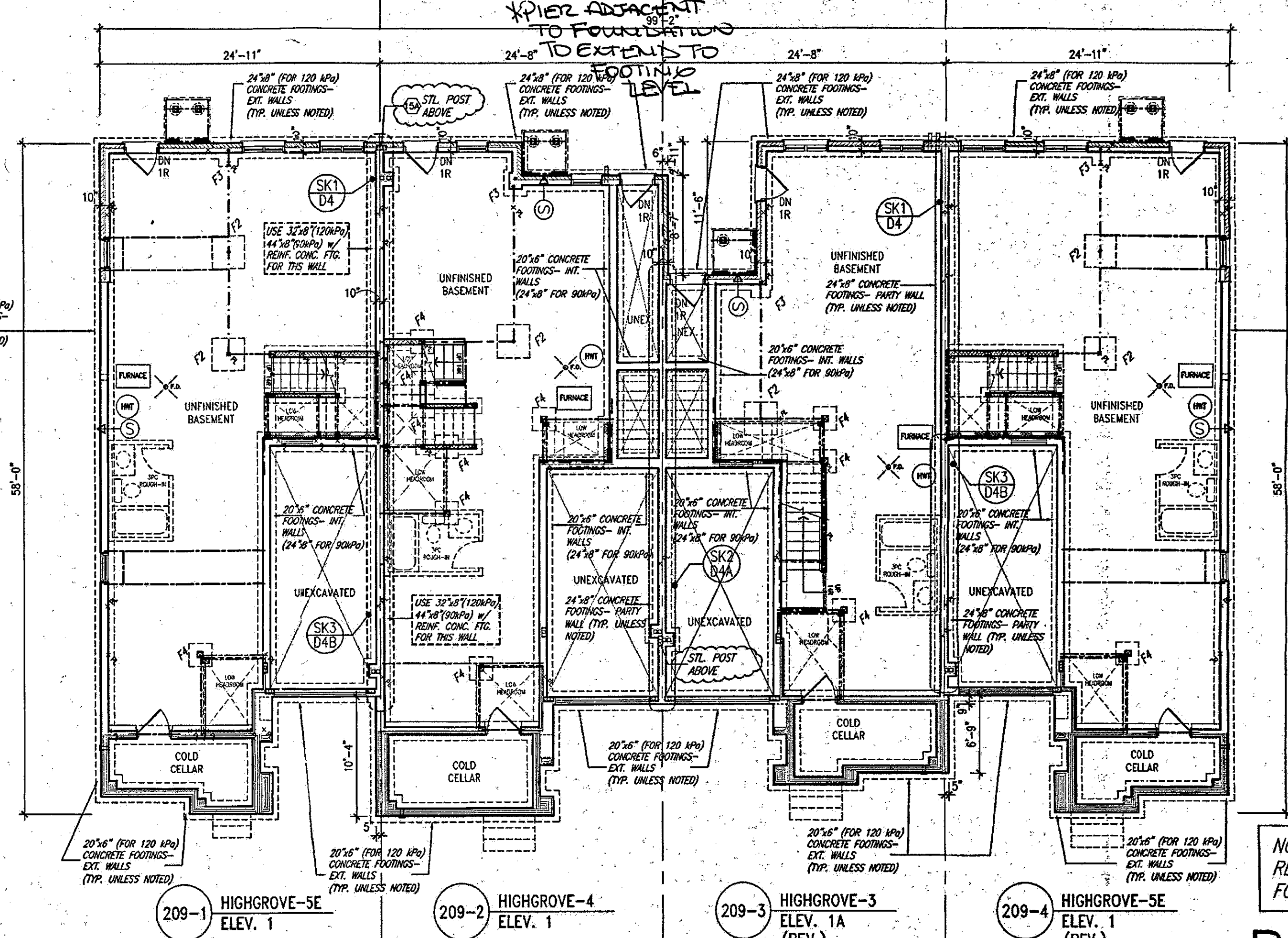
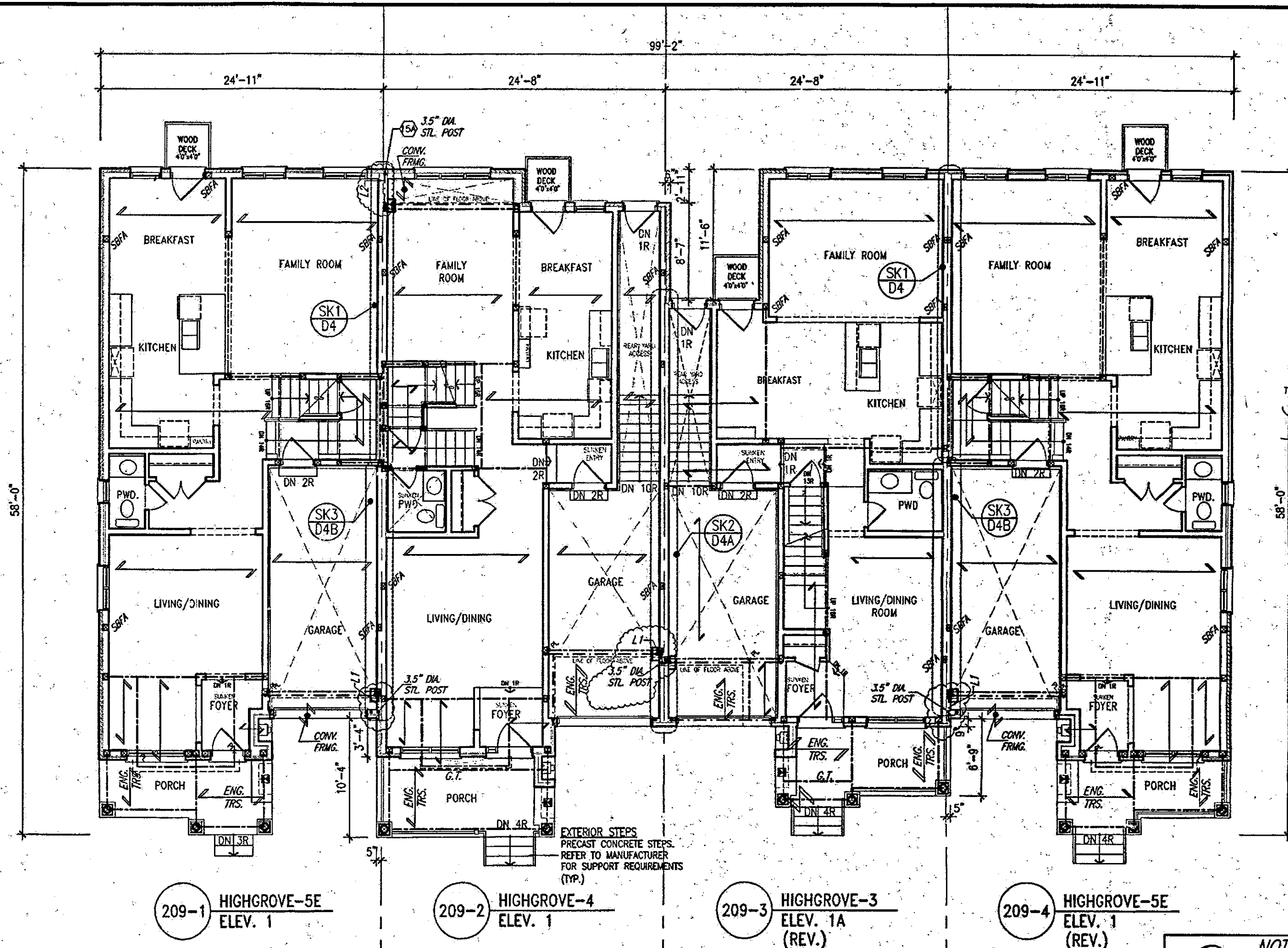
