

Blk 200

2264 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL.)
ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.
PAD FOOTINGS
 120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 5/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 8" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 8" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

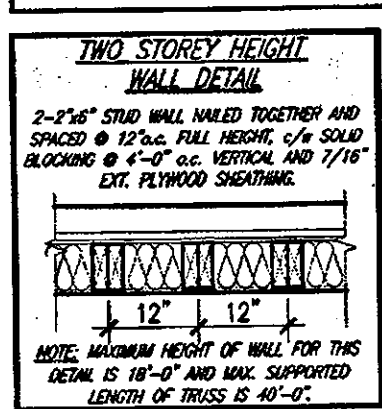
NOS.	WIDTH	HEIGHT 8' to 9'	HEIGHT 10' OR MORE	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER
 (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

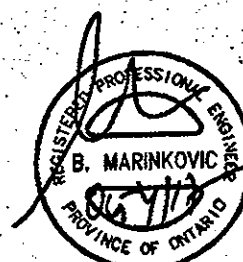
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS. UNLESS OTHERWISE NOTED.



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 ensure that all plans submitted for approval
 fully comply with the Architectural Guidelines
 and all applicable regulations and requirements
 including zoning provisions and any provisions
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 Architect is not responsible in any way for
 examining or approving site (lotting) plans or
 working drawings with respect to any zoning or
 building code or permit matter or that any
 house can be properly built or located on its lot.

This is to certify that these plans comply
 with the applicable Architectural Design
 Guidelines approved by the City of
 HAMILTON.



STRUDET INC.
 FOR STRUCTURE ONLY

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 5E AND ELEV. 1			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.42 S.F.	23.15 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	299.90 S.F.	9.98 %
TOTAL SQ. M.	279.24 S.M.	27.86 S.M.	9.98 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 5E AND ELEV. 2			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.67 S.F.	23.20 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	300.15 S.F.	9.99 %
TOTAL SQ. M.	279.24 S.M.	27.88 S.M.	9.99 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 5E AND ELEV. 3			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	299.16 S.F.	9.95 %
TOTAL SQ. M.	279.24 S.M.	27.79 S.M.	9.95 %

CITY OF HAMILTON
 Building Division

Permit No. 17-131763

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
 FOR CITY BUILDING OFFICIAL DATE JUN 24/18

AREA CALCULATIONS ELEV '1'

GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
TOTAL FLOOR AREA	2264 SF (210.33 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2264 SF (210.33 m2)
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	90 SF
COVERAGE W/ PORCH	1340 SF (124.49 m2)
COVERAGE W/O PORCH	1250 SF (116.13 m2)

AREA CALCULATIONS ELEV '2'

GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
TOTAL FLOOR AREA	2264 SF (210.33 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2264 SF (210.33 m2)
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	102 SF
COVERAGE W/ PORCH	1352 SF (125.61 m2)
COVERAGE W/O PORCH	1250 SF (116.13 m2)

AREA CALCULATIONS ELEV '3/3A/3B'

GROUND FLOOR AREA	1024 SF
SECOND FLOOR AREA	1234 SF
TOTAL FLOOR AREA	2252 SF (209.22 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2252 SF (209.22 m2)
GROUND FLOOR COVERAGE	1024 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	1340 SF (124.50 m2)
COVERAGE W/O PORCH	1244 SF (115.57 m2)

OCT 04 2017

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
18				9			
17				8			
16				7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design
 and has the qualifications and meets the requirements set out in the
 Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24488
 name registration information
 VAS Design Inc. 42658
 Contractor must verify all dimensions on the job and report any
 discrepancy to the Designer before proceeding with the work. All
 drawings and specifications are instruments of service and the property
 of the Designer which must be returned at the completion of the work.
 Drawings are not to be scaled.

VA3
DESIGN
 235 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 T 416.630.2255 F 416.630.4702
 va3design.com

Greenpark. **HIGHGROVE 5E**
 project name
 RUSSELL GARDENS PH.2 WATERDOWN, ON.
 project no.
 16036
 drawing no.
 A0
 date
 MARCH 2017
 drawn by
 WT
 checked by
 3/16" = 1'-0"
 scale
 16036-HIGHGROVE 5E
 title
 TYPICAL NOTES & AREAS
 DATE - REVISED/REWORKED (2016) 16036-HIGHGROVE 5E-2016-04-04 5E.dwg - 16 - Sep 15 2017 - 1:35 PM
 PRC - RUSSELL GARDENS PH.2 (2016) 16036-HIGHGROVE 5E-2016-04-04 5E.dwg - 16 - Sep 15 2017 - 1:35 PM

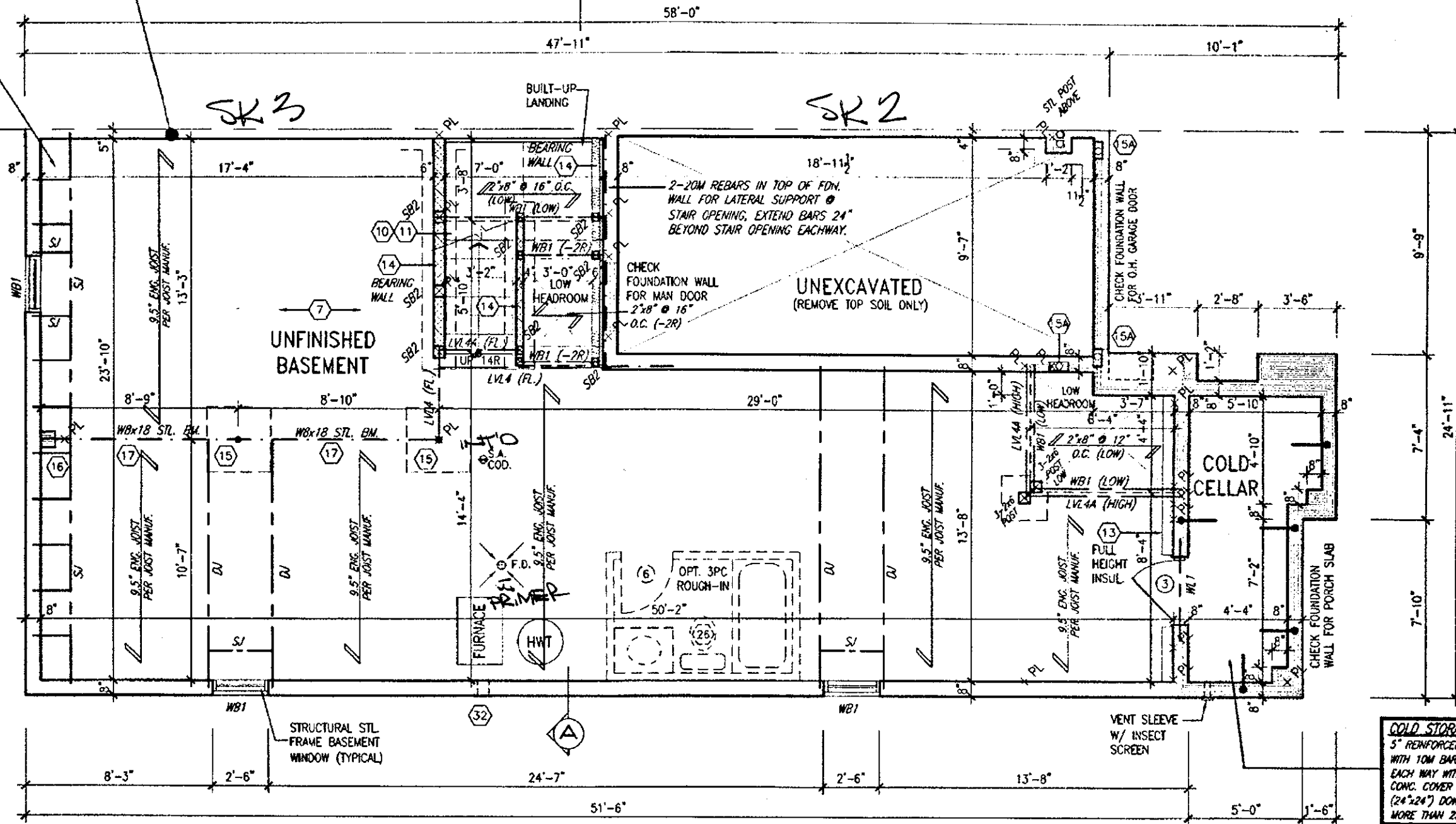
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2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4.4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT WALL INSULATION (TYP) (13)

