

2012 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa, NATIVE SOIL 90 KPa, ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8' to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

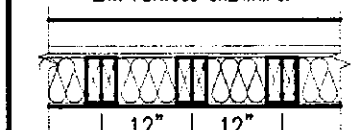
NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT

WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID
BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 18'-0" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

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fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
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examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.



STRUDET INC.
FOR STRUCTURE ONLY

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 4 AND ELEV. 1		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	485.11 S.F.	112.75 S.F.	23.24 %
LEFT SIDE	981.91 S.F.	0 S.F.	0.00 %
RIGHT SIDE	981.91 S.F.	0 S.F.	0.00 %
REAR	485.11 S.F.	130.24 S.F.	26.85 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	2934.04 S.F.	242.99 S.F.	8.28 %
TOTAL SQ. M.	272.58 S.M.	22.57 S.M.	8.28 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 4 AND ELEV. 2		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	485.11 S.F.	123.50 S.F.	25.46 %
LEFT SIDE	1001.58 S.F.	0 S.F.	0.00 %
RIGHT SIDE	1001.58 S.F.	0 S.F.	0.00 %
REAR	485.11 S.F.	130.24 S.F.	26.85 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	2973.38 S.F.	253.74 S.F.	8.53 %
TOTAL SQ. M.	276.23 S.M.	23.57 S.M.	8.53 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 4 AND ELEV. 3		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	485.11 S.F.	122.00 S.F.	25.15 %
LEFT SIDE	981.91 S.F.	0 S.F.	0.00 %
RIGHT SIDE	981.91 S.F.	0 S.F.	0.00 %
REAR	485.11 S.F.	130.24 S.F.	26.85 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	2934.04 S.F.	252.24 S.F.	8.60 %
TOTAL SQ. M.	272.58 S.M.	23.43 S.M.	8.60 %

AREA CALCULATIONS

ELEV '1'	
GROUND FLOOR AREA	894 SF
SECOND FLOOR AREA	1107 SF
TOTAL FLOOR AREA	2001 SF
	(185.90 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	11 SF
ADD TOTAL OPEN AREAS	+11 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2012 SF
	(186.92 m2)
GROUND FLOOR COVERAGE	894 SF
GARAGE COVERAGE/AREA	310 SF
PORCH COVERAGE/AREA	106 SF
COVERAGE W/ PORCH	1310 SF
	(121.70 m2)
COVERAGE W/O PORCH	1204 SF
	(111.86 m2)

AREA CALCULATIONS

ELEV '2'	
GROUND FLOOR AREA	902 SF
SECOND FLOOR AREA	1108 SF
TOTAL FLOOR AREA	2010 SF
	(186.73 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	11 SF
ADD TOTAL OPEN AREAS	+11 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2021 SF
	(187.75 m2)
GROUND FLOOR COVERAGE	902 SF
GARAGE COVERAGE/AREA	310 SF
PORCH COVERAGE/AREA	53 SF
COVERAGE W/ PORCH	1265 SF
	(117.52 m2)
COVERAGE W/O PORCH	1213 SF
	(112.69 m2)

AREA CALCULATIONS

ELEV '3'	
GROUND FLOOR AREA	894 SF
SECOND FLOOR AREA	1099 SF
TOTAL FLOOR AREA	1993 SF
	(185.16 m2)
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	11 SF
ADD TOTAL OPEN AREAS	+11 SF
ADD FINISHED BSMT AREA	+00 SF
GROSS FLOOR AREA	2004 SF
	(186.18 m2)
GROUND FLOOR COVERAGE	894 SF
GARAGE COVERAGE/AREA	310 SF
PORCH COVERAGE/AREA	99 SF
COVERAGE W/ PORCH	1303 SF
	(121.05 m2)
COVERAGE W/O PORCH	1204 SF
	(111.86 m2)

OCT 04 2017

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.					
17			8			qualification information					
16			7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW					
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW					
14			5	STUCCO REPLACED.	JUL 05/17	GW	Richard Vink	24488			
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	name				
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 13/17	GW	registration information				
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	VAS Design Inc.	42658			
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW					
no.	description	date	by	no.	description	date	by				



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com



project name	RUSSELL GARDENS PH.2	municipality	WATERDOWN, ON.	project no.	16036
date	APRIL 2017	checked by	GW	scale	3/16" = 1'-0"
drawn by	WT	file name	16036-HIGHGROVE-4	drawing no.	A0

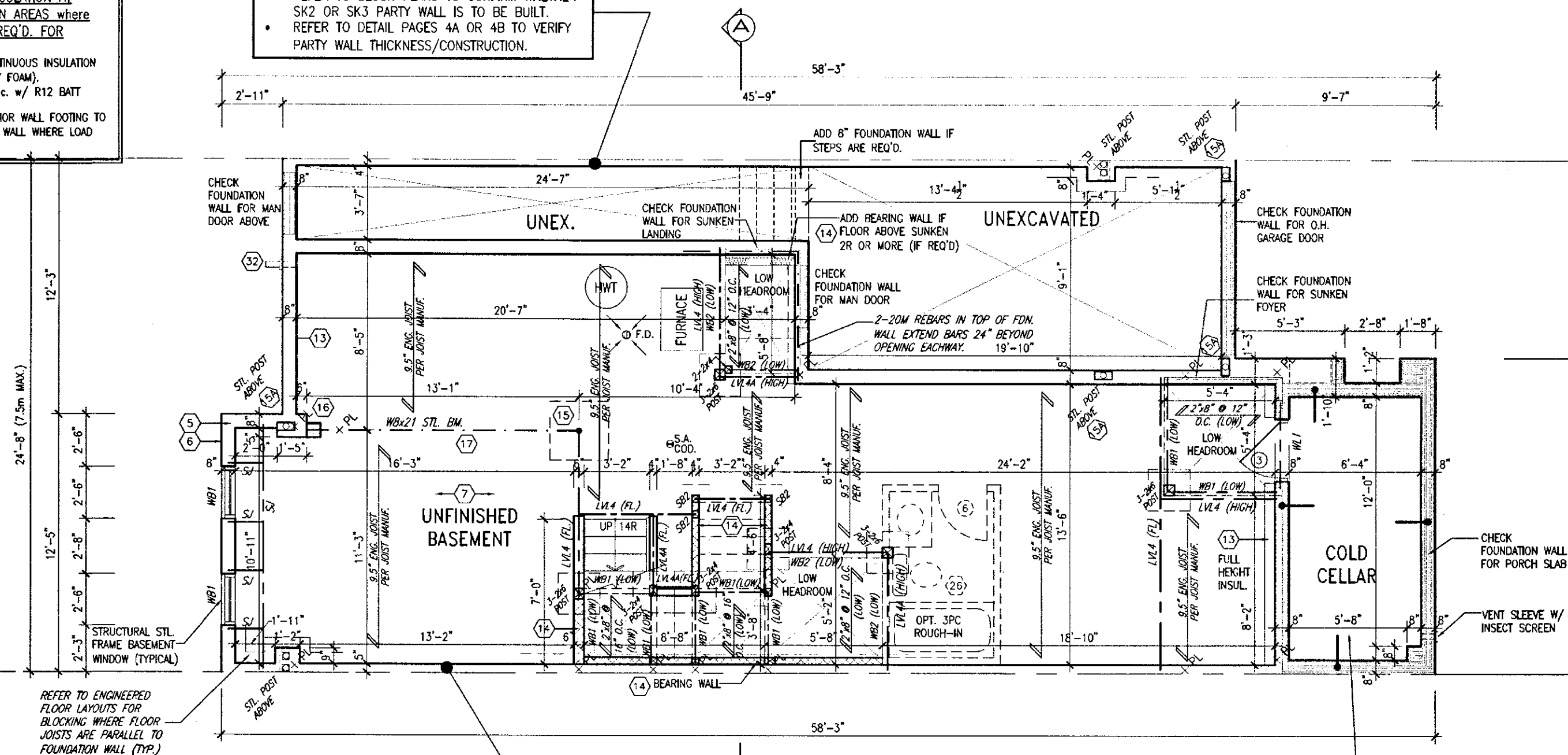
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BASEMENT WALL INSULATION
(TYP) **13**
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



PARTY WALL AT HOUSE SIDE CONSTRUCTION

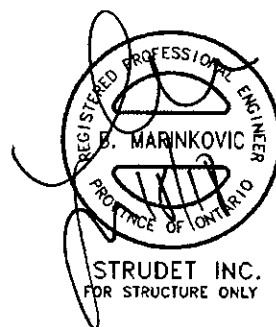
- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
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BASEMENT PLAN ELEV. '1'

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

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ALL GARAGE SLABS, PORCH
SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa.
WITH 5-~~8~~ AIR ENTRAINMENT.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

JUL 18 2018

HIGHGROVE 4
COMPLIANCE PACKAGE 'A1'

18			9	REVISED.	APR. 13/18	GW	<div>The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div><div>VA</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 416.630.2255 / 416.630.4782 va3design.com</div></div>	<div><div></div><div>project name RUSSELL GARDENS PH.2 municipality WATERDOWN, ON. project no. 1603</div></div>	<div>drawing no. A1</div>
17		8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW				
16		7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW				
15		6	ISSUED FOR PRICING.	AUG. 23/17	GW				
14		5	STUCCO REPLACED.	JUL 05/17	GW				
13		4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT				
12		3	CHANGED JOIST DEPTH / FLOOR HEIGHTS.	JUN 13/17	GW				
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW				
10	REVISED.	JUN. 26/18	GW	1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by	no.	description	date	by		

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BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

[illegible]

PARTY WALL AT HOUSE SIDE CONSTRUCTION

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BASEMENT PLAN ELEV. '2'

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ENGINEERED FLOOR FRAMING INFO
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JUL 18 2018

HIGHGROVE 4
COMPLIANCE PACKAGE 'A1'

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11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10	REVISED.	JUN. 26/18	GW	1. PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by

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qualification information		
Richard Vink	<i>R Vink</i>	244
name	signature	B
registration information		
VA3 Design Inc.		426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark.

project name: **RUSSELL GARDENS PH.2** municipal: **WATERDOWN, ON**

date
APRIL 2017

drawn by
WT

checked by
GW

scale
 $3/16" = 1'-0"$

HIGHGROVE 4

—

1603 project

PLAN ELEV. '01	drawing no.
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PLAN ELEV. 2
file name
16036-HIGHGROVE-4

A10

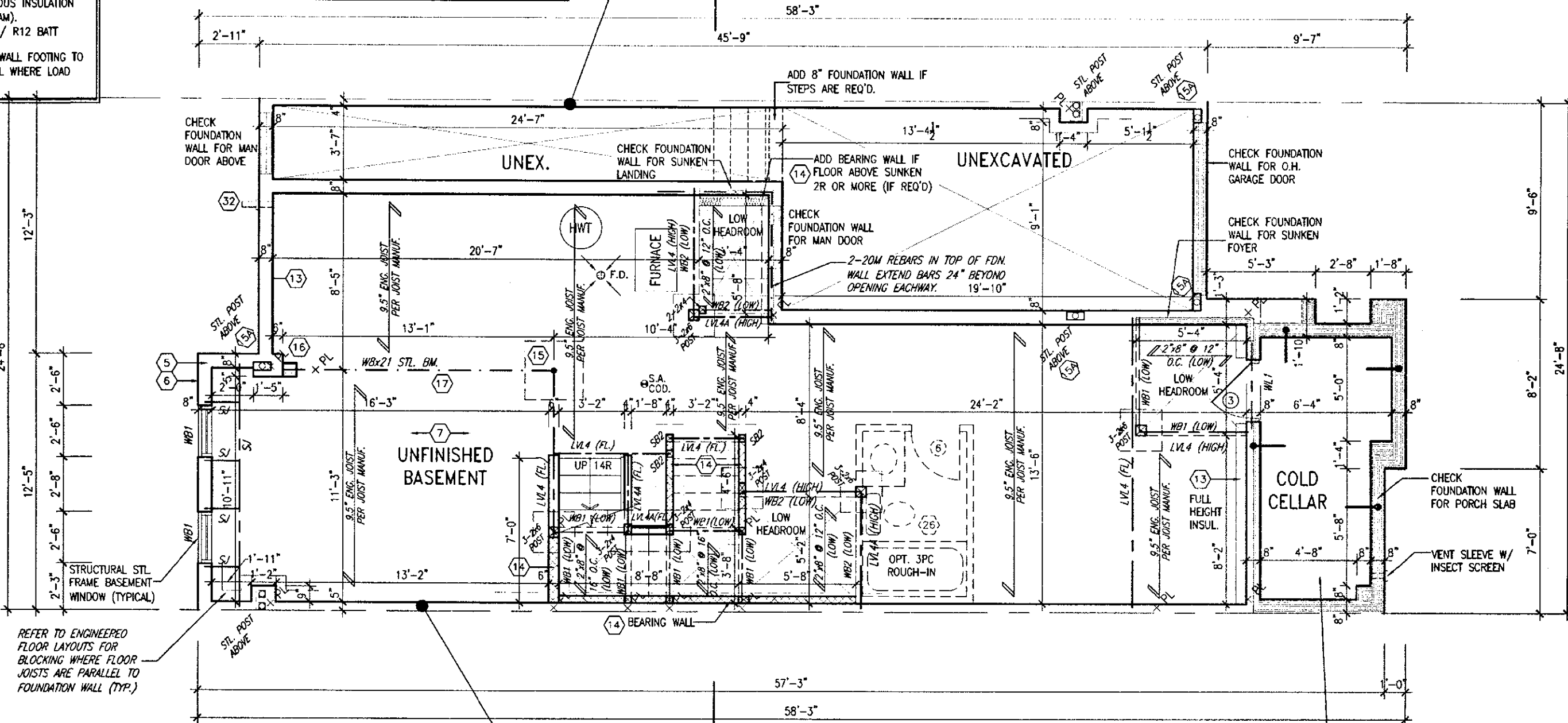
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2012 SF.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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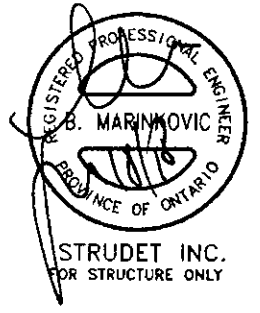
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COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

BASEMENT PLAN ELEV. '3'

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REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