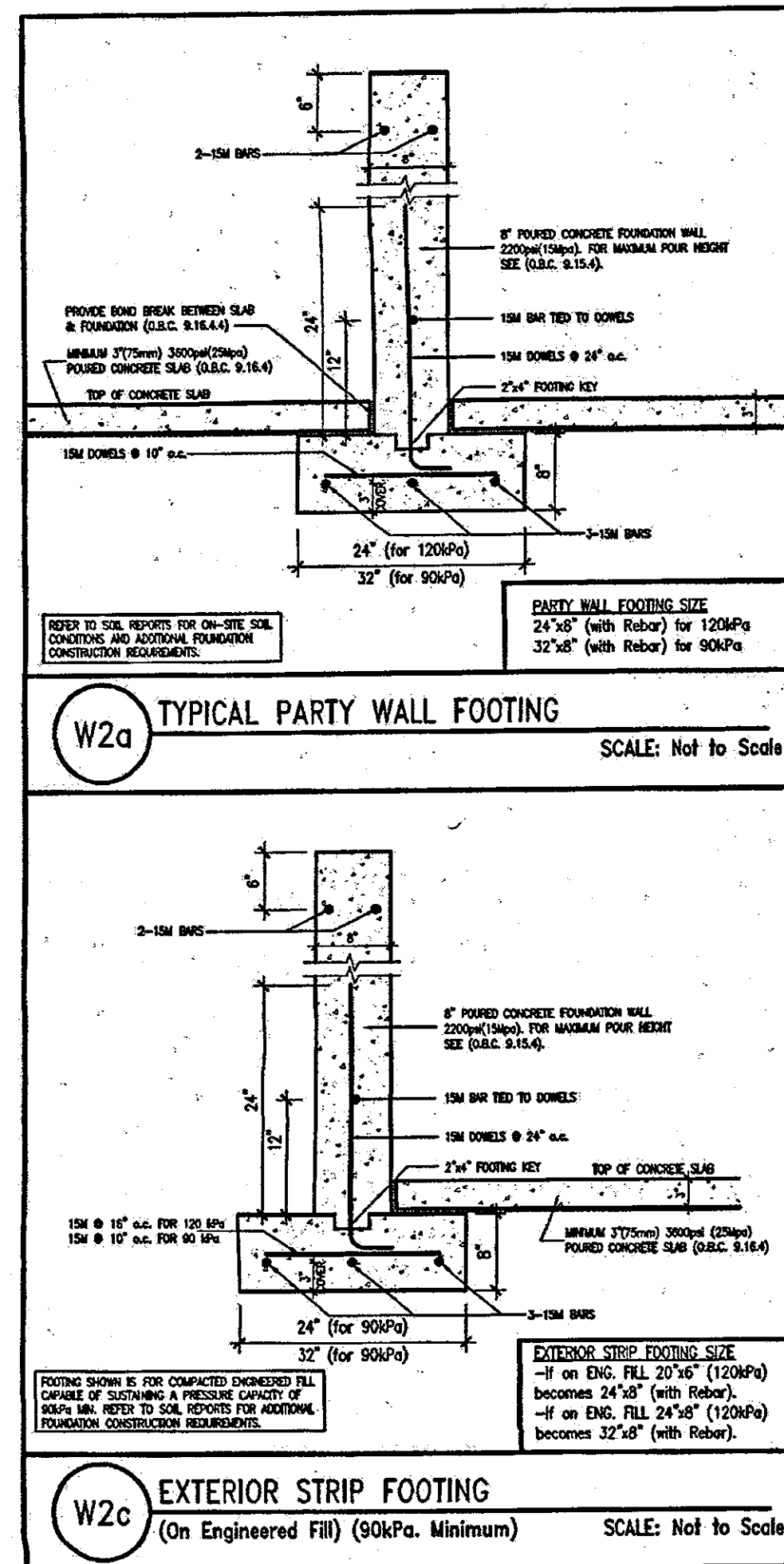




