

Blk 217

1594 SF.

PAD FOOTINGS
120 KPa. NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
20 KPa. ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
WL1 = 3-1/2" x 3-1/2" x 1/4" (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 8" x 4" x 7/16" (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
L1 = 3-1/2" x 3-1/2" x 1/4" (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" (152x89x11.0L)
L5 = 8" x 4" x 7/16" (152x102x11.0L)
L6 = 7" x 4" x 7/16" (178x102x11.0L)

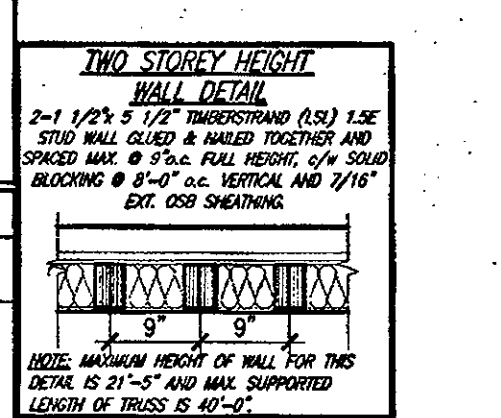
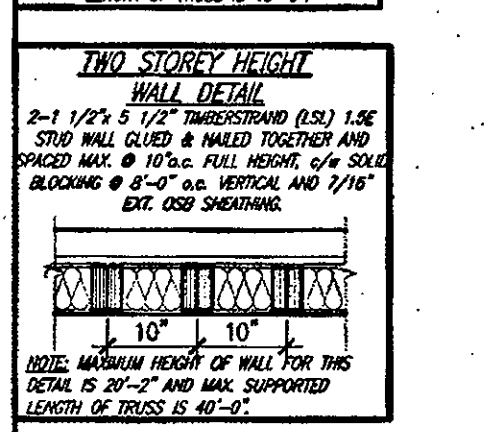
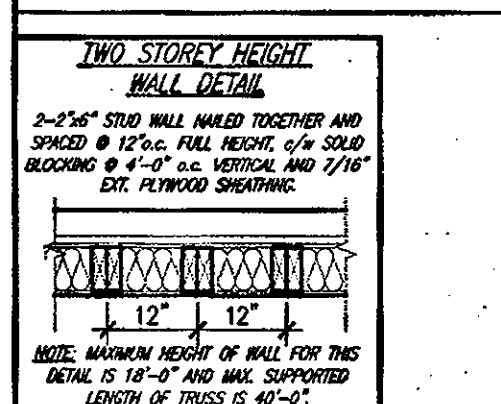
DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT 8' to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
10	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER
(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0"-7'-0".
2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

HIGHGROVE 1, ELEVATION 1		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	441.22 S.F.	94.20 S.F.	21.35 %
LEFT SIDE	838.18 S.F.	3.33 S.F.	0.40 %
RIGHT SIDE	838.18 S.F.	0.00 S.F.	0.00 %
REAR	441.22 S.F.	112.09 S.F.	25.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	2558.80 S.F.	209.62 S.F.	8.19 %
TOTAL SQ. M.	237.72 S.M.	19.47 S.M.	8.19 %

AREA CALCULATIONS ELEV '1'

GROUND FLOOR AREA	770 SF
SECOND FLOOR AREA	824 SF
TOTAL FLOOR AREA	1594 SF (148.08 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1594 SF (148.08 m2)
GROUND FLOOR COVERAGE	770 SF
GARAGE COVERAGE/AREA	296 SF
PORCH COVERAGE/AREA	89 SF
COVERAGE W/ PORCH	1155 SF (107.30 m2)
COVERAGE W/O PORCH	1066 SF (99.03 m2)

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

HIGHGROVE 1, ELEVATION 2		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	441.22 S.F.	82.60 S.F.	18.72 %
LEFT SIDE	838.18 S.F.	3.33 S.F.	0.40 %
RIGHT SIDE	838.18 S.F.	0.00 S.F.	0.00 %
REAR	441.22 S.F.	112.09 S.F.	25.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	2558.80 S.F.	198.02 S.F.	7.74 %
TOTAL SQ. M.	237.72 S.M.	18.40 S.M.	7.74 %

AREA CALCULATIONS ELEV '2'

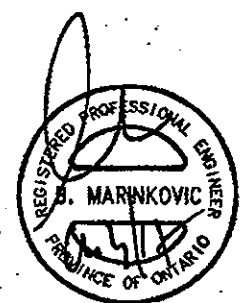
GROUND FLOOR AREA	770 SF
SECOND FLOOR AREA	824 SF
TOTAL FLOOR AREA	1594 SF (148.08 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1594 SF (148.08 m2)
GROUND FLOOR COVERAGE	770 SF
GARAGE COVERAGE/AREA	296 SF
PORCH COVERAGE/AREA	89 SF
COVERAGE W/ PORCH	1155 SF (107.30 m2)
COVERAGE W/O PORCH	1066 SF (99.03 m2)

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 16 2017
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 17-132216
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL

OCT 04 2017

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

7	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL. 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	PRELIMINARY REVIEW	APR. 12/17	GW
no. description date by			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Richard Vink 24488
name registration information BCN
VA3 Design Inc. 42658
signature
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.		HIGHGROVE 1	
project name	RUSSELL GARDENS PH2	municipality	WATERDOWN, ON.
project no.		project no.	16036
date	APRIL 2017	scale	3/16" = 1'-0"
drawn by		checked by	
TYPICAL NOTES AND AREAS			
16036-HIGHGROVE 1		drawing no.	
A0			

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.