-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.

-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).

-2"x4" @ 16" o.c. w/ R12 BATT INSULATION.

-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: APR 20 2018

This stamp certifies compliance with the applicable Design Guidelines only and does not transfer professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT PLAN ELEV. '1'

CITY OF HAMILTON
Building Division

Permit No. 17-131763

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by *[Signature]* DATE: 2/18

FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

18	REVISED.	APR 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	GW	qualification information
16	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW	Richard Vink
15	ISSUED FOR PRICING.	AUG 23/17	GW	24488
14	STUCCO REPLACED.	JUL 05/17	GW	42653
13	REVISED AS PER CLIENT COMMENTS	JUN 21/17	WT	name registration information
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	VAS Design Inc.
11	REVISED PER CLIENT COMMENTS.	APR 28/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work (drawings are not to be reused).
10	PRELIMINARY REVIEW.	APR 12/17	GW	
9				
8				
7				
6				
5				
4				
3				
2				
1				
no	description	date	by	no

VAS DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.

DATE: MARCH 2017
checked by: GW
scale: 3/16" = 1'-0"

HIGHGROVE 5E

project no. 16036

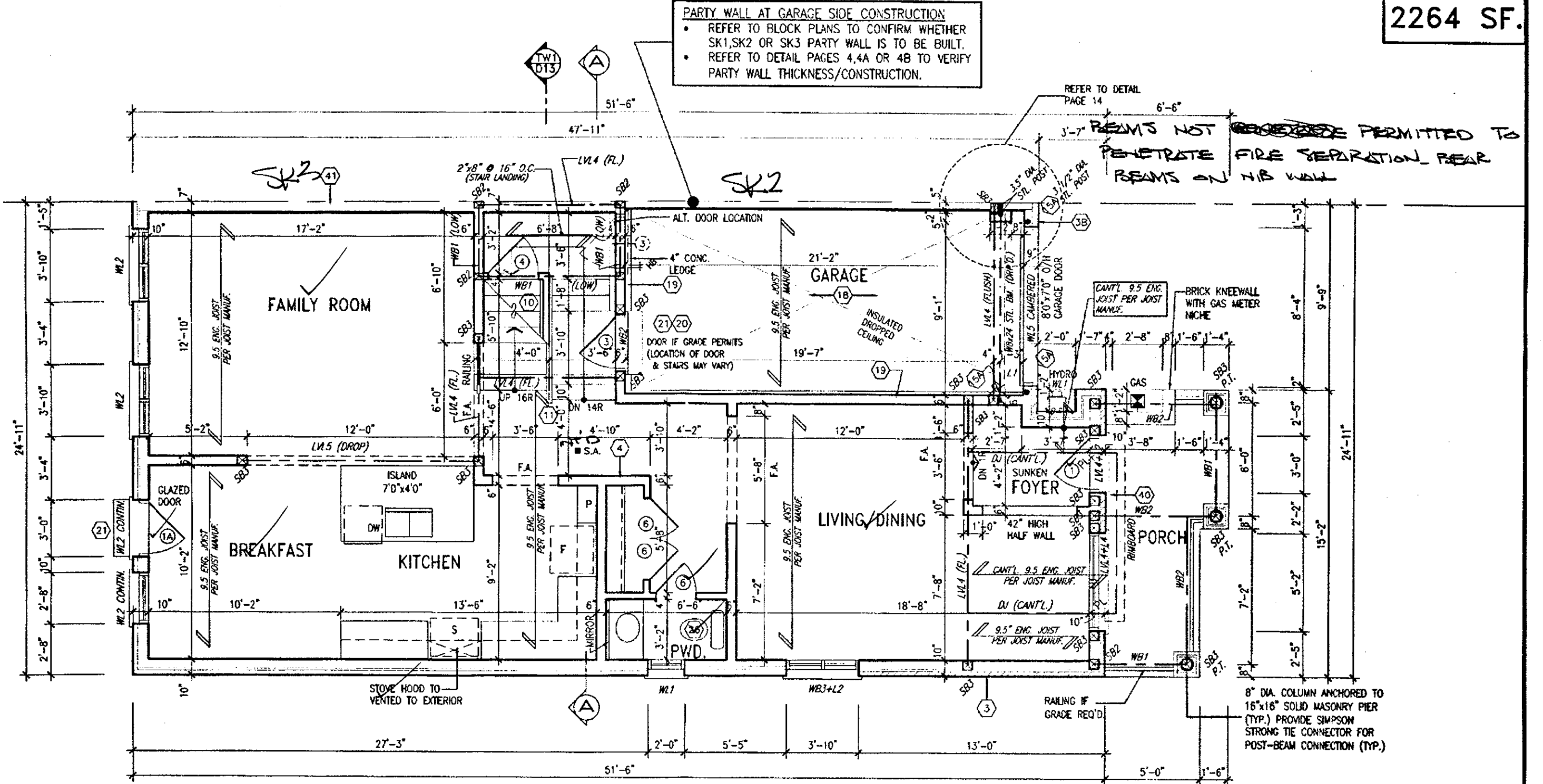
BASEMENT PLAN ELEV. '1'

16036-HIGHGROVE 5E

A1

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2264 SF.



