

BUILDING AREA
7610.0 S.F. (707.0 m²)

PAD FOOTINGS
150 KPa. NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 45"x45"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS — FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS.
32"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120 KPa/174 psi SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90 KPa/13.0 psi FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
—GROUND FLOOR ROOF STRUCTURE
—BASEMENT AND GROUND FLOOR LINTELS
—GROUND FLOOR AND SECOND FLOOR STRUCTURE
—DOUBLE VOLUME WALL LOCATION AND DETAILS
—CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

SUMP PUMP REQUIRED
LOCATION TO BE DETERMINED ON SITE

It is the builder's complete responsibility to fully comply with the Architectural Code of Ontario and the Building Code of Ontario, including all provisions relating to the construction of the building. The Contractor is not responsible for any way for any errors or omissions in the drawings or specifications or for any building code or permit violation or for any other liability properly due to the contractor or its subcontractors.

This is to certify that these plans comply with the applicable Building Code of Ontario and the Architectural Code of Ontario, as approved by the City of Hamilton.

DATE: AUG 20, 2018
DESIGNED BY: JOHN C. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW: J. WILLIAMS LTD.
APPROVED BY: [Signature]
This design is intended for use on the project described in the title block. No other use without the written consent of the architect is permitted.

1	ISSUED FOR PERMIT	APR 24/18	CM
2	REVISED FOR CITY COMMENTS, REISSUED.	APR 24/18	CM
3	REVISED FOR PERMIT.	APR 24/18	CM
4	ISSUED FOR PERMIT.	APR 24/18	CM
5	REVISED AS PER CITY COMMENTS.	APR 24/18	CM
6	REVISED AS PER CITY COMMENTS.	APR 24/18	CM
7	ISSUED FOR ROOF TRUSS LAYOUTS.	APR 24/18	CM

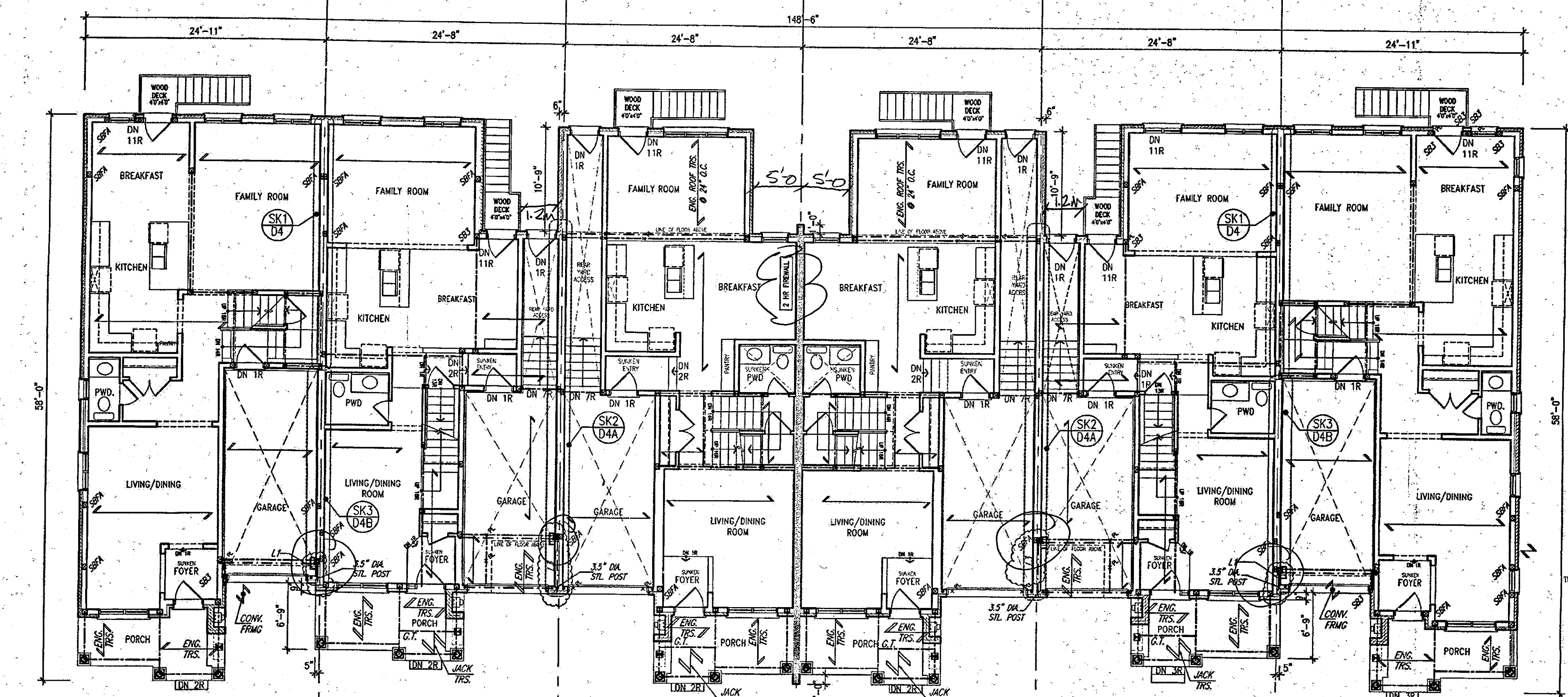
V3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
T 416.830.2255
F 416.830.4782
v3design.com

