BIK 200

2264 SF.

STRIP FOOTINGS – FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa. NATIVE SOIL	90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 =3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 =4" x 3-1/2" x 5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 =5" x 3-1/2" x 5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 =6" x 3-1/2" x 3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 =6" x 4" x 3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 =5" x 3-1/2" x 5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 =5" x 3-1/2" x 5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 =5" x 3-1/2" x 5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 =6" x 4" x 3/8"L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 =2-2"x8" (2-38x184) SPR. No.2
WB2 =3-2"x8" (3-38x184) SPR. No.2
WB3 =2-2"x10" (2-38x235) SPR. No.2
WB4 =3-2"x10" (3-38x235) SPR. No.2
WB5 =2-2"x12" (2-38x286) SPR. No.2
WB6 =3-2"x12" (3-38x286) SPR. No.2
WB7 =5-2"x12" (5-38x286) SPR. No.2
WB11 =4-2"x10" (4-38x235) SPR. No.2
WB12 =4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A =1-1 3/4"x7 1/4" (1-45x184)
LVL1 =2-1 3/4"x7 1/4" (2-45x184)
LVL2 =3-1 3/4"x7 1/4" (3-45x184)
LVL3 =4-1 3/4"x7 1/4" (4-45x184)
LVL4A =1-1 3/4"x9 1/2" (1-45x240)
LVL4 =2-1 3/4"x9 1/2" (2-45x240)
LVL5 =3-1 3/4"x9 1/2" (3-45x240)
LVL5A =4-1 3/4"x9 1/2" (4-45x240)
LVL6A =1-1 3/4"x11 7/8" (1-45x300)
LVL6 =2-1 3/4"x11 7/8" (2-45x300)
LVL7 =3-1 3/4"x11 7/8" (3-45x300)
LVL8 =2-1 3/4"x14" (2-45x356)
LVL9 =3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 =3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)
L2 =4" x 3-1/2" x 5/16"L (100x90x8.0L)
L3 =5" x 3-1/2" x 5/16"L (125x90x8.0L)
L4 =6" x 3-1/2" x 3/8"L (150x90x10.0L)
L5 =6" x 4" x 3/8"L (150x100x10.0L)
L6 =7" x 4" x 3/8"L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8' to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

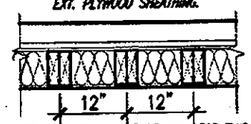
NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

HIGHGROVE 5E AND ELEV. 1	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.42 S.F.	23.15 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	299.90 S.F.	9.98 %
TOTAL SQ. M.	279.24 S.M.	27.86 S.M.	9.98 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

HIGHGROVE 5E AND ELEV. 2	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.67 S.F.	23.20 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	300.15 S.F.	9.99 %
TOTAL SQ. M.	279.24 S.M.	27.88 S.M.	9.99 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

HIGHGROVE 5E AND ELEV. 3	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	299.16 S.F.	9.95 %
TOTAL SQ. M.	279.24 S.M.	27.79 S.M.	9.95 %

CITY OF HAMILTON
Building Division
Permit No. 17 – 131763
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL — DATE Jun 24/18

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
TOTAL FLOOR AREA	2264 SF (210.33 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2264 SF (210.33 m2)
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	90 SF
COVERAGE W/ PORCH	1340 SF (124.49 m2)
COVERAGE W/O PORCH	1250 SF (116.13 m2)

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
TOTAL FLOOR AREA	2264 SF (210.33 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2264 SF (210.33 m2)
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	102 SF
COVERAGE W/ PORCH	1352 SF (125.61 m2)
COVERAGE W/O PORCH	1250 SF (116.13 m2)

AREA CALCULATIONS	ELEV '3/3A/3B'
GROUND FLOOR AREA	1024 SF
SECOND FLOOR AREA	1228 SF
TOTAL FLOOR AREA	2252 SF (209.22 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2252 SF (209.22 m2)
GROUND FLOOR COVERAGE	1024 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	1340 SF (124.50 m2)
COVERAGE W/O PORCH	1244 SF (115.57 m2)

OCT 04 2017

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no.	description	date	by
18			
17			
16			
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14			
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10			
9			
8			
7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink — signature: R Vink — BCIN: 24485
registration information
VA3 Design Inc. — 42658

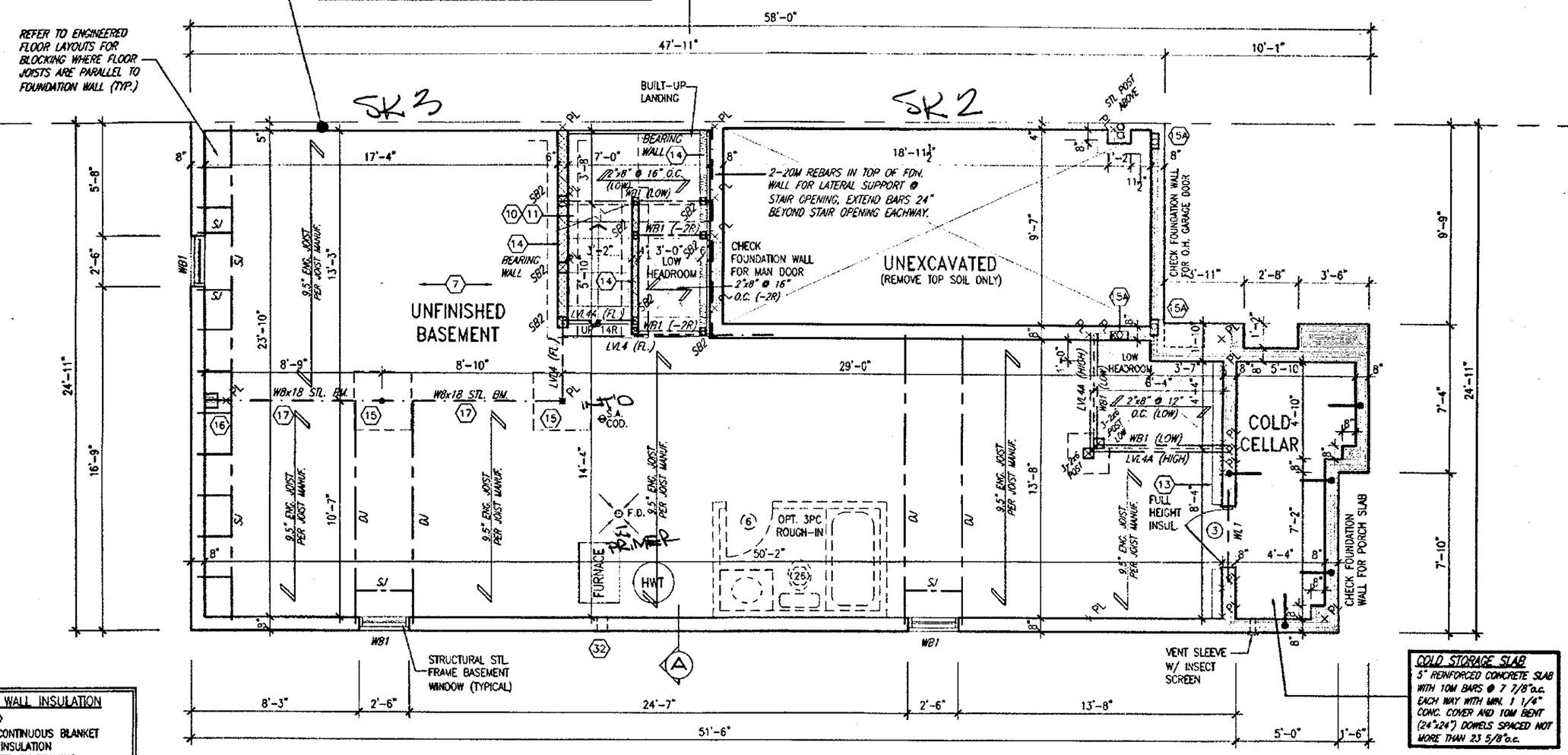
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
va3design.com