JUL 18 2018

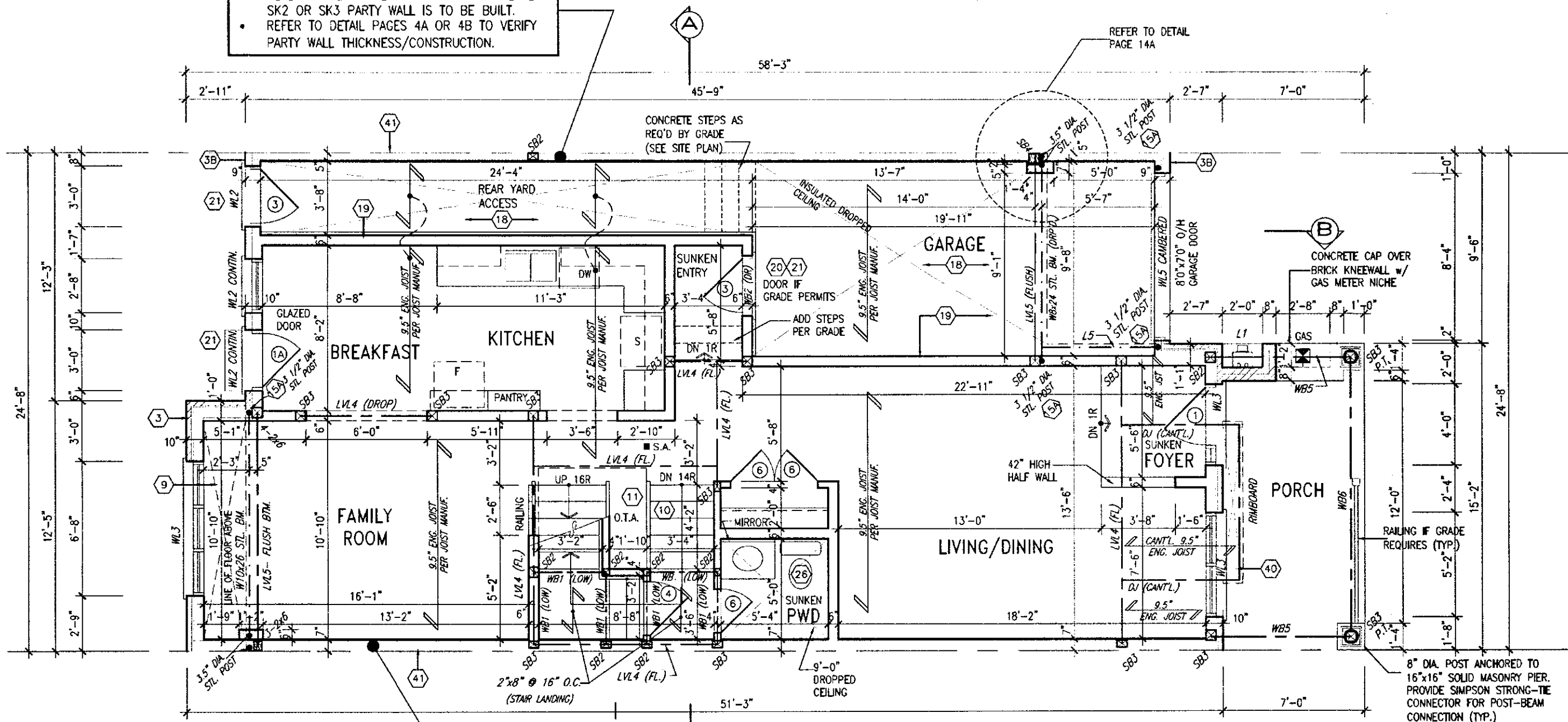
HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

				COMPLIANCE PACKAGE A1b															
												HIGHGROVE 4							
				<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information  Richard Vink signature 24488 BCN 42658</p>				<p>project name RUSSELL GARDENS PH.2</p>				<p>municipality WATERDOWN, ON.</p>				<p>project no. 16036</p>			
				<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>				<p>date APRIL 2017</p>				<p>BASEMENT PLAN ELEV. '3'</p>				<p>drawing no. A1b</p>			
				<p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>				<p>checked by GW</p>				<p>scale 3/16" = 1'-0"</p>				<p>file name 16036-HIGHGROVE-4</p>			
								<p>16036-HIGHGROVE-4.dwg Date: 2018-04-26 12:55 PM</p>											

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PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



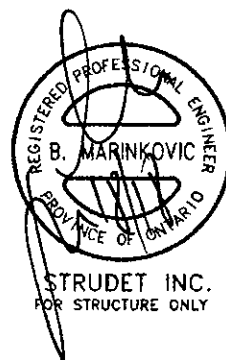
PARTY WALL AT HOUSE SIDE CONSTRUCTION

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GROUND FLOOR PLAN ELEV. '1'

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HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

18			9	REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	REVISED PER CITY COMMENTS REISSUED.	FEB. 15/18	GW	qualification information
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	signature
14			5	STUCCO REPLACED.	JUL. 05/17	GW	24488
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	BCA
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW	42658
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	VA3 Design Inc.
10	REVISED.	JUN. 26/18	1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no. description		date	by	no. description	date	by	

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qualification information

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signature

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VA3 Design Inc.

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2

municipality
WATERDOWN, ON.

HIGHGROVE 4

date
APRIL 2017

drawing no.
GROUND FLOOR PLAN ELEV. '1'

project no.
16036

checked by
GW

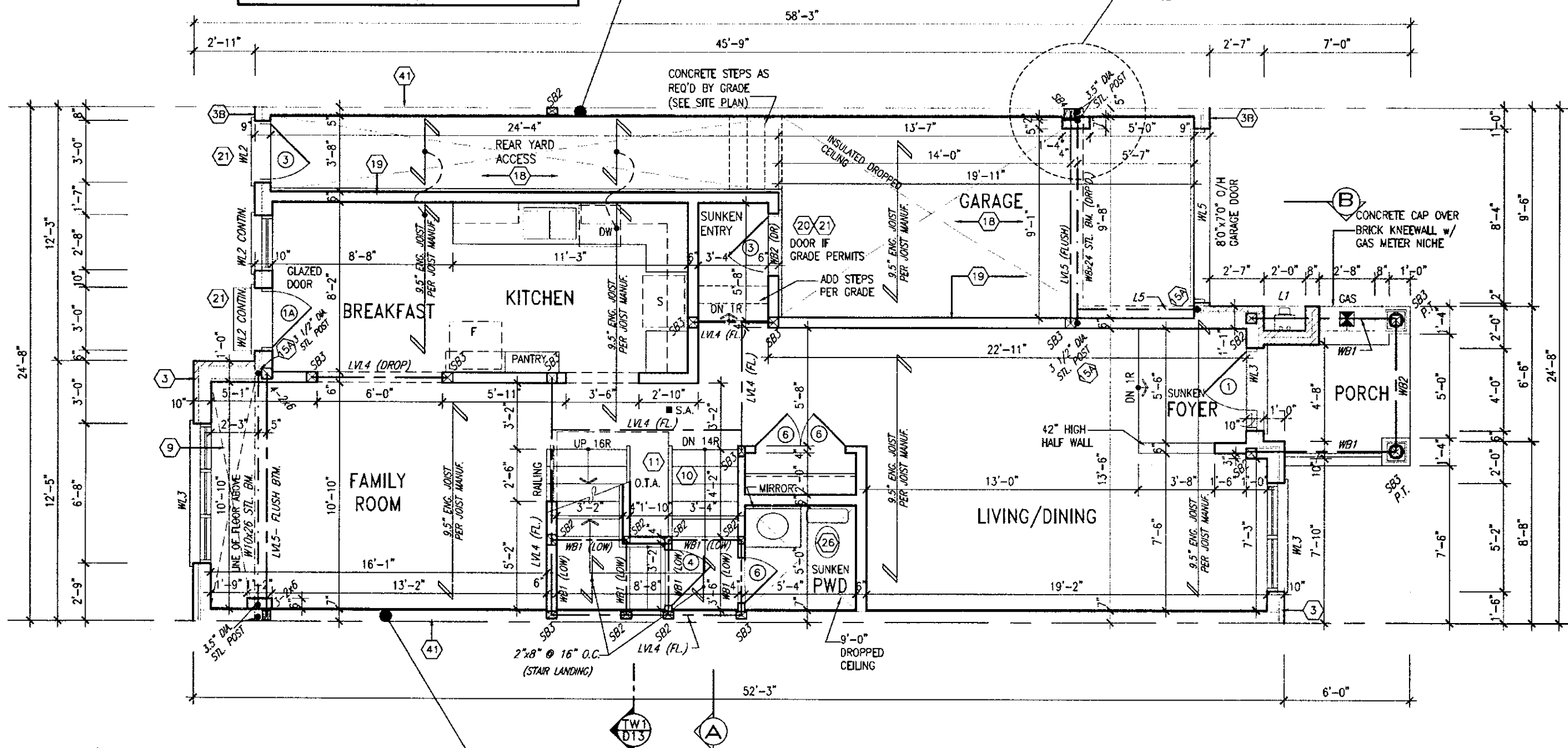
scale
3/16" = 1'-0"

file name
16036-HIGHGROVE-4

drawing no.
A2

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REFER TO DETAIL
PAGE 14A

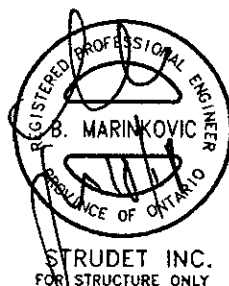


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11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10	REVISED.			1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

Project name: **RUSSELL GARDENS PH.2** Municipality: **WATERDOWN, ON.**

HIGHGROVE 4

project no.
16036

date: **APRIL 2017** drawing no. **A2a**

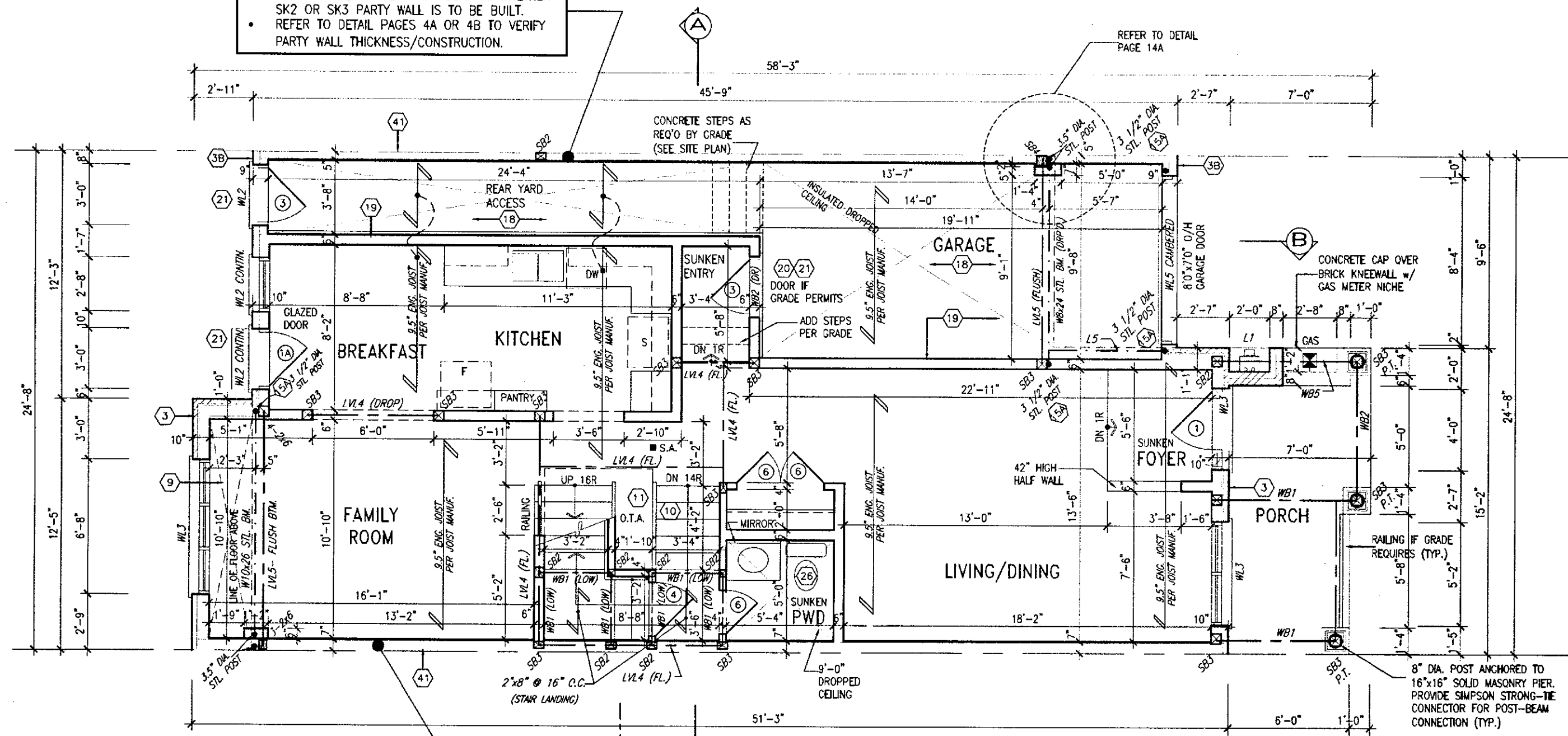
drawn by: **WT** checked by: **GW** scale: **3/16" = 1'-0"**

file name: **16036-HIGHGROVE-4**

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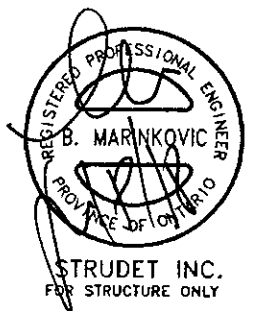
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10	REVISED.	JUN. 26/18	GW	1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by	

VAS DESIGN

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Toronto, ON M2J 1R4
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vasdesign.com

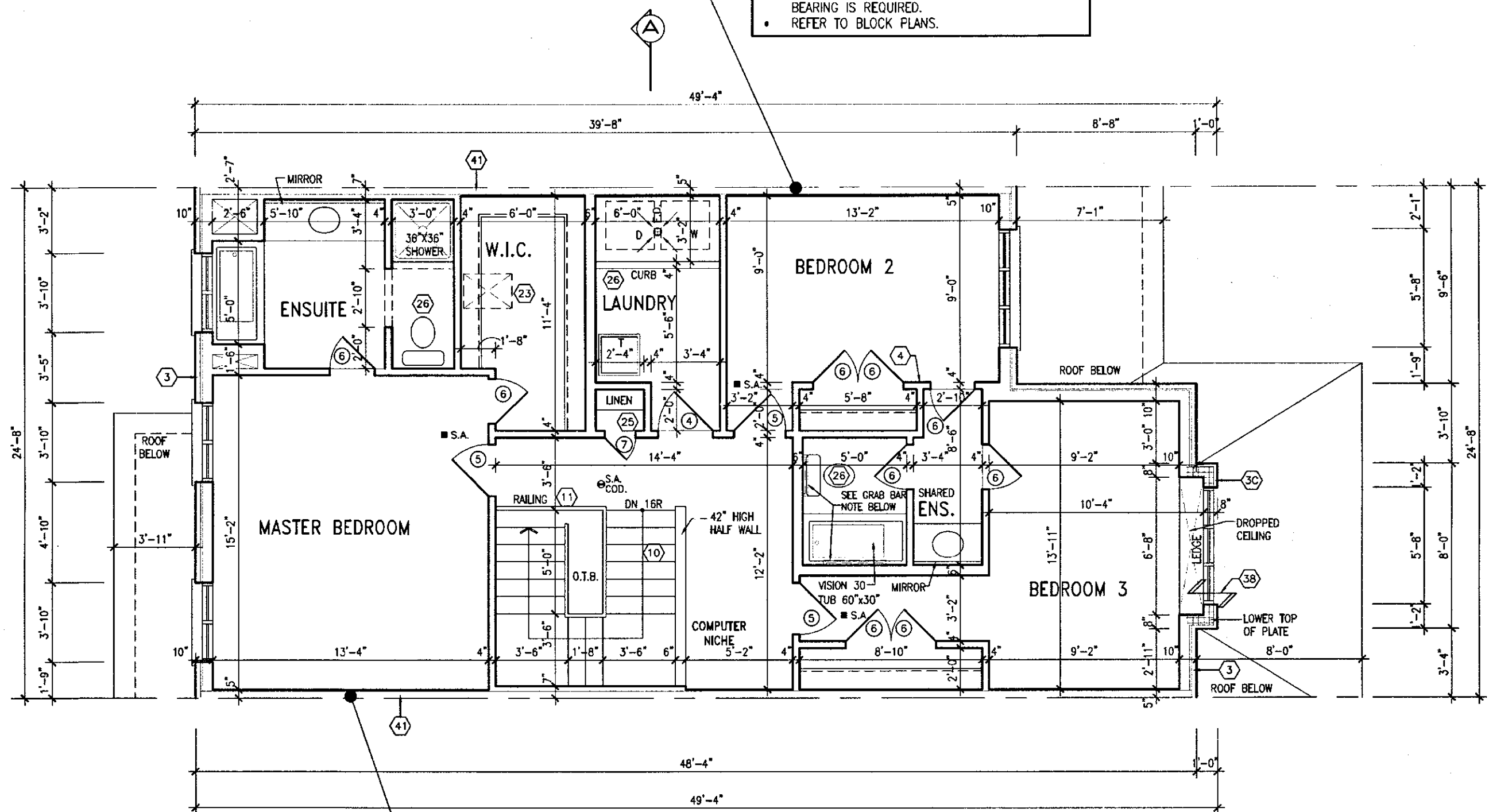
Greenpark.

project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.

date: APRIL 2017
checked by: GW
scale: 3/16" = 1'-0"

drawing no. 16036-HIGHGROVE-4
drawing no. A2b

- PARTY WALL CONSTRUCTION (UPPER FLOOR)**
- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
 - REFER TO BLOCK PLANS.