***Greenpark.**
RUSSELL GARDENS PH2
WATERLOO, ON. 16035
HIGHGROVE SERIES BLOCK 211
BLOCK 211 PLANS
JULY 2017 1/8" = 1'-0"
16035-BLOCK 211 B1

CITY OF HAMILTON
Building Division
Permit No. 17-131847
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and specifications have been reviewed
FOR CHIEF BUILDING OFFICIAL DATE

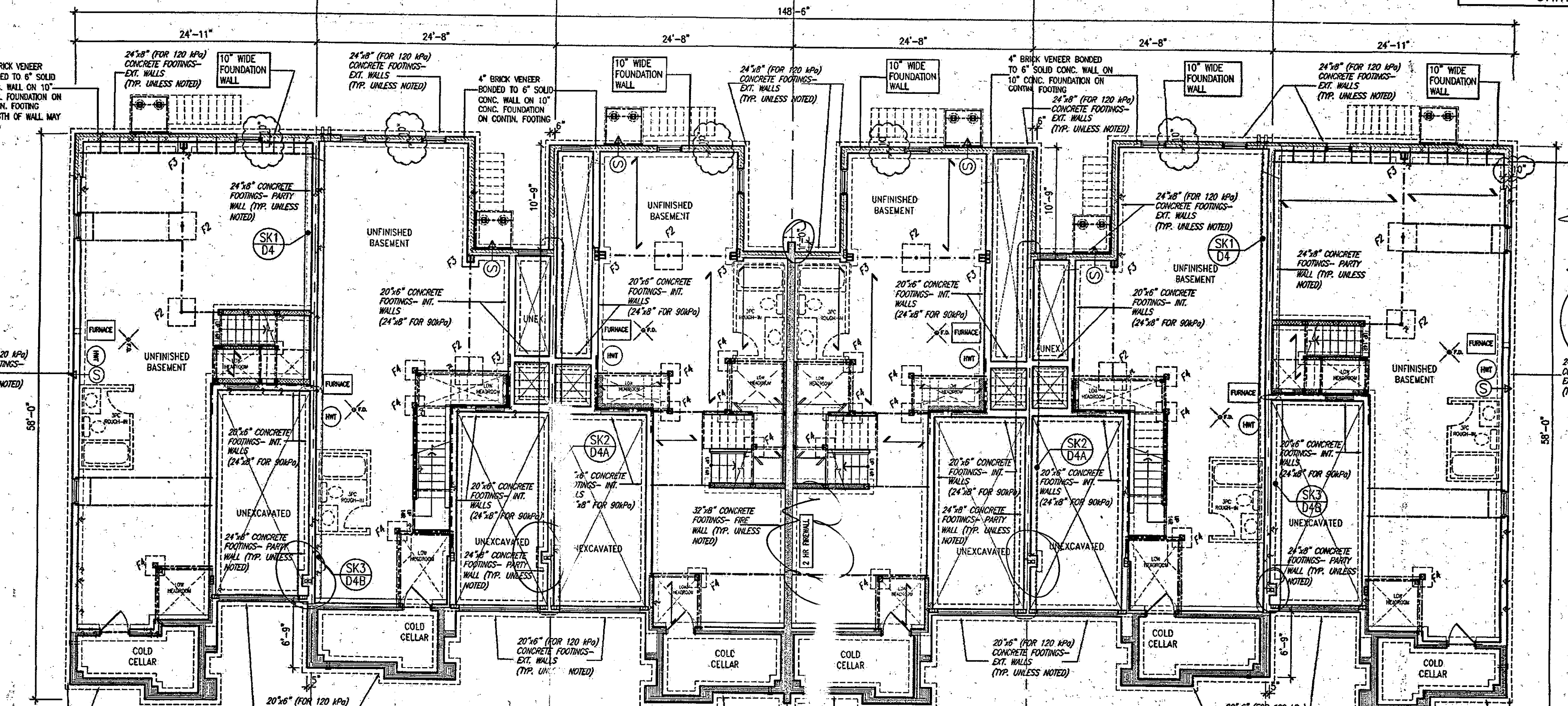
NOTE:
CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT.

