

1796 SF.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

80 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
L5 = 6" x 4" x 7/16" L (152x102x11.0L)
L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT 8" TO 9" CEILING	HEIGHT 10" OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" TO 7'-0".
2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

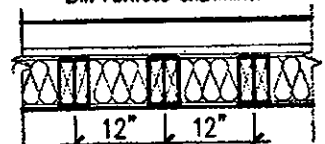
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

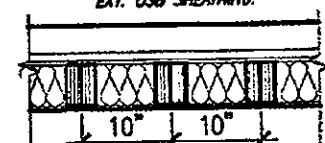
2-2"x6" STUD WALL NAIL TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, 0/4" SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

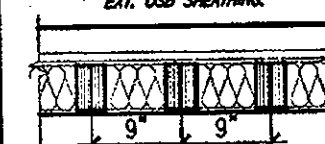
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAIL TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, 0/4" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAIL TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, 0/4" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

CITY OF HAMILTON
BUILDING DIVISION

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 2, ELEVATION 1	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	442.11 S.F.	116.35 S.F.	26.32 %
LEFT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
REAR	442.11 S.F.	123.08 S.F.	27.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2659.18 S.F.	239.43 S.F.	9.00 %
TOTAL SQ. M.	247.04 S.M.	22.24 S.M.	9.00 %

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	848 SF	
SECOND FLOOR AREA	945 SF	
TOTAL FLOOR AREA	1793 SF	
	(166.58 m ²)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	3 SF	
ADD TOTAL OPEN AREAS	+3 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1796 SF	
	(166.85 m ²)	
GROUND FLOOR COVERAGE	848 SF	
GARAGE COVERAGE/AREA	311 SF	
PORCH COVERAGE/AREA	96 SF	
COVERAGE W/ PORCH	1255 SF	
	(116.60 m ²)	
COVERAGE W/O PORCH	1159 SF	
	(107.67 m ²)	

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 2, ELEVATION 2	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	442.11 S.F.	116.84 S.F.	26.43 %
LEFT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
REAR	442.11 S.F.	123.08 S.F.	27.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2659.18 S.F.	239.92 S.F.	9.02 %
TOTAL SQ. M.	247.04 S.M.	22.29 S.M.	9.02 %

AREA CALCULATIONS		ELEV '2'
GROUND FLOOR AREA	848 SF	
SECOND FLOOR AREA	945 SF	
TOTAL FLOOR AREA	1793 SF	
	(166.58 m ²)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	3 SF	
ADD TOTAL OPEN AREAS	+3 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1796 SF	
	(166.85 m ²)	
GROUND FLOOR COVERAGE	848 SF	
GARAGE COVERAGE/AREA	311 SF	
PORCH COVERAGE/AREA	104 SF	
COVERAGE W/ PORCH	1263 SF	
	(117.33 m ²)	
COVERAGE W/O PORCH	1159 SF	
	(107.67 m ²)	

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 2, ELEVATION 3	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	442.11 S.F.	113.42 S.F.	25.65 %
LEFT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
REAR	442.11 S.F.	123.08 S.F.	27.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2659.18 S.F.	238.50 S.F.	8.89 %
TOTAL SQ. M.	247.04 S.M.	21.97 S.M.	8.89 %

AREA CALCULATIONS		ELEV '3'
GROUND FLOOR AREA	848 SF	
SECOND FLOOR AREA	945 SF	
TOTAL FLOOR AREA	1793 SF	
	(166.58 m ²)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	3 SF	
ADD TOTAL OPEN AREAS	+3 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1796 SF	
	(166.85 m ²)	
GROUND FLOOR COVERAGE	848 SF	
GARAGE COVERAGE/AREA	311 SF	
PORCH COVERAGE/AREA	96 SF	
COVERAGE W/ PORCH	1255 SF	
	(116.60 m ²)	
COVERAGE W/O PORCH	1159 SF	
	(107.67 m ²)	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any houses can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 04 2017

NOV 16 2017

REC BY _____ DATE _____
REF'D TO _____ DATE _____

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

REVISED	ISSUED FOR PERMIT	SEP. 22/17	GW
ISSUED FOR PRICING	AUG. 23/17	GW	
REVISED AS PER CLIENT COMMENTS	JUN. 21/17	WT	
CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	
REVISED PER CLIENT COMMENTS	APR. 27/17	GW	
PRELIMINARY REVIEW	APR. 12/17	GW	
description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
registration information
VAS Design Inc. 42659
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
1 416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

TYPICAL NOTES AND AREAS		160336
project name	RUSSELL GARDENS PH.2	
location	WATERDOWN, ON.	
date	APRIL 2017	
drawn by	checked by	scale
		3/16" = 1'-0"
		160336-HIGHGROVE 2
		Nov - Sep 26 2017 - 831 AM