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NOTE:
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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(i).

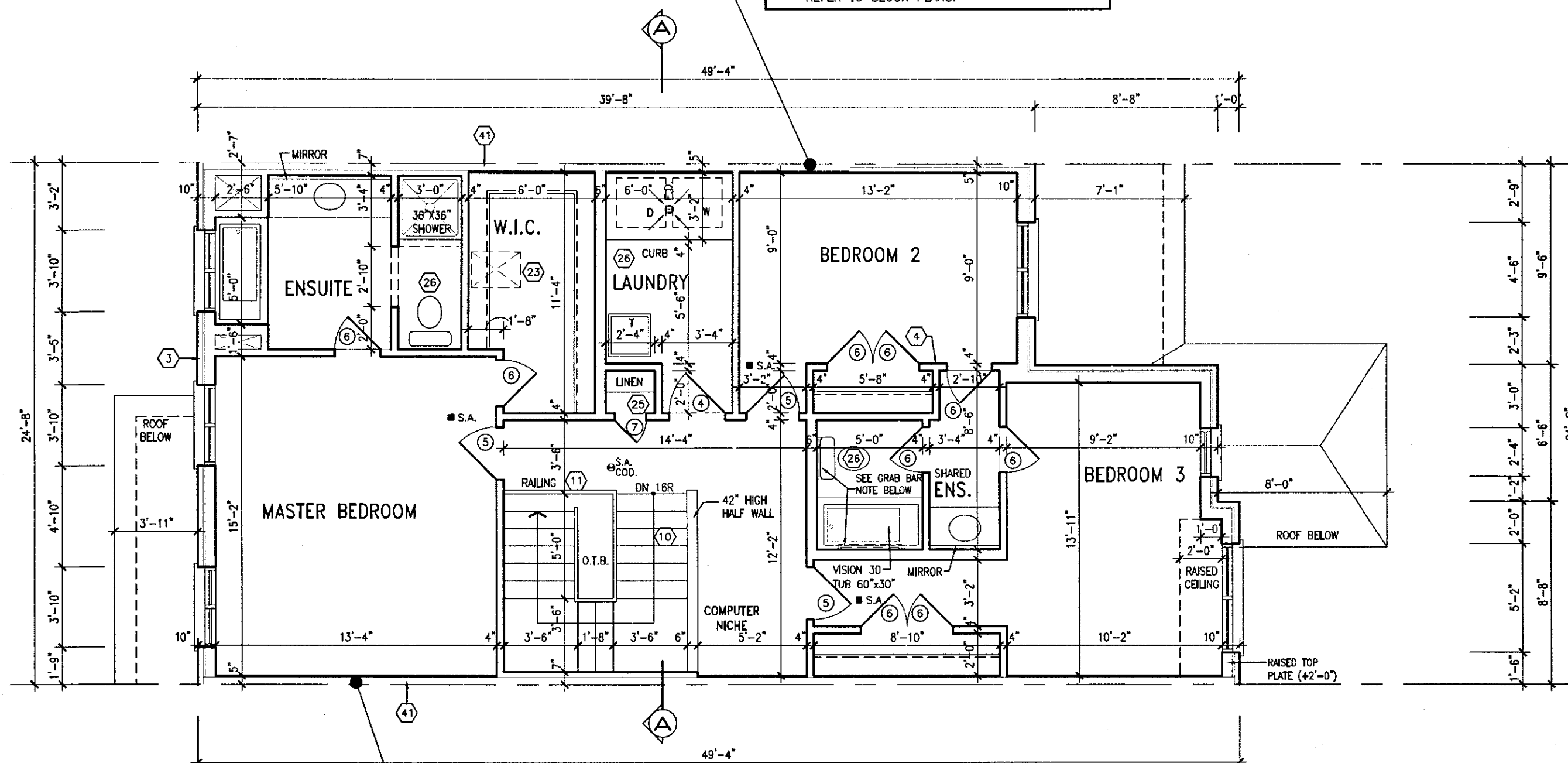
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HIGHGROVE 4
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10				1 PRELIMINARY REVIEW.	APR. 12/17	GW			
no. description		date	by	no. description		date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

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FEB 15 2018

HIGHGROVE 4

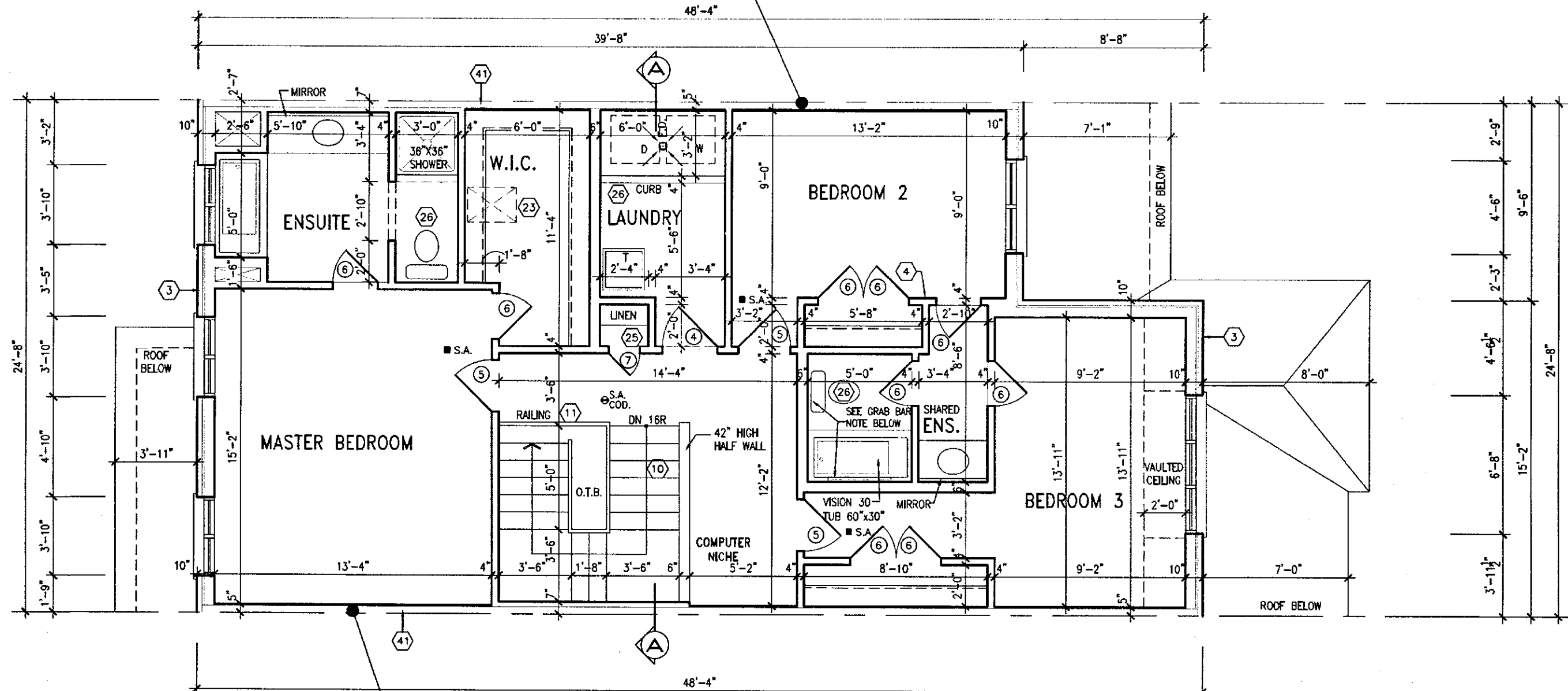
COMPLIANCE PACKAGE 'A1'


Greenpark.

HIGHGROVE 4

project name	municipality		project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.		16036
date	SECOND FLOOR PLAN ELEV. '2'		drawing no.
APRIL 2017			
drawn by	checked by	scale	file name
WT	GW	3/16" = 1'-0"	16036-HIGHGROVE-4

- PARTY WALL CONSTRUCTION (UPPER FLOOR)**
- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
 - REFER TO BLOCK PLANS.



SECOND FLOOR PLAN ELEV. '3'

- PARTY WALL CONSTRUCTION (UPPER FLOOR)**
- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
 - REFER TO BLOCK PLANS.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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FEB 15 2018

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

18		9			
17		8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW
16		7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
15		6	ISSUED FOR PRICING.	AUG. 23/17	GW
14		5	STUCCO REPLACED.	JUL. 05/17	GW
13		4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name
signature
registration information
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

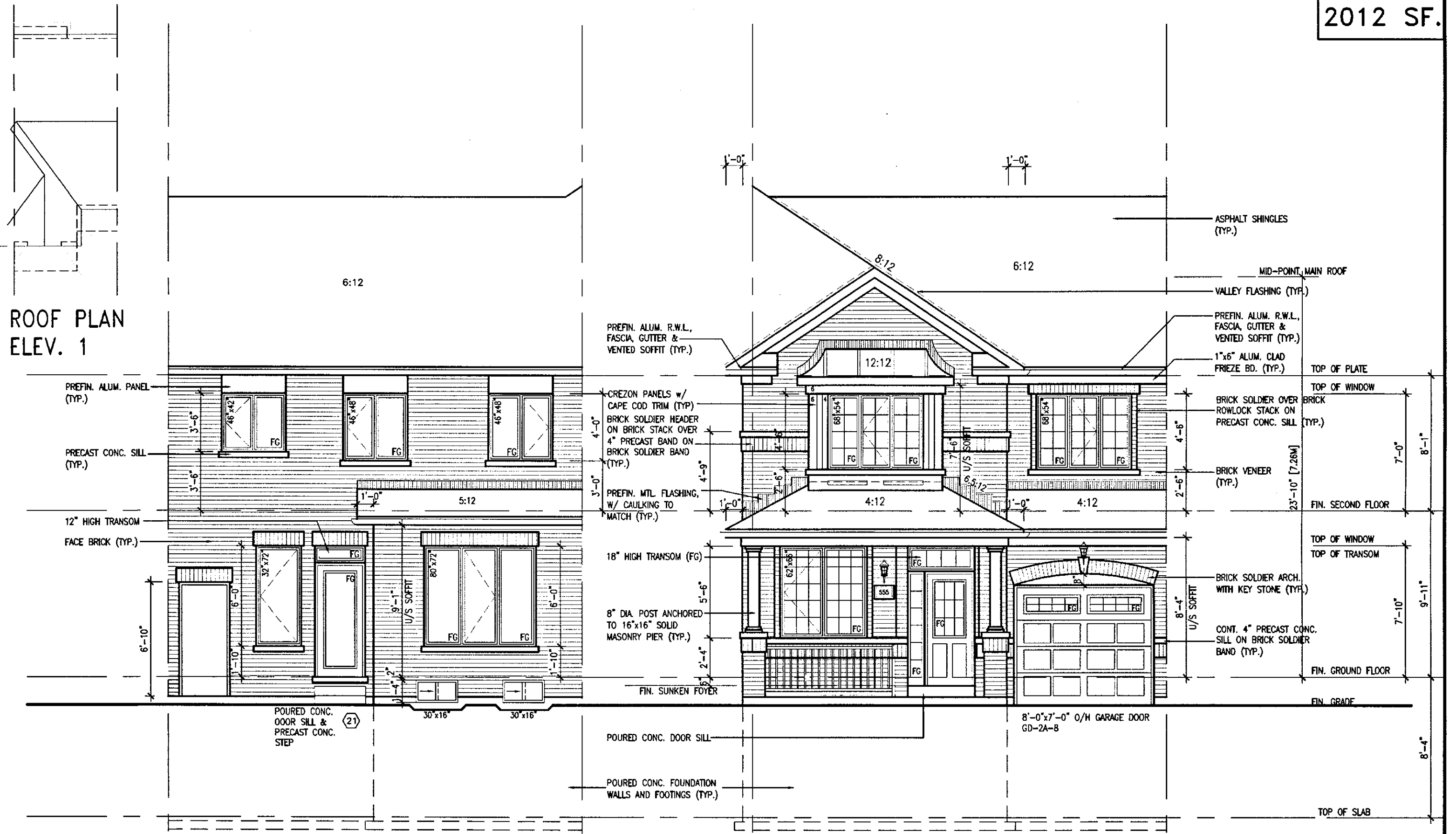
Greenpark.