- 2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
- 2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
- EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

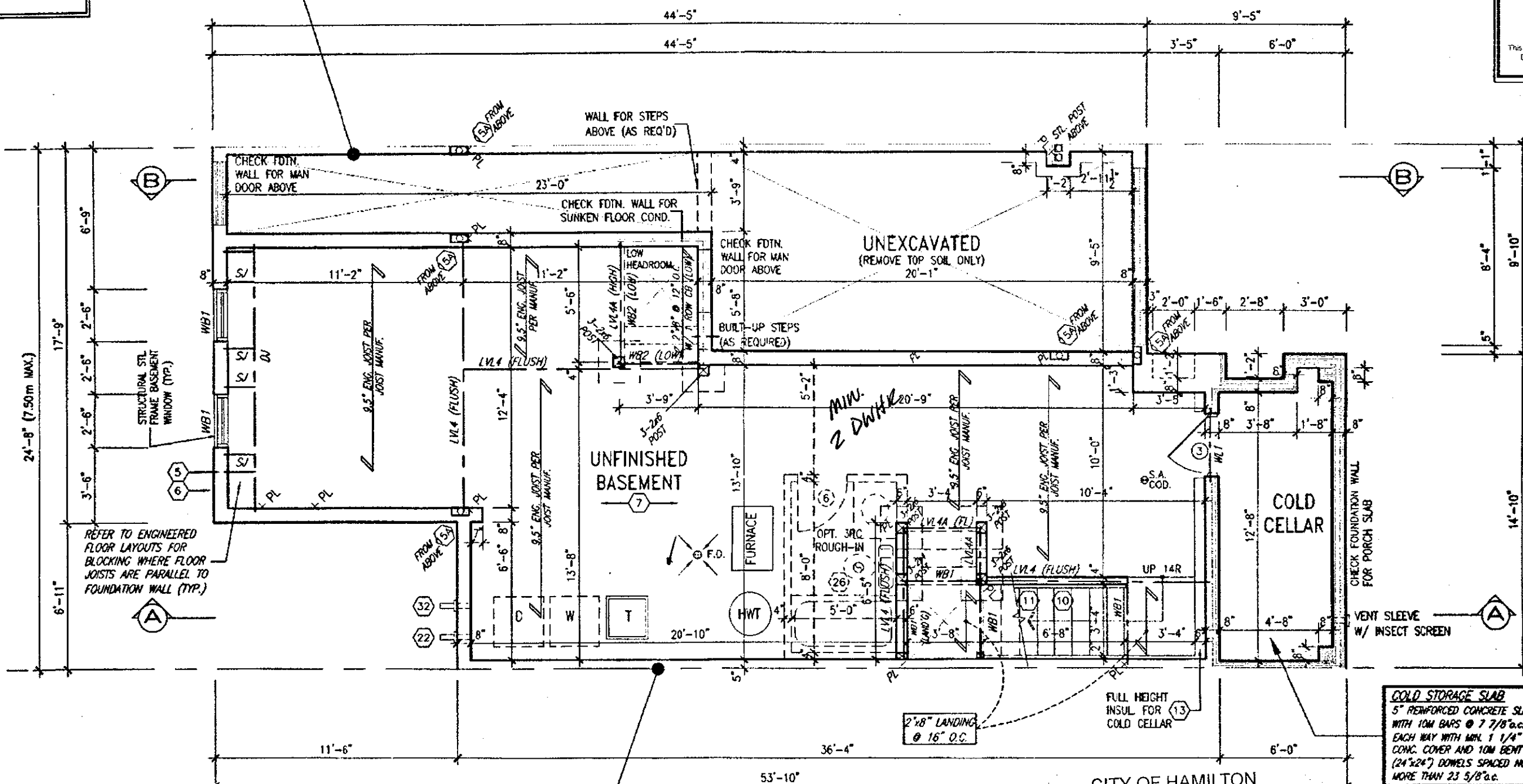
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____

DATE: Apr. 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

BASEMENT PLAN - ELEV. 2

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

[Signature] July 24
DATE

FOR CHIEF BUILDING OFFICIAL

APR 17 2018

24/10 HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

2	REVISED.	APR 13/18	GW	the undersigned has reviewed and takes responsibility for the design and how the qualifications and meets the requirements set out in the Antenna Building Code to be a Designer.	
4	REV PER CLIENT COMMENTS. REISSUED.	FEB 08/18	GW		
5	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	qualification information	
6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink	2444
8	STRUCTO REPLACED.	JUL 05/12	GW	none	8
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	registration information VAS Design Inc.	426
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned in full completion of the work. Drawings are not to be scaled.	
1	PRELIMINARY REVIEW	APR 12/17	GW	date by	
no	description	date by			

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 **Greenpark.**

project name: **RUSSELL GARDENS PH2** municipality: **WATERDOWN, ON**

date: **APRIL 2017** location: **BASEMENT**

drawn by: _____ checked by: _____ scale: **3/16" = 1'-0"**

drawn by: _____ checked by: _____ scale: _____

HIGHGROVE 1	
	project no. 16036
PLAN - ELEV. 2	drawing no.
file name 16036-HIGHGROVE 1	A1a
- Tue - Apr 17 2018 - 8:20 AM	

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1594 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