Greenpark.
project name: RUSSELL GARDENS PH.2 — municipality: WATERDOWN, ON.
HIGHGROVE 5E
project no. 16036
date: MARCH 2017 — checked by: – — scale: 3/16" = 1'-0"
drawn by: WT
TYPICAL NOTES & AREAS
file name: 16036-HIGHGROVE 5E
drawing no. A0
CADD – K:\HIGHGROVE\HIGHGROVE-5E\16036-HIGHGROVE 5E.dwg – Fri - Sep 29 2017 – 1:35 PM

2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT PLAN ELEV. '1'

CITY OF HAMILTON
Building Division
Permit No. 17 - 131763
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These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

APR 17 2018

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE Apr. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no.	description	date	by
18			
17			
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no.	description	date	by
9	REVISED.	APR. 16/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

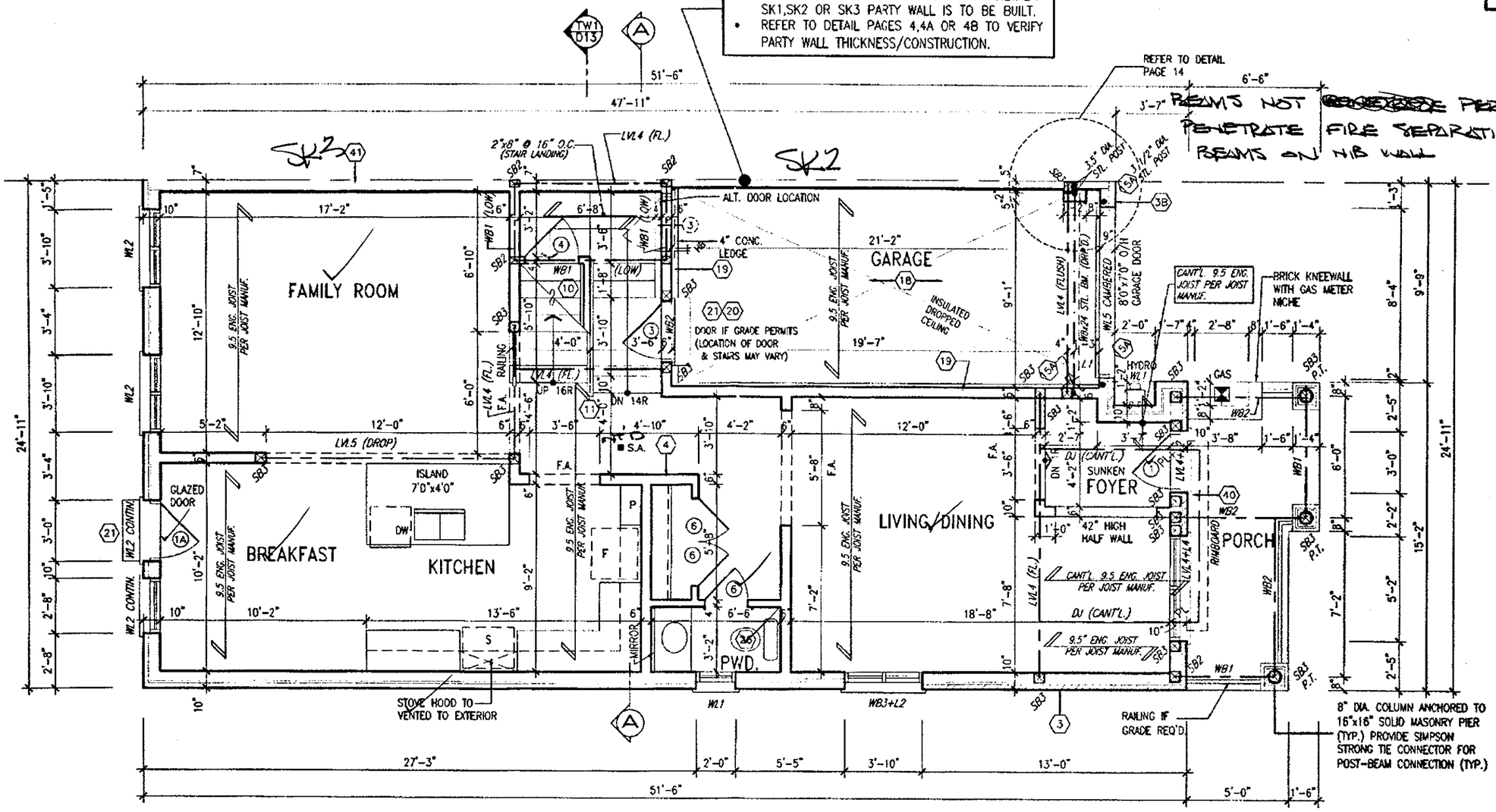
Greenpark.
HIGHGROVE 5E
project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
project no. 16036
date: MARCH 2017
BASEMENT PLAN ELEV. '1'
drawn by: WT
checked by: GW
scale: 3/16" = 1'-0"
file name: 16036-HIGHGROVE 5E
drawing no. A1

