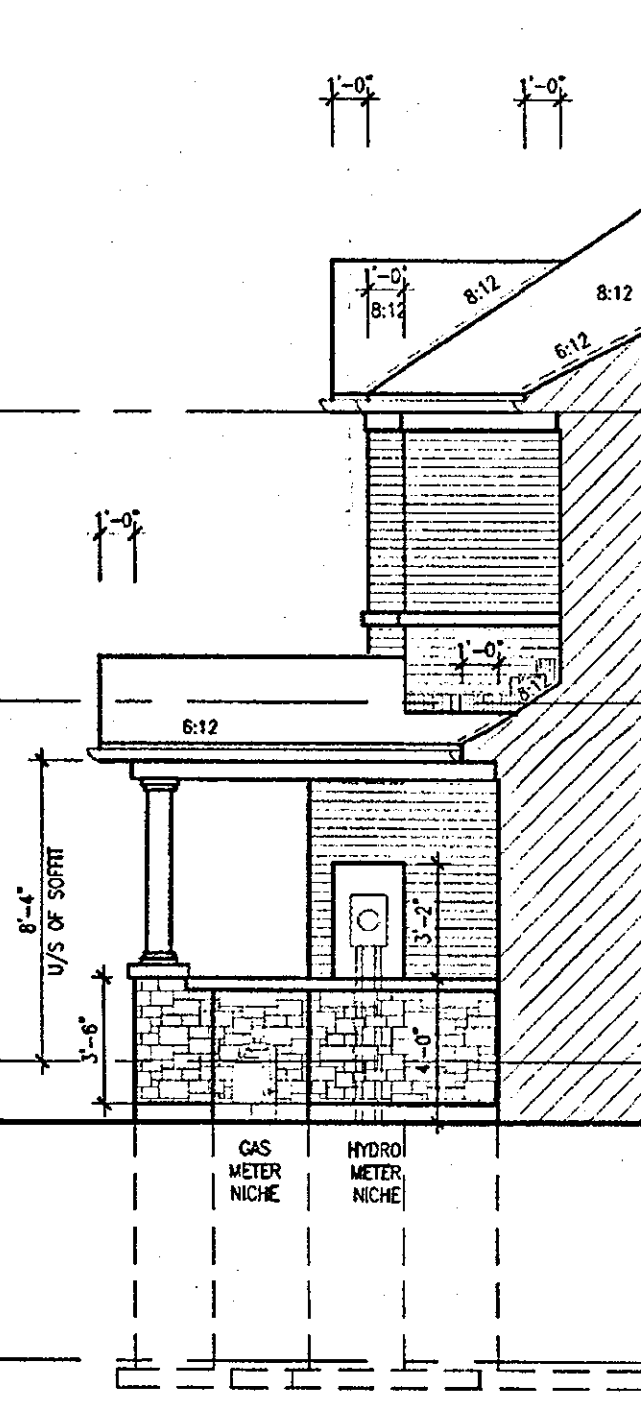
project no.
16036

drawing no.
A6b

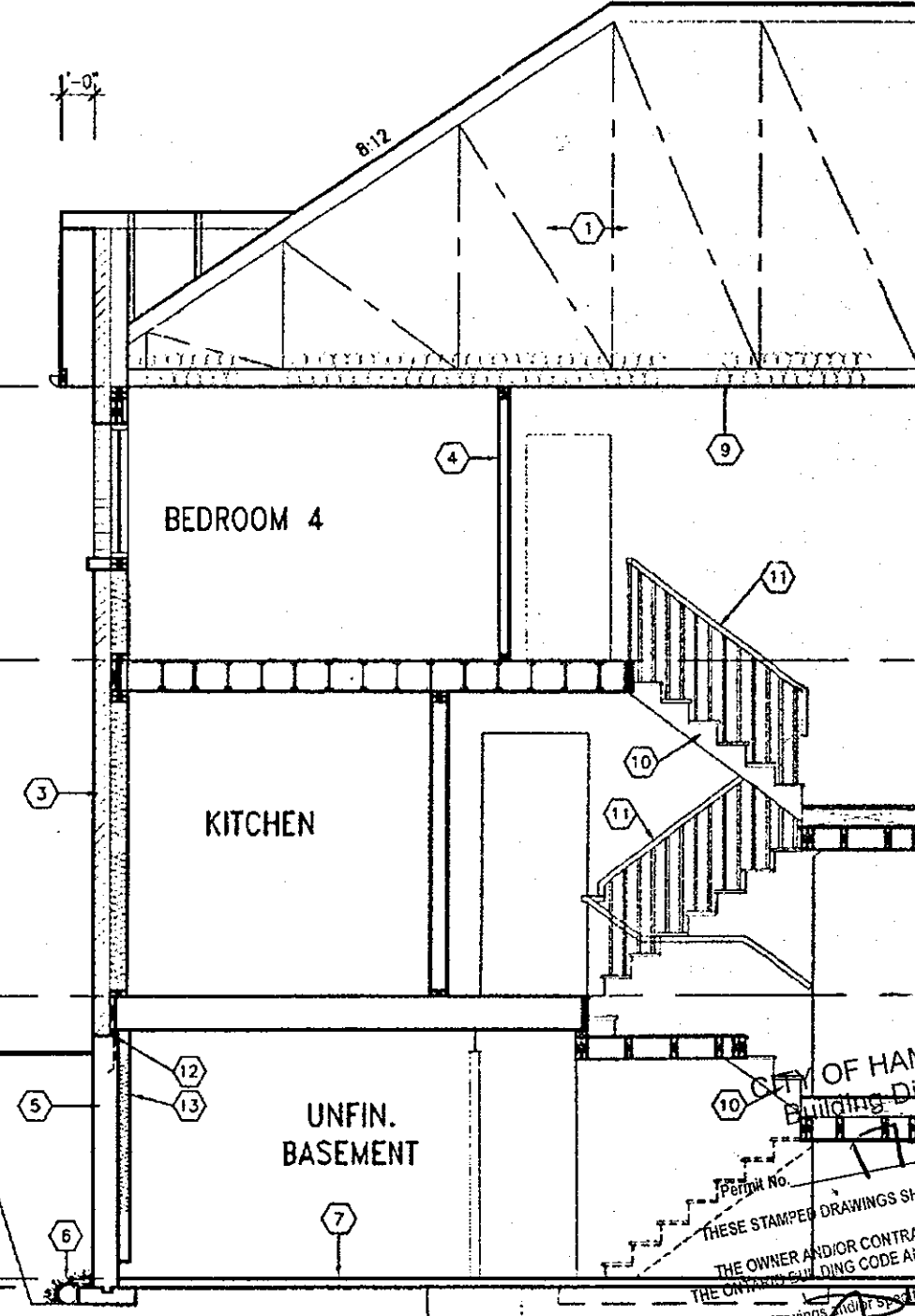
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2264 SF.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(f))			
HIGHGROVE SE AND ELEV. 3A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	89.07 S.F.	8.79 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	330.16 S.F.	10.98 %
TOTAL SQ. M.	279.24 S.M.	30.67 S.M.	10.98 %



SECTION B ELEV. 3A



SECTION A-A ELEV. '3A'

TOP OF PLATE
TOP OF WINDOW
7'-0"
8'-1"
FIN. SECOND FLOOR
9'-11"
FIN. GROUND FLOOR
FIN. GRADE
8'-4"
TOP OF SLAB

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STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division
131847
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
DATE: AUG 11/18
FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink 24488 name registration information 42658 signature VA3 Design Inc. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be scaled.
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11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no	Description	date	by	no	Description	date	by	

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2235 416.630.4782
vadesign.com

Greenpark.
Project name: RUSSELL GARDENS PH.2
Municipality: WATERDOWN, ON.
Date: MARCH 2017
Checked by: GW
Scale: 3/16" = 1'-0"

HIGHGROVE 5E
SECTION A-A AND SECTION B ELEV. '3A'
16036-HIGHGROVE 5E-NEW
A6c

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PART. BASEMENT
PLAN W.O.D
CONDITION (4R TO
7R MAX.)