SEPARATE PERMITS REQ'D TO FINISH BASEMENTS



211-1 HIGHGROVE-5E ELEV. 3
211-2 HIGHGROVE-3 ELEV. 3
211-3 HIGHGROVE-2 ELEV. 3 (REV.)
211-4 HIGHGROVE-2 ELEV. 3
211-5 HIGHGROVE-3 ELEV. 3 (REV.)
211-6 HIGHGROVE-5E ELEV. 3A (REV.)

GROUND FLOOR PLAN

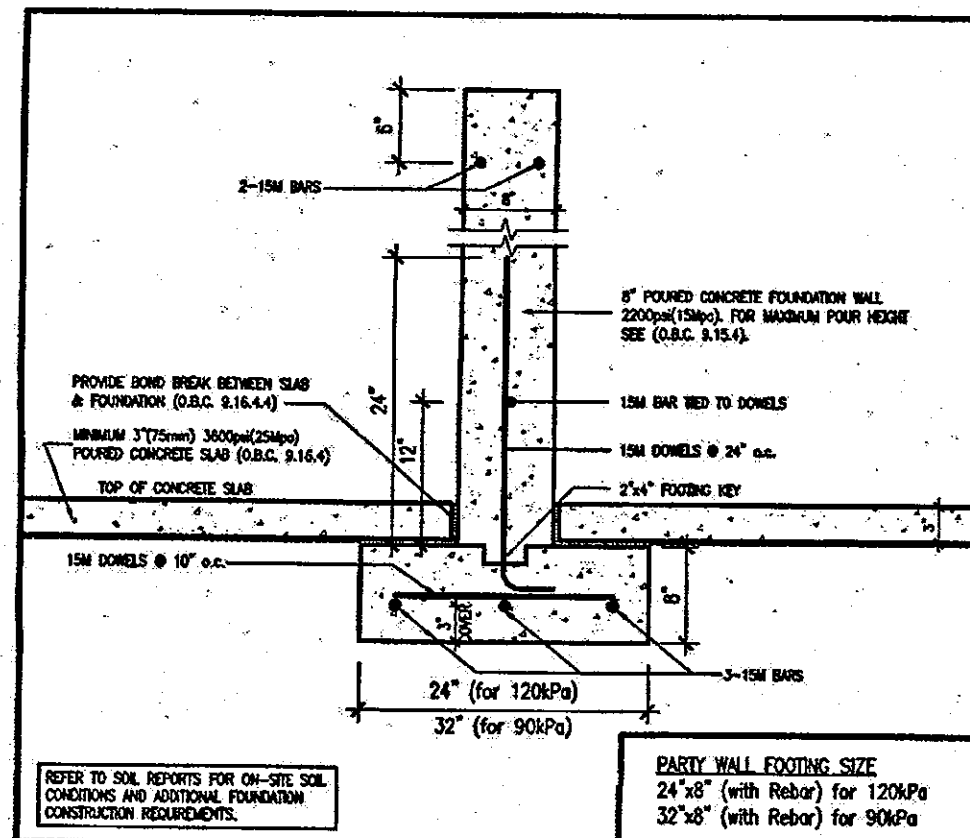


211-1 HIGHGROVE-5E ELEV. 3
211-2 HIGHGROVE-3 ELEV. 3
211-3 HIGHGROVE-2 ELEV. 3 (REV.)
211-4 HIGHGROVE-2 ELEV. 3
211-5 HIGHGROVE-3 ELEV. 3 (REV.)
211-6 HIGHGROVE-5E ELEV. 3A (REV.)