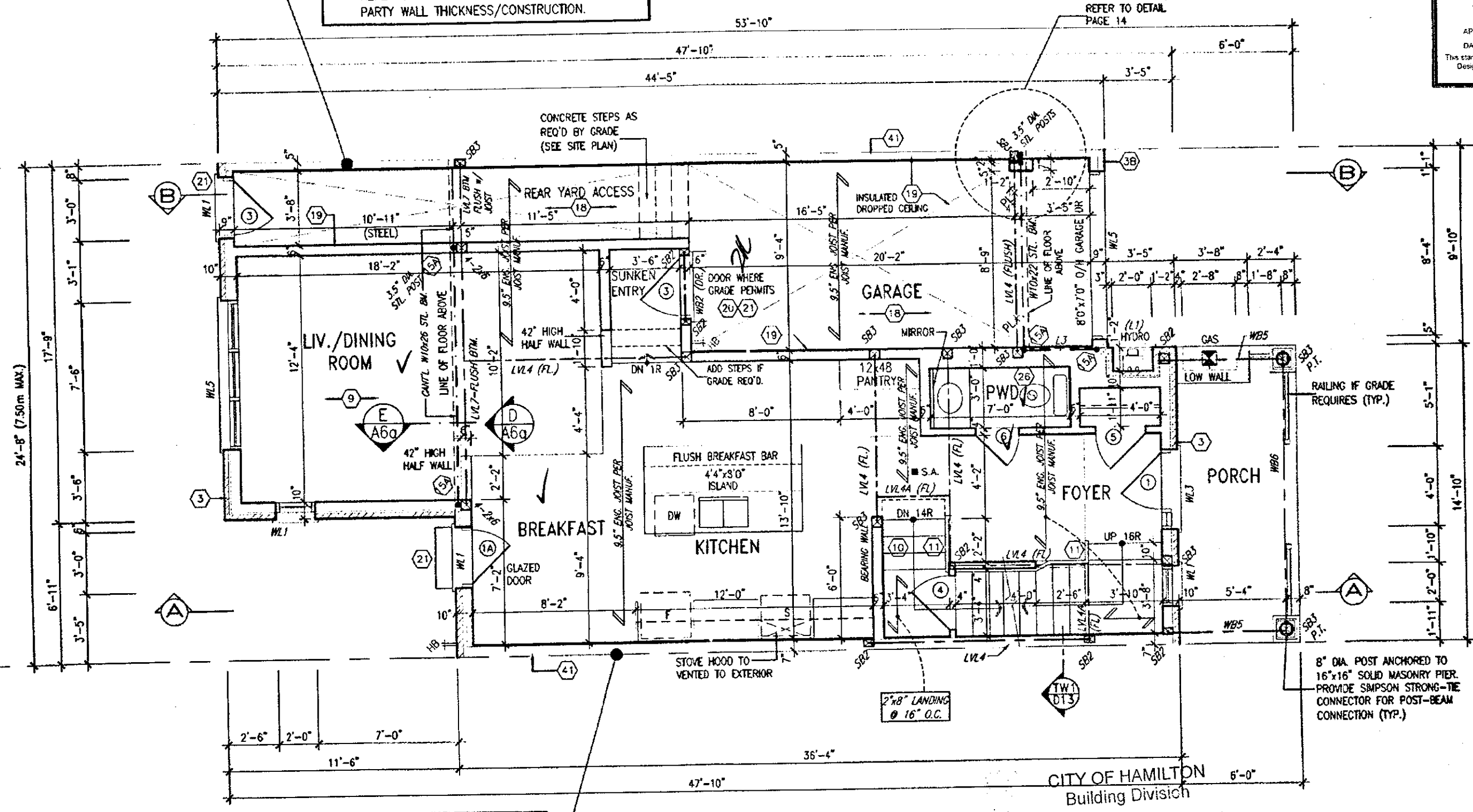
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: Apr 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO DETAIL PAGE 14



PARTY WALL AT HOUSE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN - ELEV. 2

Permit No. 17-132216
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE July 24/18

APR 17 2018

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

1	REVISED	APR 13/18	GW
2	REV. PER CITY COMMENTS, REISSUED	FEB 08/18	GW
3	REVISED, ISSUED FOR PERMIT	SEP 22/17	GW
4	ISSUED FOR PRICING	AUG 23/17	GW
5	STILCOO REPLACED	JUL 05/17	GW
6	REVISED AS PER CLIENT COMMENTS	JUN 21/17	WT
7	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
8	REVISED PER CLIENT COMMENTS	APR 27/17	GW
9	PRELIMINARY REVIEW	APR 12/17	GW
10	DESCRIPTION	DATE	BY

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature: R Vink
name: Richard Vink
registration information: 24488
firm: VAS Design Inc.
firm registration number: 42653

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2755 / 416.630.4782
vaDesign.com

Greenpark.	HIGHGROVE 1
Project name: RUSSELL GARDENS PH2	Waterdown, ON.
Project no: 16036	
date: APRIL 2017	checked by: 3/16" = 1'-0"
drawn by: 16036-HIGHGROVE 1	
GROUND FLOOR PLAN - ELEV. 2	
A2a	

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1594 SF.

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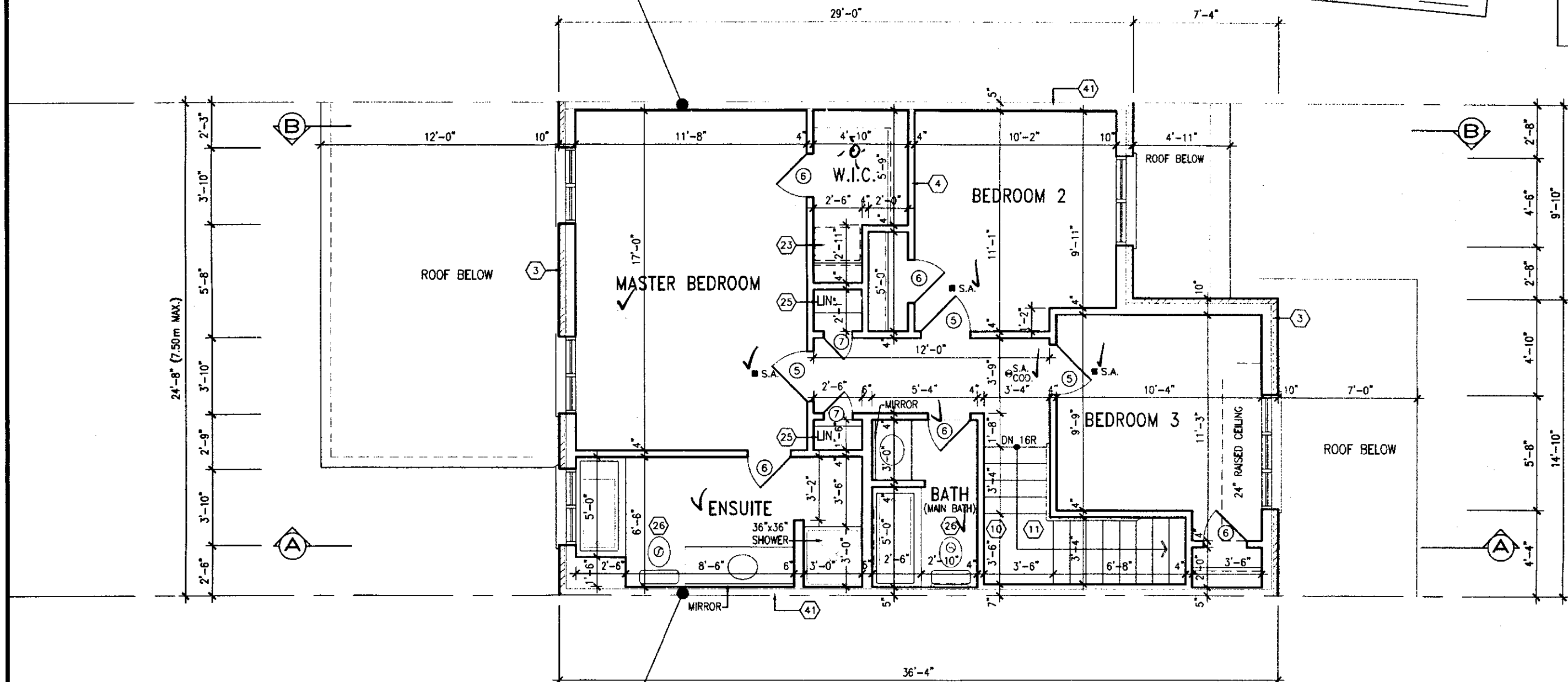
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.



PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.

CITY OF HAMILTON
Building Division

Permit No. 17-132216

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE July 24/18

FEB 09 2018

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8(1)(4) & 3.8.3.13(1)(4).

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

3	REV. PER CITY COMMENTS. REISSUED.	FEB 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP 22/17	GW
6	ISSUED FOR PRICING.	AUG 23/17	GW
5	STUCCO REPLACED.	JUL 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
2	REVISED PER CLIENT COMMENTS	APR 27/17	GW
1	PRELIMINARY REVIEW	APR 12/17	GW
no	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink
signature
24488
BCN
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH2
municipality
WATERDOWN, ON.

date
APRIL 2017

drawn by
checked by
scale
3/16" = 1'-0"

16036-HIGHGROVE 1

HIGHGROVE 1

project no.
16036

drawing no.
A3a

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ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

John G. Williams Limited, Architects

Permit No. _____

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
CONTAINING BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by

 DATE July 22

FORCHILT BUILDING OFFICIAL

NOV 16 2017

REC BY _____ DATE _____
REF'D TO _____ DATE _____

MID-POINT OF MAIN ROOF

REFIN. ALUM.
PANEL (TYP.)

4" PRECAST —
CONC. SILL (TYP.)

BRICK SOLDIER
HEADER (TYP.)

BRICK SOLDIER ARCH WITH
KEYSTONE ON BRICK STACK

24' RAISED CEILING

BRICK PILASTER (TYP.) _____
BRICK ROWLOCK W/ 1/2"
PROJ. ON 16" WIDE 1" RAISED
BRICK PILASTER ON BRICK
ROWLOCK BASE W/ 1/2" PROJ.

4" PRECAST (TYP.)

PREFIN. MTL FLASHING, W/
CAULKING TO MATCH (TYP.)

8"Ø POST ANCHORED
TO 16"x16" SOLID —
MASONRY PIER (TYP.)

4" PRECAST CAP (TY)

POURED CONC. DOOR SILL

—PRECAST CONC. STEP
(AS REQUIRED) 

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

OCT 04 2017

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

9			
8			
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL. 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	PRELIMINARY REVIEW	APR. 12/17	GW
no	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	<i>R. Vink</i>
name	24
registration information	signature
VA3 Design Inc.	42
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

**VA3
DESIGN**
255 Consumers Rd Suite 128
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vo3design.com

Greenpark.

HIGHGROVE 1

project name RUSSELL GARDENS PH2	location WATERDOWN, ON.	project no. 1603
date APRIL 2017	FRONT AND REAR ELEVATIONS - ELEV. 2	drawing no. A4a
drawn by [signature]	checked by [signature]	scale 3/16" = 1'-0"
file name 16036-HIGHCROVE		
ISSUED - HIGHCROVE CONSTRUCTION INC., 16036-HIGHCROVE DRIVE, WATSONVILLE, CA 95076-16036-HIGHCROVE 1.dwg - Mon - Sep 25 2017 - 5:07 PM		

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1594 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

SECTION A-A

WALL AREA 123.00 SQ. FT.
 LIMITING DISTANCE 2.7 M (25%)
 GLAZING ALLOWED 30.75 SQ. FT.
 GLAZING PROVIDED 6.56 SQ. FT.

REC BY _____ DATE _____
 REF'D TO _____ DATE _____

MAY 24 2018

9'-1" U/S OF SOFFIT
 4'-0"
 3'-10"
 2'-0"

24"x48"
 FG

ENSUITE
 BATH
 CL.
 BREAKFAST
 KITCHEN
 FOYER
 UNFINISHED BASEMENT
 COLD CELLAR

6'-11" MAX. FOR 15 MPg

6'-7"
 3'-10"
 3'-6"
 8'-4"
 9'-11"
 8'-1"
 7'-0"

U/S SOFFIT / TOP OF PLATE
 2'-0"
 1'-0"