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: APR. 20, 2018

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.

CITY OF HAMILTON
Building Division
FAMILY ROOM 121847

Permit No. _____

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

NGS

DATE _____

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
No. 12345

STRUDET INC.
FOR STRUCTURE ONLY

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

HIGHGROVE 5E

Greenpark.

street name	municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.

date
MARCH 2017

checked by
GW

scale
3/16" = 1'-0"

drawn by
WT

PART. PLANS-EL. 3A-

160

A9c

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

CH	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
SW	registration information	
CH	Richard Vink	244
SW	name	B
WT	registration information	
CH	VAS Design Inc.	475
CH	Contractor must verify all dimensions on the job and report any discrepancy to the Owner before proceeding with the work. All drawings and specifications are returns of service and the project is not to be used for any other purpose without the written consent of the Designer which must be obtained for the completion of the work. Drawings are not to be scaled.	

Floor Plan Details:

- Overall Dimensions:** 24'-11" (Total Width), 3'-10" (Total Depth).
- Room Dimensions:**
 - Family Room: 10' x 9.5' (ENG. POST PER DIST MANUF.)
 - Breakfast: 10' x 9.5' (ENG. POST PER DIST MANUF.)
 - Wood Deck: 4'-0" x 4'-0"
- Setbacks:** 2'-8" (Left), 2'-8" (Bottom Left), 3'-0" (Bottom Left), 3'-4" (Bottom Left), 3'-10" (Bottom Left), 3'-4" (Bottom Left), 3'-10" (Bottom Left), 1'-5" (Bottom Left).
- Notes:**
 - No. OF RISERS VARY WITH GRADE. SEE SITE PLAN.
 - 5/4x6 P.T. WD. DECKING w/ 1/4" SPACING
 - WL 2 (Wall 2) and WL 1 (Wall 1) labels.
 - GLAZED DOOR (12) between Family Room and Breakfast.
 - LVL 5 (DROP) and SBB (Structural Beam) labels.

[illegible]

Architectural floor plan of a rear addition. The plan shows a Family Room (top right) and a Breakfast room (bottom right) separated by a wall with a Glazed Door. A Wood Deck (4'0" x 4'0") is attached to the side of the Breakfast room. A staircase leads down from the deck area. The plan includes various dimensions and specifications for windows, doors, and structural elements.

Dimensions (Left Side): 2'-8", 2'-8", 10", 3'-0", 3'-4", 3'-10", 3'-4", 3'-10", 3'-5", 24'-11"

Dimensions (Bottom): 5'-8", 4'-0", 10"

Room Labels: FAMILY ROOM, BREAKFAST, WOOD DECK 4'0" x 4'0"

Structural Notes: WL2, WL2 CONTIN, 5/8" P.T. WD. DECKING w/ 1/4" SPACING, NO. OF RISERS VARY WITH GRADE. SEE SITE PLAN.

Window Specifications: 9.5 ENC. JOIST PER JOIST MANUF., 1/2" GLASS, 1/2" GLASS, 1/2" GLASS