2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO DETAIL PAGE 14

3'-7" BEAMS NOT ~~COVERED~~ PERMITTED TO PENETRATE FIRE SEPARATION_ REAR BEAMS ON NIB WALL



GROUND FLOOR PLAN ELEV. '1'

CITY OF HAMILTON
Building Division
Permit No. 17-131763
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These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5.-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE Apr. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no	description	date	by
18			
17			
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12			
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10			
9	REVISED.	APR. 16/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name Richard Vink signature BCIN 24488
registration information VA3 Design Inc. 42658
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VA3 DESIGN
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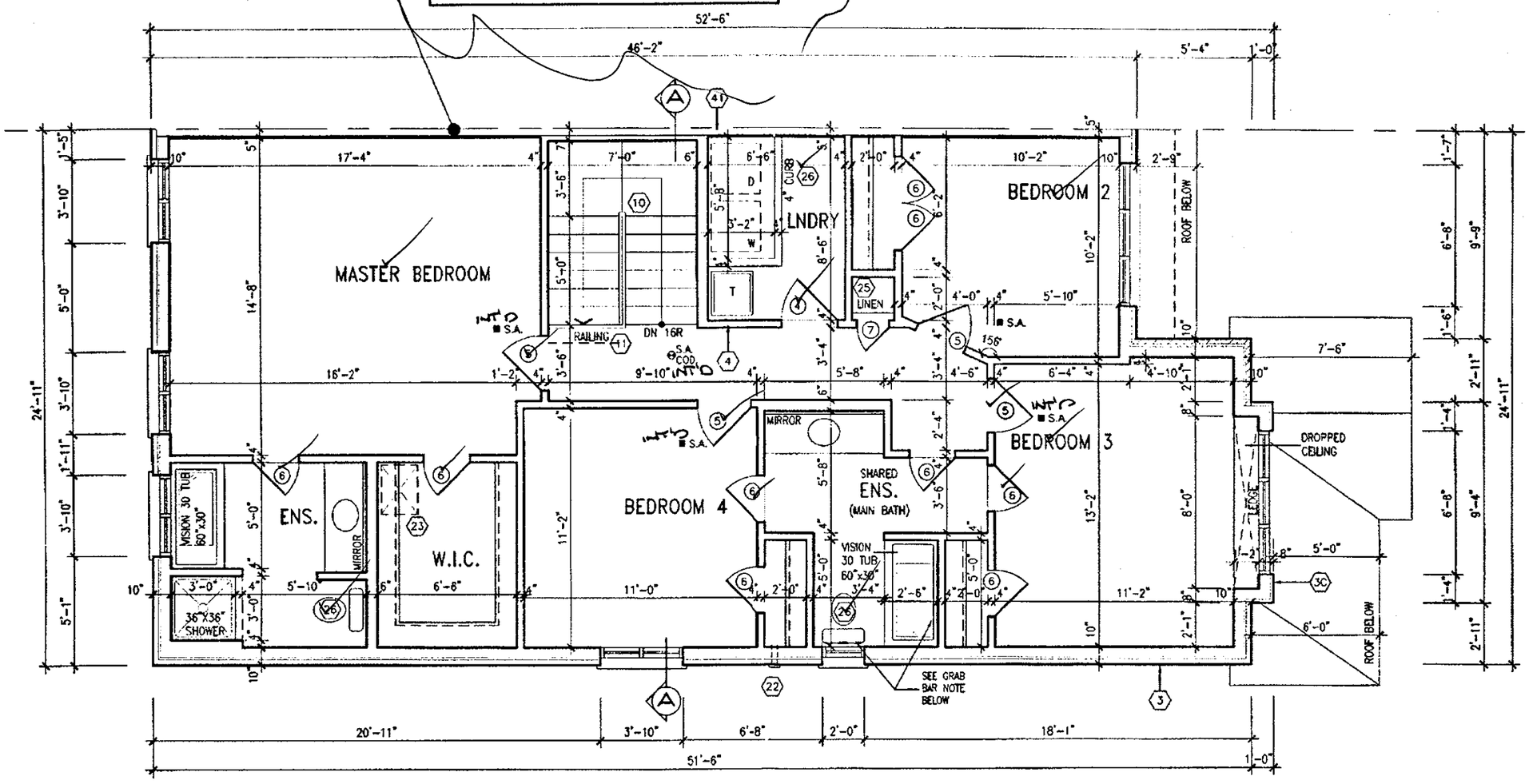
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
HIGHGROVE 5E
project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
project no. 16036
date: MARCH 2017
GROUND FLOOR PLAN ELEV. '1'
drawn by: WT
checked by: GW
scale: 3/16" = 1'-0"
file name: 16036-HIGHGROVE 5E-NEW
drawing no. A2

2264 SF.

PARTY WALL CONSTRUCTION (UPPER FLOOR)
- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.



SECOND FLOOR PLAN ELEV. '1'

CITY OF HAMILTON
Building Division
Permit No. 17-131763
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FOR CHIEF BUILDING OFFICIAL
DATE

APR 17 2018

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE: Apr. 20, 2018
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NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no.	description	date	by	no	description	date	by
18				9	REVISED	APR. 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
16				7	REVISED. ISSUED FOR PERMIT	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24485
name signature BCIN
registration information
VA3 Design Inc. 42658