HIGHGROVE 4

project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
project no.
16036
date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"
file name
16036-HIGHGROVE-4
drawing no.
A3b
16036-HIGHGROVE-4.dwg - Tr. - Feb 15 2018 - 11:58 AM

2012 SF.

ROOF PLAN ELEV. 1



REAR ELEVATION '1'

FRONT ELEVATION '1'

OCT 04 2017

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

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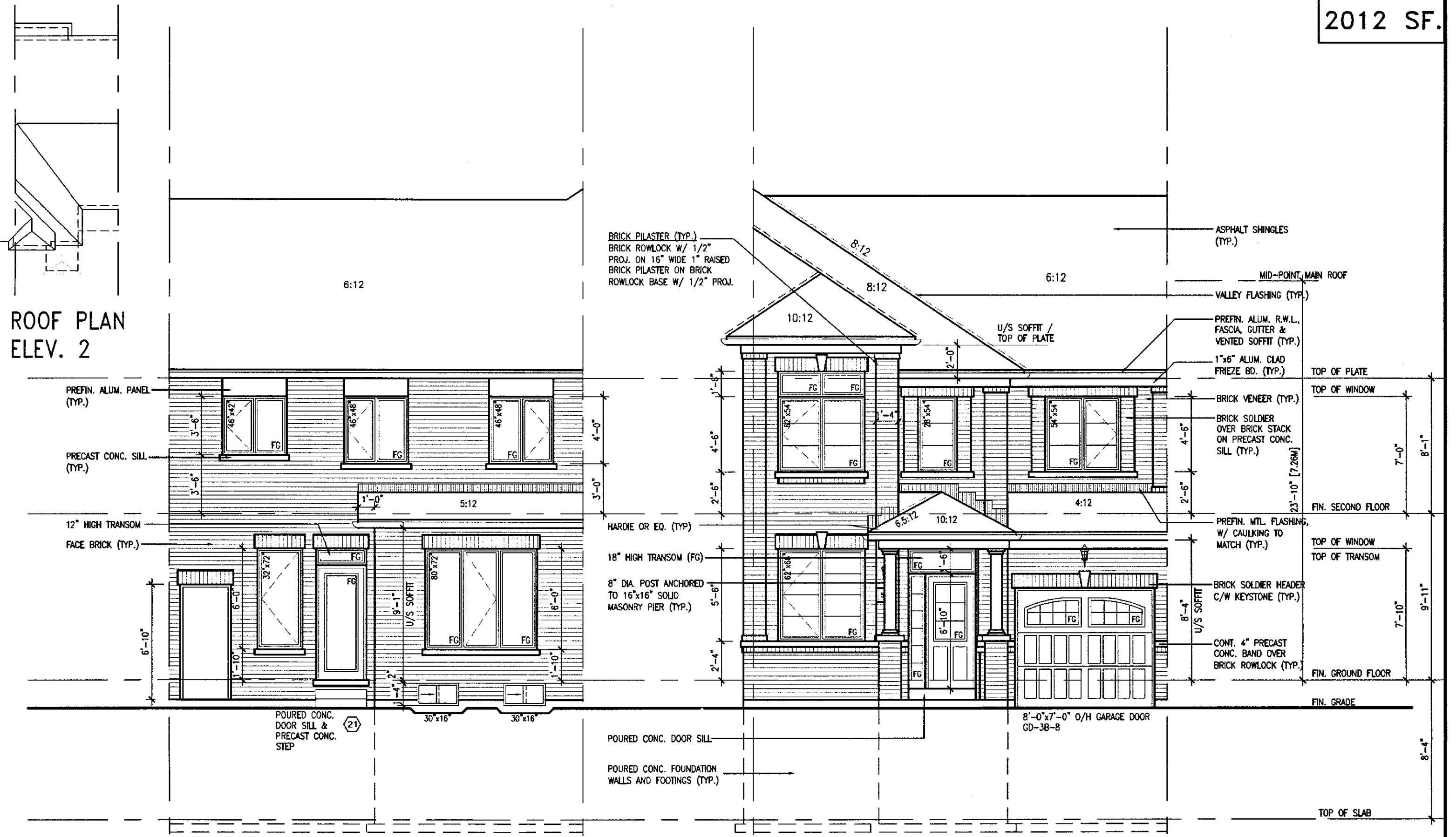
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18			9																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									</
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2012 SF.

ROOF PLAN
ELEV. 2



REAR ELEVATION '2'

FRONT ELEVATION '2'

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OCT 04 2017

HIGHGROVE 4
COMPLIANCE PACKAGE 'A1'

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VAS DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	Greenpark. project name RUSSELL GARDENS PH.2 date APRIL 2017 drawn by WT	municipality WATERDOWN, ON.	project no. 16036	drawing no. A4a
17			8								
16			7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW					
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW					
14			5	STUCCO REPLACED.	JUL 05/17	GW					
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT					
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 13/17	GW					
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW					
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW					
no.	description	date	by	no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

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PREFIN. ALUM. PANEL-
(TYP.)

PRECAST CONC. SILL -
(TYP.)

12" HIGH TRANSOM
FACE BRICK (TYP.)

FRONT ELEVATION '3'

OCT 04 2017

HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

HIGHGROVE 4

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18	-	-	9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	-	-	8	-	-	-	
16	-	-	7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW	qualification information
15	-	-	6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink
14	-	-	5	STUCCO REPLACED.	JUL. 05/17	GW	home
13	-	-	4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	signature
12	-	-	3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW	registration information
11	-	-	2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	VAS Design Inc.
10	-	-	1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by

	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
	qualification information	<i>R Vink</i>	2448
	Richard Vink	signature	BC
	name		
	registration information		
	VAS Design Inc.		4265
	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		
	Dimensions are not to be scaled		



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name **RUSSELL GARDENS PH.2** municipality **WATERDOWN, ON**

date **APRIL 2017**

drawn by **GW** checked by **GW** scale **3/16" = 1'-0"**

sheet **0502 - 110435 HUES WORKING 2010 10030 CREWELYS HIGH 2015 - HIGH 2015 - 4.110235 - HIGH 2015 - 4.081**

drawing no.

A4b

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6.12

FACE BRICK (TYP.)

FIN GRADE

30"x16"

30"x16" 1/2" 1/2"

TOP OF SLAB

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

project no.
16036

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17		-	8				
16		-	7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW	qualification information
15		-	6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink
14		-	5	STUCCO REPLACED.	JUL. 05/17	GW	name signature <i>R Vink</i> 2448
13		-	4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information
12		-	3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN. 13/17	GW	VAS Design Inc. 4265
11		-	2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
10		-	1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink *R Vink* 2443

name signature B

registration information

VA3 Design Inc. 4265

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Drawings.org.net/ta-hr-ss2012

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON

date	APRIL 2017	
drawn by	checked by	scale
WT	GW	3/16" = 1'-0"

UPGRADED REAR ELEVATION '1

file name

drawing no.

A5

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2012 SF.

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK SOLDIER
HEADER (TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM

FACE BRICK (TYP.)

POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP

UPGRADED REAR ELEVATION '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

OCT 04 2017

HIGHGROVE 4
COMPLIANCE PACKAGE 'A1'

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18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Greenpark. project name RUSSELL GARDENS PH.2 date APRIL 2017 drawn by WT checked by GW scale 3/16" = 1'-0"	municipality WATERDOWN, ON.	project no. 16036	drawing no. A5a
17			8			qualification information Richard Vink 24488 name signature registration information VA3 Design Inc. 42658					
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW					
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW					
14			5	STUCCO REPLACED.	JUL. 05/17	GW					
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT					
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW					
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW					
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2012 SF.



UPGRADED REAR ELEVATION '3'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

OCT 04 2017

HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

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18		-	-	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	-	8			
16		-	-	7 REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW	qualification information
15		-	-	6 ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink 2440
14		-	-	5 STUCCO REPLACED.	JUL. 05/17	GW	name signature B
13		-	-	4 REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	registration information YAS Design Inc. 4263
12		-	-	3 CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN 13/17	GW	
11		-	-	2 REVENDED PER CLIENT COMMENTS.	APR. 28/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
10	description	date	by	1 PRELIMINARY REVIEW.	APR. 12/17	GW	
				no description	date	by	

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t 416.630.2255 f 416.630.471
va3design.com

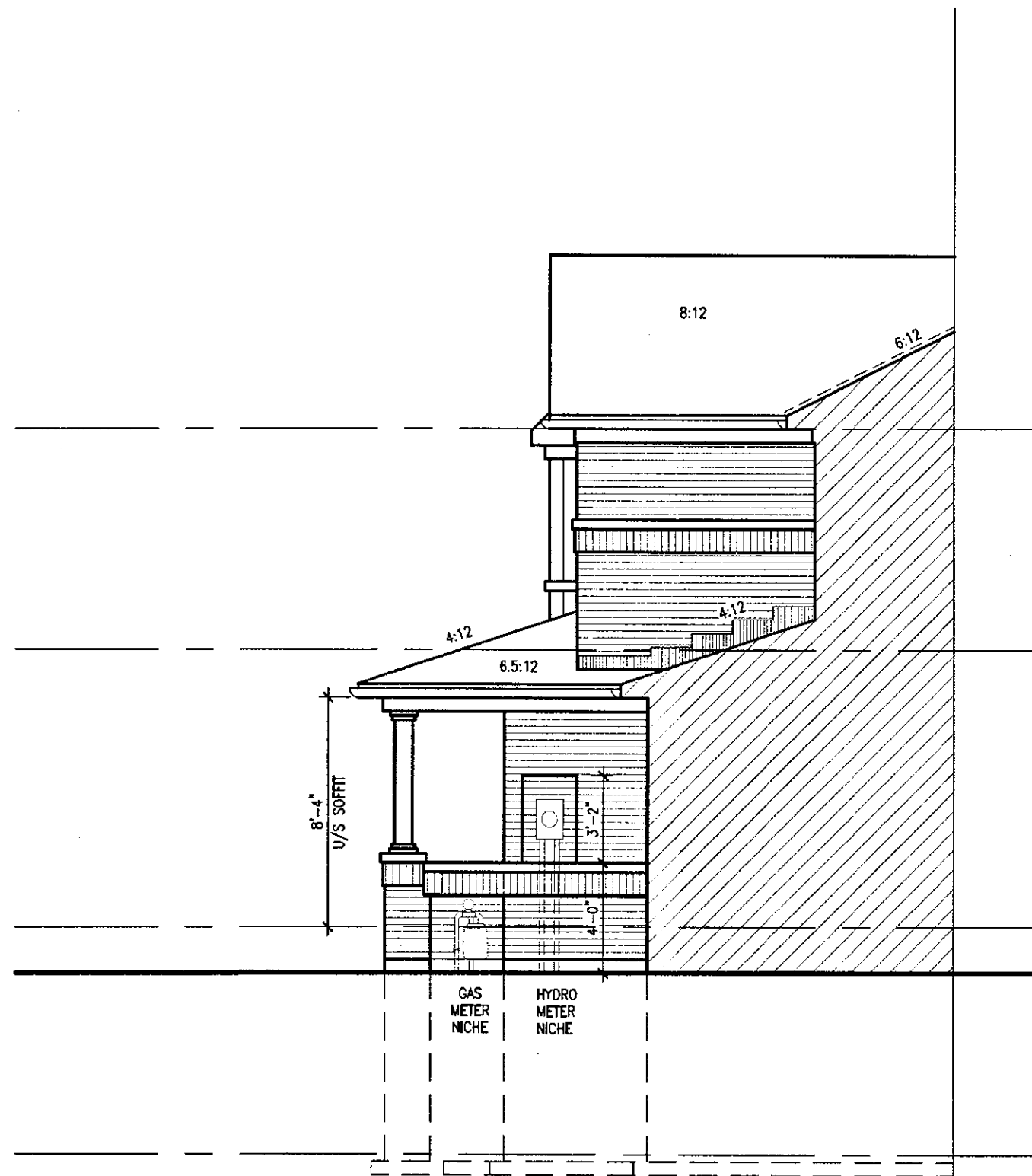
 Greenpark.

HIGHGROVE 4

project name RUSSELL GARDENS PH.2		municipality WATERDOWN, ON.		project no. 16036	
date APRIL 2017		description UPGRADED REAR ELEVATION '3'		drawing no. A5b	
drawn by WT		checked by GW		scale 3/16" = 1'-0"	
				file name 16036-HIGHROVE-4	

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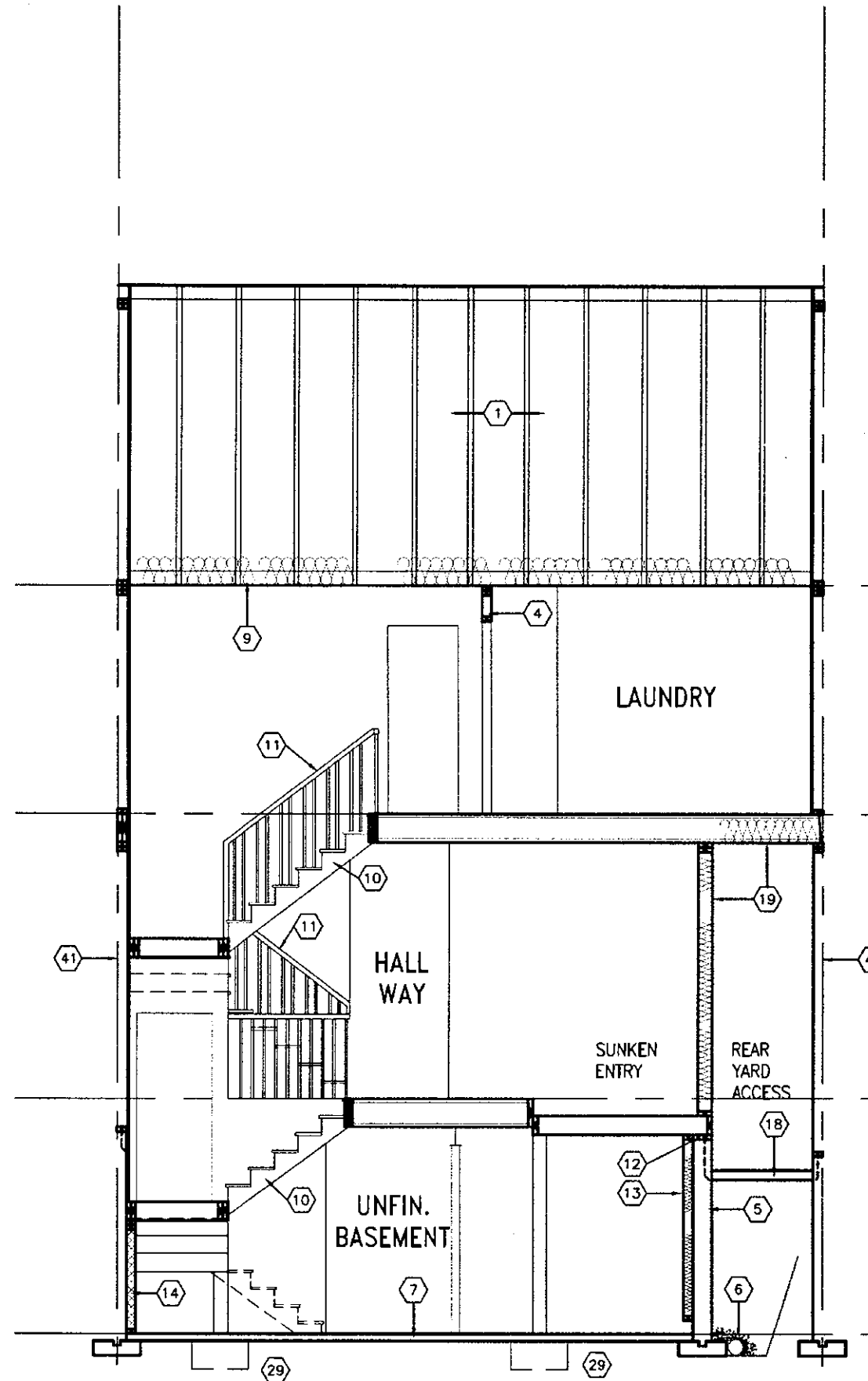
2012 SF.