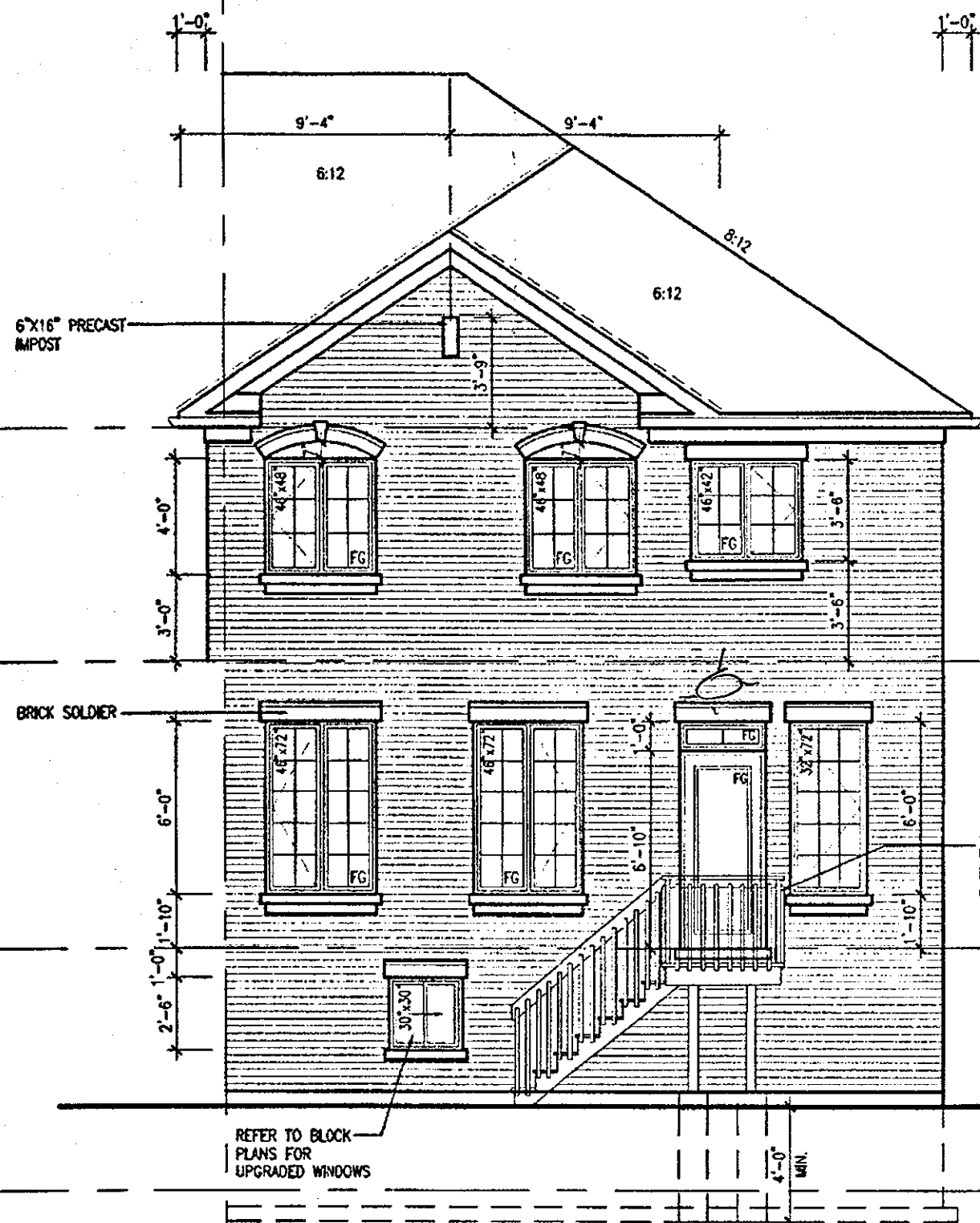
Door Specifications: GLAZED DOOR, 10"

Other Notes: CITY OF, THESE STAMPED DRAWINGS, THE OWNER AND/OR, THE ONTARIO BUILDING, These drawings are, 1/2" GLASS, 1/2" GLASS, 1/2" GLASS