GROUND FLOOR PLAN ELEV. '1'



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ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

CITY OF HAMILTON
Building Division

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These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: APR 20, 2018

This stamp certifies compliance with the applicable Architectural Design Guidelines and does not constitute a professional responsibility.

no	description	date	by	no	description	date	by
18				3	REVISED	APR 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	GW
16				7	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW
15				6	ISSUED FOR PRICING.	AUG 23/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW
10				1	PRELIMINARY REVIEW.	APR 12/17	GW
9							

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name
registration information
VAS Design Inc. 42658

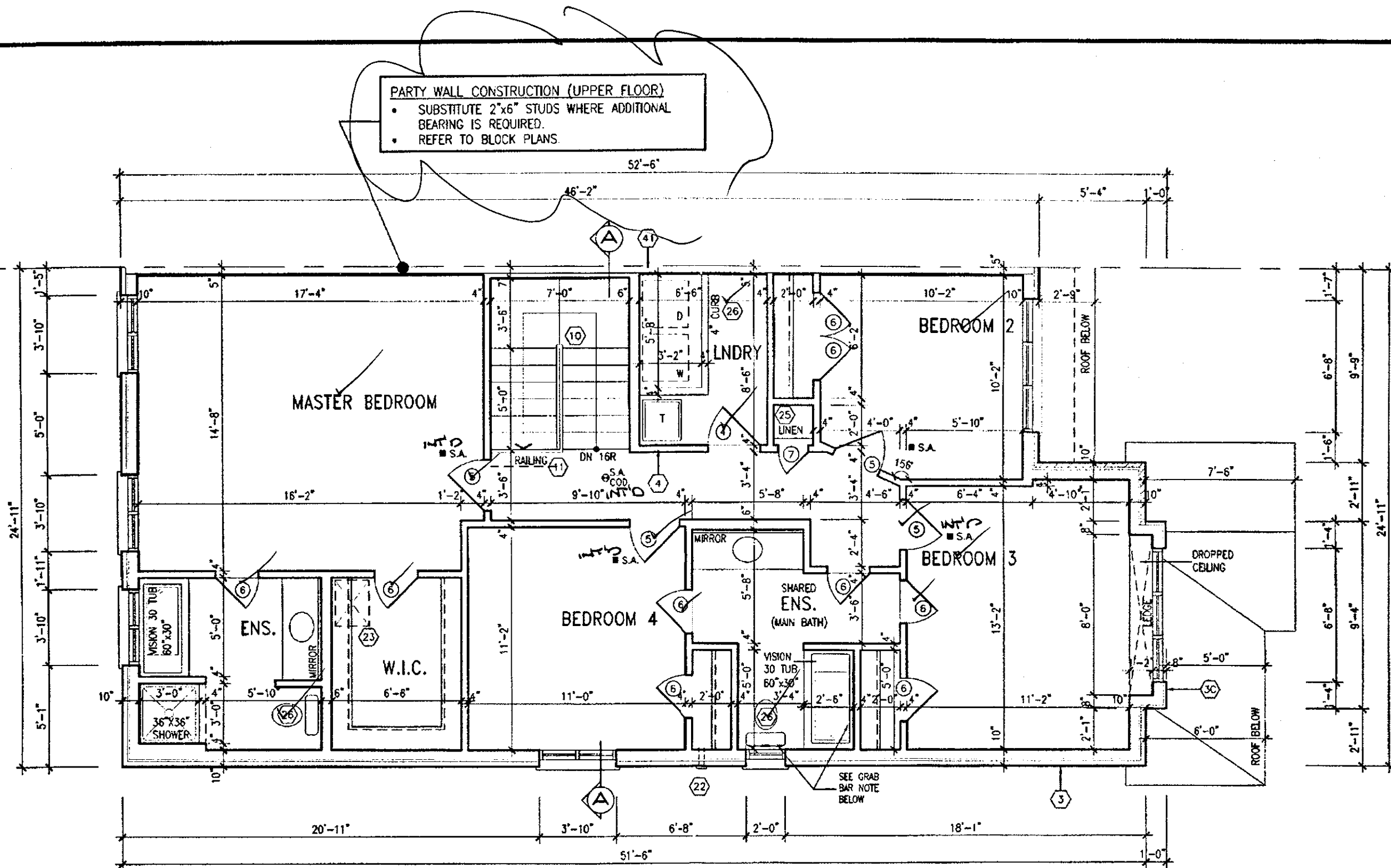
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1 416.630.2255 1 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
MARCH 2017
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 5E
project no.
16036
drawing no.
A2

2264 SF.



SECOND FLOOR PLAN ELEV. '1'

CITY OF HAMILTON
Building Division

Permit No. 17-131763

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
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These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: APR 20 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

18				9	REVISED	APR 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	GW	Qualification information
16				7	REVISED. ISSUED FOR PERMIT	SEP 28/17	GW	Richard Vink 24483
15				6	ISSUED FOR PRICING.	AUG 23/17	GW	name
14				5	STICCO REPLACED.	JUL 05/17	GW	regulation information
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	GW	YAS Design Inc. 42553
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR 12/17	GW	
no.	description	date	by	no.	description	date	by	

VAS DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
1 416.630.2255 1 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH.2 WATERDOWN, ON.

date
MARCH 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 5E

project no.
16036

SECOND FLOOR PLAN ELEV. '1'

16036-HIGHGROVE 5E

drawing no.
A3

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[illegible]

FRONT ELEVATION '1'

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____

DATE: Apr. 20, 2013

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility

18				9	REVISED.	APR 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meet the requirements set out in the Ontario Building Code to be a Designer.	
17				3	REV. PER CITY COMMENTS. RESSUED.	FEB 06/18	GW	qualification information	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	qualification information	
15				5	ISSUED FOR PRELIM.	AUG 23/17	GW	Richard Vink	244
14				5	STUCCO REPLACED.	JUL 05/17	GW	name	
13				4	REVISED AS PER CLIENT COMMENTS	JUN 21/17	WE	registration information	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	VAS Design Inc.	428
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be used	
10	description	date	hv	1	PRELIMINARY REVIEW.	APR 12/17	GW		
					description		by		

VARI

DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vo@design.com

Greenpark.

project name	RUSSELL GARDENS PH.2		municipality	WATERDOWN, ON.
date	MARCH 2017		FRONT & REAR ELEVATION	
drawn by	checked by	scale	16036	
WT	GW	3/16" = 1'-0"		

HIGHGROVE 5E

project no.
16036

rowing no.