SECTION B ELEV. 1



STRUDET INC.
FOR STRUCTURE ONLY



SECTION A-A ELEV. 1

APR 17 2018

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

18			9	REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW	qualification information
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	signature
14			5	STUCCO REPLACED.	JUL. 05/17	GW	24488
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	name
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW	registration information
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	VA3 Design Inc.
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW	42658
no. description		date	by	no. description			
				date			

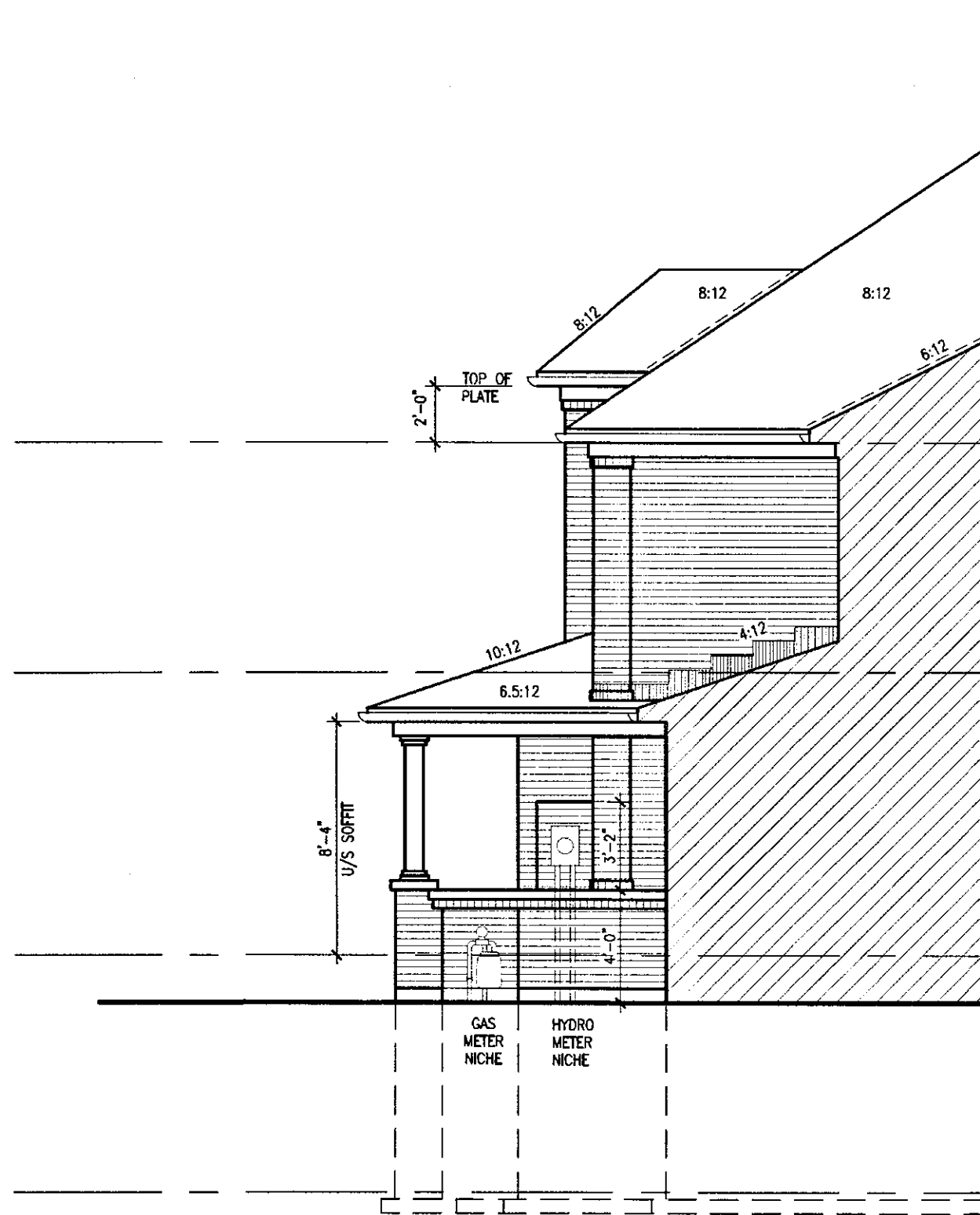
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 4
project no.
16036
drawing no.
A6
SECTION A-A ELEV. '1'

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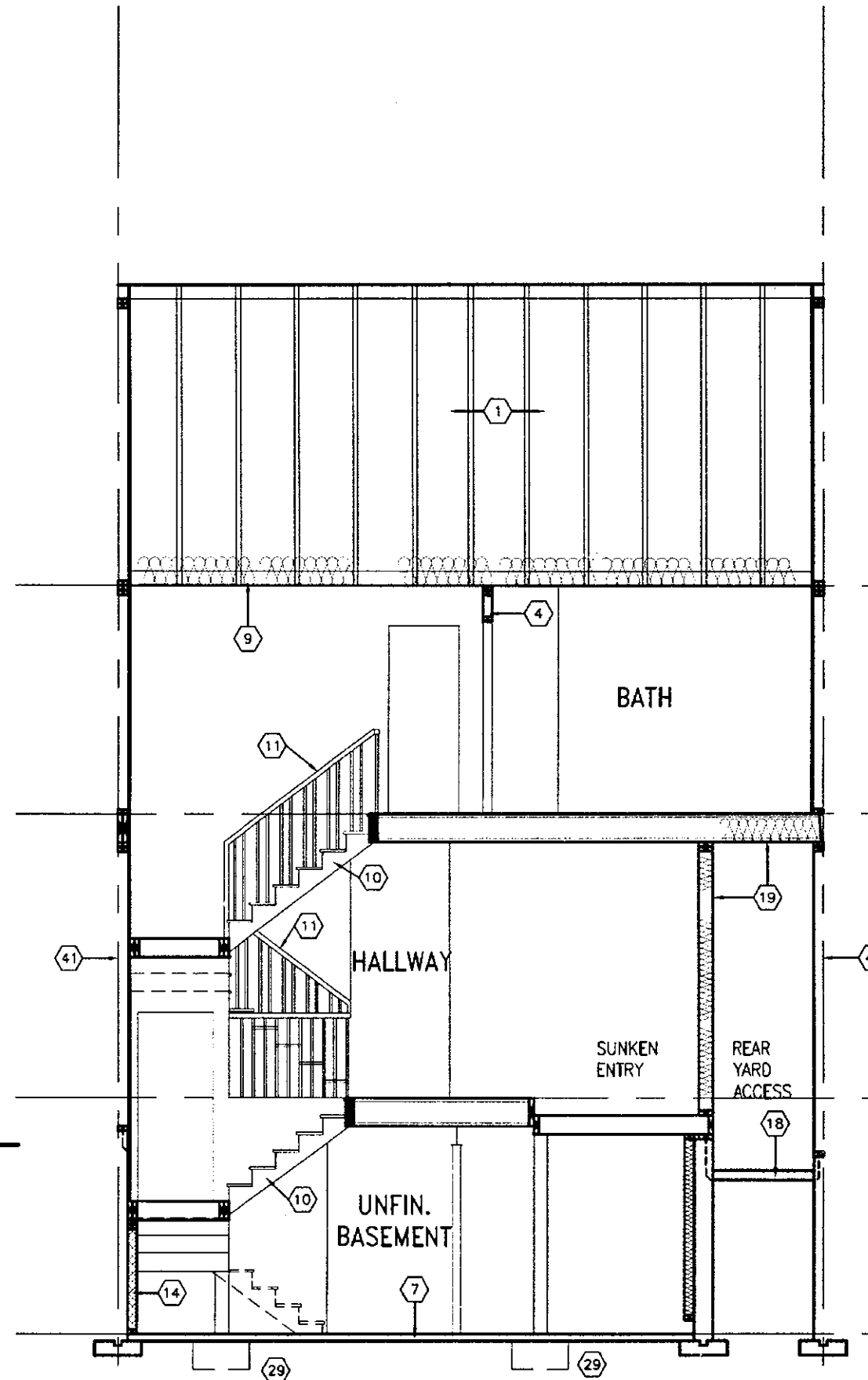
2012 SF.



SECTION B ELEV. 2



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SECTION A-A ELEV. 2

APR 17 2018

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

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18				9	REVISED.	APR. 13/18	GW	
17				8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW	
16				7	REVISED ISSUED FOR PERMIT.	SEP. 28/17	GW	
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW	
14				5	STUCCO REPLACED.	JUL. 05/17	GW	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description		date	by	no.	description	date	by

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qualification information
Richard Vink 24488
name
registration information
VA3 Design Inc. 42658

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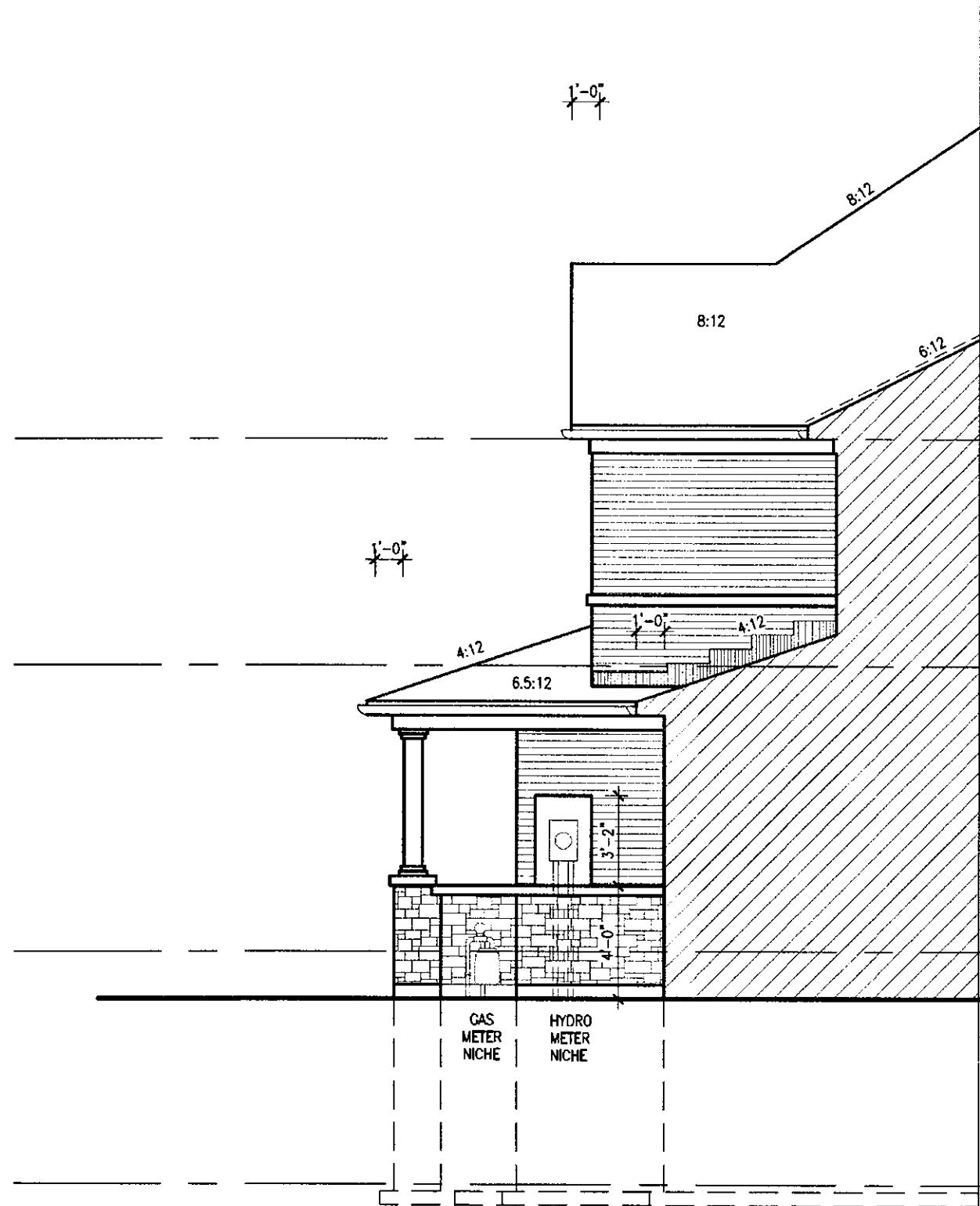
VA3
DESIGN
255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
Project name
RUSSELL GARDENS PH.2
Municipality
WATERDOWN, ON.
date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 4
project no.
16036
drawing no.
16036-HIGHGROVE-4
A6a

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2012 SF.



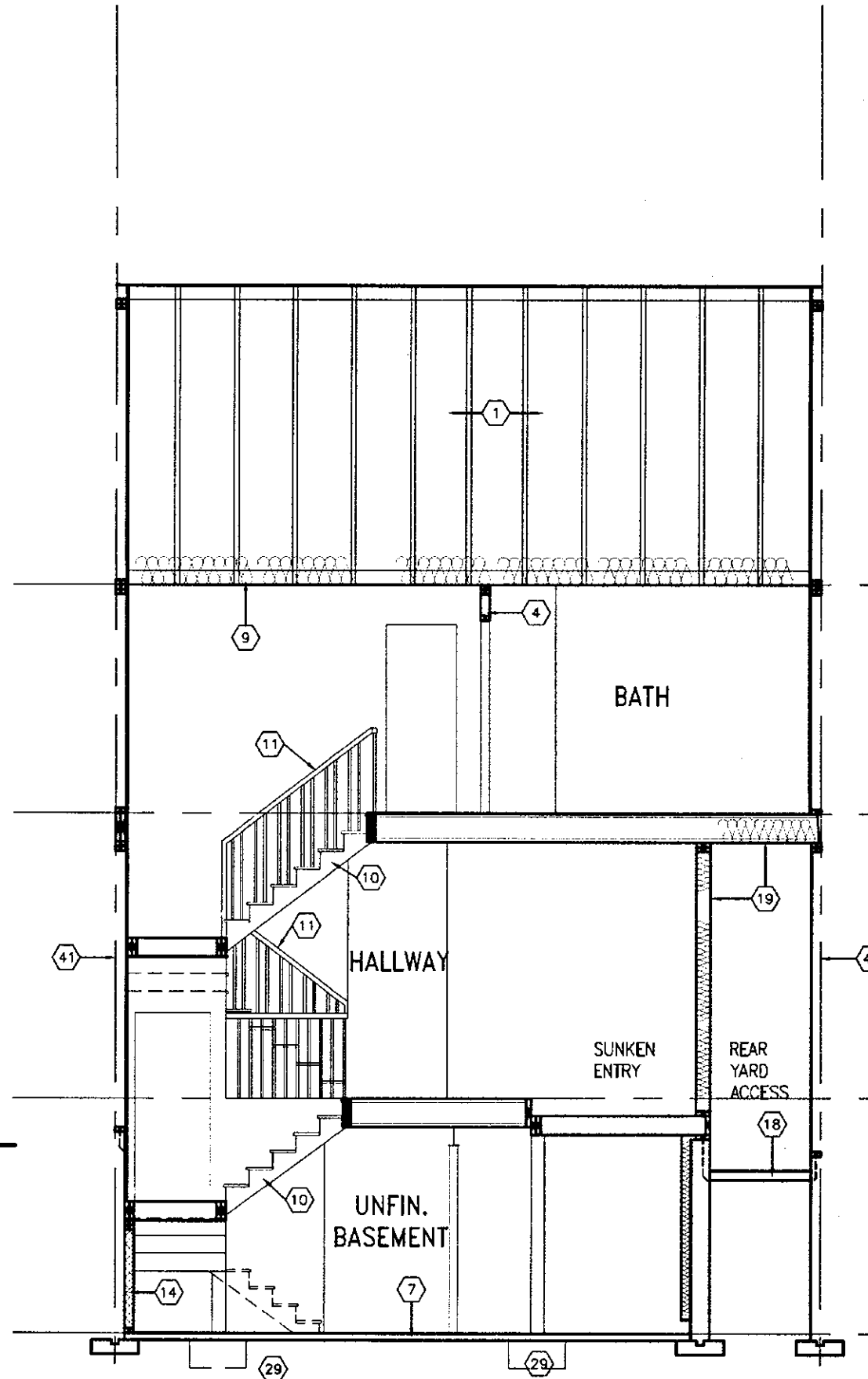
SECTION B ELEV. 3

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SECTION A-A ELEV. 3

APR 17 2018

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

18			9	REVISED.	APR. 13/18	GW	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information Richard Vink name registration information VA3 Design Inc. BCN 24488 signature 42658</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	<p>VA3 DESIGN</p> <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<p>Greenpark.</p> <p>project name RUSSELL GARDENS PH.2 date APRIL 2017 drawn by WT checked by GW scale 3/16" = 1'-0"</p>	<p>HIGHGROVE 4</p> <p>municipality WATERDOWN, ON. project no. 16036 drawing no. 16036-HIGHGROVE-4</p> <p>A6b</p>
17			8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW				
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW				
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW				
14			5	STUCCO REPLACED.	JUL. 05/17	GW				
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT				
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW				
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW				
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW				
no.	description	date	by	no.	description	date				

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WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6) FOR ADDITIONAL WOOD DECK INFORMATION.