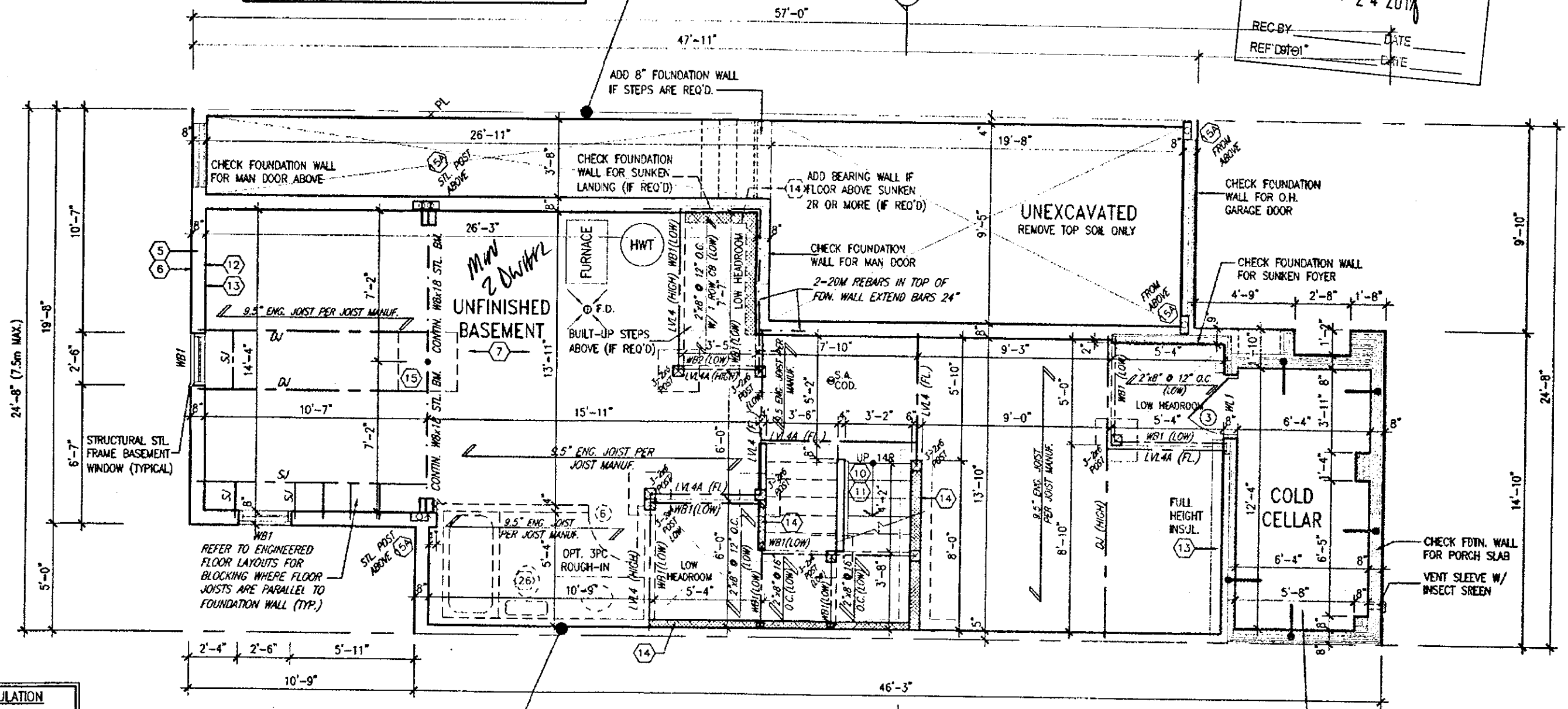
A0

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1796 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY: _____ DATE: _____
REF: 08101 _____ DATE: _____

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTY WALL AT HOUSE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: APR 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BASEMENT PLAN - ELEV. 2

CITY OF HAMILTON
Building Division

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE: 4/24/18

APR 17 2018

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOWIC
STRUCTURE ONLY

3	REVISED	APR 13/18	GW
4	REV. PER CITY COMMENTS, REISSUED.	FEB 08/18	GW
5	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR TRICING.	AUG. 23/17	GW
7	REVISED AS PER CLIENT COMMENTS	JUN 21/17	WT
8	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
9	REVISED PER CLIENT COMMENTS.	APR 27/17	GW
10	PRELIMINARY REVIEW.	APR 12/17	GW
11	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
qualification information
Richard Vink
signature
24488
BCR
47658
VA3 Design Inc.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
va3design.com

Greenpark.
Project name: RUSSELL GARDENS PH.2
Municipality: WATERDOWN, ON.
Project no: 16036
Date: APRIL 2017
checked by: _____
scale: 3/16" = 1'-0"

HIGHGROVE 2
BASEMENT PLAN - ELEV. 2
drawing no. 16036-HIGHGROVE 2
A1a

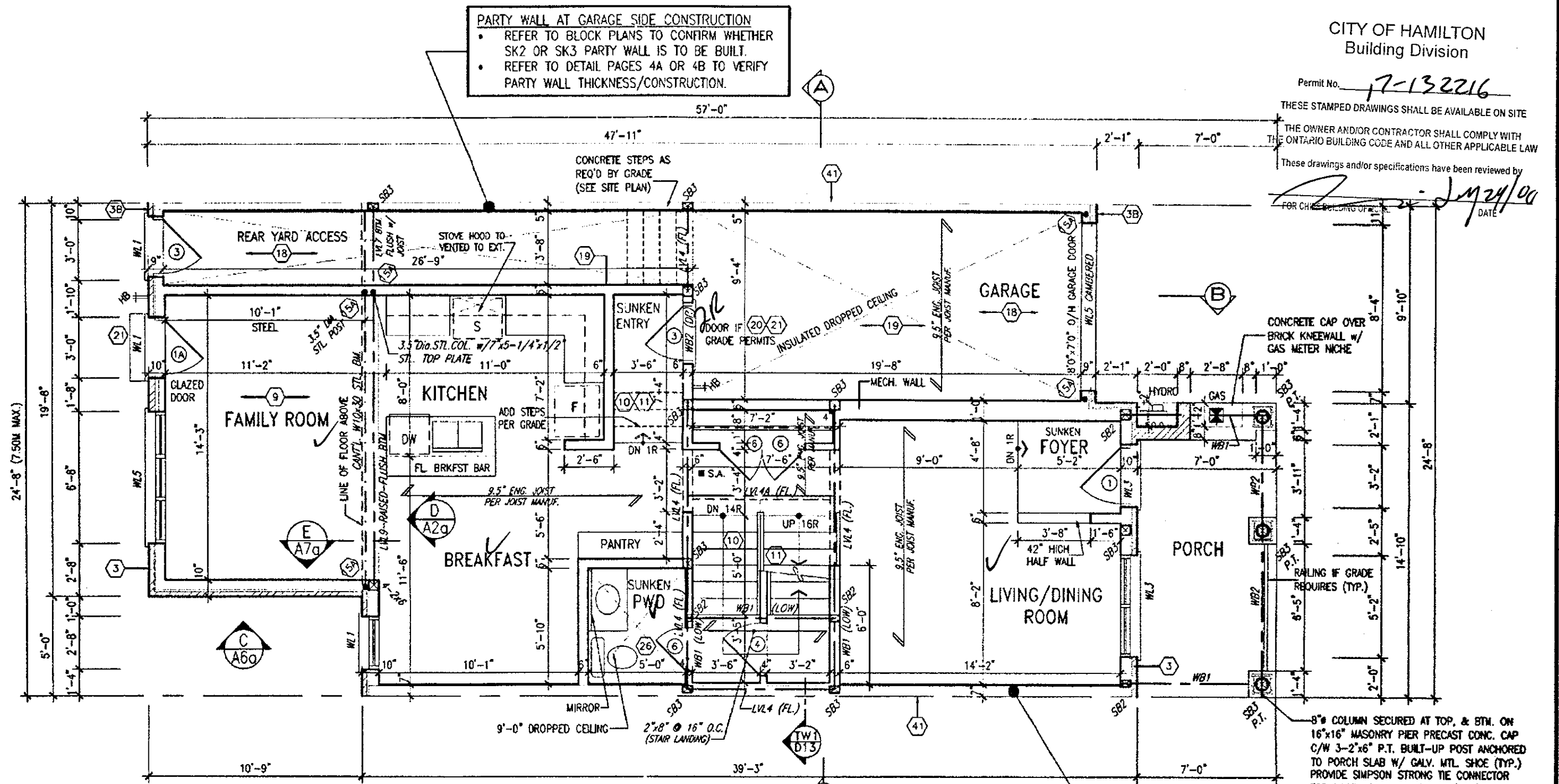
1796 SF.