A4

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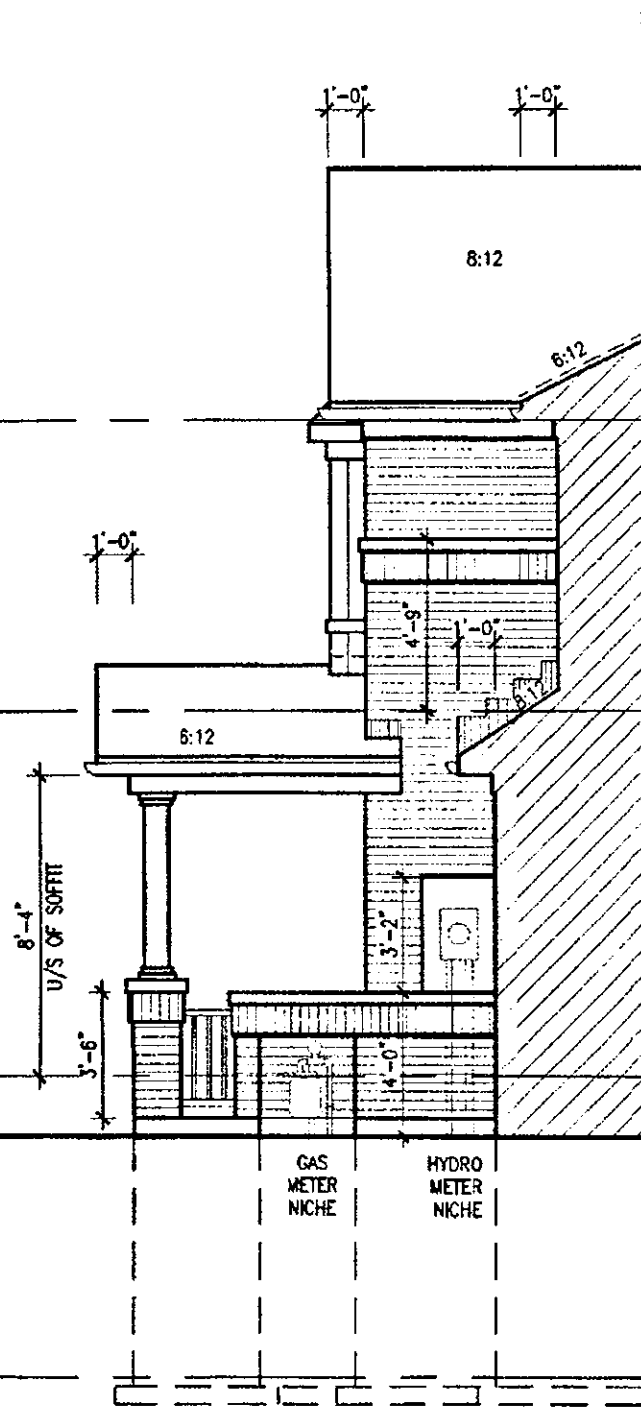
2264 SF.

CITY OF HAMILTON
Building Division

Permit No. **1-131763**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by

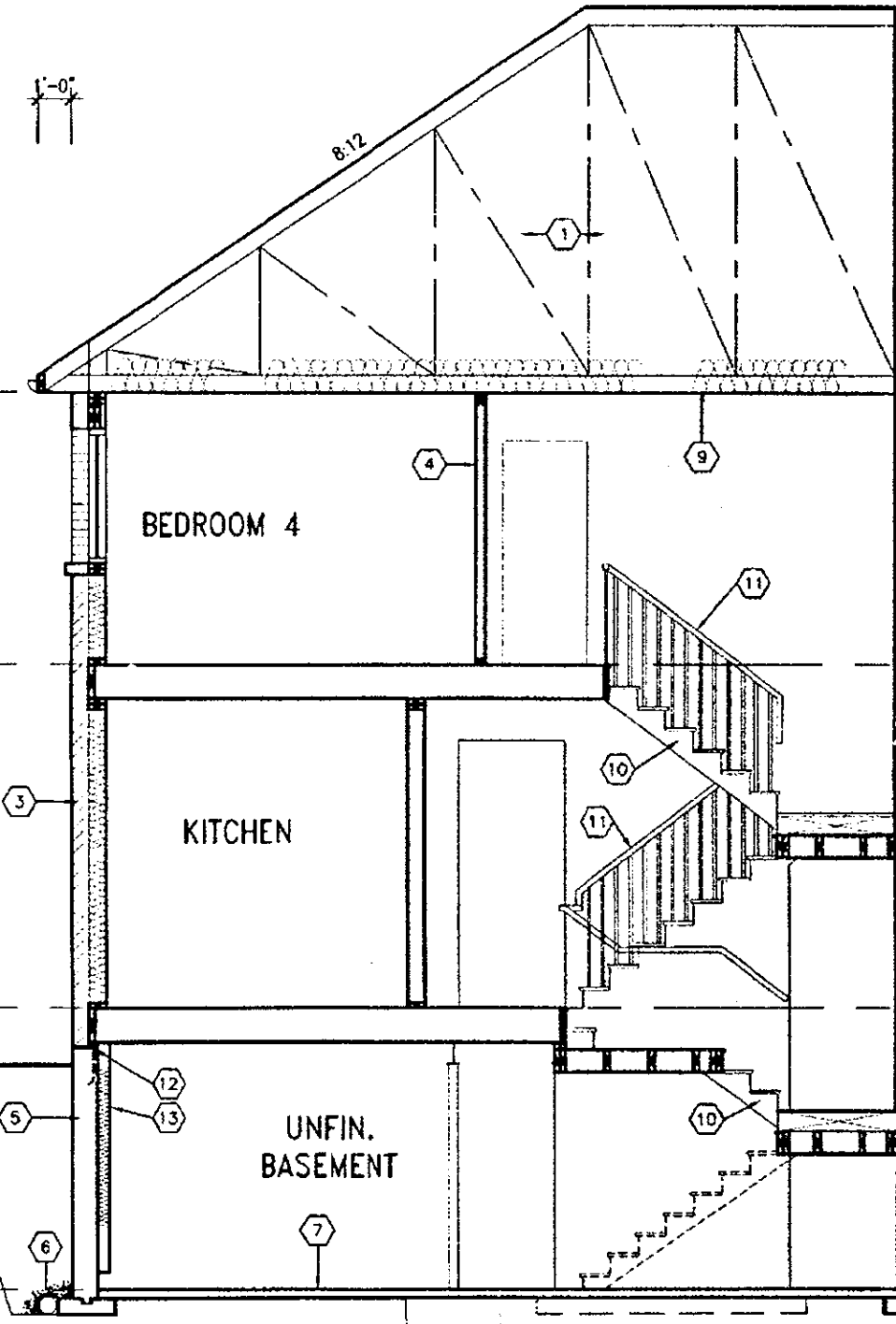
[Signature] DATE **12/21/18**
FOR CHIEF BUILDING OFFICIAL