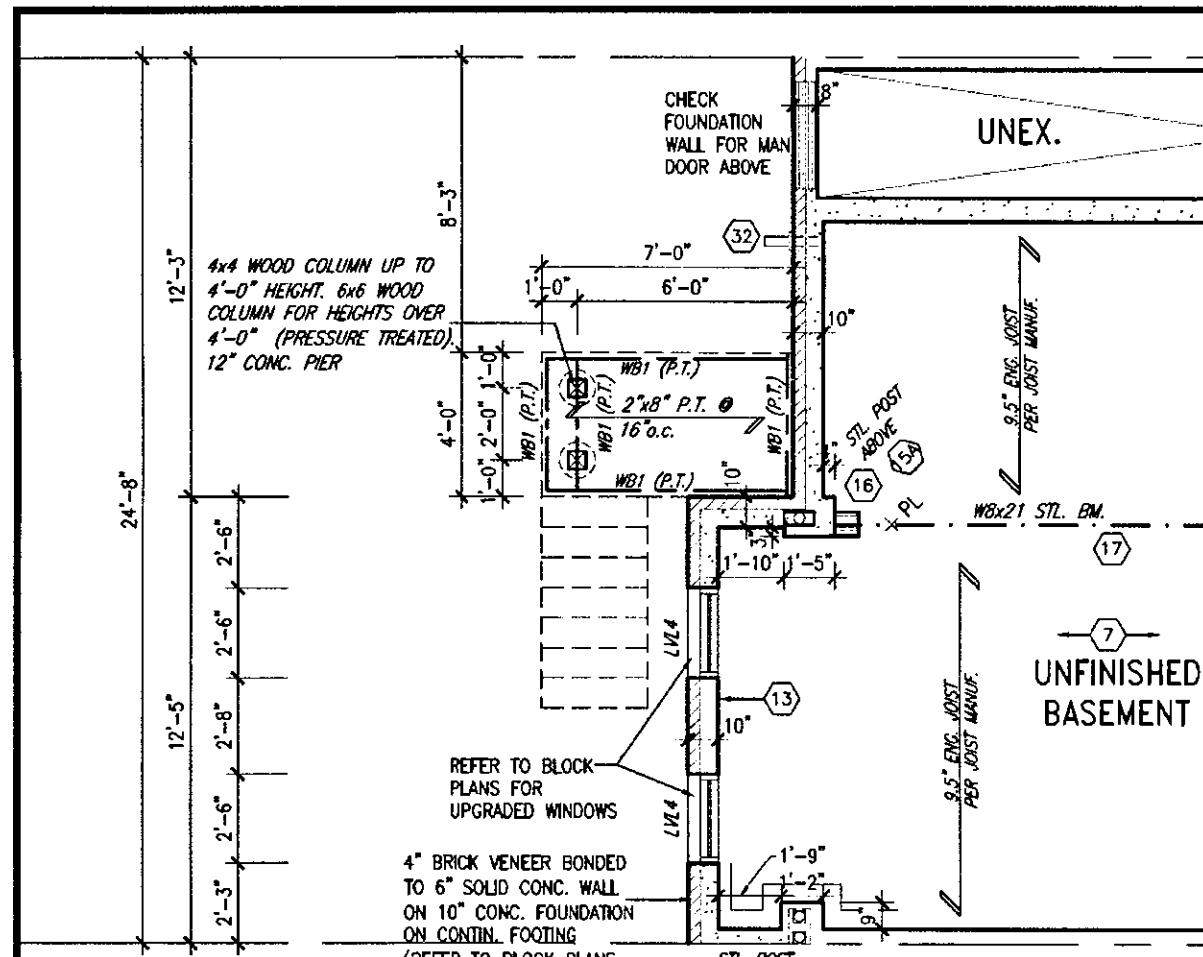
NOTE:
REFER TO STANDARD DRAWINGS FOR ADDITIONAL INFORMATION.



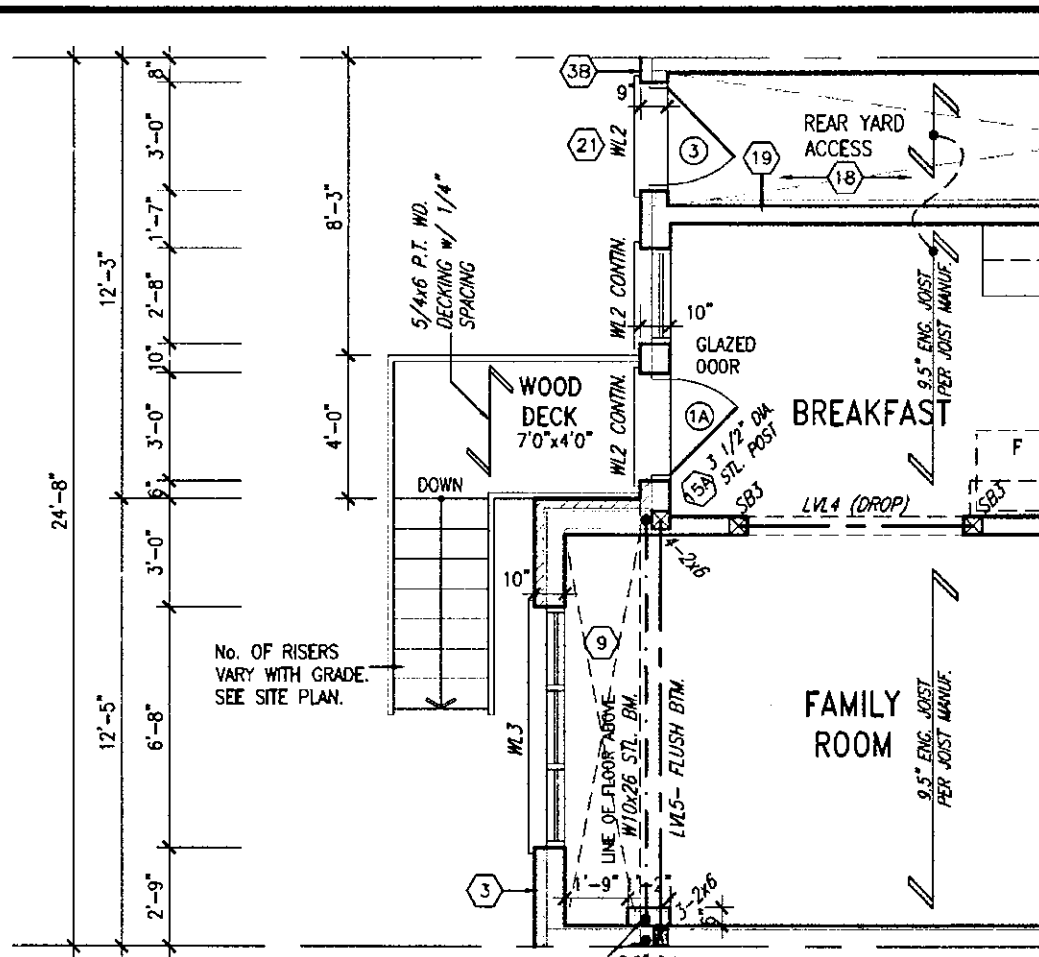
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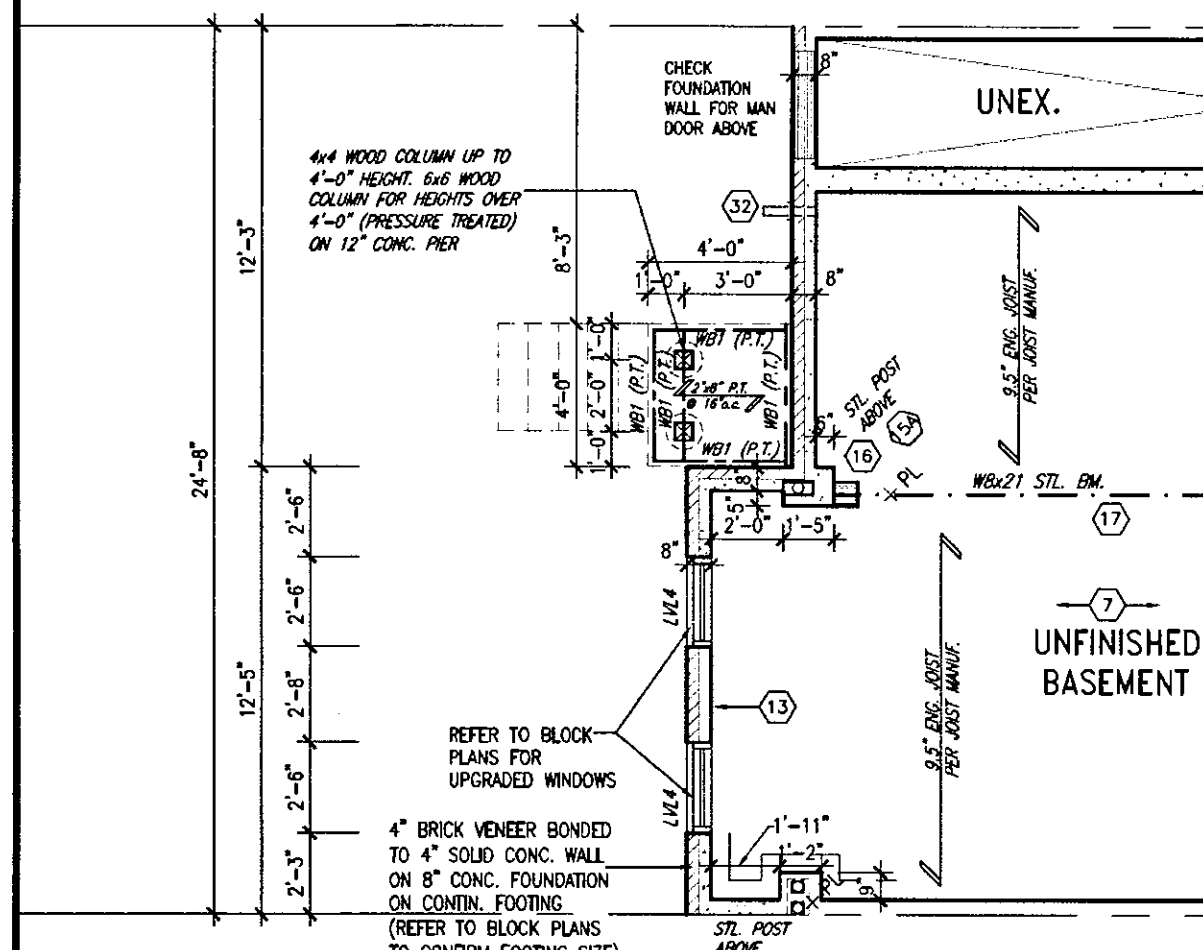
HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'



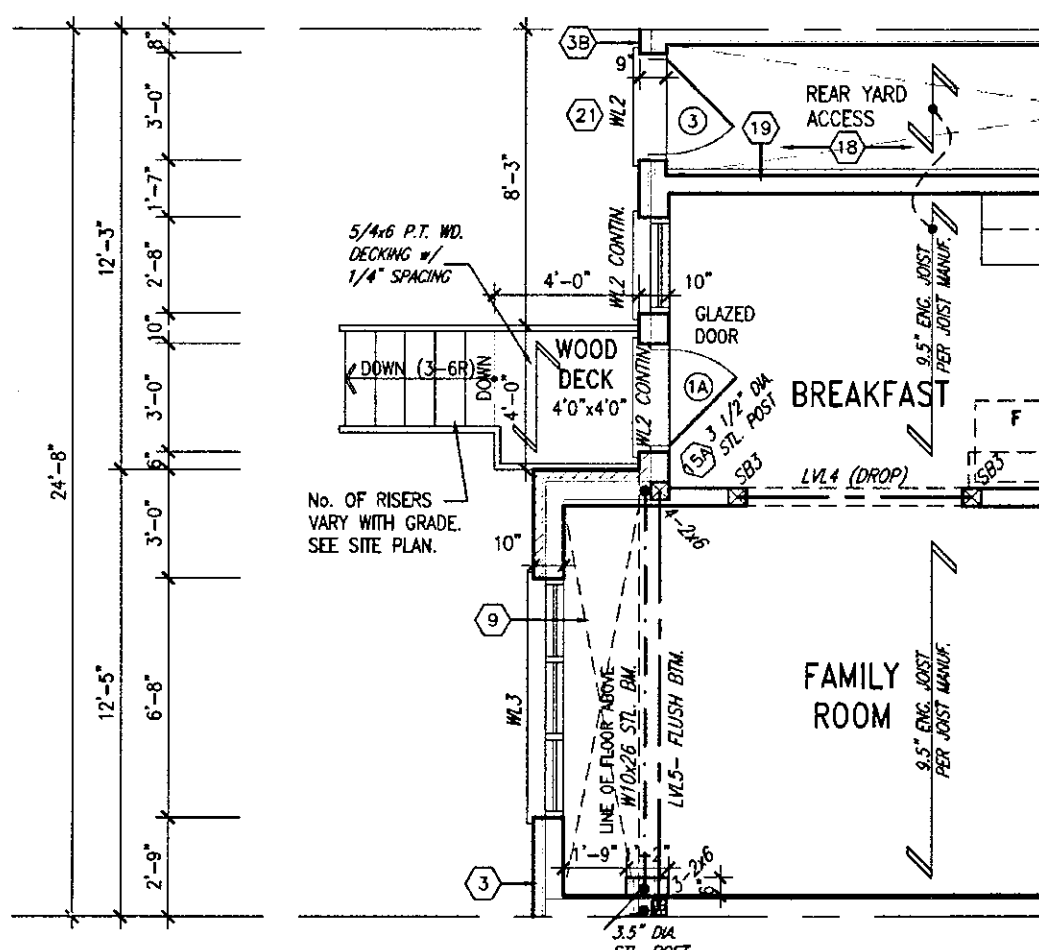
PART. BASEMENT PLAN W.O.D
CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)



PART. BASEMENT PLAN W.O.D
CONDITION (4R TO 7R)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (4R TO 7R)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

18	REVISED.	APR. 13/18	GW
17	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW
16	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
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14	STUCCO REPLACED.	JUL. 05/17	GW
13	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW
11	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10	ISSUED FOR CLIENT PRELIMINARY REVIEW		
no.	description	date	by