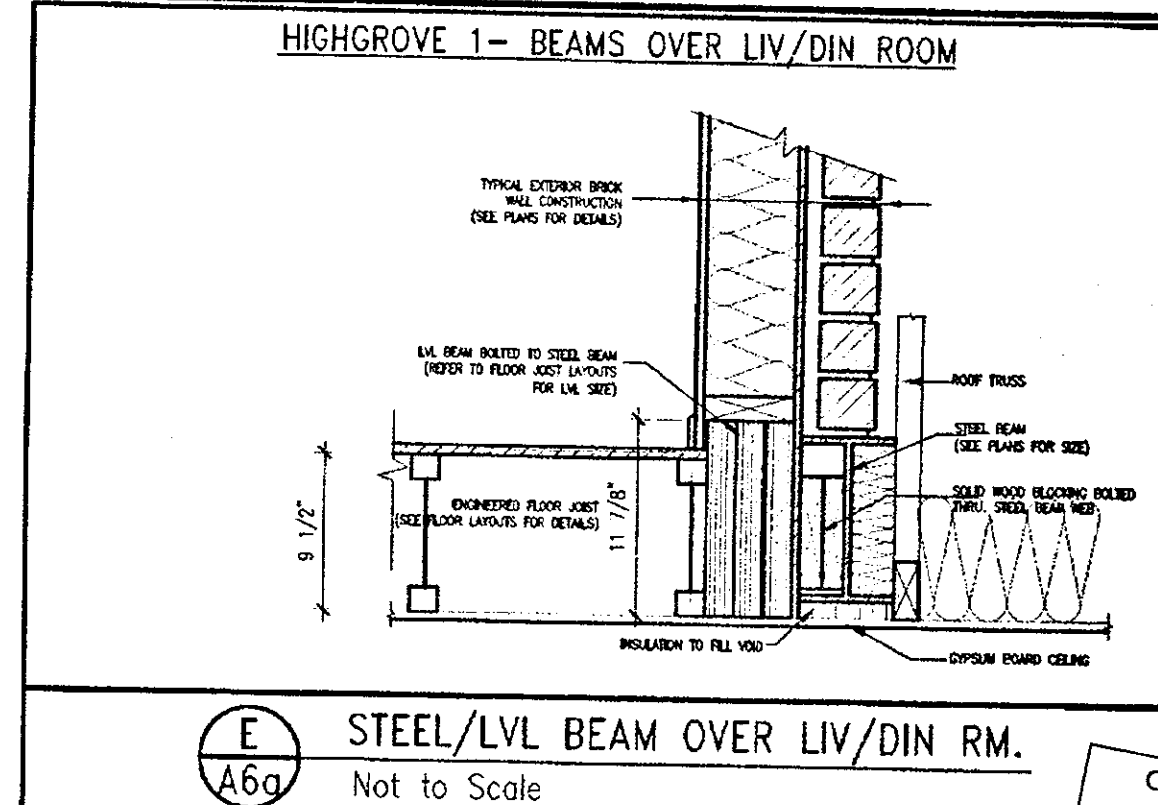
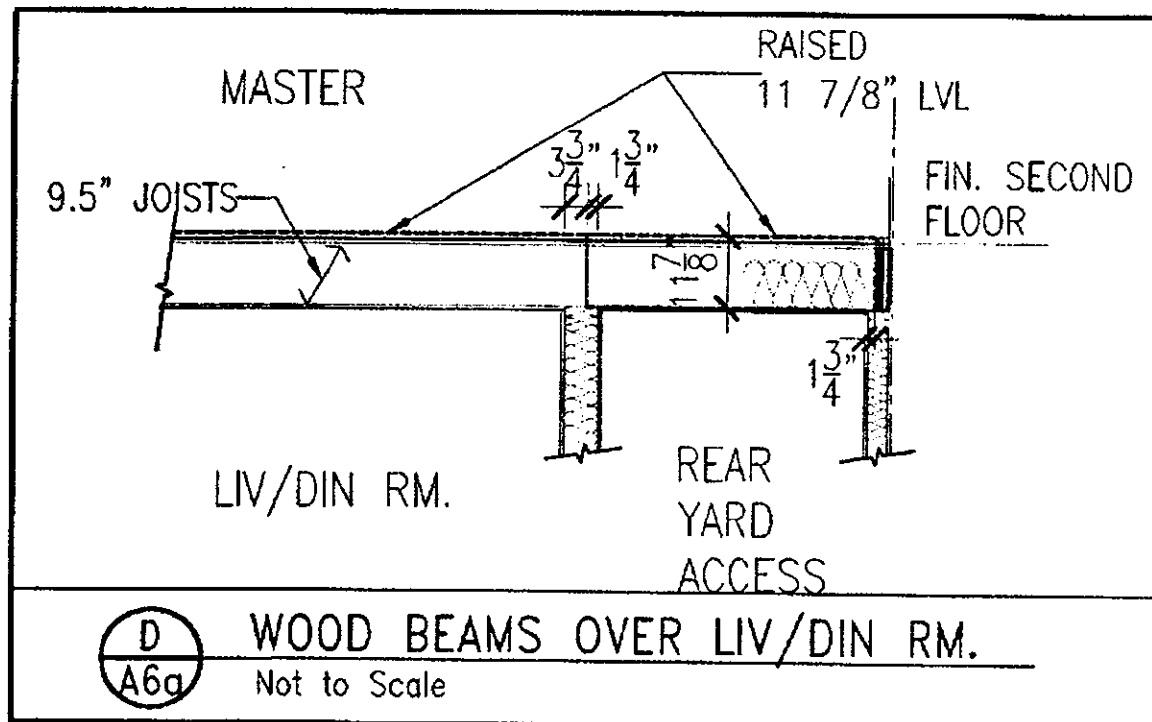
TOP OF PLATE
 TOP OF WINDOW
 FIN. SECOND FLOOR
 FIN. GROUND FLOOR
 FIN. GRADE
 TOP OF SLAB

SECTION A-A
ELEV. 2

FEB 15 2018
HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

[illegible]

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1594 SF.