SECTION B ELEV. 1



STRUDET INC.
FOR STRUCTURE ONLY



SECTION A-A ELEV. '1'

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

18				5	REVISED.	APR 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Qualification information <i>R Vink</i> 24483 Richard Vink signature 42653 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
17				6	REV. PER CITY COMMENTS, REISSUED.	FEB 06/18	GW	
16				7	REVISED, ISSUED FOR PERMIT.	SEP 28/17	GW	
15				8	ISSUED FOR PRICING.	AUG 23/17	GW	
14				9	STUCCO REPLACED.	JUL 05/17	GW	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WI	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR 12/17	GW	
9								
no.	description	date	by	no.	description	date	by	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

HIGHGROVE 5E
project name: **RUSSELL GARDENS PH.2** municipality: **WATERDOWN, ON.** project no.: **16036**
date: **MARCH 2017** checked by: **GW** scale: **3/16" = 1'-0"** drawing no.: **A6**
title: **SECTION A-A AND SECTION B ELEV. '1'** the name: **16036-HIGHGROVE 5E-NEW**
date: **12/21/18**

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CITY OF HAMILTON
Building Division

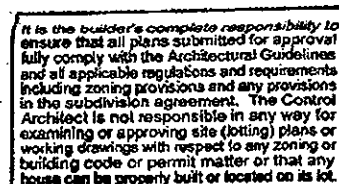
Permit No. 431763

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by

 JUN 24 1988

FOR CHIEF BUILDING OFFICIAL _____ DATE _____



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMMILTON

ARCHITECTURAL REVIEW & APPROVAL

OCT 1/6 2017

John C.

zed Architect

UPGRADED LEFT SIDE ELEVATION '1'
FOR BLOCK 200-1

OCT 04 2017

HIGHGROVE 5E

COMPLIANCE PACKAGE A1

HIGHGROVE 5E

Greenpark.

project name **RUSSELL GARDENS PH.2** **WATERDOWN, ON**

date MARCH 2017

3/16" = 1'-0" 16036-HIGHGROVE 5E

CPED - M:\ARCHIVE\WORKING\2016\10036\CPED\KANSAS\MCHENROVE\MCHENROVE-SET\10036-KANSAS\MCHENROVE SET.dwg - In - Sat 26 2016 - 1:55 PM

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Journal of Management Inquiry 18(6) 709–724

the 1990s, the number of people in the world who are illiterate has increased from 1.2 billion to 1.5 billion. The number of illiterate people in the world is expected to reach 1.7 billion by the year 2015. The number of illiterate people in the world is expected to reach 1.7 billion by the year 2015.

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

the 1990s, the number of people in the world who are under 15 years of age is expected to increase by 1.2 billion, from 1.1 billion in 1990 to 2.3 billion in 2010. The number of people aged 65 and over is expected to increase by 1.1 billion, from 0.4 billion in 1990 to 1.5 billion in 2010. The number of people aged 15-64 is expected to increase by 1.1 billion, from 1.1 billion in 1990 to 2.2 billion in 2010. The number of people aged 65 and over is expected to increase by 1.1 billion, from 0.4 billion in 1990 to 1.5 billion in 2010. The number of people aged 15-64 is expected to increase by 1.1 billion, from 1.1 billion in 1990 to 2.2 billion in 2010.

100

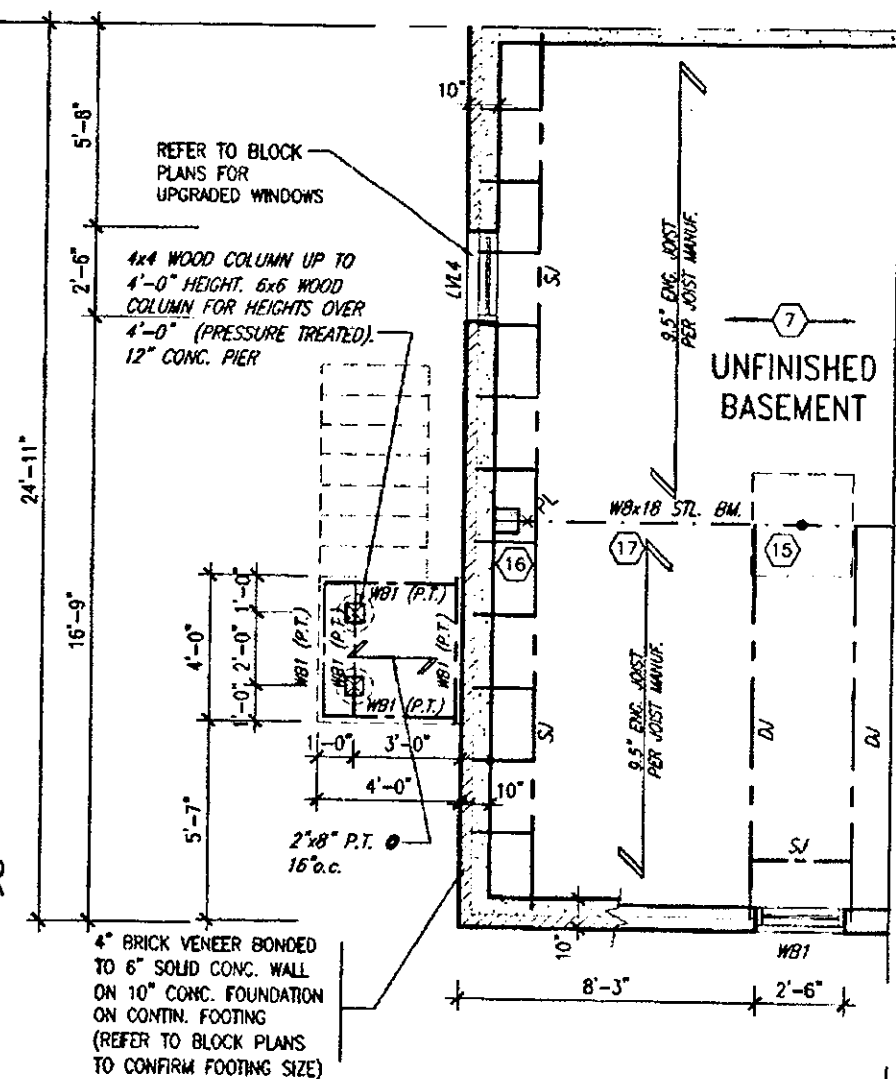
18			9			The undersigned has reviewed and takes responsibility for this design and how the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8			
16			7 REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	qualification information
15			6 ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink
14			5 STUDCO REPLACED.	JUL 05/17	GW	name signature 2448 6C
13			4 REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	registration information VA3 Design Inc. 4263
12			3 CHANGED JOIST DEPTH / FLOOR HEIGHTS.	JUN 14/17	GW	
11			2 REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. A drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10			1 PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date by