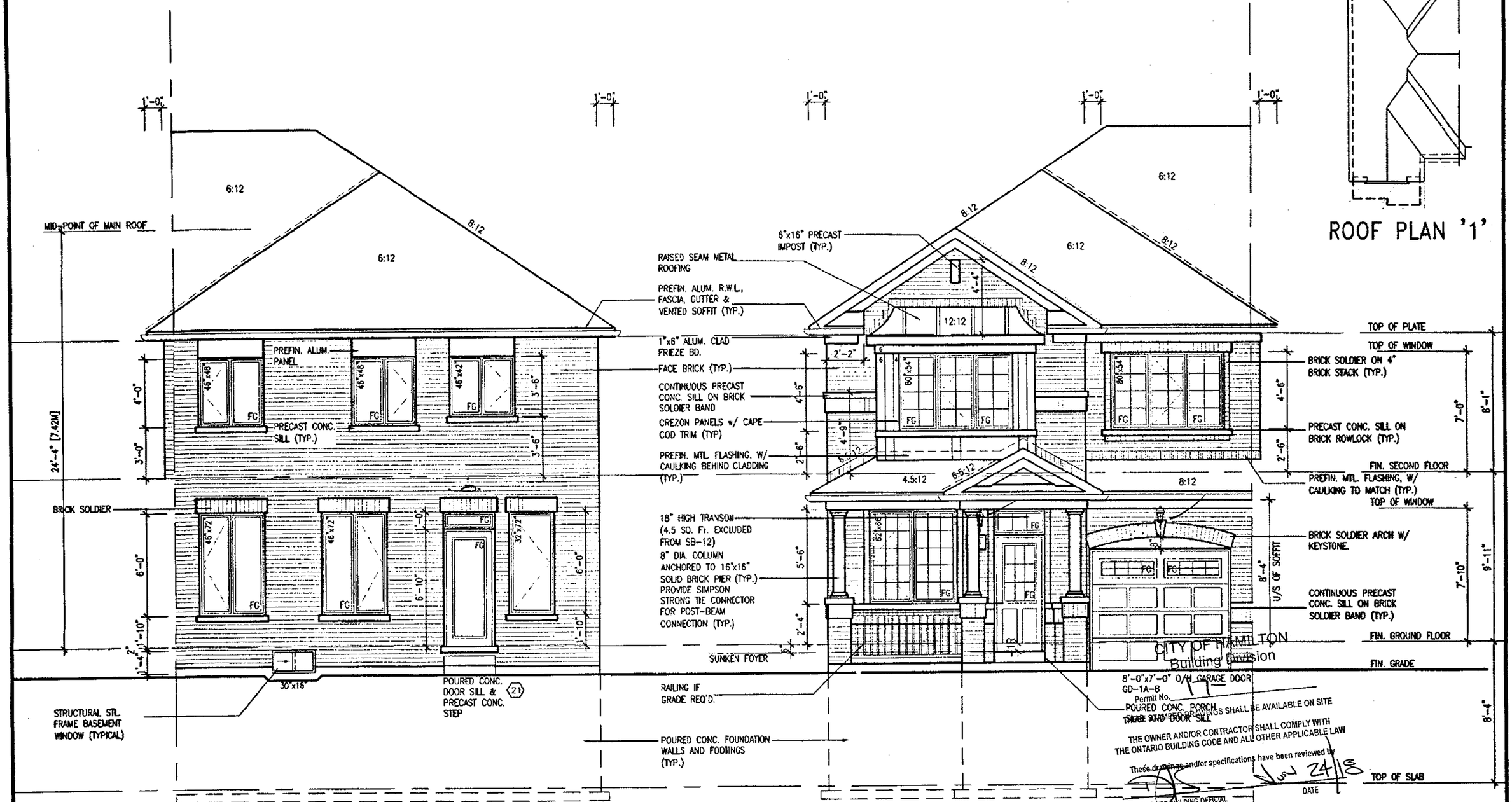
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled

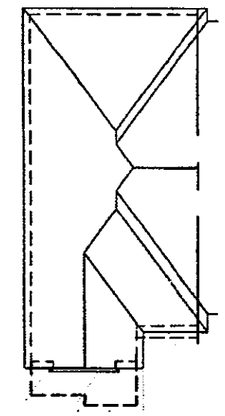
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
HIGHGROVE 5E
project no. 16036
date: MARCH 2017
SECOND FLOOR PLAN ELEV. '1'
drawn by: WT
checked by: GW
scale: 3/16" = 1'-0"
file name: 16036-HIGHGROVE 5E
drawing no. A3

2264 SF.





ROOF PLAN '1'

REAR ELEVATION '1'

FRONT ELEVATION '1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE Apr. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no.	description	date	by
18			
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no.	description	date	by
9	REVISED.	APR. 16/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL 05/'17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN 14/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink — signature — BCIN 24488
registration information: VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.2 — municipality: WATERDOWN, ON.

HIGHGROVE 5E

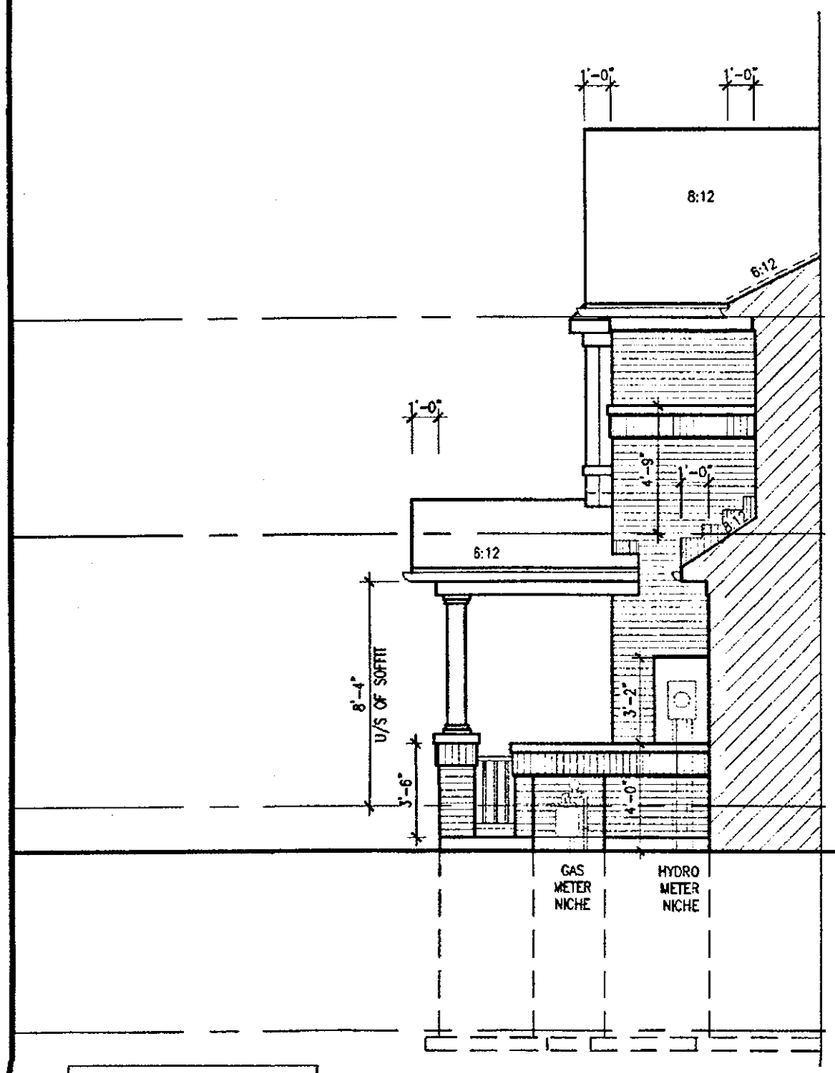
project no. 16036

date: MARCH 2017 — FRONT & REAR ELEVATION- ELEV. '1'