SEE PERMIT
17-131925
FOR STANDARD
DETAILS
SEE REVISION
PAGE 14A
CITY OF HAMILTON
Building Division
17-131917

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
DATE: 2018/05/24
FOR CHIEF BUILDING OFFICIAL

CITY OF HAMILTON
Building Division
MAY 10 2018
RECEIVED
DATE: 2018/05/24
FOR CHIEF BUILDING OFFICIAL

BUILDING AREA
5203.45 S.F. (483.42 m²)

PAD FOOTINGS
120 kPa. NATIVE SOIL 90 kPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 kPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS
FOOTINGS ON ENGINEERED FILL (90 kPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
48"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FLOOR PLAN FOR REINFORCEMENT)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

SUMP PUMP REQUIRED
LOCATION TO BE DETERMINED ON SITE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including building provisions and any updates. Architect is not responsible in any way for existing or proposed building code or that any future code can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL NUMBER 1
DATE: 2018/05/24
APPROVED BY: [Signature]
This stamp certifies compliance with the applicable design guidelines and does not constitute a professional representation.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
ENGINEER
PROF. REG. NO. 10000
STRUDET INC.
FOR STRUCTURE ONLY

APR 25 2018

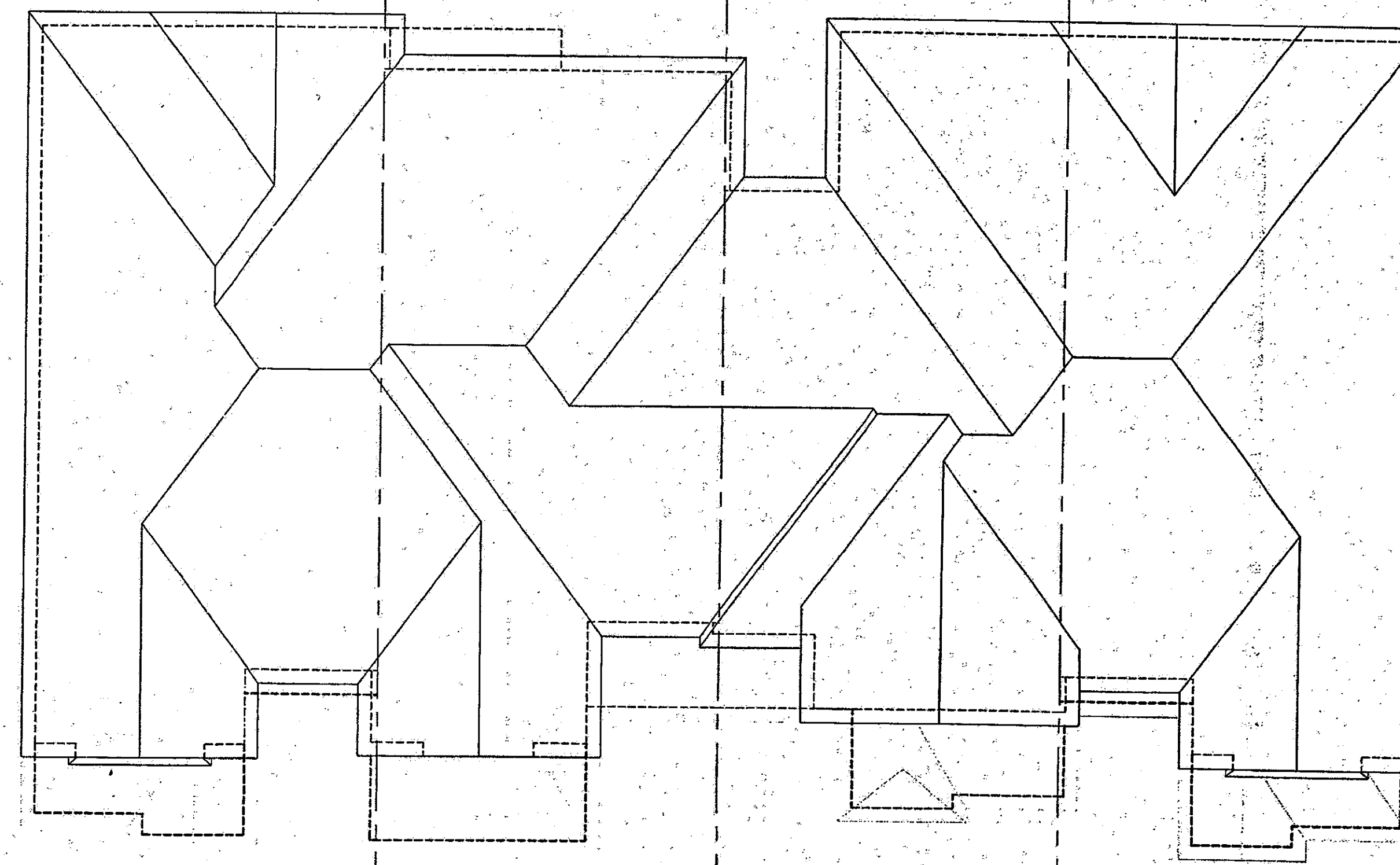
NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