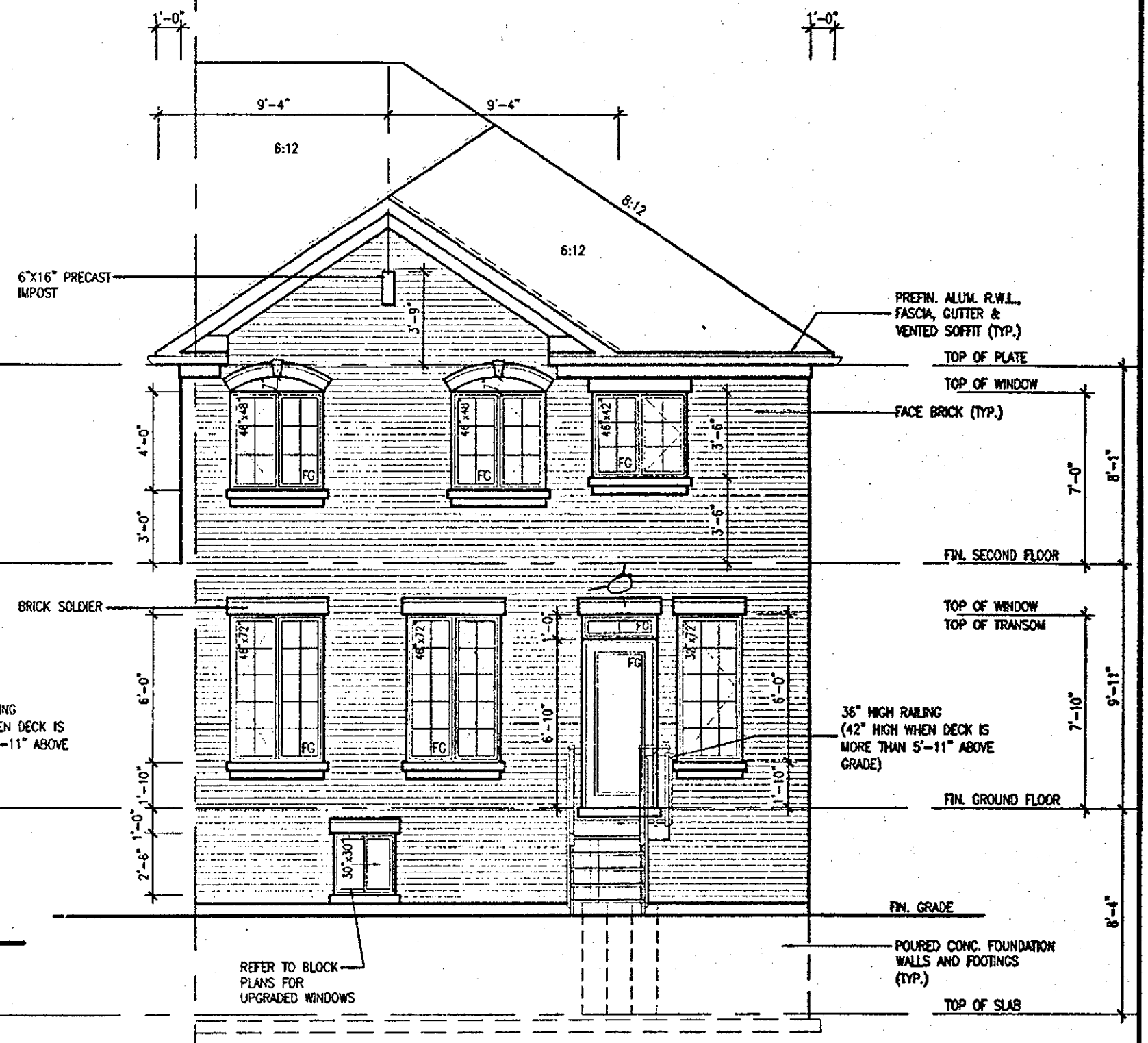
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10				1	PRELIMINARY REVIEW.	APR. 12/17
no	description	date	by	no	description	date