VA3
DESIGN
255 Consumers Rd Suite 121
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.477
va3design.com

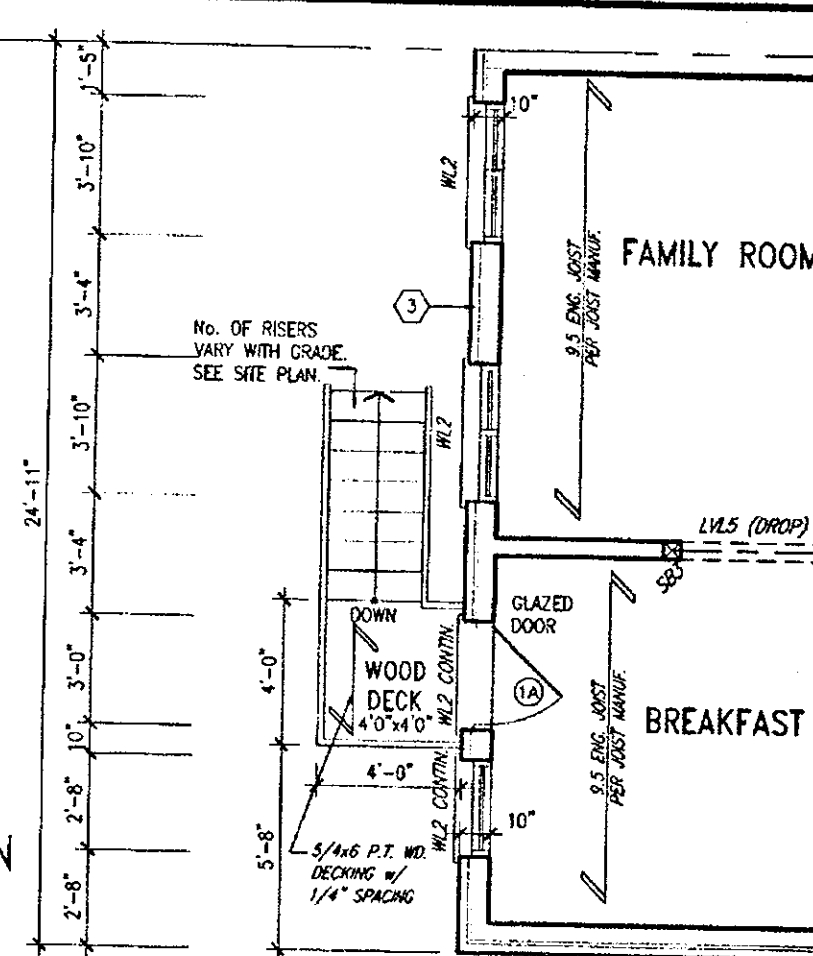
 Greenpark.		HIGHGROVE SE	
project name RUSSELL GARDENS PH.2		site locality WATERDOWN, ON.	
date MARCH 2017		project 1603	
drawing no. A8		drawing no. A8	
description UPGRADED LEFT SIDE ELEVATION '1'-BLOCK 200-1		description 16036-HIGHGROVE SE	
drawn by GW		scale 3/16" = 1'-0"	
date 01-MAR-2017		date 01-MAR-2017	

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**PART. BASEMENT
PLAN W.O.D
CONDITION (8R OR
MORE)**



**PART. GROUND FLOOR
PLAN W.O.D CONDITION
(8R OR MORE)**



2264 SF.

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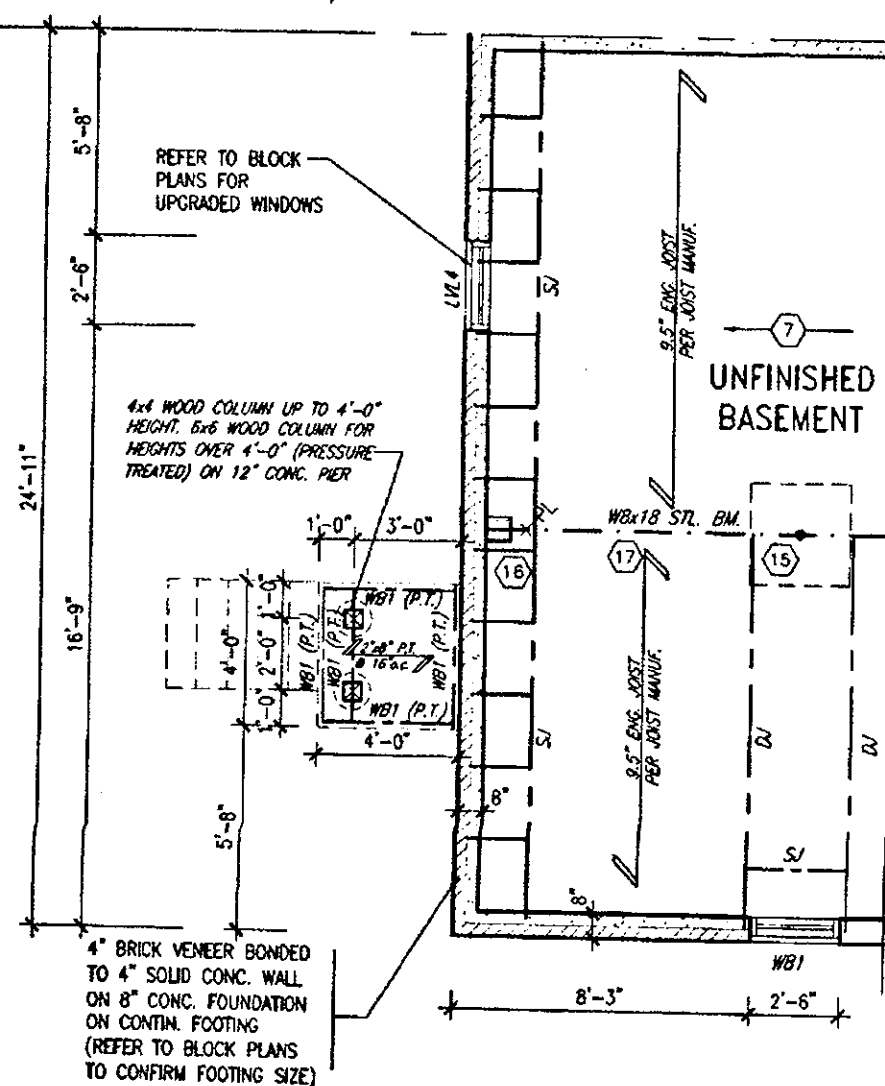
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: APR 20, 2018