BLK 209 ELEV. 1

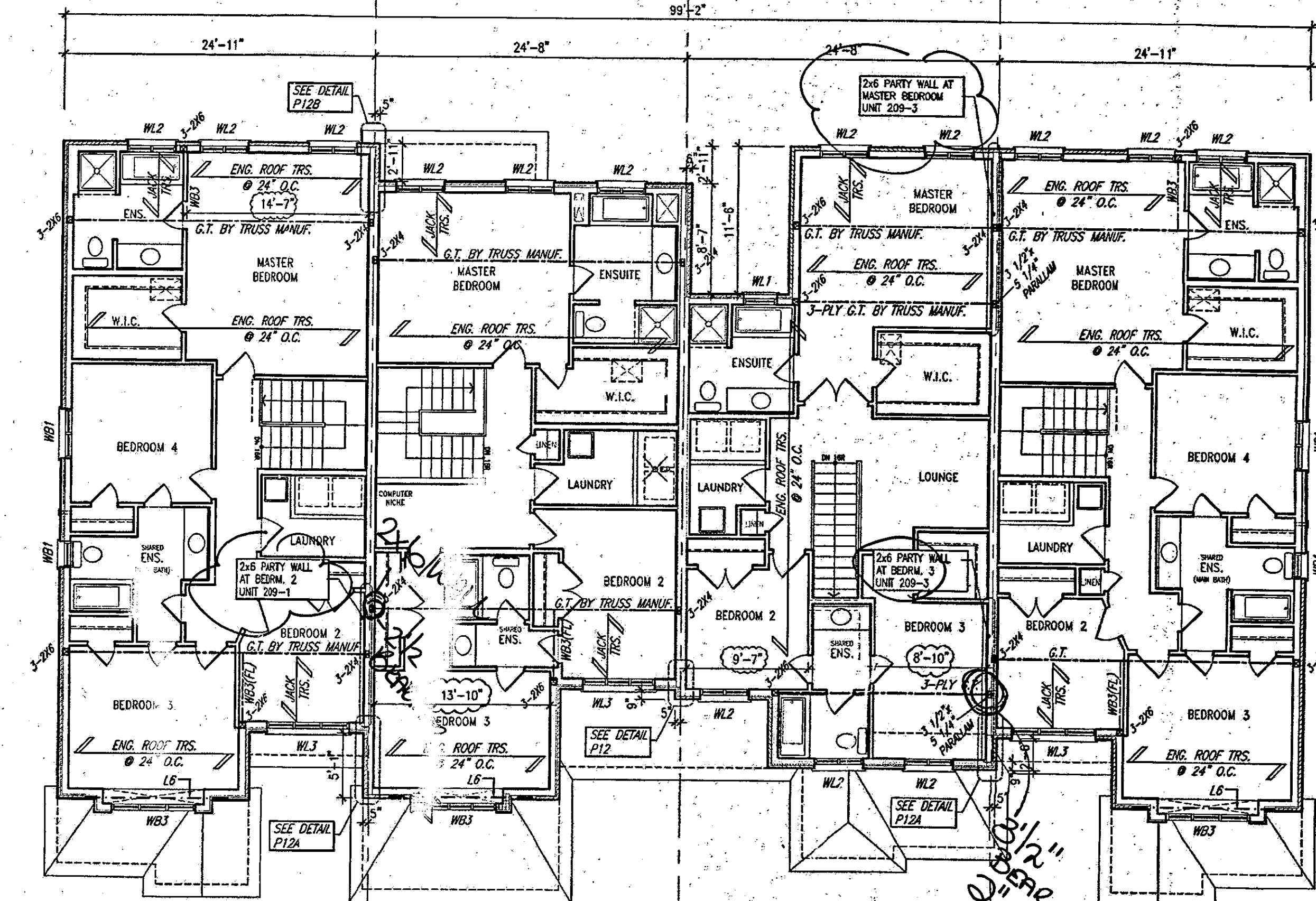
***Greenpark.**

RUSSELL GARDENS PH2
WATERDOWN, ON.
HIGHGROVE SERIES

BLOCK 209
BLOCK 209 PLANS
1/8" = 1'-0"
JULY 2017
16036-BLOCK 209



ROOF PLAN



SECOND FLOOR PLAN

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

BUILDING AREA
5203.45 S.F. (483.42 m2)

PAD FOOTINGS
120 KPa. MINE SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x15" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS
32"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS
FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120 KPa/17.4 ksf SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90 KPa/13.0 ksf FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL

CITY OF HAMILTON
Building Division
Permit No. **A 13 1917**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
Design and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
Planning & Development
MAY 10 2018
FILED BY
FILED TO

REGISTERED PROFESSIONAL ARCHITECT
MARINKOVIC
OFFICE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to
approve that all plans submitted for approval
and comply with the Architectural Guidelines
including zoning provisions and any provisions