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

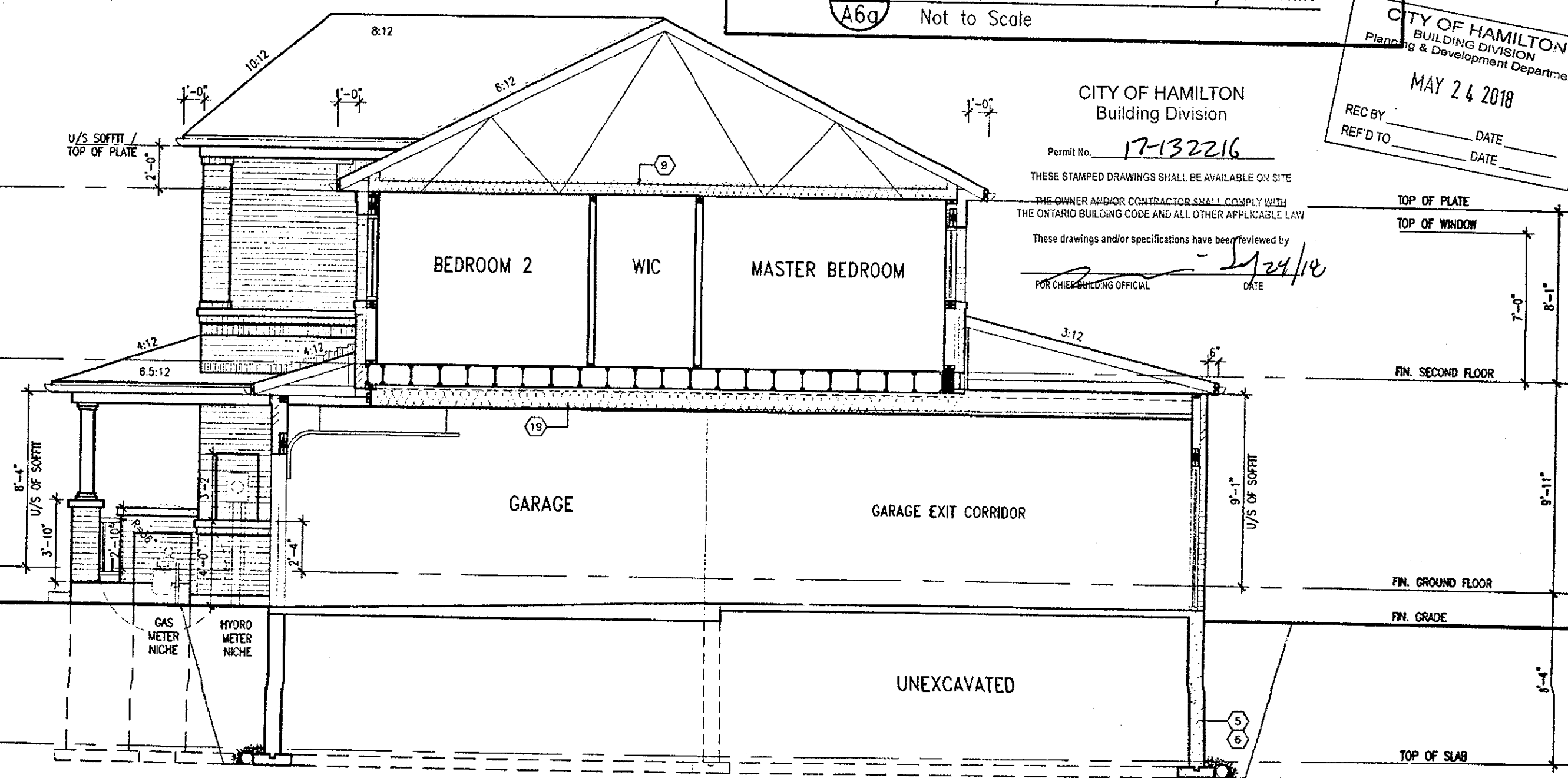
CITY OF HAMILTON
Building Division

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE 5/24/18



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROFESSIONAL ENGINEER
STRUDET INC.
FOR STRUCTURE ONLY

3. REVISED	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8. REV. PER CITY COMMENTS REISSUED	FEB. 08/18	GW	qualification information
7. REVISED, ISSUED FOR PERMIT	SEP. 22/17	GW	Richard Vink
6. ISSUED FOR PRICING	AUG. 23/17	GW	name
5. STUCCO REPLACED	JUL. 05/17	GW	registration information
4. REVISED AS PER CLIENT COMMENTS	JUN. 21/17	GW	VAS Design Inc.
3. CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	42655
2. REVISED PER CLIENT COMMENTS	APR. 27/17	GW	
1. PRELIMINARY REVIEW	APR. 12/17	GW	
no. description	date	by	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2W 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH2
municipality
WATERDOWN, ON.
project no.
16036
drawing no.
A6a
SECTION B-B, ELEV. 2
16036-HIGHGROVE 1
3/16" = 1'-0"

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

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1594 SF.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

OCT 1/6 2017

John G. Williams Limited, Architect

CITY OF HAMILTON
Building Division

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CITY BUILDING DIVISION DATE

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 16 2017

REC BY DATE

REF'D TO DATE

CITY OF HAMILTON
Building Division

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

DATE

OCT 04 2017

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

HIGHGROVE 1

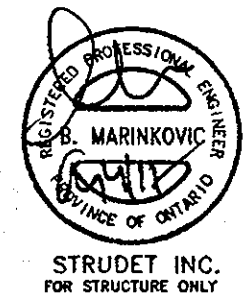
project name	RUSSELL GARDENS PH2	location	WATERDOWN, ON.	project no.	16036
date	APRIL 2017	checked by	3/16" = 1'-0"	drawing no.	A7
drawn by		scale	16036-HIGHGROVE 1		
PART. PLANS- DECK CONDITION					

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
none
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

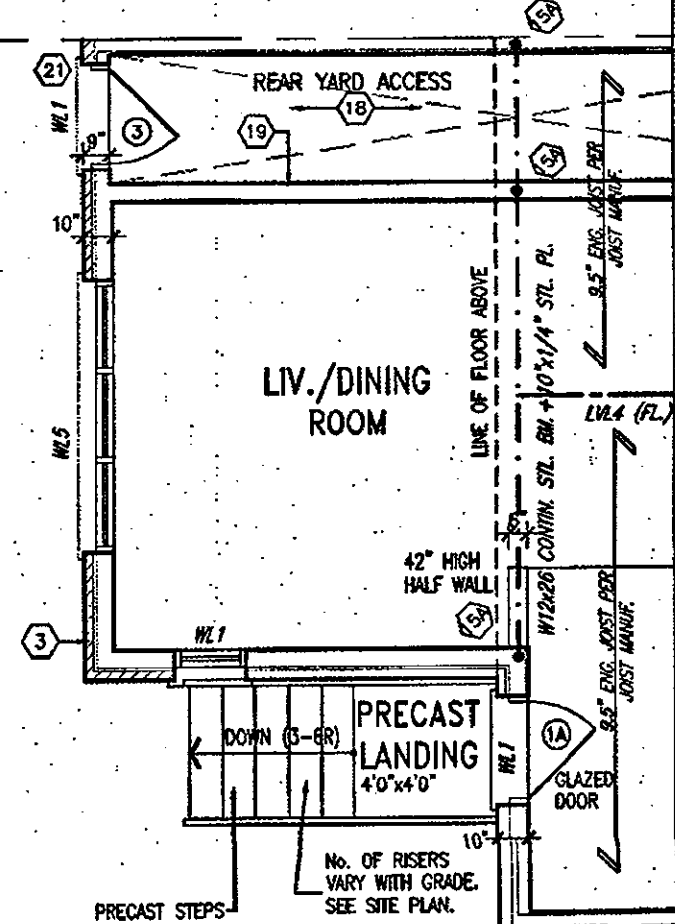
no.	description	date	by
9.			
8.			
7.	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
6.	ISSUED FOR PRICING.	AUG. 23/17	GW
5.	STUCCO REPLACED.	JUL. 05/17	GW
4.	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3.	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
2.	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1.	ISSUED FOR CLIENT REVIEW	APR. 25/17	GW