2264 SF.



UPGRADED REAR ELEVATION '3'
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '3'
DECK CONDITION (4R TO 7R MAX.)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: APR 20, 2018
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19				9	REVISED.	APR. 16/18	CW
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no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
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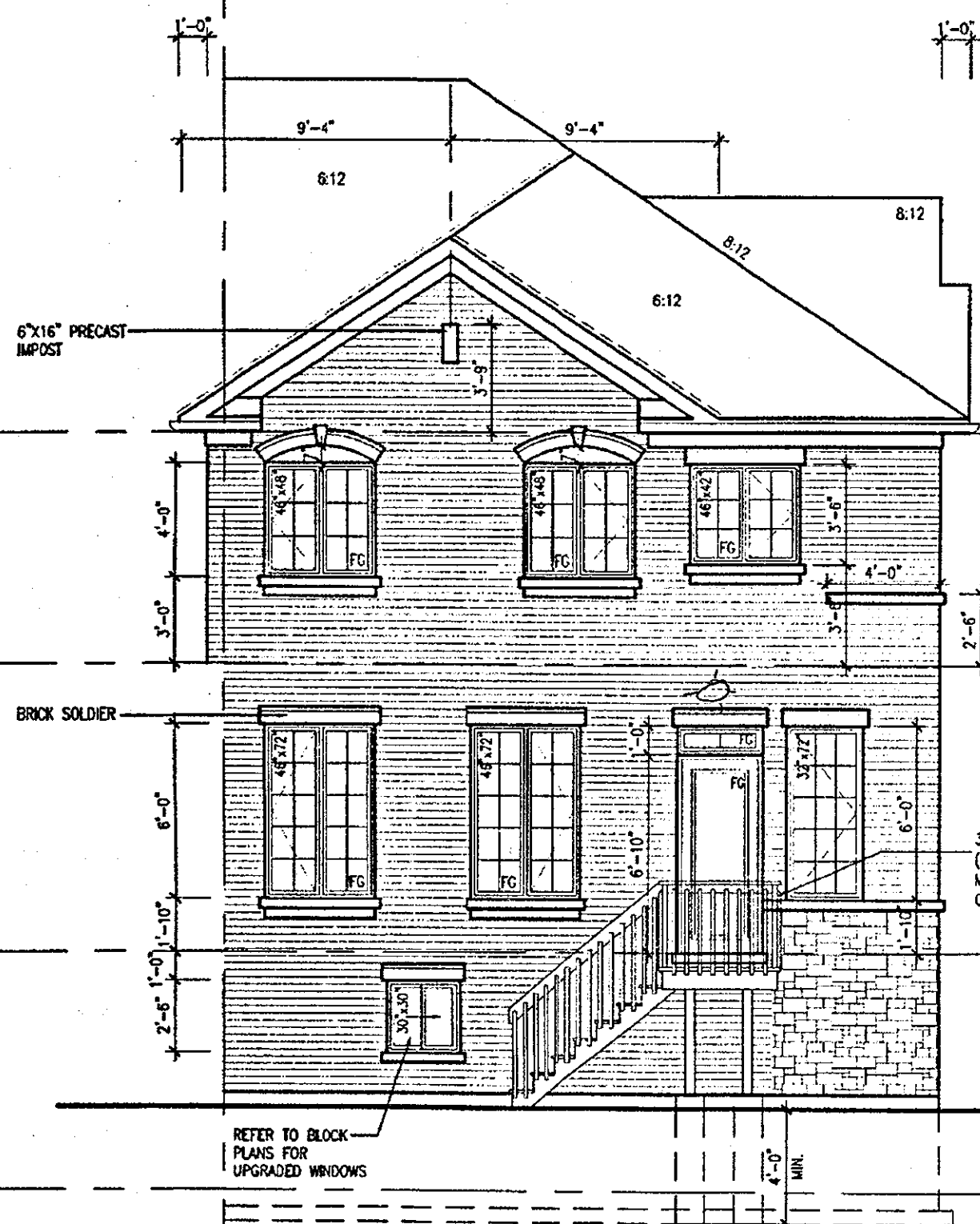
VA3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
1 416.630.2255 1 416.630.4782
va3design.com

Greenpark. HIGHGROVE 5E
project name: RUSSELL GARDENS PH.2 municipality: WATERDOWN, ON. project no.: 16036
date: MARCH 2017
checked by: CW 3/16" = 1'-0"
scale: 16036-HIGHGROVE 5E-NEW
drawing no.: A11b