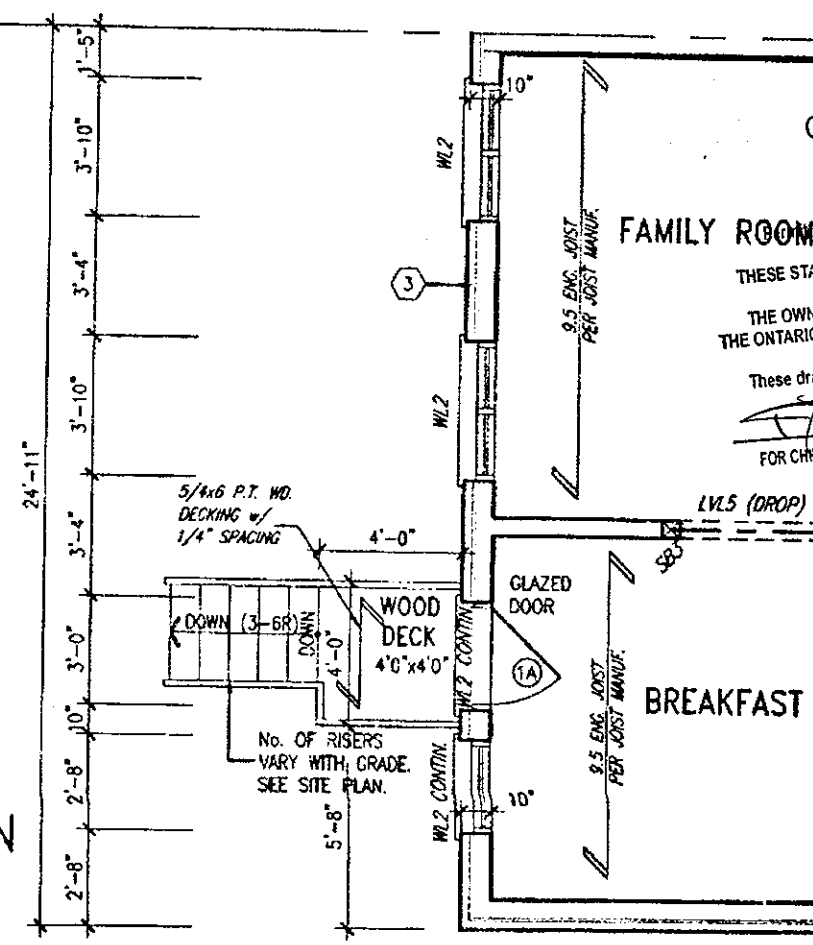
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WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.

**PART. BASEMENT
PLAN W.O.D
CONDITION (4R TO
7R MAX.)**



**PART. GROUND FLOOR
PLAN W.O.D CONDITION
(4R TO 7R MAX.)**



CITY OF HAMILTON
Building Division

17-131763

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE: 4/18/18



APR 17 2018

**HIGHGROVE 5E
COMPLIANCE PACKAGE A1**

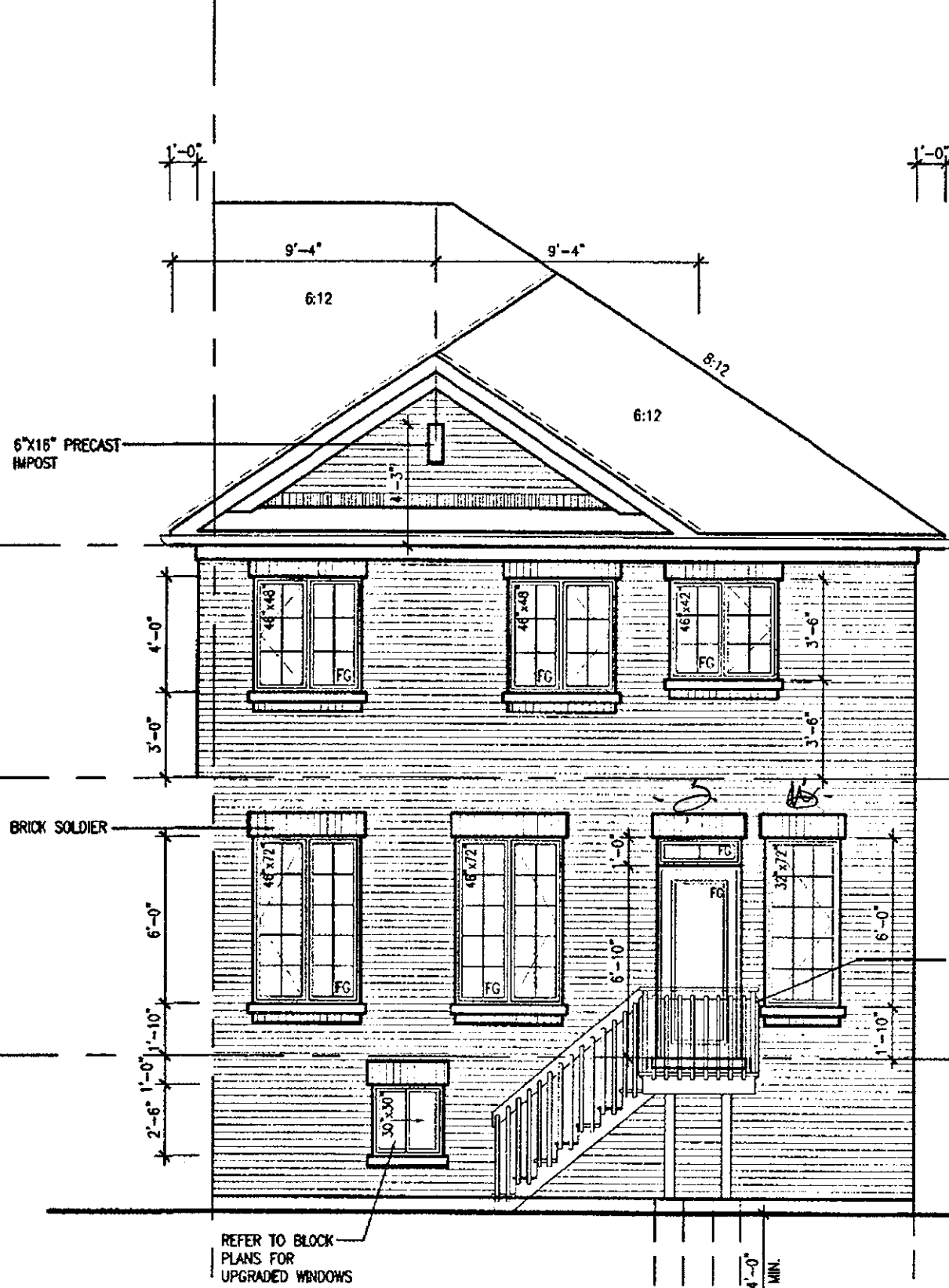
18	REVISED	APR 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	REV. PER CITY COMMENTS REISSUED	FEB 06/18	GW	
16	REVISED ISSUED FOR PERMIT	SEP 28/17	GW	
15	ISSUED FOR PRICING	AUG 23/17	GW	
14	SUCCO REPLACED	JUN 05/17	GW	name: Richard Vink registration information: 24488
13	REVISED AS PER CLIENT COMMENTS	JUN 21/17	WT	VA3 Design Inc. 42658
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	
11	REVISED PER CLIENT COMMENTS	APR 28/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10	PRELIMINARY REVIEW	APR 12/17	GW	
9	DESCRIPTION	DATE	BY	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2V 1R4
416.630.2255 / 416.630.4782
va3design.com