CITY OF HAMILTON
Building Division

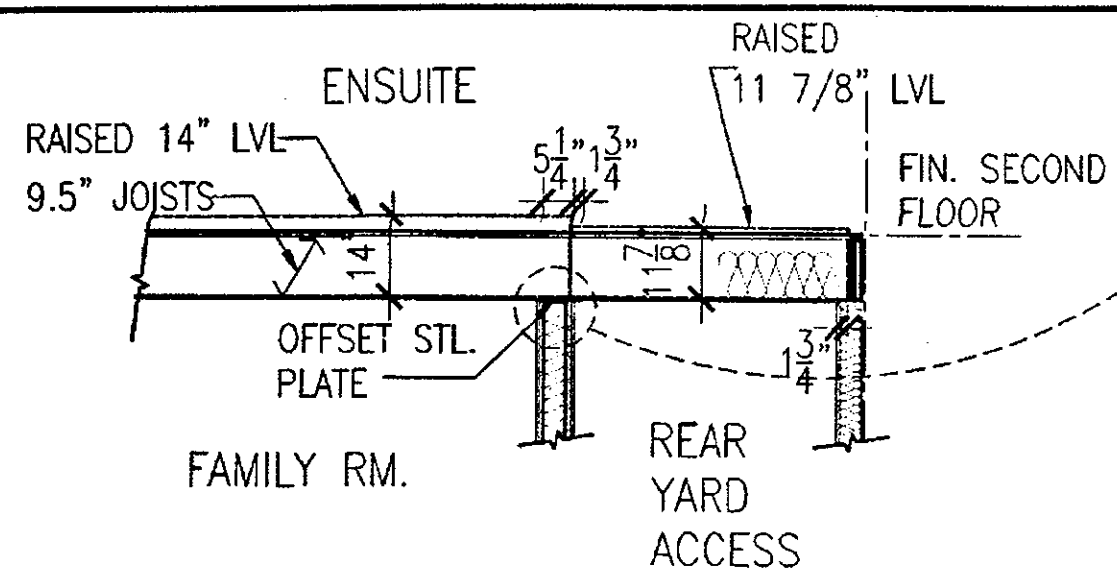
Permit No. 7-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by

DATE 2/24/09



GROUND FLOOR PLAN - ELEV. 2



D
A2a

WOOD BEAMS OVER FAMILY RM.
Not to Scale

3	REVISED	APR 13/18	GW
6	REV. PER CITY COMMENTS. REISSUED.	FEB 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP 22/17	GW
5	ISSUED FOR PRICING.	AUG 23/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR 27/17	GW
1	PRELIMINARY REVIEW	APR 12/17	GW
0	DESCRIPTION	DATE	BY

VA DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 416.630.4787
vadesign.com

Greenpark.
Municipality
RUSSELL GARDENS PH.2
WATERDOWN, ON.
date APRIL 2017
checked by
scale 3/16" = 1'-0"

HIGHGROVE 2
project no 16036
drawing no A2a
GROUND FLOOR PLAN - ELEV. 2

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
STRUDET INC.
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE APR 20, 2018
The stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

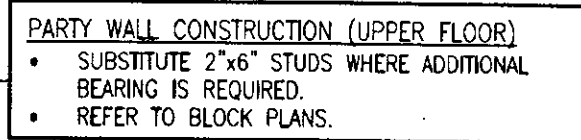
APR 17 2018

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____



NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(a) & 3.8.3.13.(1)(f).

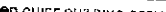
CITY OF HAMILTON
Building Division

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

 July 24,

FOR CHIEF BUILDING OFFICIAL DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

FEB 09 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8					qualification information	
7	REV. PER CITY COMMENTS, REISSUED.	FEB 08/18	GW		Richard Vink	2448.
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW		name	BCI
5	ISSUED FOR PRICING.	AUG. 23/17	GW		registration information	
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		VAS Design Inc.	4265.
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW			
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW			
1	PRELIMINARY REVIEW.	APR. 12/17	GW			
no.	description	date	hw		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

VAD
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255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va@vdesign.com

Greenpark.

HIGHGROVE 2

Project name	Municipality	Project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	16036
Date	drawing no.	
APRIL 2017	SECOND FLOOR PLAN - ELEV. 2	
Drawn by	checked by	scale
	-	3/16" = 1'-0"
		file name
		16036-HIGHGROVE 2

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1796 SF.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

John G. Williams Limited, Architect

CITY OF HAMILTON
Building Division

Permit No. 17-132216

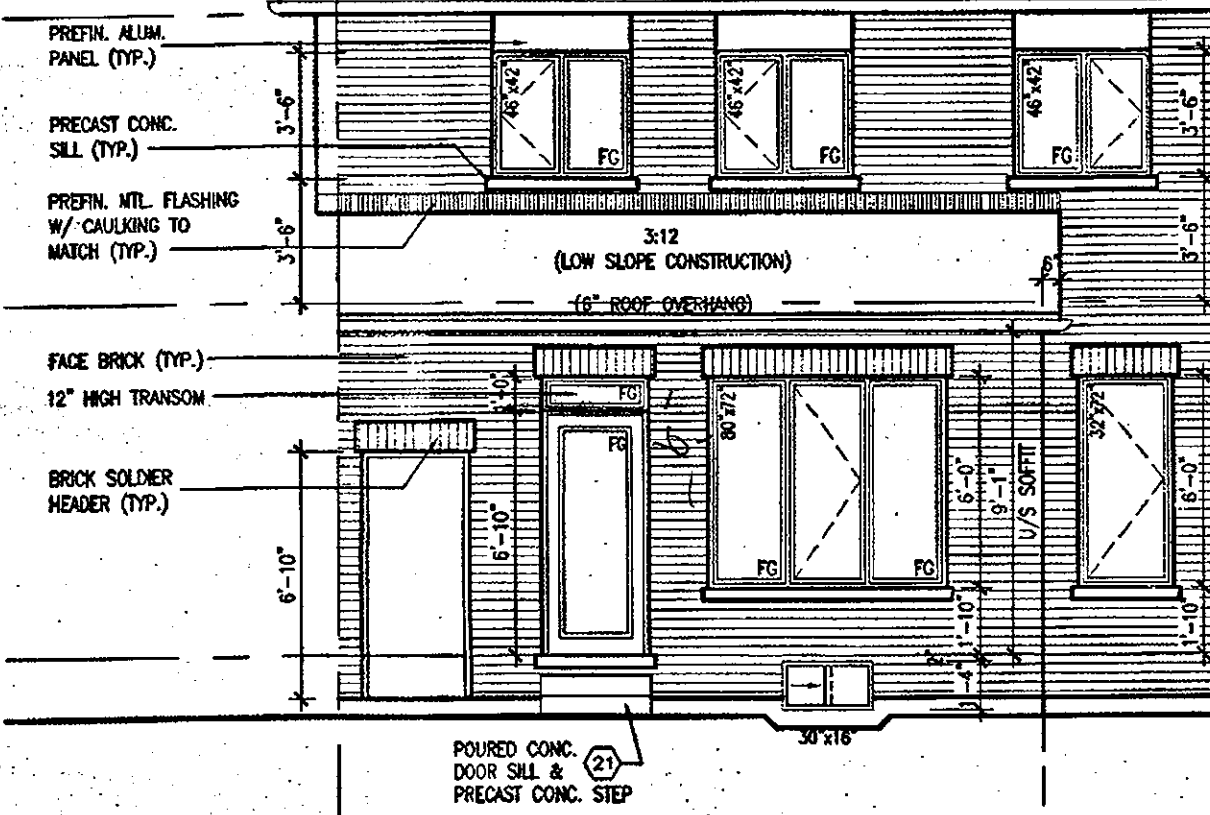
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE 10/24/17
ASPHALT SHINGLES (TYP.)