VENER CUT
WHEN VENER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



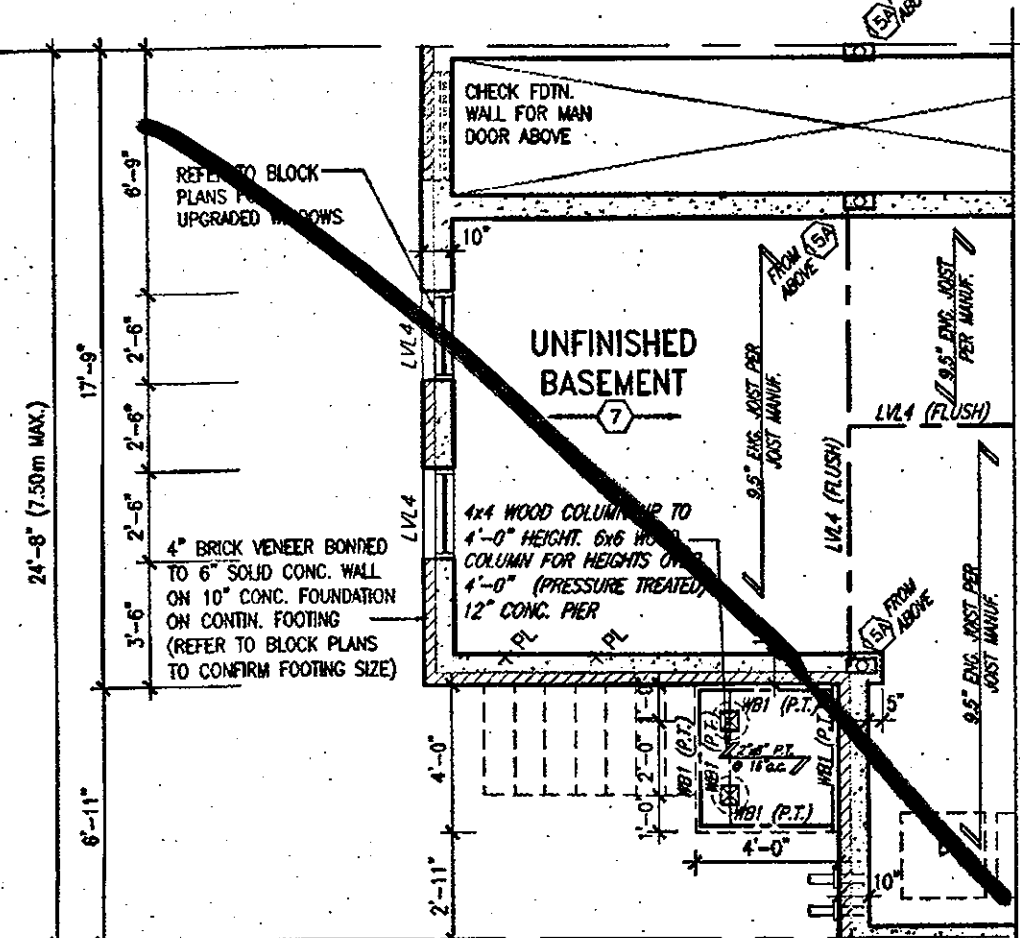
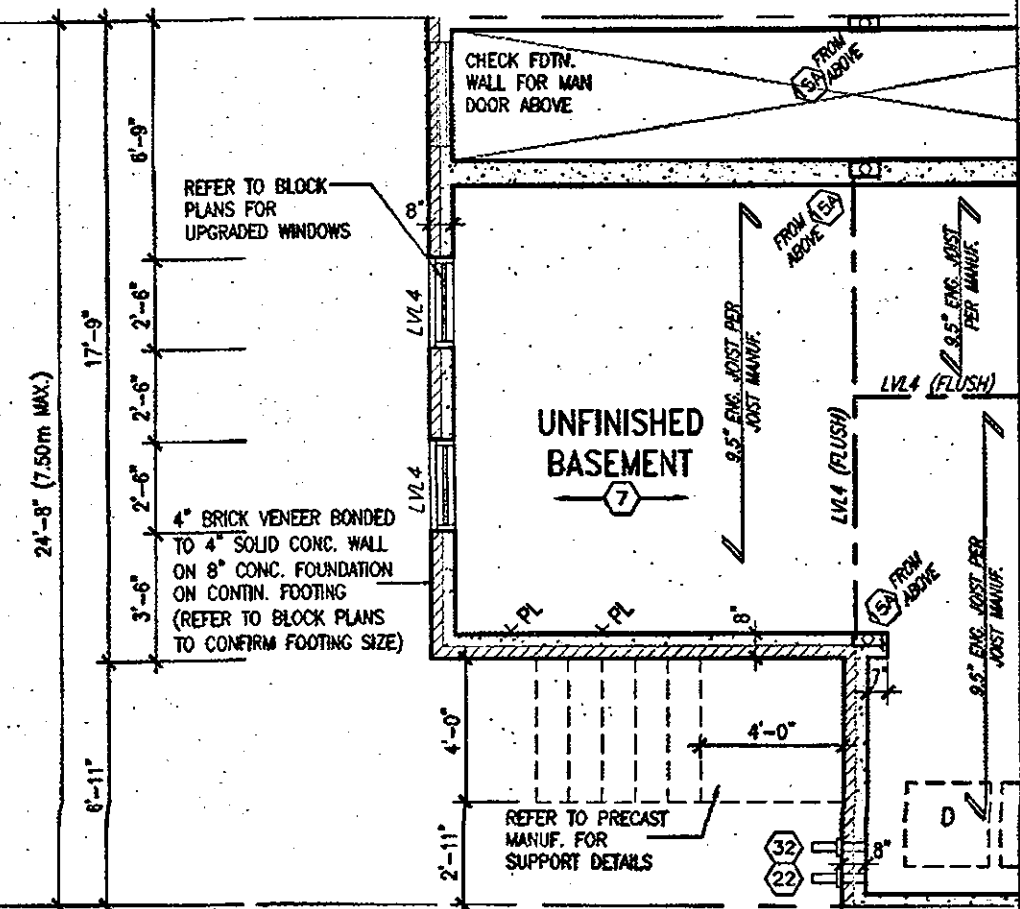
PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)

PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)



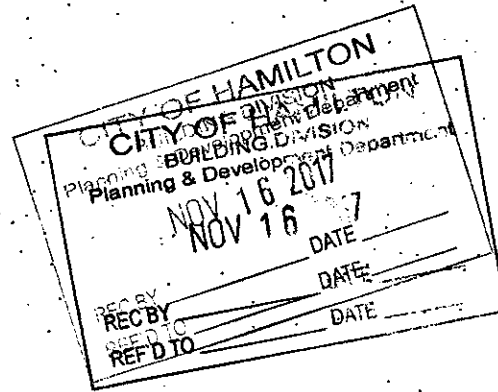
PART. GROUND FLOOR PLAN W.O.D
CONDITION (4R TO 7R MAX.)

PART. BASEMENT PLAN W.O.D
CONDITION (4R TO 7R MAX.)



VENER CUT
WHEN VENER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

1594 SF.



CITY OF HAMILTON
Building Division

Permit No. 17-132240

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by

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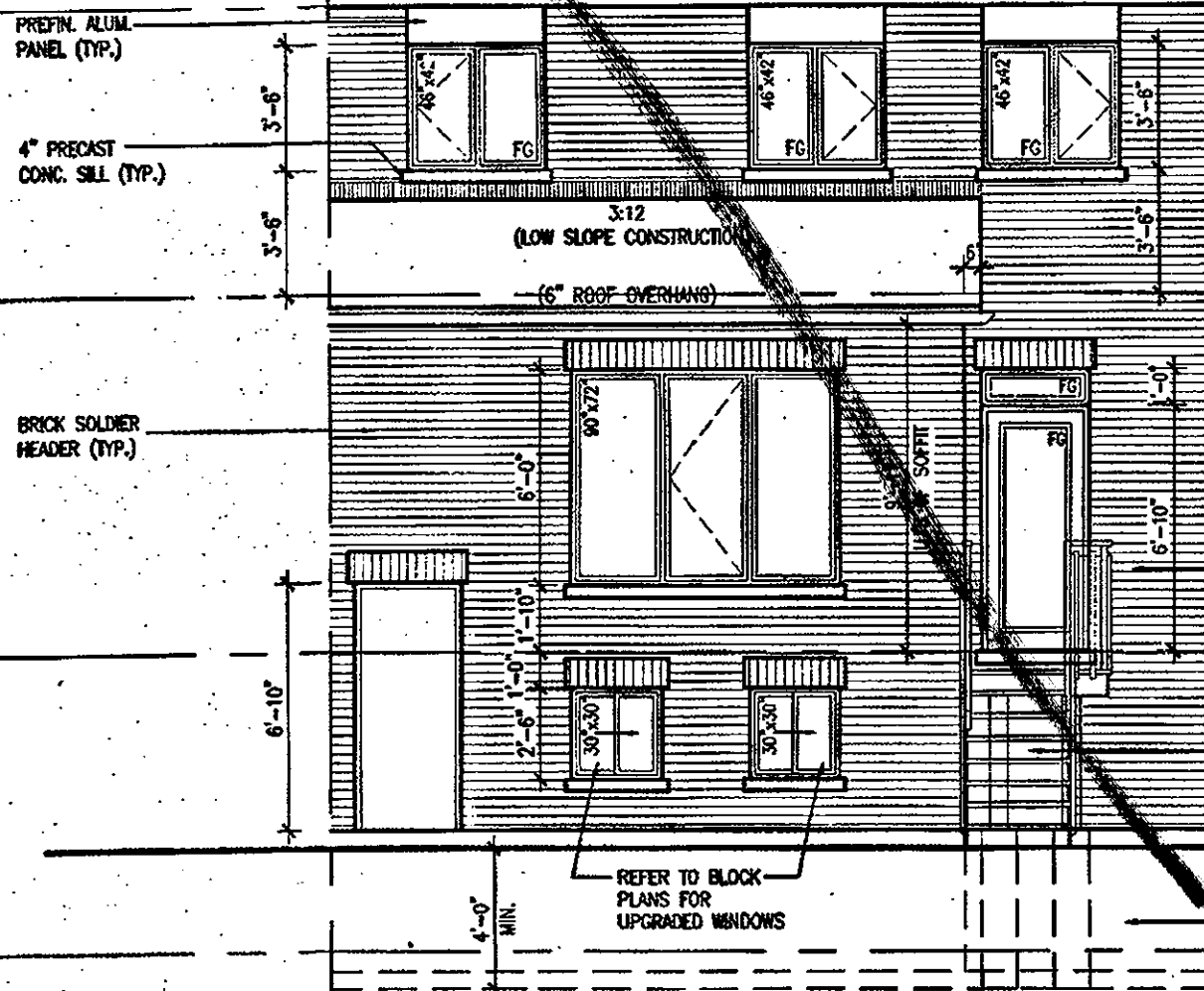
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW & APPROVAL

OCT 1/6 2017

John G. Williams Limited, Architect

6:12



REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)



REAR ELEVATION ELEV. 1
DECK CONDITION (4R TO 7R MAX.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW/TRANSOM

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

OCT 04 2017

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

9.					
8.					
7.	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW		
6.	ISSUED FOR PRICING.	AUG. 23/17	GW		
5.	STUCCO REPLACED.	JUL. 05/17	GW		
4.	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3.	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW		
2.	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1.	PRELIMINARY REVIEW	APR. 12/17	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature: R Vink
name: Richard Vink
registration information: 24488
VA3 Design Inc.
42658

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.	HIGHGROVE 1
project name: RUSSELL GARDENS PH2	location: WATERDOWN, ON.
date: APRIL 2017	drawing no. 16036
drawn by: [signature]	checked by: [signature]
scale: 3/16" = 1'-0"	16036-HIGHGROVE 1
date: 2017-04-04 10:16:16	date: 2017-04-04 10:16:16

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