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qualification information
Richard Vink 24488
signature
no. registration information
VA3 Design Inc. 42658
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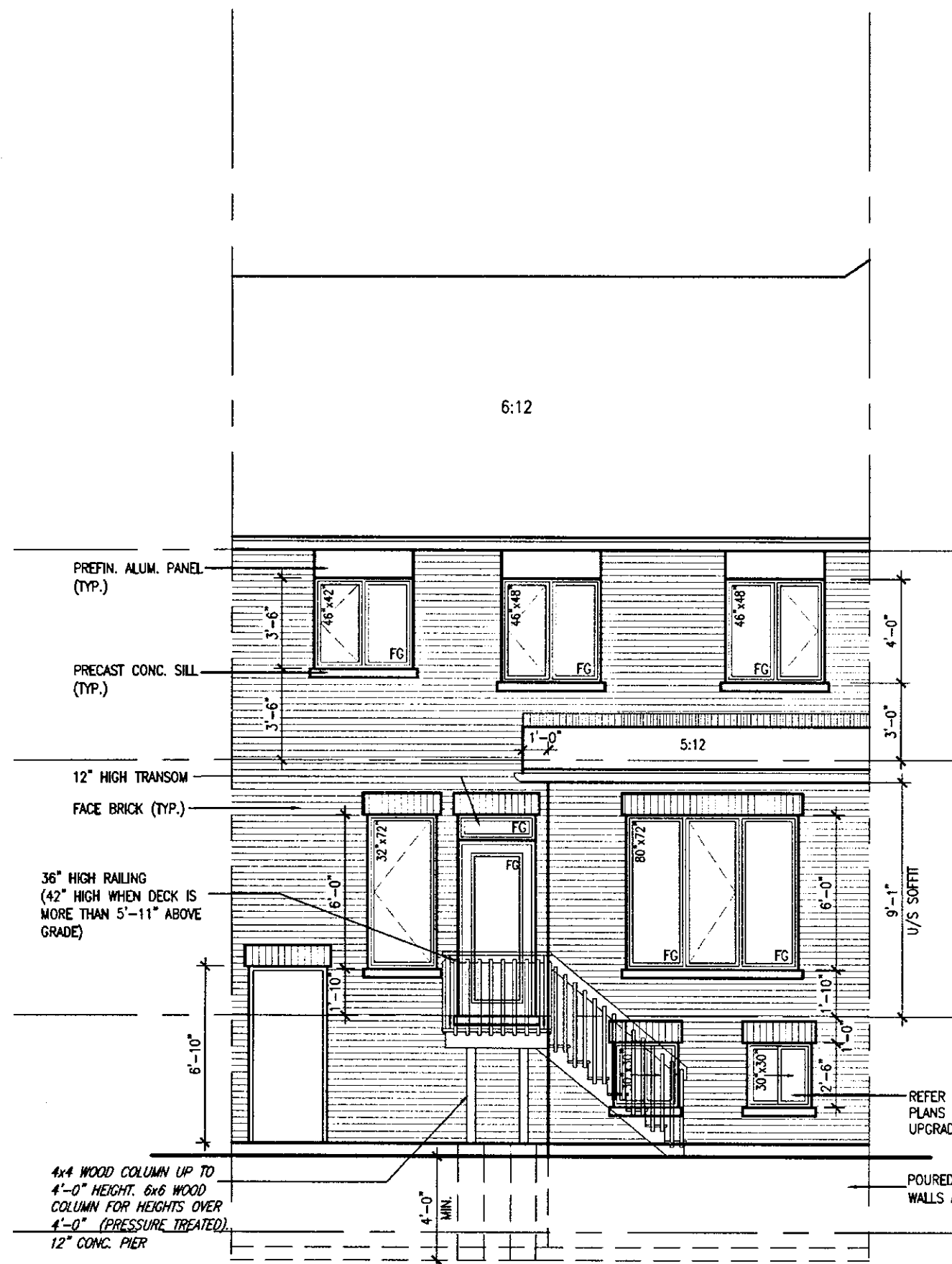
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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

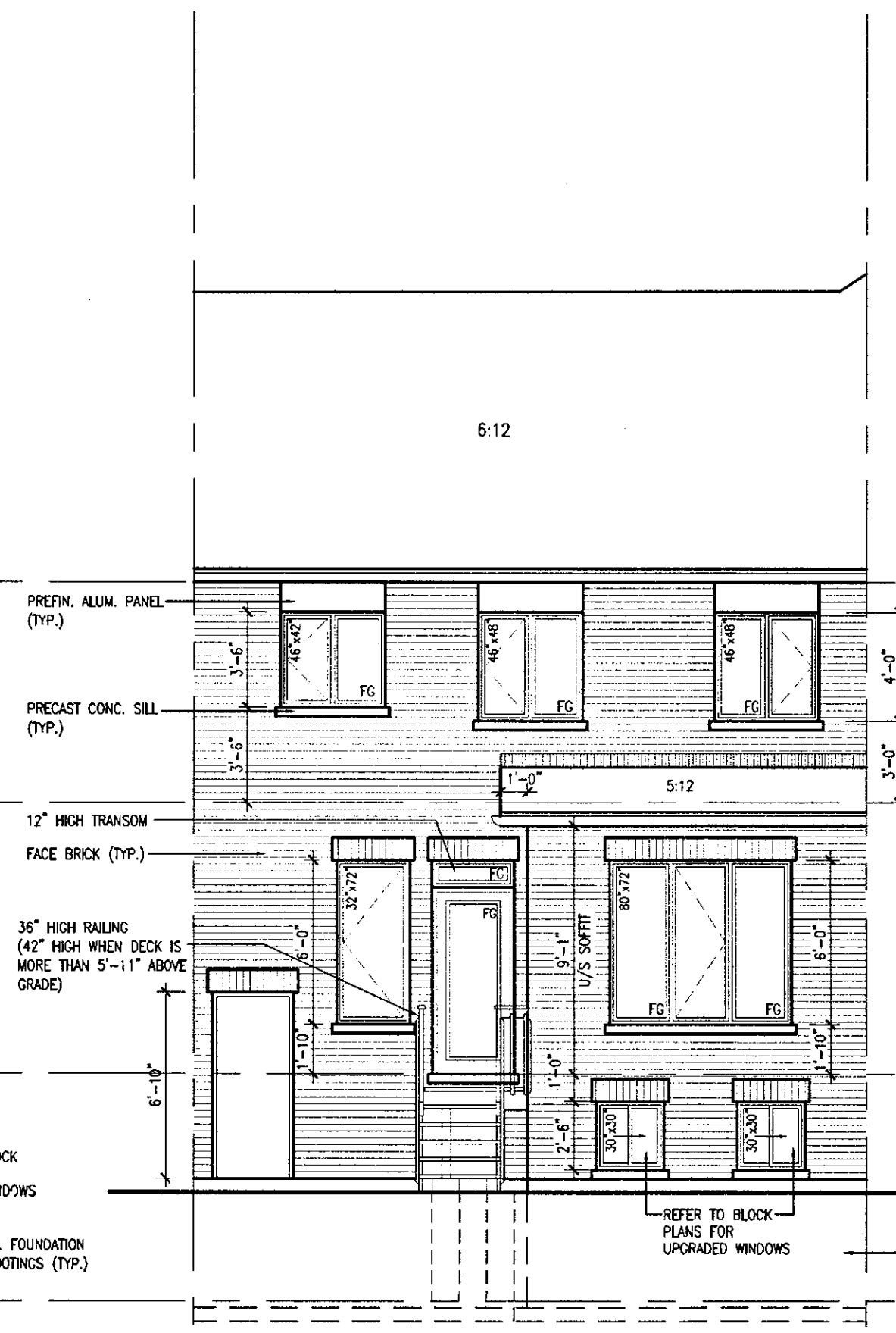
HIGHGROVE 4
project no.
16036
municipality
WATERDOWN, ON.
PARTIAL PLANS- DECK CONDITION
file name
16036-HIGHGROVE-4
drawing no.
A7

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REAR ELEVATION '1/2/3'
DECK CONDITION (8R OR MORE)



REAR ELEVATION '1/2/3'
DECK CONDITION (4R TO 7R MAX)

APR 17 2018

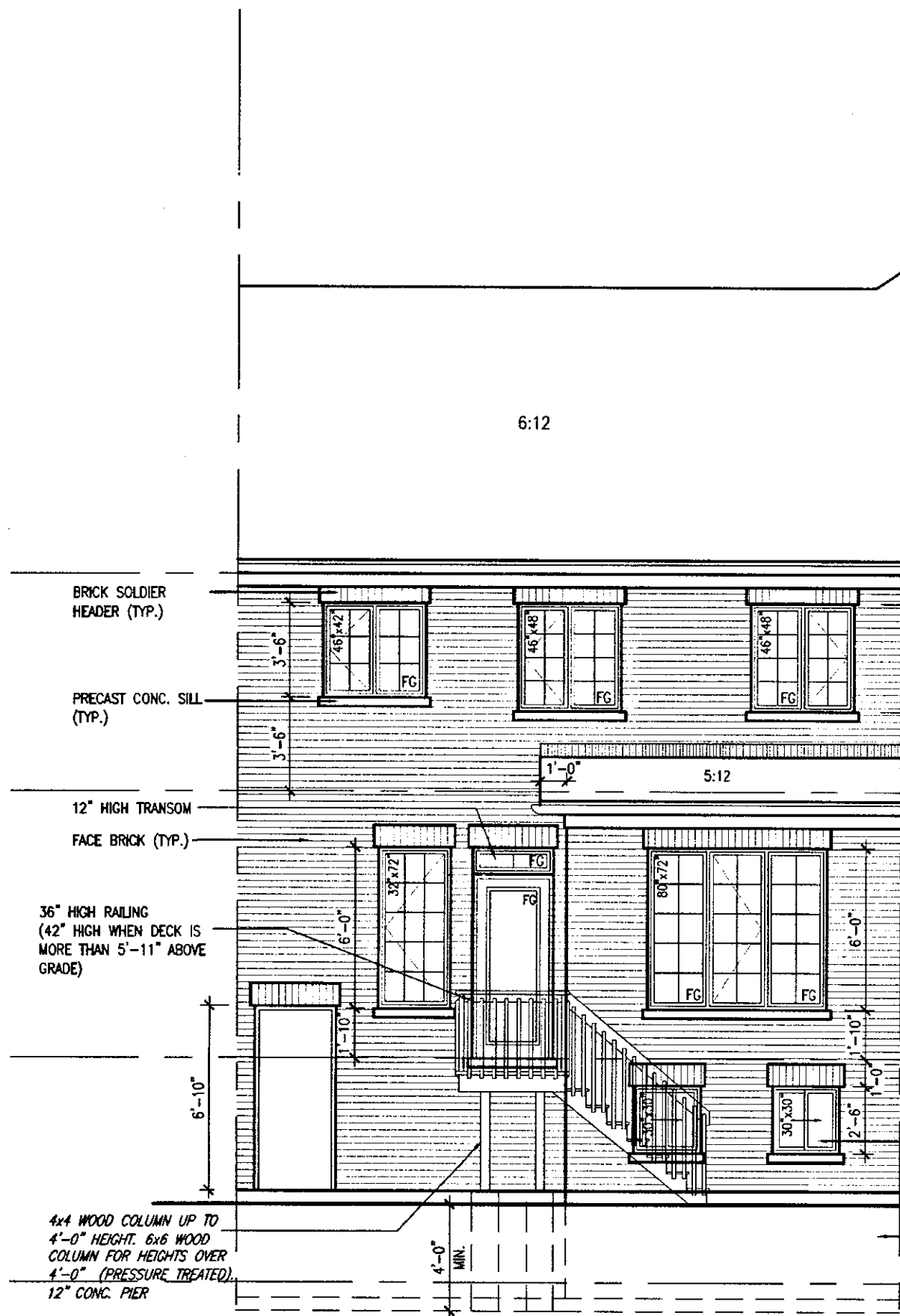
HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

18			9	REVISED.	APR. 13/18	GW	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div><p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p></div> <div><p>project name RUSSELL GARDENS PH.2</p><p>project no. 16036</p></div> <div><p>date APRIL 2017</p><p>drawing no. A8</p></div>
17			8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW	
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	
14			5	STUCCO REPLACED.	JUL 05/17	GW	
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 13/17	GW	
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10			1	ISSUED FOR CLIENT PRELIMINARY REVIEW			
no.	description	date	by	no.	description	date	

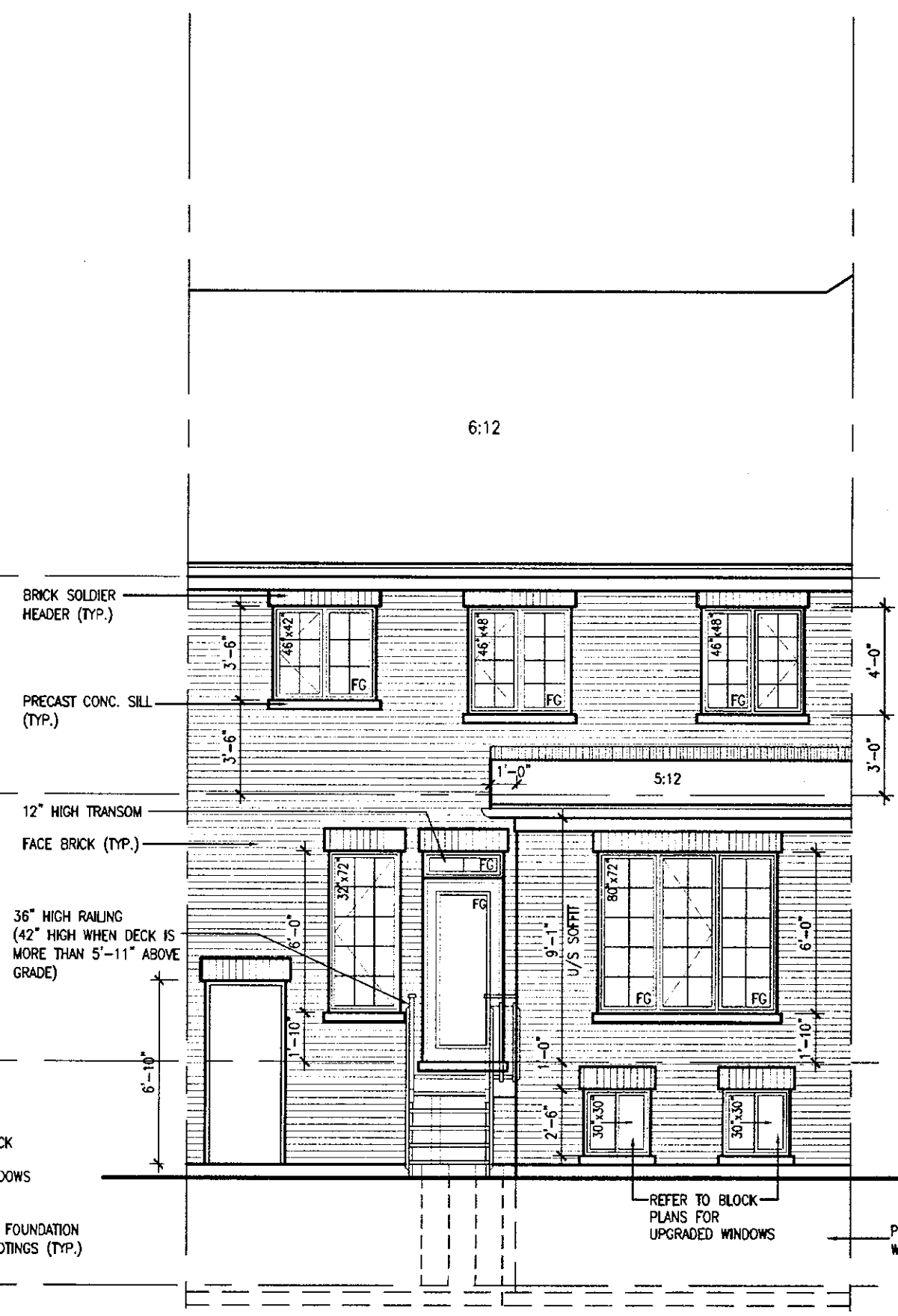
2012 SF.