ROOF PLAN '2'



REAR ELEVATION
ELEV. 2

BRICK SOLDIER HEADER
ON BRICK STACK OVER 4"
PRECAST SILL (TYP.)

PREFIN. MTL. FLASHING W/
CAULKING TO MATCH (TYP.)

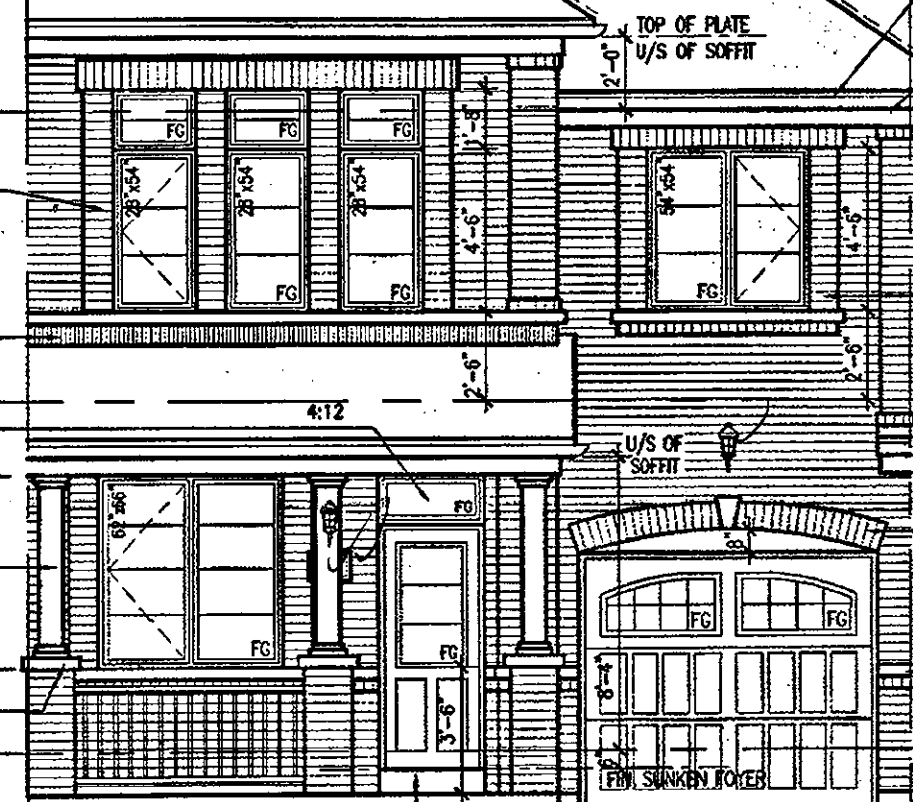
18" HIGH TRANSOM

8" DIA. POST ANCHORED
TO 16"x16" SOLID
MASONRY PIER (TYP.)

4" PRECAST CONC.
CAP (TYP.)

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)



FRONT ELEVATION
ELEV. 2

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK PILASTER (TYP.)

BRICK ROWLOCK W/ 1/2"
PROJ. ON 16" WIDE 1" RAISED
BRICK PILASTER ON BRICK
ROWLOCK BASE W/ 1/2" PROJ.

BRICK SOLDIER OVER BRICK
STACK ON PRECAST CONC. SILL
OVER BRICK ROWLOCK (TYP.)

FIN. SECOND FLOOR

TOP OF WINDOW/TRANSOM

BRICK SOLDIER HEADER
WITH KEYSTONE (TYP.)

4" PRECAST CONC. OVER
BRICK ROWLOCK BAND (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 16 2017

REC BY
REF'D TO

DATE
OCT 04 2017

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.
3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

9					
8					
7					
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW		
5	ISSUED FOR PRICING.	AUG. 23/17	GW		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
0	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
signature
registration information
VA3 Design Inc. 42658

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
APRIL 2017
checked by
3/16" = 1'-0"
scale
16036-HIGHGROVE 2
drawing no.
A4a

HIGHGROVE 2
project no.
16036
drawing no.
A4a

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

MAY 24 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by _____

FOR CHIEF BUILDING OFFICIAL

TOP OF PLATE

FIN. SECOND FLOOR

FIN. GROUND FLOOR

TOP OF SLAB

SECTION A-A ELEV. 2

FEB 15 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

SIDE ELEV. '2'

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=115.56 SQ. FT.
LIMITING DISTANCE	1.5 M (10%)
GLAZING ALLOWED	=11.55 SQ. FT.
GLAZING PROVIDED	=2.44 SQ. FT. (GLASS AREA ONLY)

UNFIN.
BASEMENT

BEDROOM 2

GARAGE

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8					qualification information	
7	REV. PER CITY COMMENTS. REISSUED.	FEB 08/18	GW			
6	REVISED. ISSUED FOR PERMIT.	SEP 22/17	GW	Richard Vink		244
5	ISSUED FOR PRICING.	AUG 23/17	GW	name	signature	
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	registration information		
3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN 12/17	GW	VAS Design Inc.		426
2	REVISED PER CLIENT COMMENTS.	APR 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		
1	PRELIMINARY REVIEW.	APR 25/17	GW			
20	description	date	by			

VAS
DESIGN
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

 Greenpark.		HIGHGROVE 2	
project name RUSSELL GARDENS PH.2		municipality WATERDOWN, ON.	
date APRIL 2017		project no. 16036	
section SECTION A-A ELEV. 2		drawing no. A6a	
drawn by —		file name 16036-HIGHGROVE 2	
checked by —		scale 3/16" = 1'-0"	

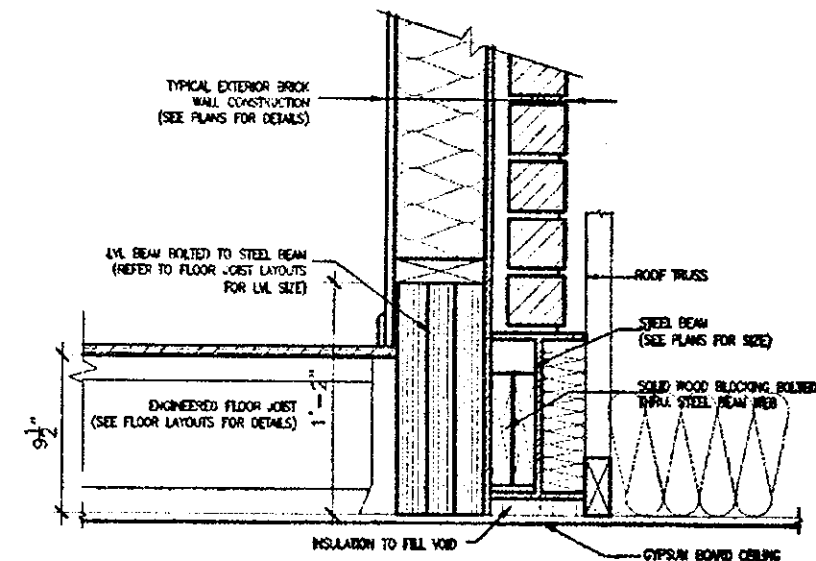
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HIGHGROVE 2- BEAMS OVER FAMILY ROOM

1796 SF.



E STEEL/LVL BEAM OVER FAMILY RM.
A7a SCALE: Not of Scale

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 17-139216

THESE STAMPED DRAWINGS SHALL BE USED IN ACCORDANCE WITH THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings shall be used in accordance with the specifications and shall be reviewed by the City of Hamilton Building Division.