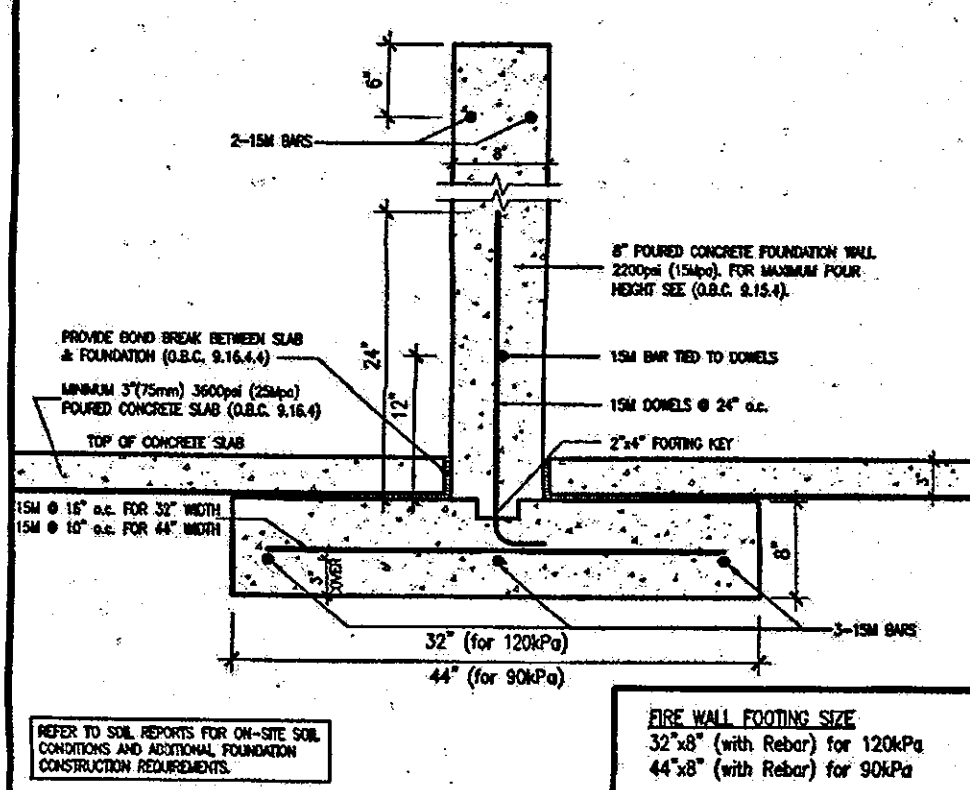
BASEMENT PLAN

NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

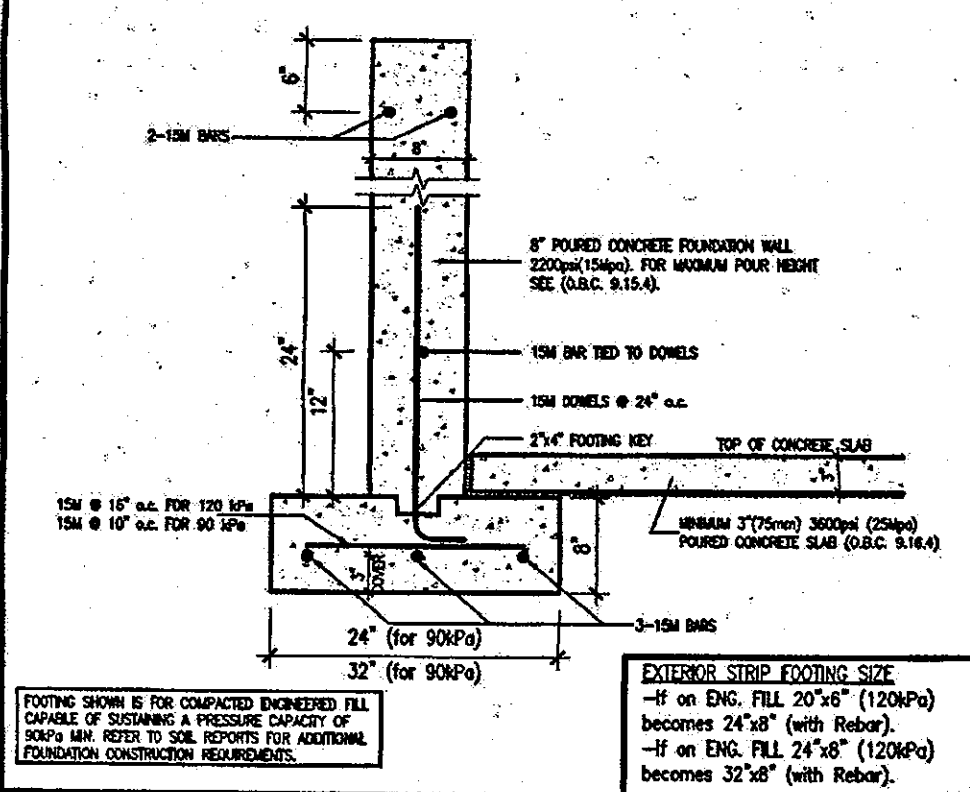
BLK 211 ELEV. 3



W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale

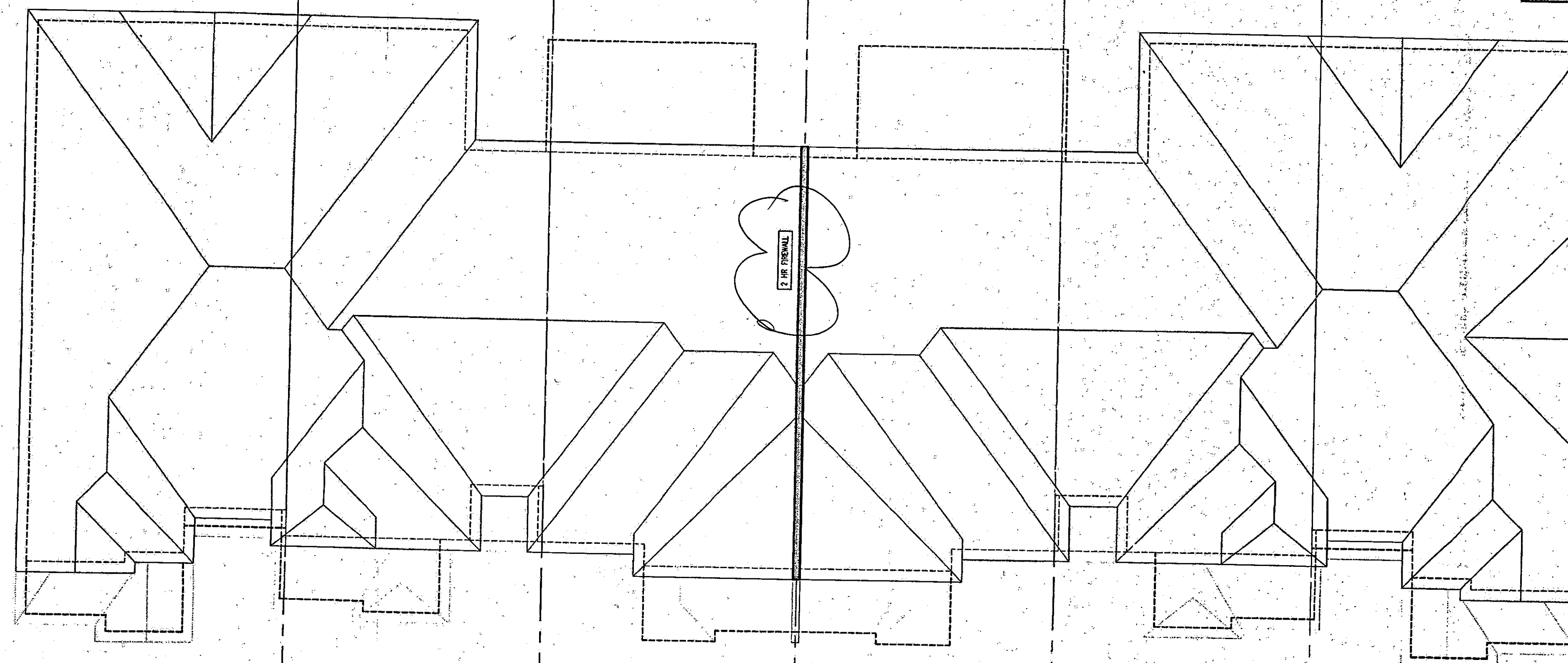


W2b TYPICAL FIRE WALL FOOTING
SCALE: Not to Scale



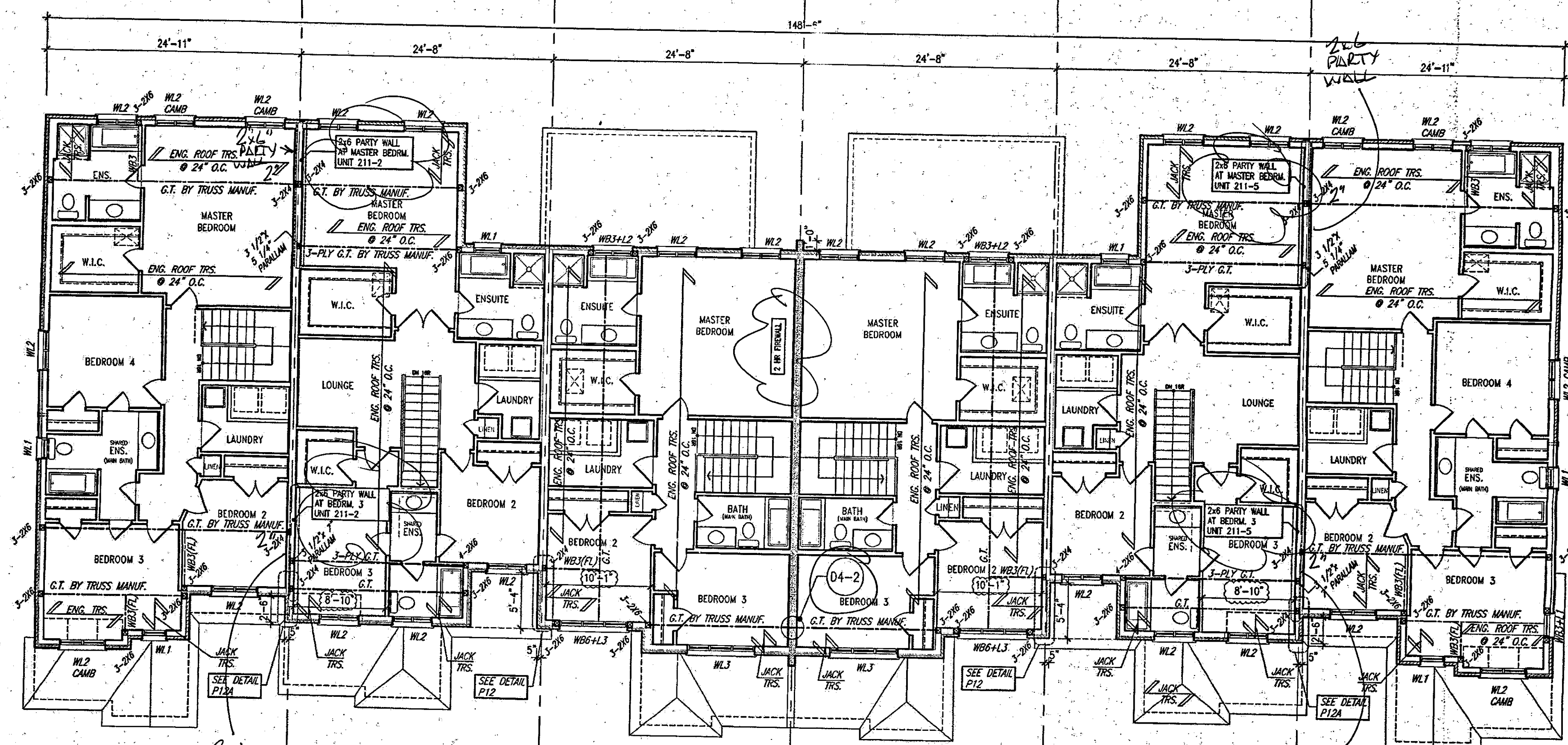
W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90KPa. Minimum)
SCALE: Not to Scale

SUMP PUMP REQUIRED ON THIS LOT.
SUMP PUMP TO CONNECT TO STORM SEWER. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEETS W12010-N1 & W12010-GP1.