in the city's zoning by-law. The Council
Architect is not responsible in any way for
misreading or misinterpreting the building
code or zoning by-law. The building code or
zoning by-law must be properly read and
interpreted.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.

JONAS G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
HAMILTON, ONT.
APPROVED BY: DATE: MAY 20 2018
This report is the property of the architect.
Design Guidelines and any other building
regulations are not to be reproduced.

10			
9			
8			
7	REVISION	APR 20/18	CM
6	REVISION FOR CLIENT COMMENTS, REVISION	FEB 15/18	CM
5	REVISION FOR CLIENT COMMENTS, REVISION	NOV 09/17	CM
4	ISSUED FOR PERMITS	AUG 23/17	CM
3	REVISION FOR CLIENT COMMENTS	AUG 16/17	MT
2	REVISION FOR CLIENT COMMENTS	AUG 16/17	MT
1	ISSUED FOR ROOF TRUSS LAYOUT	JUL 14/17	CM

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be scaled.

VAS3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
vas3design.com

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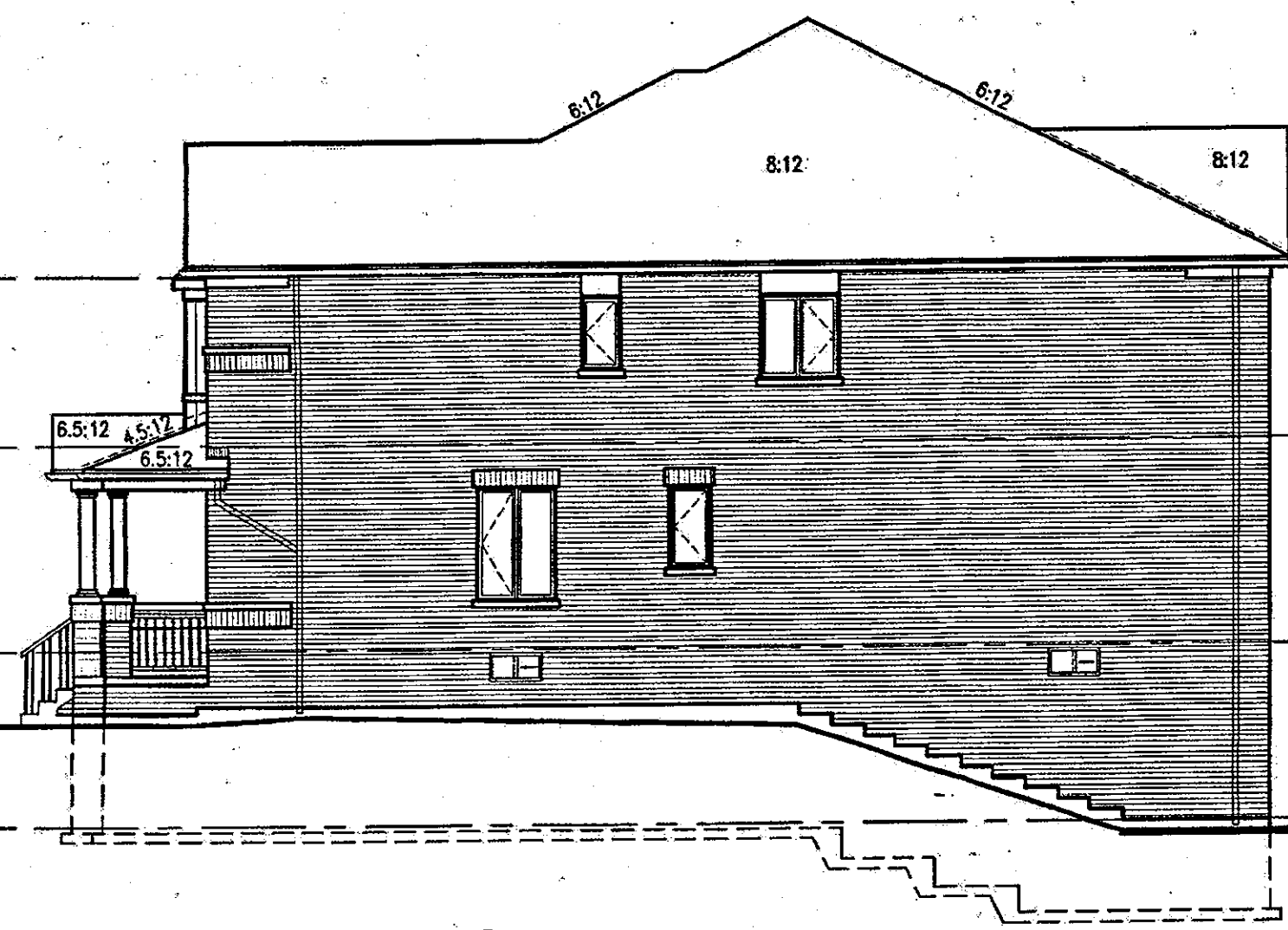
Greenpark.
PROJECT NAME
RUSSELL GARDENS PH2
LOCATION
WATERLOO, ON.
DATE
JULY 2017
SCALE
1/8" = 1'-0"