SECTION B-B ELEV. 2

APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

3	REVISED.	APR. 13/18	GW
4	REV. PER CITY COMMENTS. REDISSUED.	FEB. 08/18	GW
5	REVISED. ISSUED FOR PERMIT.	S.P. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
7	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
8	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
9	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
10	PRELIMINARY REVIEW.	APR. 12/17	GW
11	DESCRIPTION	DATE	BY

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
name: Richard Vink
signature: [Signature]
registration information: 24488
BCN
VA3 Design Inc.
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
1. 416.630.2255 1. 416.630.4782
va3design.com

Greenpark.
project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
project no.: 16036
drawing no.: 16036-HIGHGROVE 2
SECTION B-B ELEV. 2
A7a

APRIL 2017
checked by: [Signature]
scale: 3/16" = 1'-0"
DATE: Apr 13 2018 11:17 AM

1796 SF.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: APR. 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a further professional responsibility.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION

Building Division

Permit No. 17-132216

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

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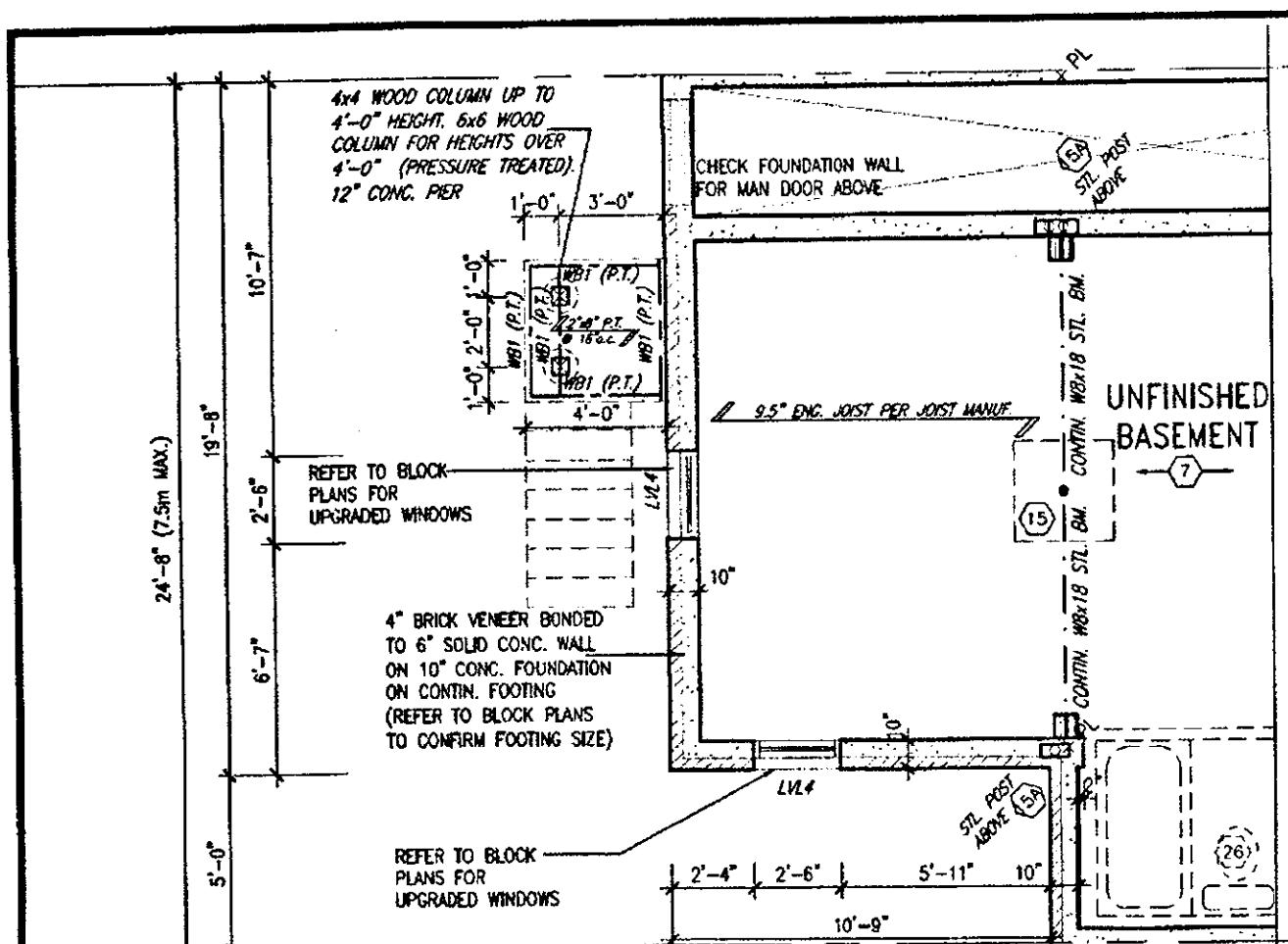
FOR CHIEF BUILDING OFFICIAL