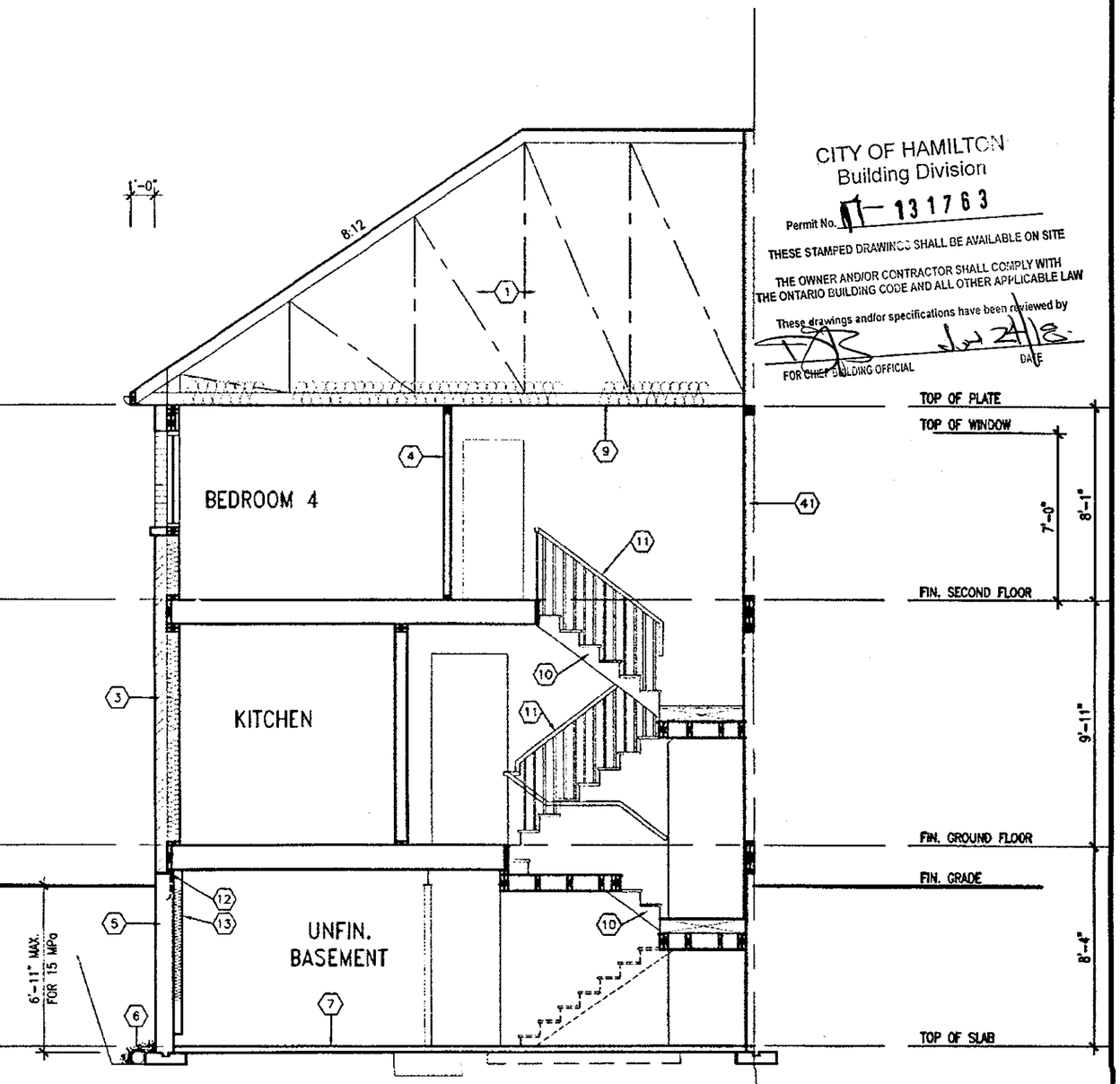
drawn by: WT — checked by: GW — scale: 3/16" = 1'-0" — file name: 16036-HIGHGROVE 5E-NEW

drawing no. A4

2264 SF.



SECTION B ELEV. 1



SECTION A-A ELEV. '1'

CITY OF HAMILTON
Building Division
Permit No. 17-131763
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE

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REGISTERED PROFESSIONAL ENGINEER
R. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no	description	date	by
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no	description	date	by
9	REVISED.	APR. 16/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WI
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information: Richard Vink
registration information: VA3 Design Inc.
signature: R Vink
BCIN: 24483
BCIN: 42658

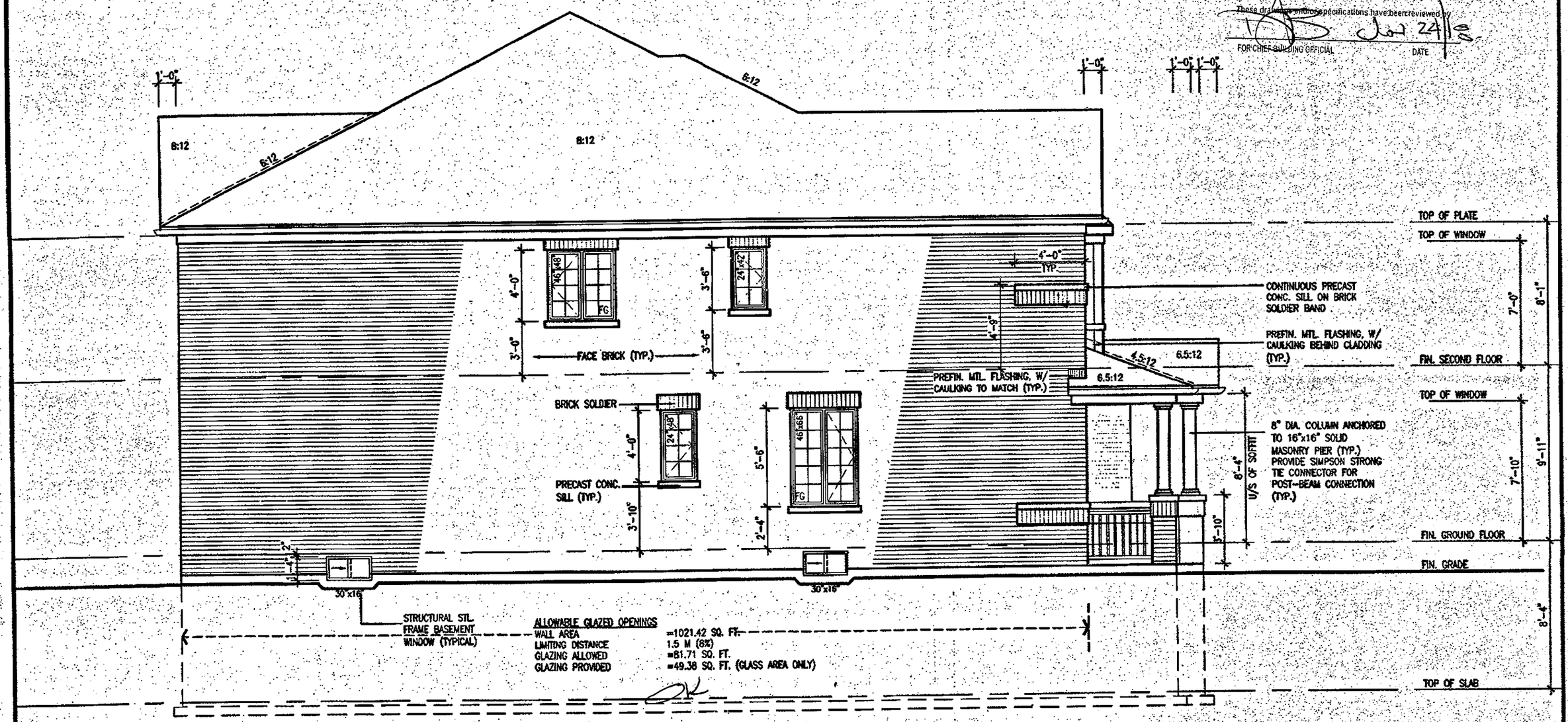
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
HIGHGROVE 5E
project no. 16036
date: MARCH 2017
SECTION A-A AND SECTION B ELEV. '1'
drawn by: WT
checked by: GW
scale: 3/16" = 1'-0"
file name: 16036-HIGHGROVE 5E-NEW
drawing no. A6