BLOCK 209
BLOCK 209 PLANS
B2

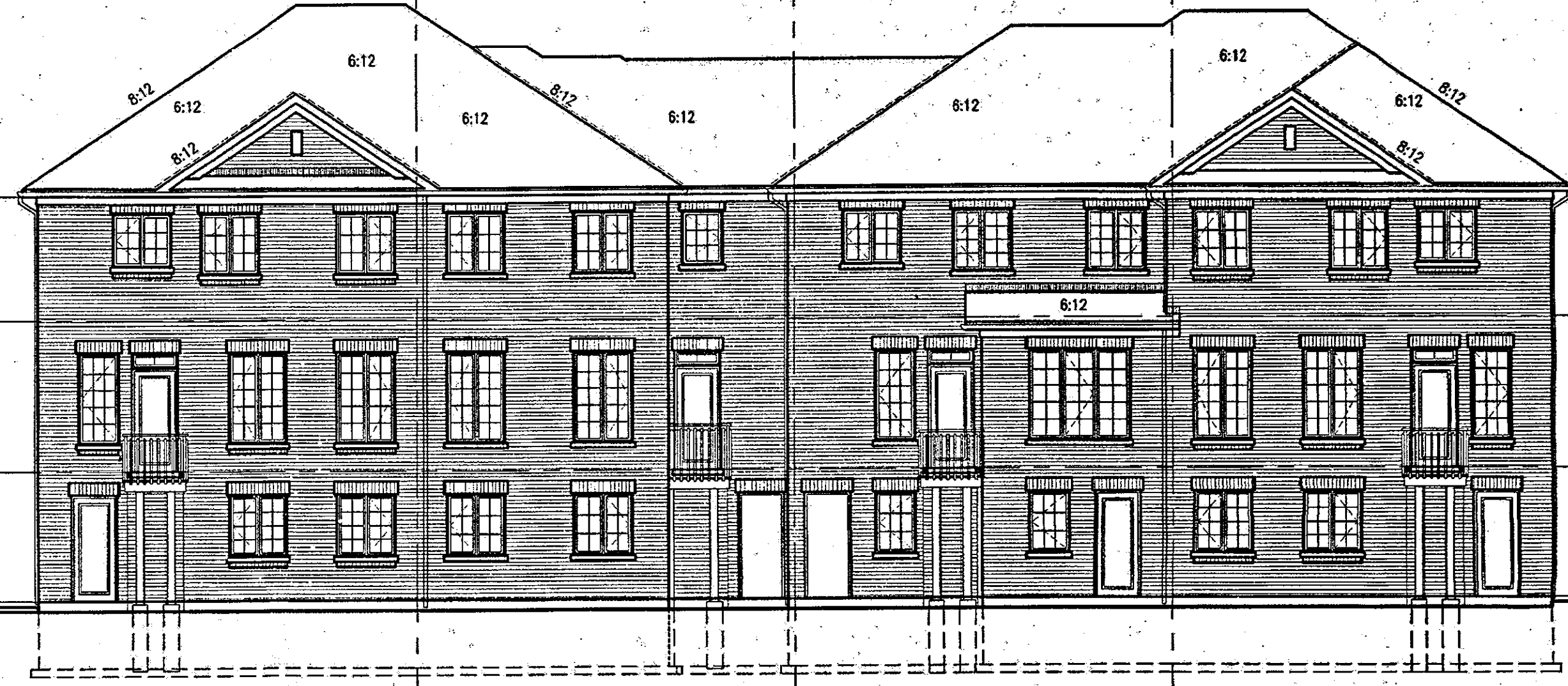
APR 25 2018

BLK 209
ELEV. 1