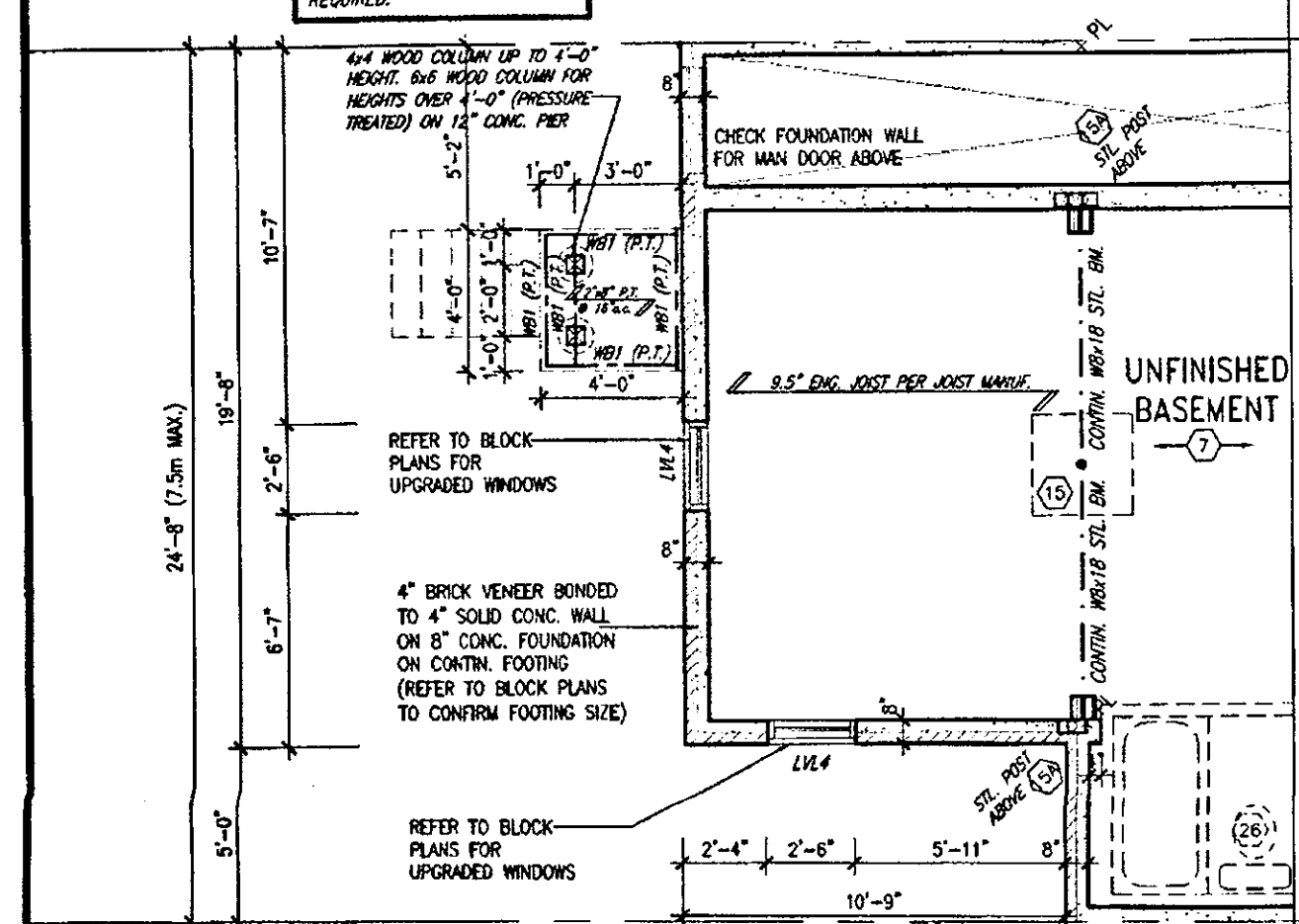
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APR 17 2018

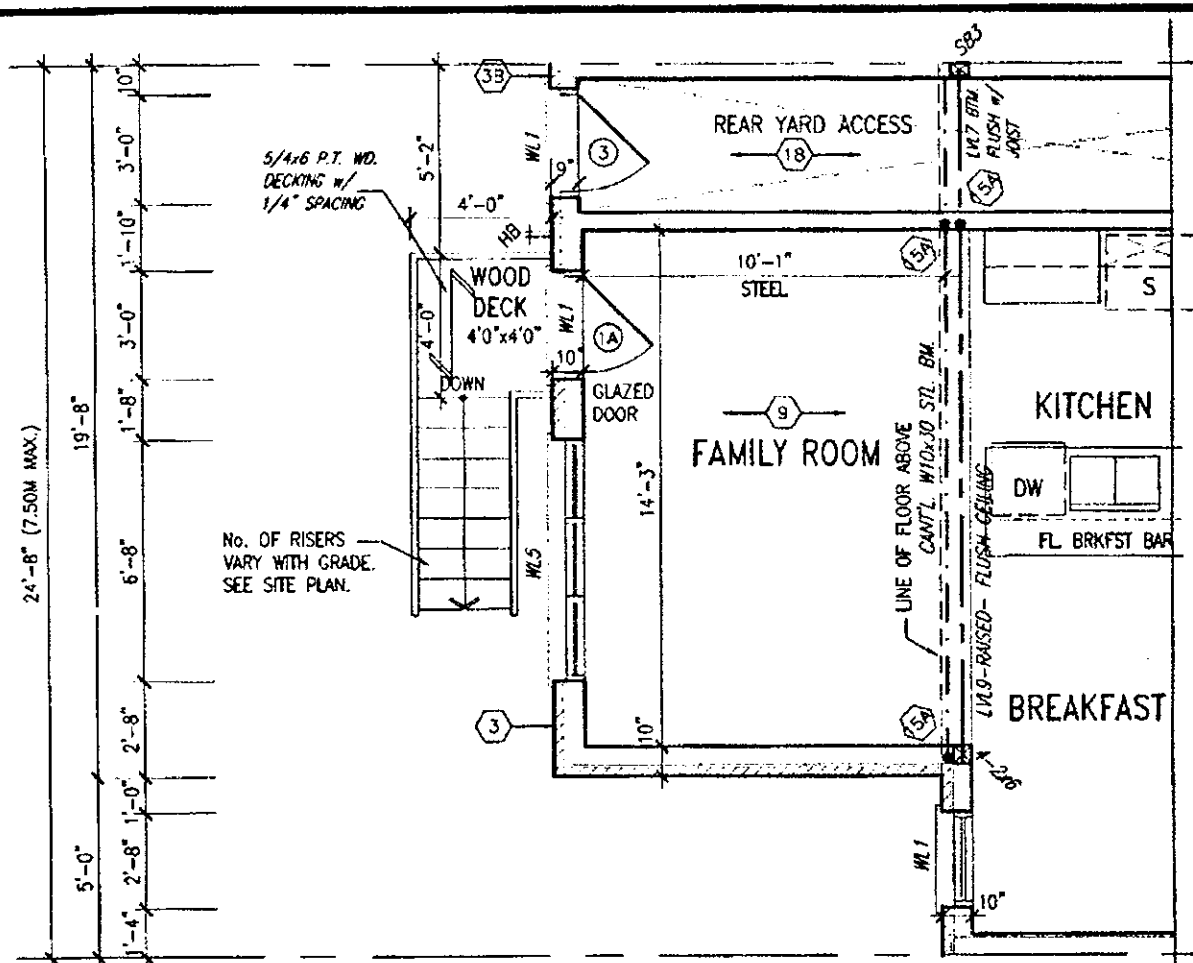
HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'