211-1 HIGHGROVE-5E ELEV. 3
211-2 HIGHGROVE-3 ELEV. 3
211-3 HIGHGROVE-2 ELEV. 3 (REV.)
211-4 HIGHGROVE-2 ELEV. 3
211-5 HIGHGROVE-3 ELEV. 3 (REV.)
211-6 HIGHGROVE-5E ELEV. 3A (REV.)

ROOF PLAN



211-1 HIGHGROVE-5E ELEV. 3
211-2 HIGHGROVE-3 ELEV. 3
211-3 HIGHGROVE-2 ELEV. 3 (REV.)
211-4 HIGHGROVE-2 ELEV. 3
211-5 HIGHGROVE-3 ELEV. 3 (REV.)
211-6 HIGHGROVE-5E ELEV. 3A (REV.)

SECOND FLOOR PLAN

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

BUILDING AREA
7610.0 S.F. (707.0 m2)

PAD FOOTINGS
120 KPa. NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
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(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x48" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x48" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x48" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x48" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x48" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x48" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x48" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
44"x48" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
44"x48" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
(REFER TO FOOTING DETAIL FOR REINFORCEMENT.)

ASSUME 120 KPa/17.4 kPa SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90 KPa/13.0 kPa FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**

-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

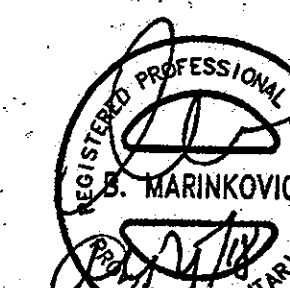
NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to ensure that all work submitted for approval fully complies with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the applicable zoning by-law. The Contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor is responsible for ensuring that all work is done in accordance with the applicable building code or permit number or that any permit is properly issued and located on the site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL SYSTEM
APPROVED BY: [Signature]
DATE: APR 25, 2018
The above building is to be constructed in accordance with the applicable building code or permit number or that any permit is properly issued and located on the site.



STRUDET INC.
FOR STRUCTURE ONLY

APR 25 2018

BLK 211
ELEV. 3

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
416.630.2255
416.630.4782
vasdesign.com

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Greenpark.

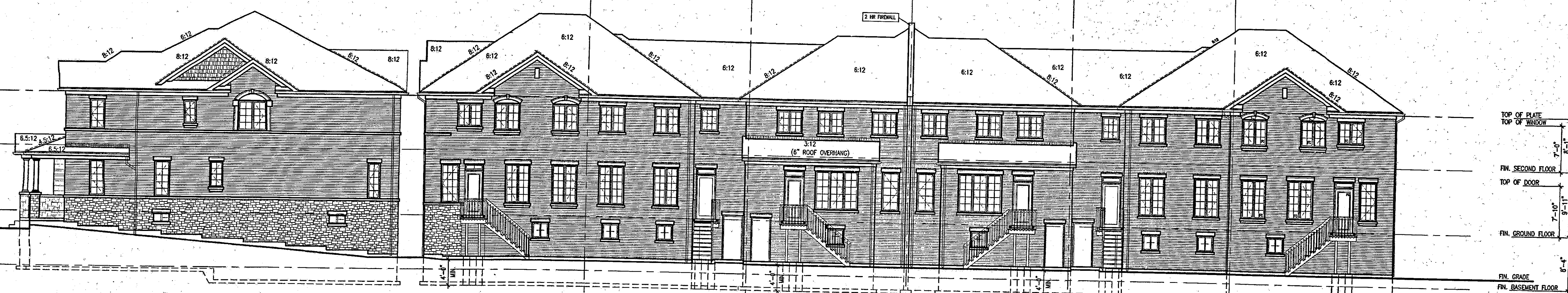
RUSSELL GARDENS PH2
WATERLOO, ON. 18036

HIGHGROVE SERIES BLOCK 211

BLK 211 PLANS
1/8" = 1'-0"

18036-BLOCK 211
B2

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.