2264 SF.

CITY OF HAMILTON
Building Division
Permit No. 17-131763
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL — DATE Oct 24/17



ALLOWABLE GLAZED OPENINGS

WALL AREA	=1021.42 SQ. FT.
LIMITING DISTANCE	1.5 M (8%)
GLAZING ALLOWED	=81.71 SQ. FT.
GLAZING PROVIDED	=49.38 SQ. FT. (GLASS AREA ONLY)

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ARCHITECTURAL REVIEW & APPROVAL
OCT 16 2017
John ... ed, Architect

UPGRADED LEFT SIDE ELEVATION '1' FOR BLOCK 200-1

OCT 04 2017

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no.	description	date	by
18			
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7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information — Richard Vink — signature — 24488 — BCIN
registration information — VA3 Design Inc. — 42658

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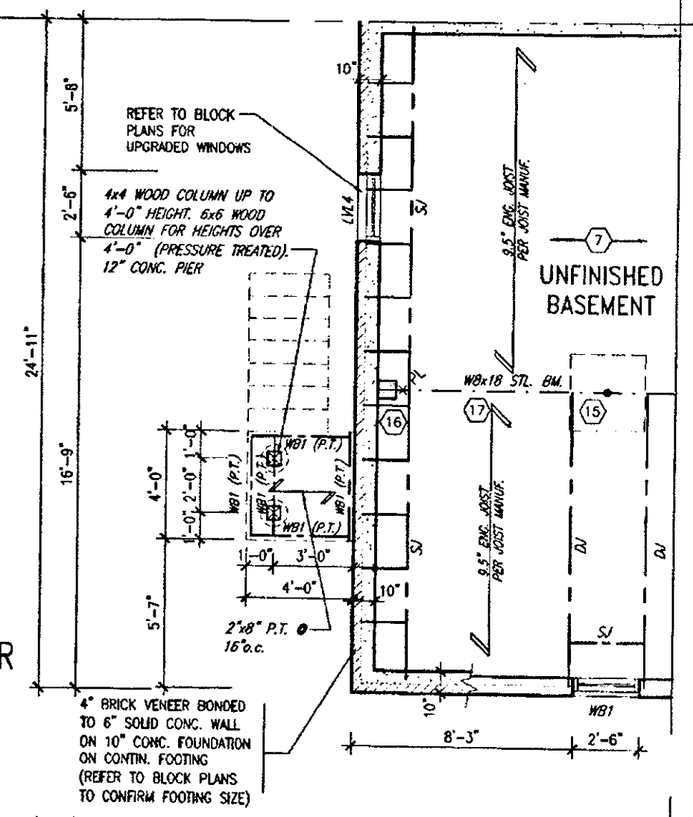
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

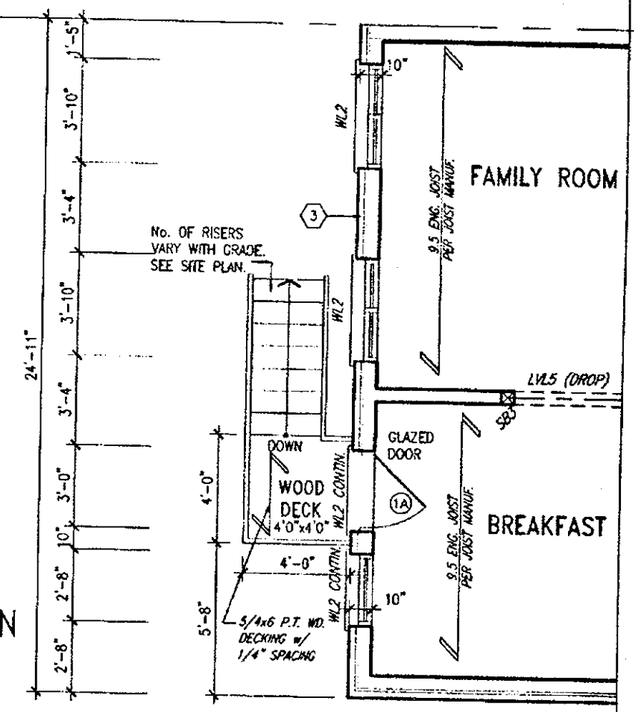
project name: RUSSELL GARDENS PH.2 — municipality: WATERDOWN, ON.
HIGHGROVE 5E
project no. 16036
date: MARCH 2017 — UPGRADED LEFT SIDE ELEVATION '1'-BLOCK 200-1
drawn by: WT — checked by: GW — scale: 3/16" = 1'-0" — file name: 16036-HIGHGROVE 5E
drawing no. A8

2264 SF.



VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

PART. BASEMENT PLAN W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN W.O.D CONDITION (8R OR MORE)