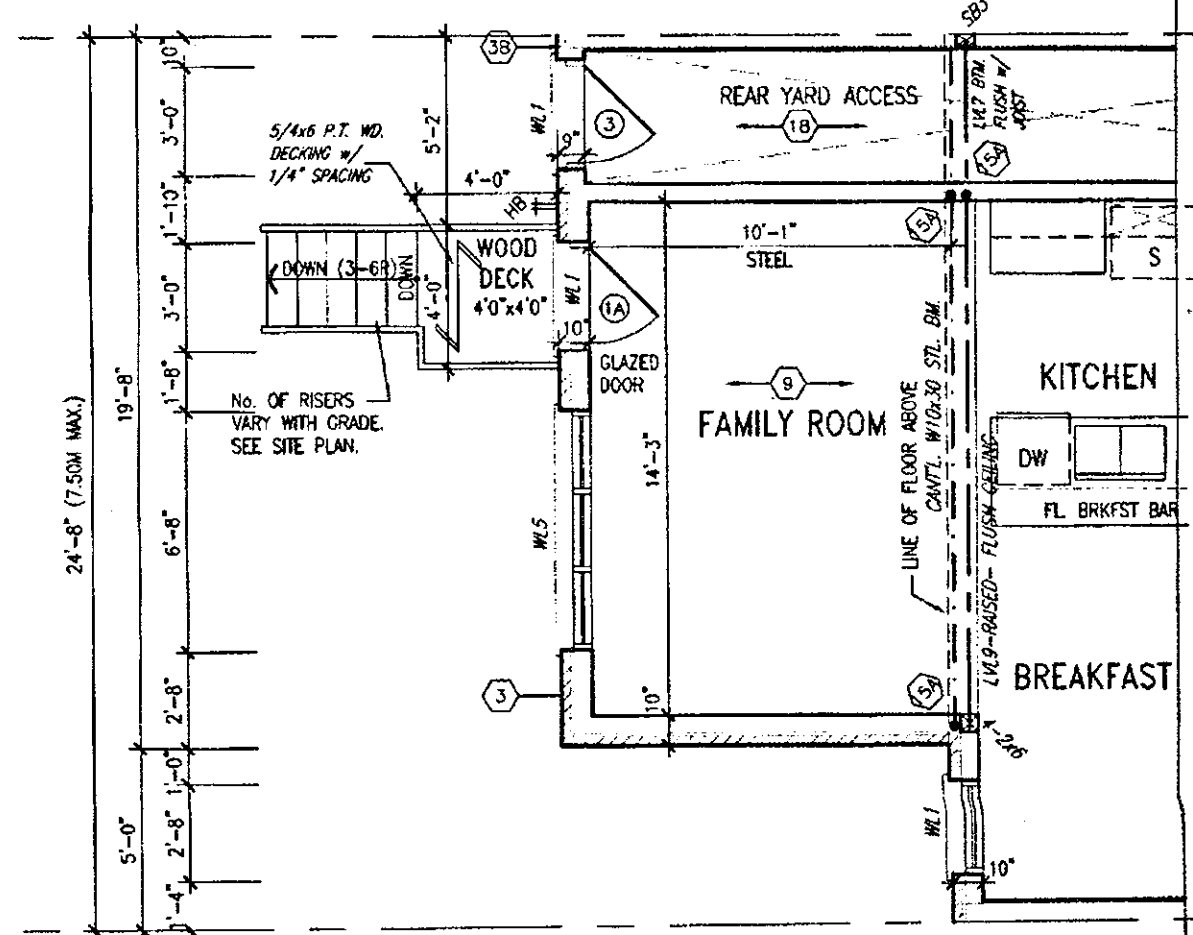
PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)



PART. BASEMENT PLAN W.O.D
CONDITION (4R TO 7R MAX.)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN W.O.D
CONDITION (4R TO 7R MAX.)

9	REVISED	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7	REV. PER CITY COMMENTS. REISSUED	FEB. 08/18	GW	qualification information
6	REVISED. ISSUED FOR PERMIT	SEP. 22/17	GW	Richard Vink 24488
5	ISSUED FOR PRICING	AUG. 23/17	SW	signature
4	REVISED AS PER CLIENT COMMENTS	JUN. 21/17	WT	name
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	SW	registration information
2	REVISED PER CLIENT COMMENTS	APR. 27/17	GW	VAS Design Inc. 42658
1	PRELIMINARY REVIEW	APR. 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
0	DESCRIPTION	date	by	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2L 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name: RUSSELL GARDENS PH.2 municipality: WATERDOWN, ON. project no: 16036

date: APRIL 2017 checked by: scale: 3/16" = 1'-0" 16036-HIGHGROVE 2 drawing no: A8

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1796 SF.