211-6 HIGHGROVE-5E
ELEV. 3A
RIGHT SIDE UPGRADE ELEVATION

211-6 HIGHGROVE-5E
ELEV. 3A
(REV.)

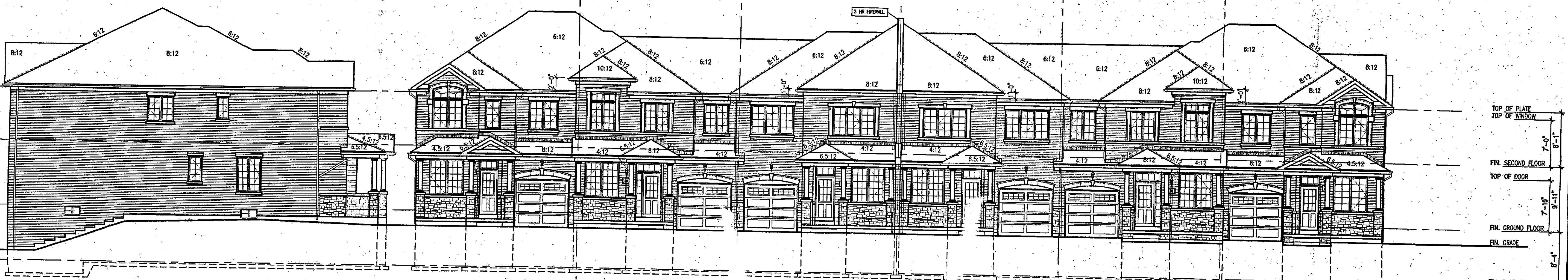
211-5 HIGHGROVE-3
ELEV. 3
(REV.)

211-4 HIGHGROVE-2
ELEV. 3
REAR ELEVATION UPGRADE

211-3 HIGHGROVE-2
ELEV. 3
(REV.)

211-2 HIGHGROVE-3
ELEV. 3

211-1 HIGHGROVE-5E
ELEV. 3



211-1 HIGHGROVE-5E
ELEV. 3 (UPGRADE)
LEFT SIDE ELEVATION

211-1 HIGHGROVE-5E
ELEV. 3

211-2 HIGHGROVE-3
ELEV. 3

211-3 HIGHGROVE-2
ELEV. 3
(REV.)
FRONT ELEVATION

211-4 HIGHGROVE-2
ELEV. 3

211-5 HIGHGROVE-3
ELEV. 3
(REV.)

211-6 HIGHGROVE-5E
ELEV. 3A
(REV.)

It is the architect's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and any applicable regulations and requirements in the subdivision agreement. The Council Architect is not responsible in any way for approving or approving any (partial) plans or building drawings with reference to any zoning or building code or other regulation that may be in force at the time of the submission of the plans.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN AND APPROVAL

APPROVED BY: [Signature]
DATE: JUL 10, 2018

This document is the property of the architect. It is to be used only for the project and site for which it was prepared. It is not to be reproduced or used for any other purpose without the written permission of the architect.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	APR. 24/18	CM
2	REVISED PER CITY COMMENTS, REISSUED	DEC. 15/18	CM
3	REVISED PER CITY COMMENTS, REISSUED	OCT. 02/17	CM
4	ISSUED FOR PERMIT	AUG. 22/17	CM
5	REVISED PER CITY COMMENTS	AUG. 22/17	WT
6	REVISED PER CITY COMMENTS	AUG. 11/17	WT
7	ISSUED FOR PERMIT	JUL. 14/17	CM

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be retained at the completion of the work. Drawings are not to be scaled.

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T 416.630.2255
F 416.630.4782
vasdesign.com

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Richard Wink
24480
42554

Greenpark

Project name	RUSSELL GARDENS PH2	Sheet no.	16036
Location	WATERDOWN, ON.	Block	211
Series	HIGHGROVE SERIES	Block 211 ELEVATIONS	B3
Scale	1/8" = 1'-0"	Drawn by	WT
Check by	CM	Discussed by	CM

APR 25 2018

BLK 211
ELEV. 3