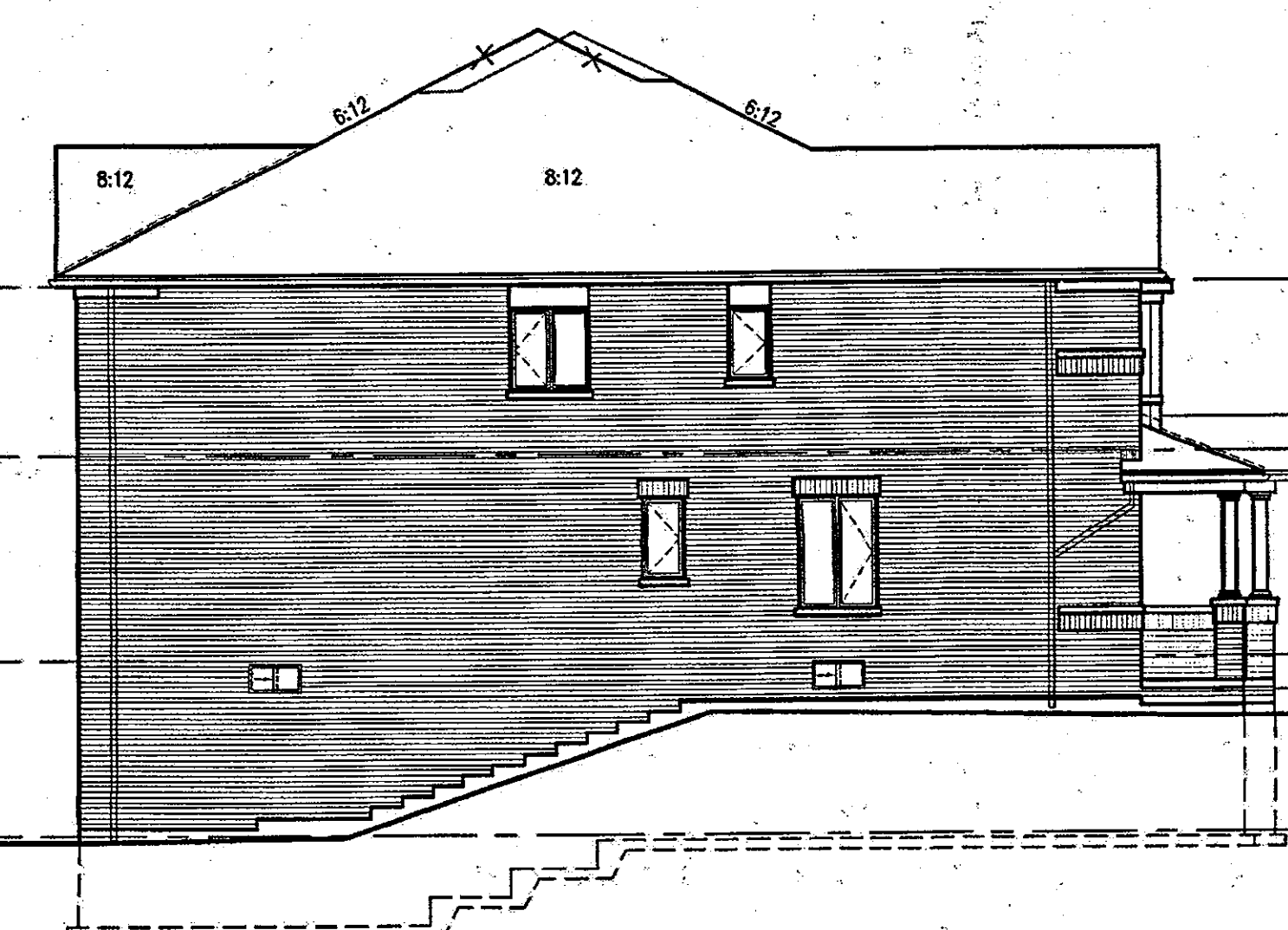
NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.