CITY OF HAMILTON
Building Division

Permit No. 17-132216

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FOR CHIEF BUILDING OFFICIAL

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY _____ DATE _____

REF'D TO _____ DATE _____

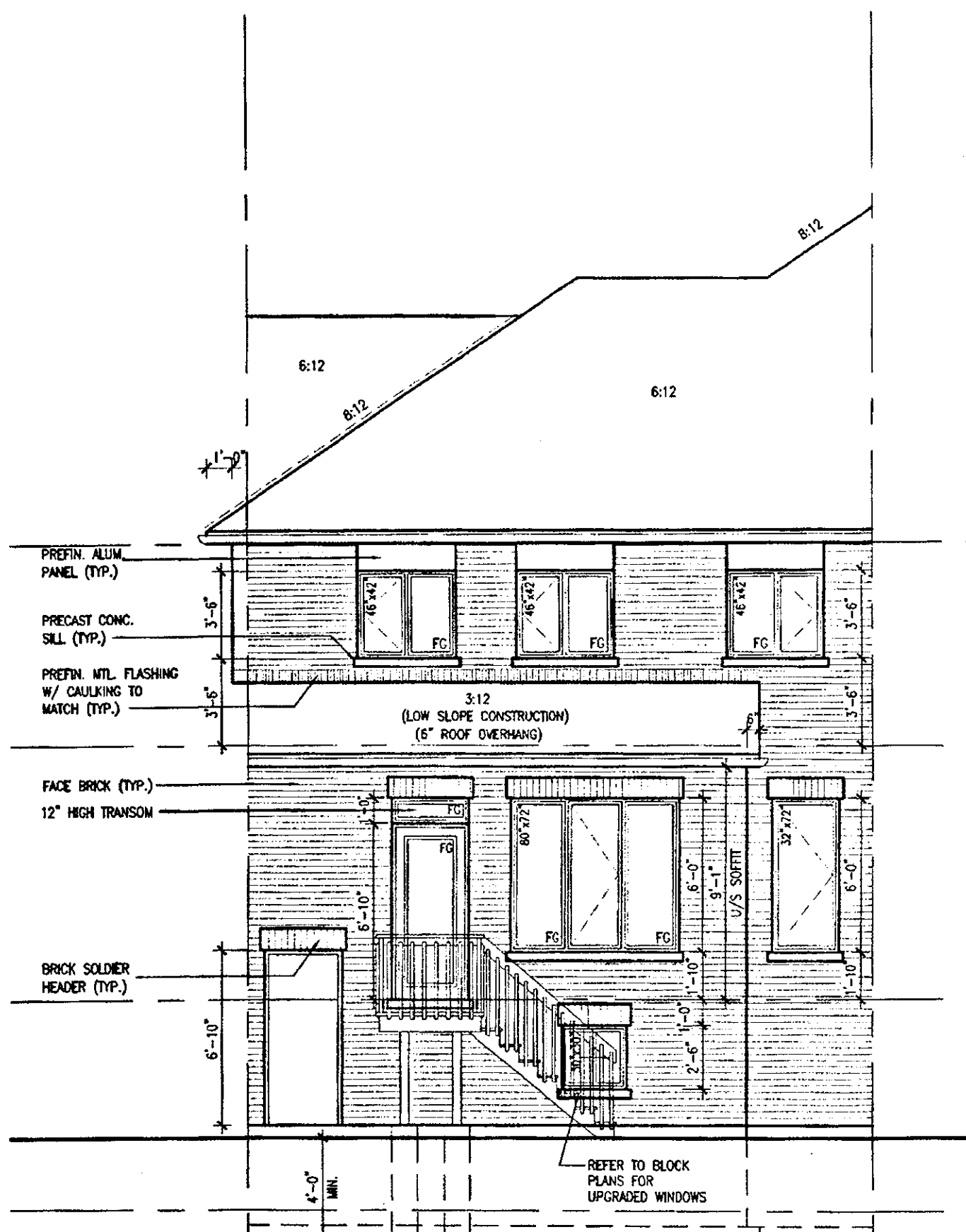
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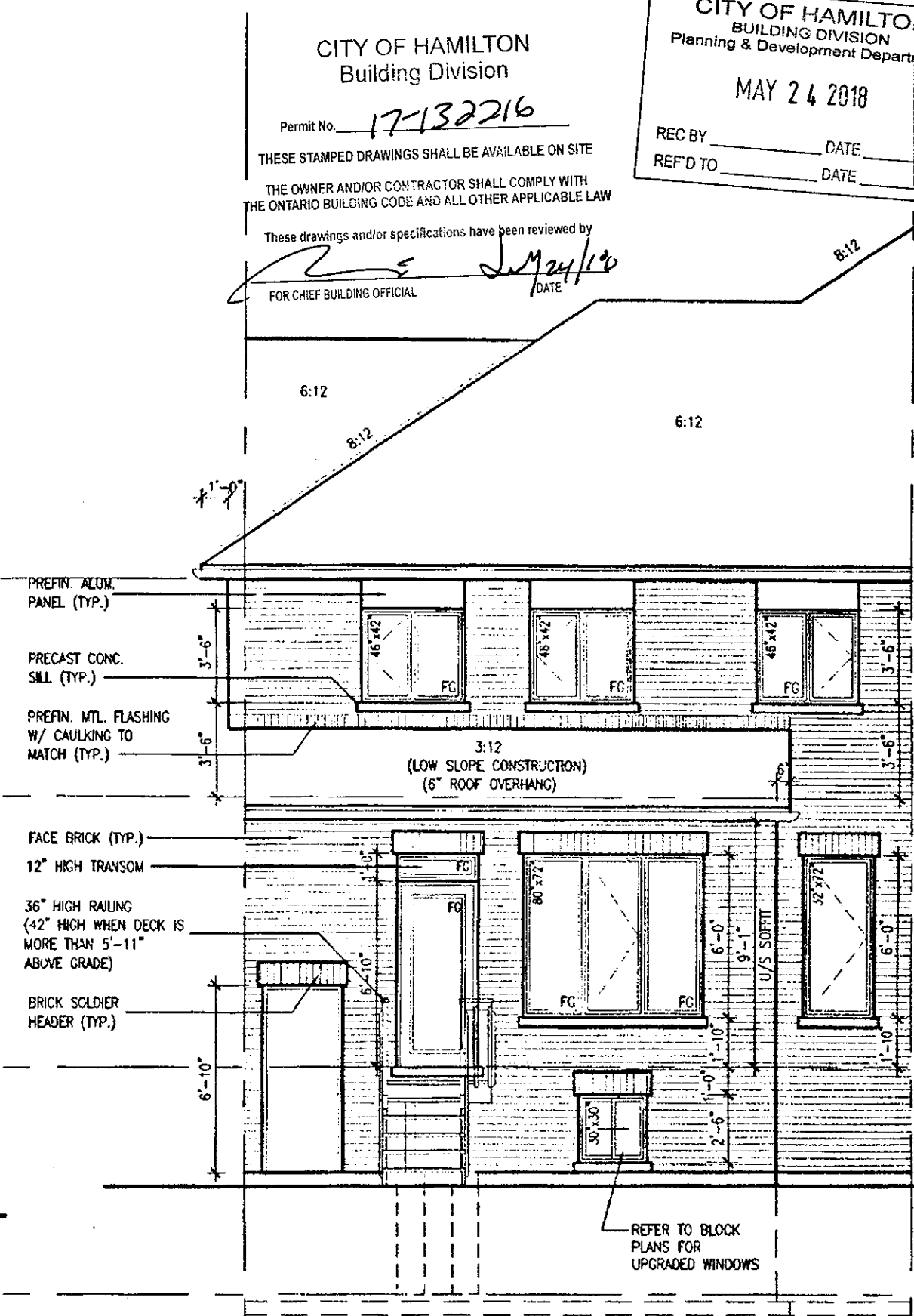
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Apr. 20, 2018

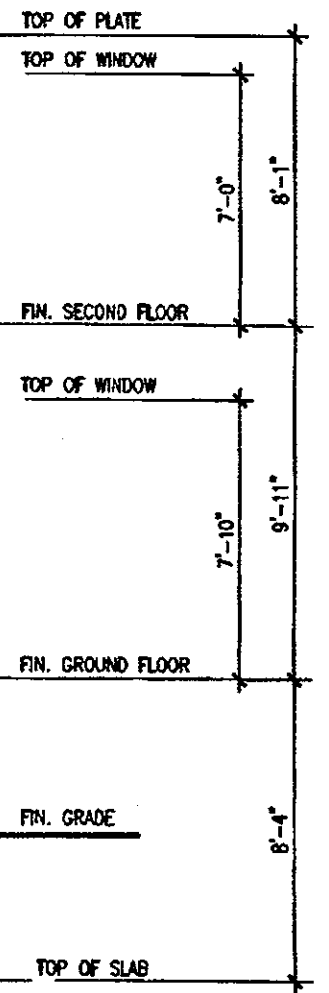
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REAR ELEVATION-ELEV. 1/2/3
DECK CONDITION
(8R OR MORE)



REAR ELEVATION-ELEV. 1/2/3
DECK CONDITION
(4R TO 7R MAX)



3	REVISED	APR. 13/18	GW
4	REV. PER CITY COMMENTS. REISSUED	FEB. 08/18	GW
5	REVISED. ISSUED FOR PERMIT	S.P. 22/17	GW
6	ISSUED FOR PRICING	AUG. 23/17	GW
7	REVISED AS PER CLIENT COMMENTS	JUN. 21/17	WJ
8	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
9	REVISED PER CLIENT COMMENTS	APR. 27/17	GW
10	PRELIMINARY REVIEW	APR. 12/17	GW
11	description	date	by

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qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42653

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
city
WATERDOWN, ON.
date
APRIL 2017
checked by
scale
3/16" = 1'-0"

HIGHGROVE 2
project no.
16036
drawing no.
A9
16036-HIGHGROVE 2