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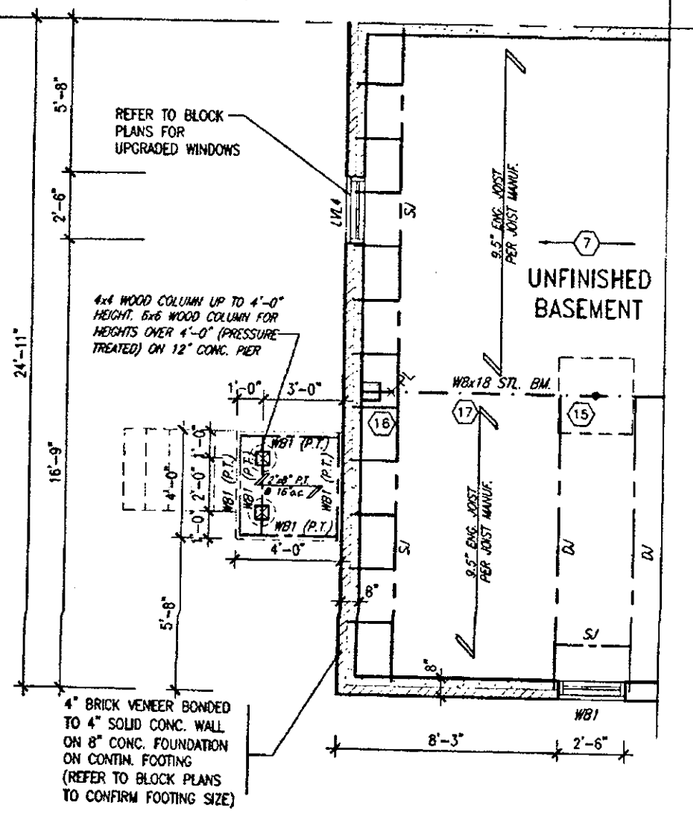
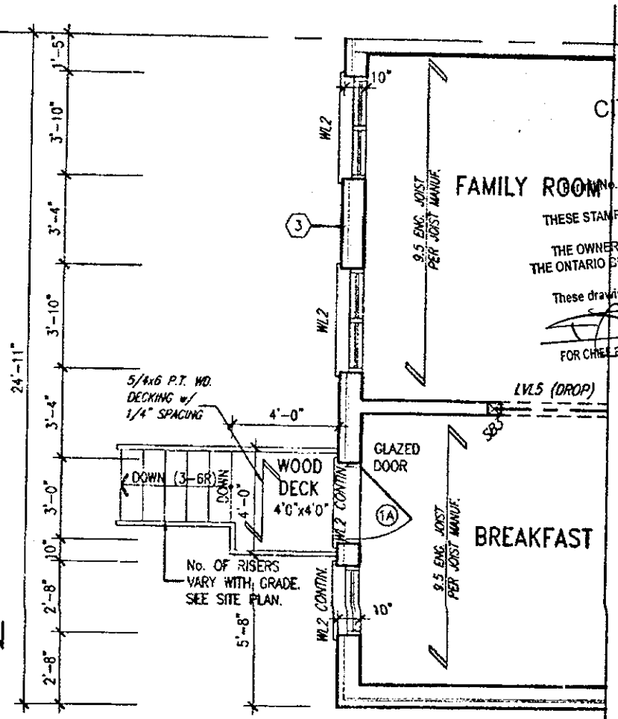
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE: Apr. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6) FOR ADDITIONAL WOOD DECK INFORMATION.



VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

PART. BASEMENT PLAN W.O.D CONDITION (4R TO 7R MAX.)



PART. GROUND FLOOR PLAN W.O.D CONDITION (4R TO 7R MAX.)

CITY OF HAMILTON
Building Division
No. 17-131763
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no	description	date	by
18			
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9	REVISED.	APR. 16/18	GW
8	REV. PER CITY COMMENTS REISSUED.	FEB. 06/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL. 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — BCIN 24488
registration information
VA3 Design Inc. — 42658

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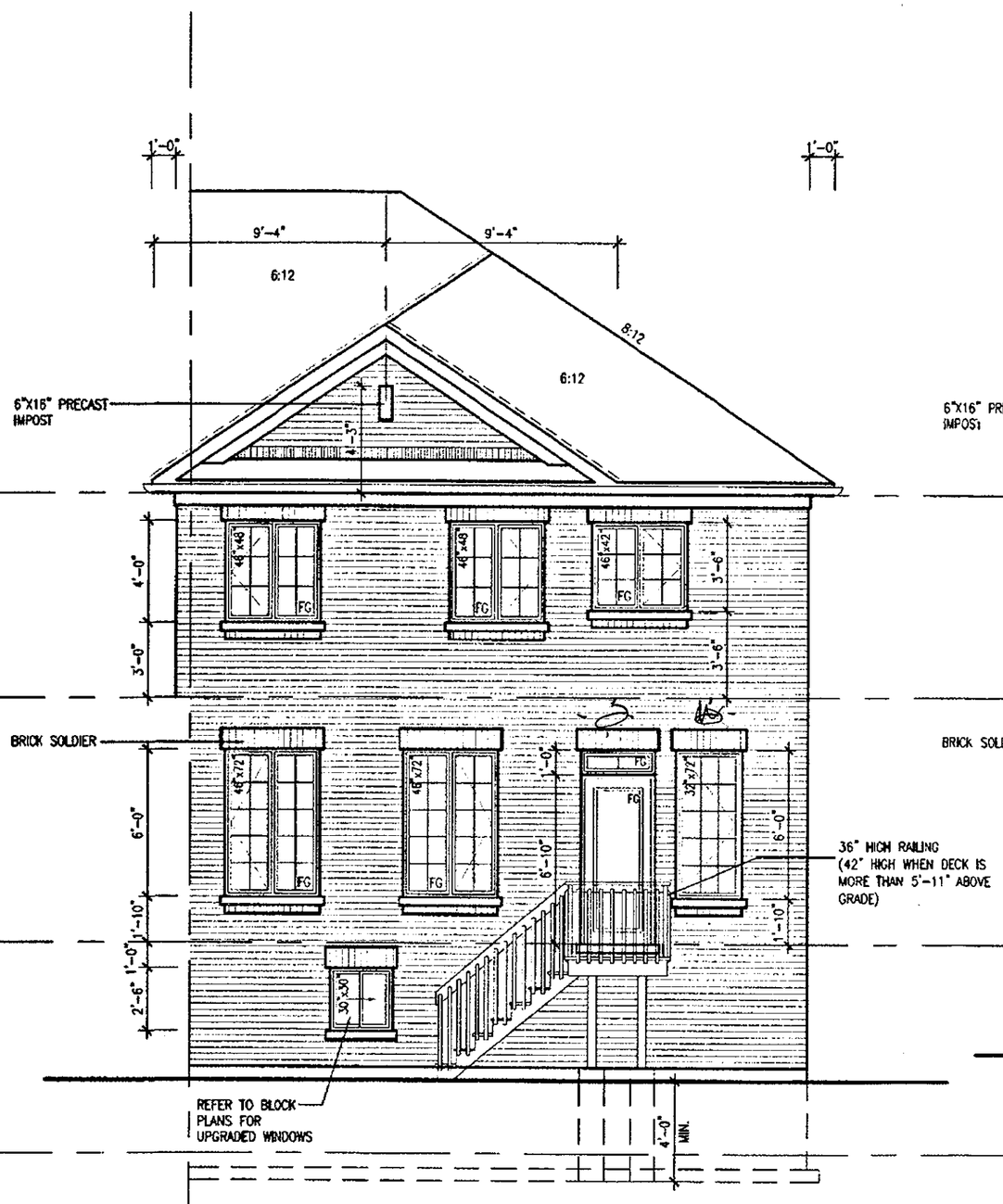
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