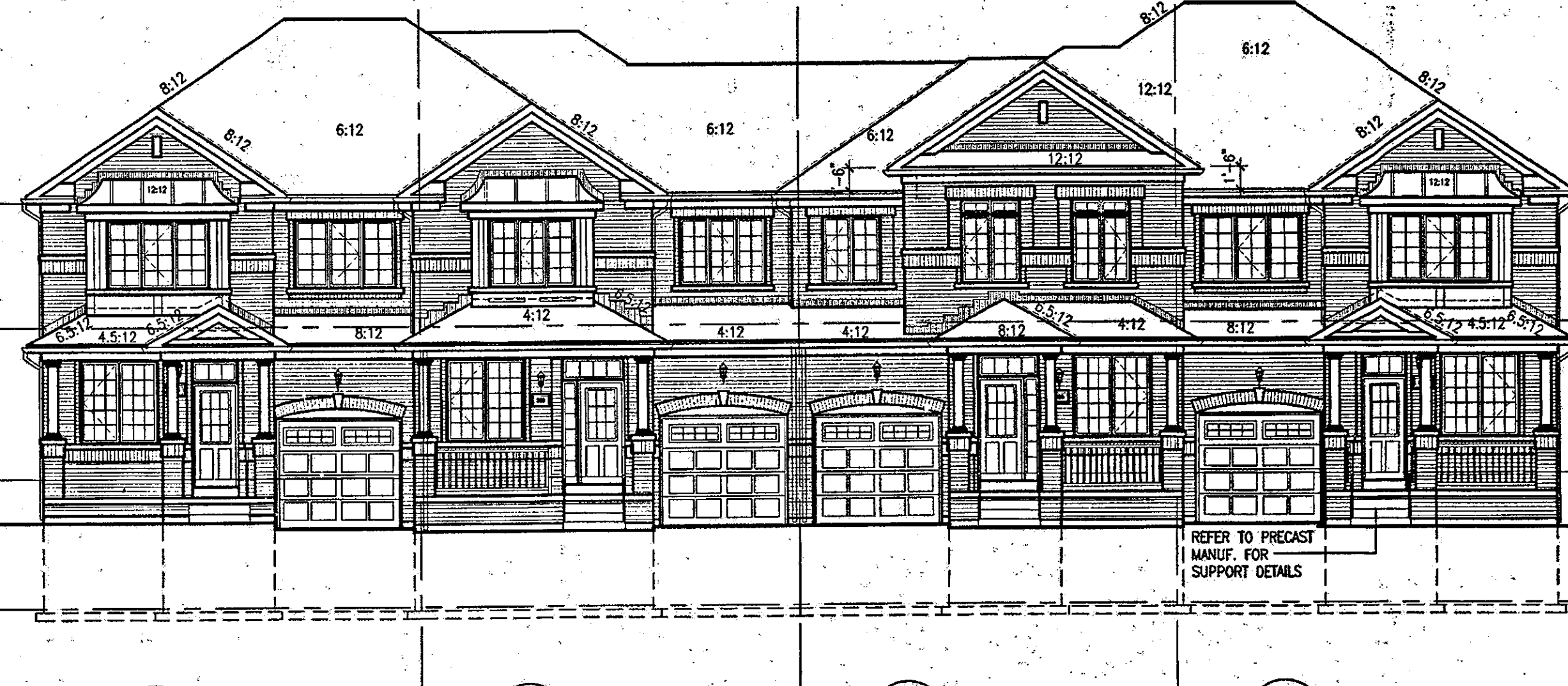
209-4 HIGHGROVE-5E
ELEV. 1
RIGHT SIDE ELEVATION



209-4 HIGHGROVE-5E
ELEV. 1 (REV.)
REAR ELEVATION



209-1 HIGHGROVE-5E
ELEV. 1
LEFT SIDE ELEVATION



209-1 HIGHGROVE-5E
ELEV. 1
FRONT ELEVATION

TOP OF PLATE
TOP OF WINDOW
7'-0" 8'-1"
FIN. SECOND FLOOR
TOP OF DOOR
7'-10" 9'-11"
FIN. GROUND FLOOR
FIN. BASEMENT FLOOR
8'-4"

CITY OF HAMILTON
Building Division
131917
Permit No.
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These drawings and/or specifications have been reviewed by
DATE
FOR CHIEF BUILDING OFFICIAL

CITY OF HAMILTON
Planning & Development
MAY 10 2018

TOP OF PLATE
TOP OF WINDOW
7'-0" 8'-1"
FIN. SECOND FLOOR
TOP OF DOOR
7'-10" 9'-11"
FIN. GROUND FLOOR
FIN. BASEMENT FLOOR
8'-4"

It is the builder's complete responsibility to
ensure that all plans submitted for approval
comply with the applicable building code and
all applicable regulations and requirements
in the subdivision agreement. The Council
Architect is not responsible in any way for
servicing or approving site (lotting) plans or
working drawings with respect to any change of
building code or permit issued or any other
issue that the property is not bound on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.

JOHN G. WILLIAMS LTD. ARCHITECTS
ARCHITECTS (REGISTERED) INC.
1 AND APPROVAL
DATE: APR 26 2018
APPROVED BY: [Signature]
The above certifies compliance with the applicable
Design Guidelines and all other relevant
regulatory requirements.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	APR 24/18 CM	
2	REVISED PER CITY COMMENTS, REISSUED	FEB 15/18 CM	
3	REVISED, ISSUED FOR PERMIT	DEC 03/17 CM	
4	ISSUED FOR PERMIT	MAY 25/17 CM	
5	REVISED AS PER ENG. COMMENTS	MAY 18/17 MT	
6	REVISED AS PER ENG. COMMENTS	MAY 17/17 MT	
7	ISSUED FOR PERMIT, REISSUED	MAY 14/17 CM	

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Suite 120
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vasdesign.com

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Design Authority: [Signature]
Date: [Signature]
Name: [Signature]
Title: [Signature]

Greenpark.
project name
RUSSELL GARDENS PH2
location
WATERDOWN, ON.
series
HIGHGROVE SERIES
date
JULY 2017
scale
1/8" = 1'-0"

page no.
18036
block no.
BLOCK 209
block name
BLOCK 209 ELEVATIONS
sheet no.
B3

APR 25 2018

BLK 209
ELEV. 1