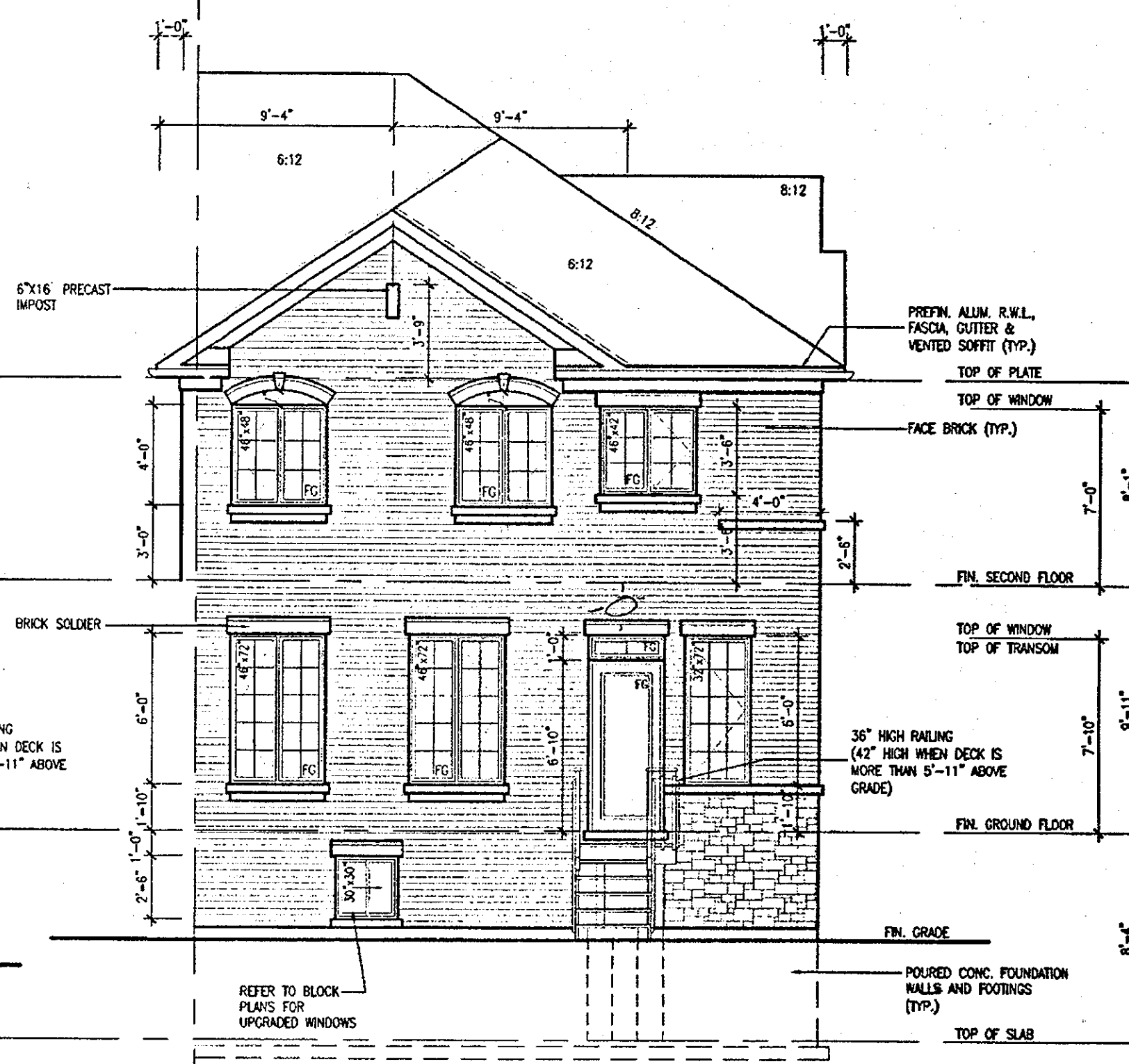
Permit No. **D-131847**
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FOR CHIEF BUILDING OFFICIAL

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2264 SF.



UPGRADED REAR ELEVATION '3A'
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '3A'
DECK CONDITION (6R TO 7R MAX.)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: APR. 20, 2018
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1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24483
none
VA3 Design Inc. 42653
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VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2H 1R4
416.630.2255 416.630.4792
va3design.com

Greenpark.
HIGHGROVE 5E
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
project no.
16036
date
MARCH 2017
designed by
GW
scale
3/16" = 1'-0"
16036-HIGHGROVE 5E-NEW
drawing no.
A11c
APR 17 2018

Permit No. 17-13184
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[Signature]
DATE
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