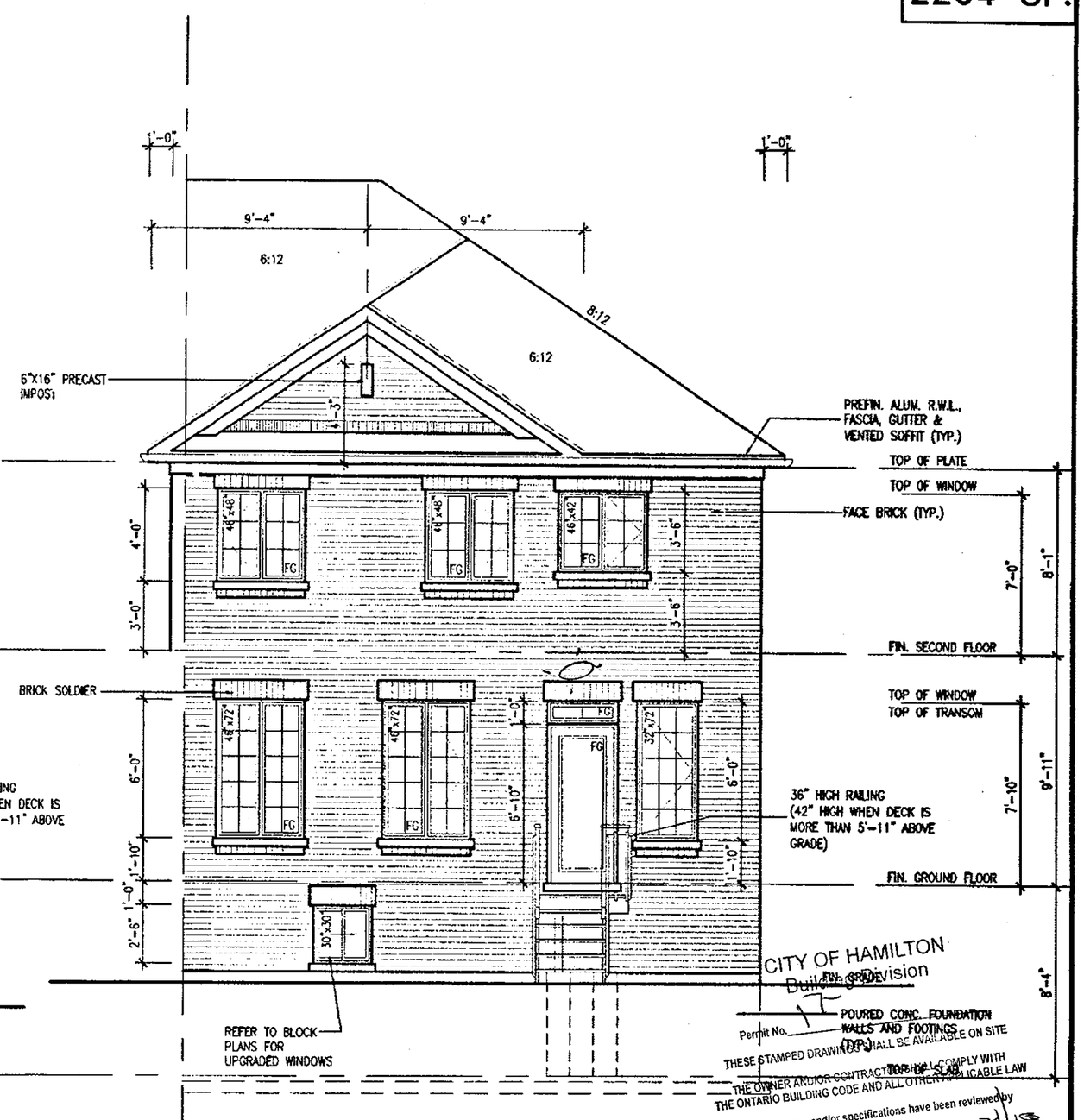
Greenpark.

project name	RUSSELL GARDENS PH.2
municipality	WATERDOWN, ON.
HIGHGROVE 5E	
project no.	16036
date	MARCH 2017
PART. PLANS- DECK CONDITION	
drawn by	WT
checked by	GW
scale	3/16" = 1'-0"
file name	16036-HIGHGROVE 5E-NEW
drawing no.	A9

2264 SF.



UPGRADED REAR ELEVATION '1'
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '1'
DECK CONDITION (4R TO 7R MAX.)

CITY OF HAMILTON
Building Division
Permit No. 17
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE
APR 17 2018

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE: Apr. 20, 2018
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HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no	description	date	by
18			
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no	description	date	by
9	REVISED.	APR. 16/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
7	REVISED ISSUED FOR PERMIT.	SEP. 28/17	GW
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1	PRELIMINARY REVIEW.	APR. 12/17	GW

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qualification information
name: Richard Vink — signature — BCIN 24488
registration information
VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2755 f 416.630.4782
va3design.com

Greenpark.

HIGHGROVE 5E

project name: RUSSELL GARDENS PH.2 — municipality: WATERDOWN, ON.
project no: 16036
date: MARCH 2017 — UPGRADED REAR ELEV. '1'- DECK CONDITION
drawn by: WT — checked by: GW — scale: 3/16" = 1'-0" — file name: 16036-HIGHGROVE 5E-NEW
drawing no: A11