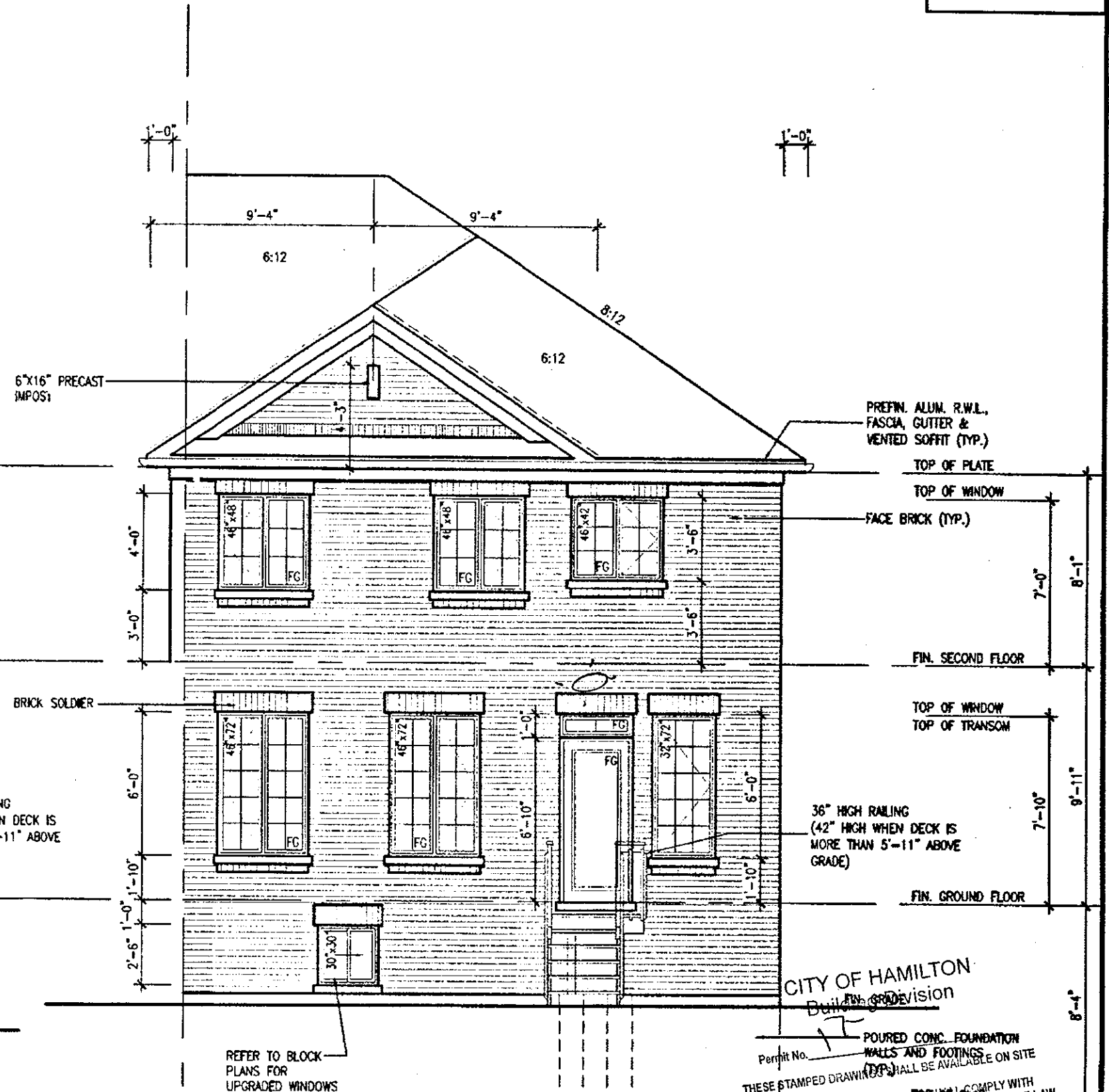
Greenpark.
Project name: RUSSELL GARDENS PH.2
City: WATERDOWN, ON.
Date: MARCH 2017
Scale: 3/16" = 1'-0"

HIGHGROVE 5E
Project no: 16036
Drawing no: A9
Title: PART. PLANS- DECK CONDITION
16036-HIGHGROVE 5E-NEW

2264 SF.



UPGRADED REAR ELEVATION '1'
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '1'
DECK CONDITION (4R TO 7R MAX.)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: Apr. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18		3	REVISED	APR 16/18	GW
17		6	REV. PER CITY COMMENTS, RESSUED.	FEB 06/18	GW
16		7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW
15		8	ISSUED FOR PRICING.	AUG. 23/17	GW
14		5	STUCCO REPLACED.	JUL 05/17	GW
13		4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW
9					
8					
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3					
2					
1					

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Richard Vink
Registration Information
VAK Design Inc.
24436
42658
Co-builder must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAK DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2755 f 416.630.4782
vakdesign.com

Greenpark.
project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
project no: 16036
date: MARCH 2017
checked by: [Signature]
scale: 3/16" = 1'-0"
16036-HIGHGROVE 5E-NEW
drawing no: A11

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

APR 17 2018