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UPGRADED REAR ELEVATION '1'
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '1'
DECK CONDITION (4R TO 7R MAX)

APR 17 2018

HIGHGROVE 4
COMPLIANCE PACKAGE 'A1'

18				9	REVISED.	APR. 13/18	GW
17				8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW
16				7	REVISED ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 13/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	ISSUED FOR CLIENT PRELIMINARY REVIEW		
no.	description	date	by	no.	description	date	by

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qualification information
Richard Vink
signature
24488
BCN
name
registration information
VA3 Design Inc.
42658

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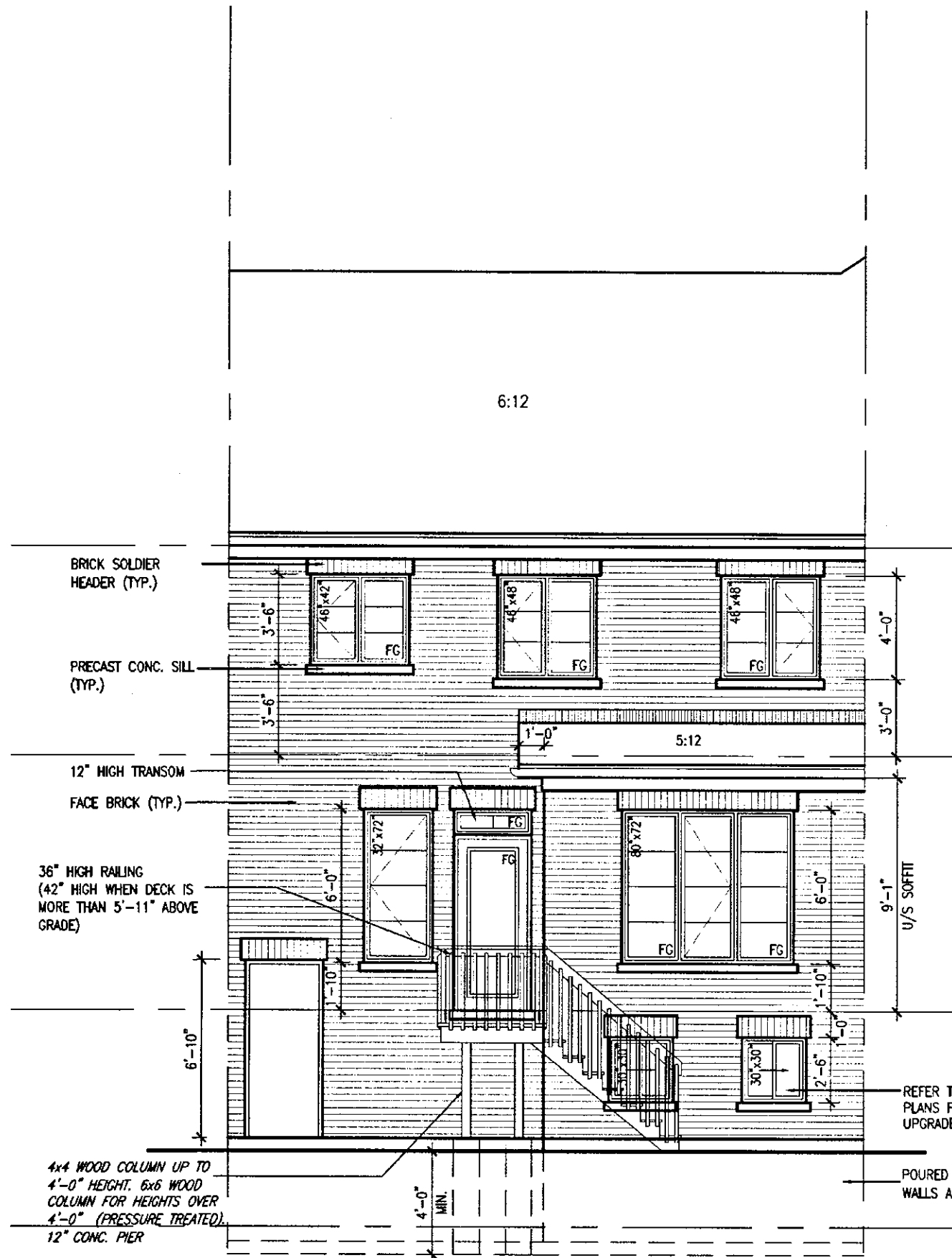
Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 4
project no.
16036
drawing no.
A9

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UPGRADED REAR ELEVATION '2'
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '2'
DECK CONDITION (4R TO 7R MAX)

APR 17 2018

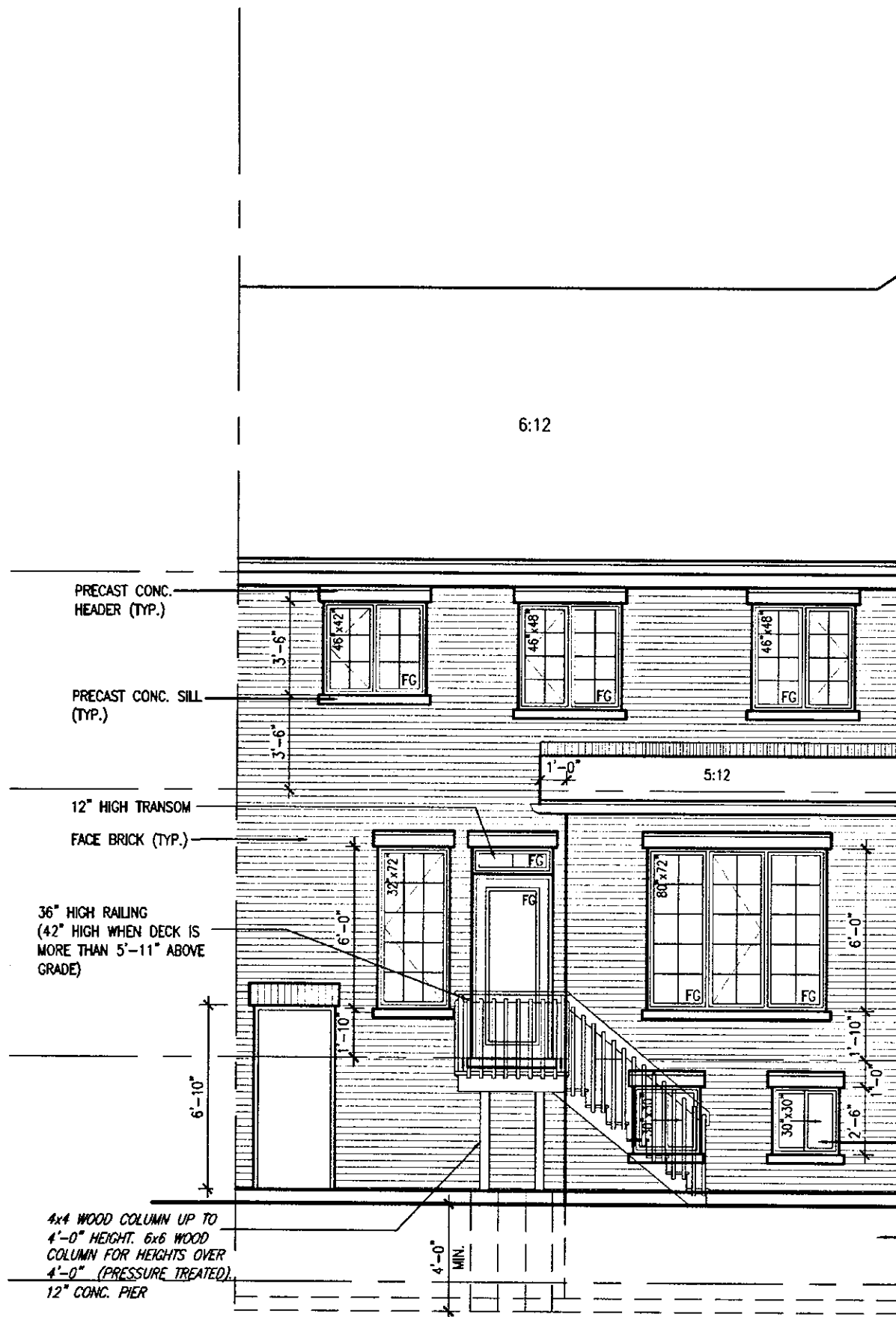
HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

<p>18</p> <p>17</p> <p>16</p> <p>15</p> <p>14</p> <p>13</p> <p>12</p> <p>11</p> <p>10</p> <p>no. description</p>	<p>9 REVISED.</p> <p>8 REVISED PER CITY COMMENTS. REISSUED.</p> <p>7 REVISED. ISSUED FOR PERMIT.</p> <p>6 ISSUED FOR PRICING.</p> <p>5 STUCCO REPLACED.</p> <p>4 REVISED AS PER CLIENT COMMENTS.</p> <p>3 CHANGED JOIST DEPTH/ FLOOR HEIGHTS</p> <p>2 REVISED PER CLIENT COMMENTS.</p> <p>1 ISSUED FOR CLIENT PRELIMINARY REVIEW</p> <p>no. description</p>	<p>APR. 13/18 GW</p> <p>FEB. 15/18 GW</p> <p>SEP. 28/17 GW</p> <p>AUG. 23/17 GW</p> <p>JUL. 05/17 GW</p> <p>JUN. 21/17 WT</p> <p>JUN. 13/17 GW</p> <p>APR. 28/17 GW</p> <p>date by</p>	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488 BCP</p> <p>signature</p> <p>VA3 Design Inc. 42658</p> <p>255 Consumers Rd Suite 120</p> <p>Toronto ON M2J 1R4</p> <p>t 416.630.2255 f 416.630.4782</p> <p>va3design.com</p>	<p>VA3</p> <p>DESIGN</p>	<p>Greenpark.</p> <p>project name</p> <p>RUSSELL GARDENS PH.2</p> <p>municipality</p> <p>WATERDOWN, ON.</p> <p>date</p> <p>APRIL 2017</p> <p>drawn by</p> <p>WT</p> <p>checked by</p> <p>GW</p> <p>scale</p> <p>3/16" = 1'-0"</p> <p>16036-HIGHGROVE-4</p>	<p>HIGHGROVE 4</p> <p>project no.</p> <p>16036</p> <p>drawing no.</p> <p>A9a</p>
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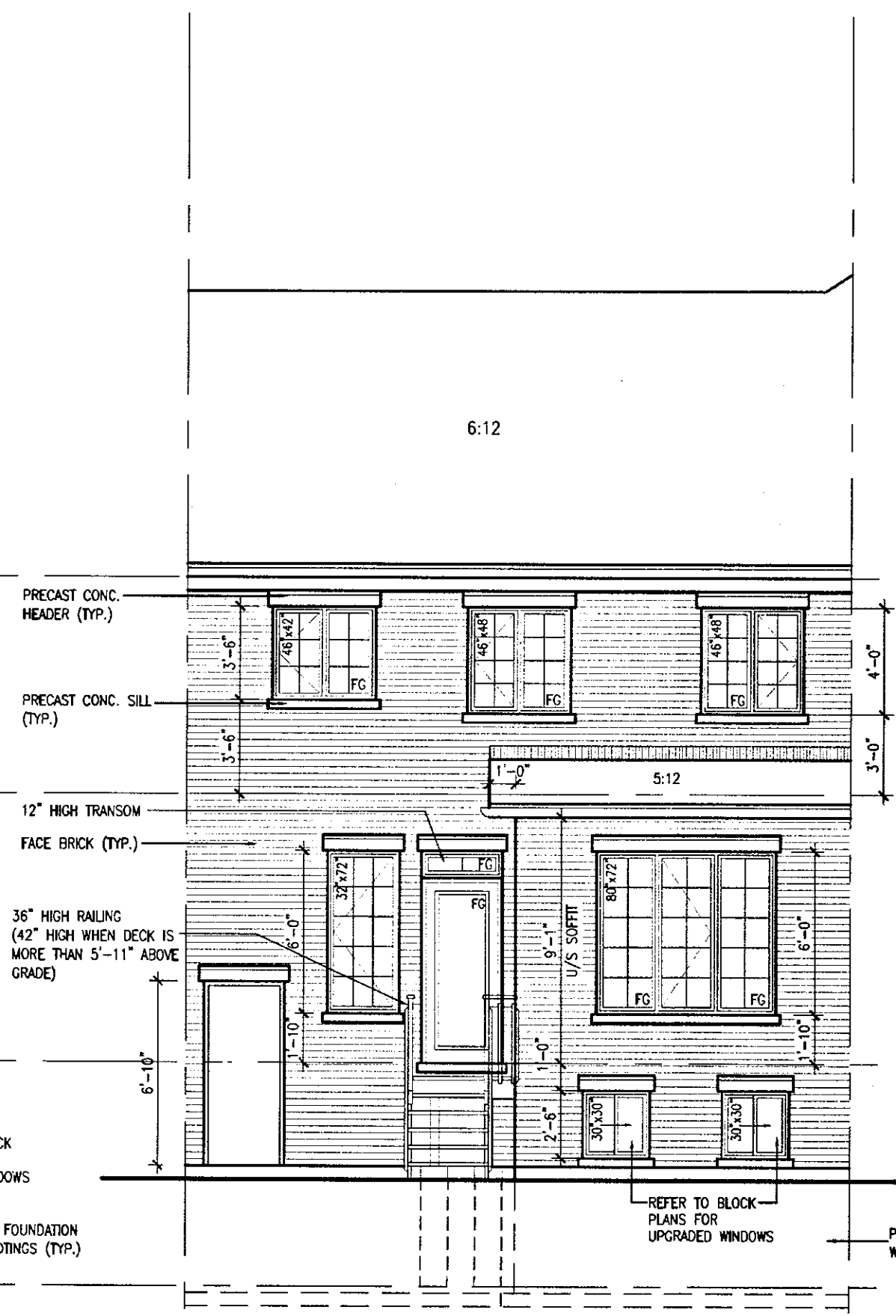
2012 SF.

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UPGRADED REAR ELEVATION '3'
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '3'
DECK CONDITION (4R TO 7R MAX)

APR 17 2018

HIGHGROVE 4 COMPLIANCE PACKAGE 'A1'

18			9	REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW	qualification information
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	signature
14			5	STUCCO REPLACED.	JUL. 05/17	GW	24488
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	BCN
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 13/17	GW	42658
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10			1	ISSUED FOR CLIENT PRELIMINARY REVIEW			
no.	description	date	by	no.	description	date	by

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Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

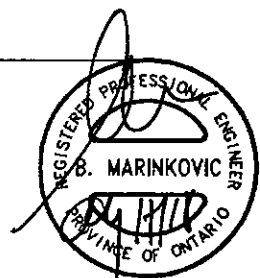
Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
WT
checked by
CW
scale
3/16" = 1'-0"
municipality
WATERDOWN, ON.
project no.
16036
drawing no.
16036-HIGHGROVE-4

HIGHGROVE 4
drawing no.
A9b

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NOTE:
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INFORMATION.

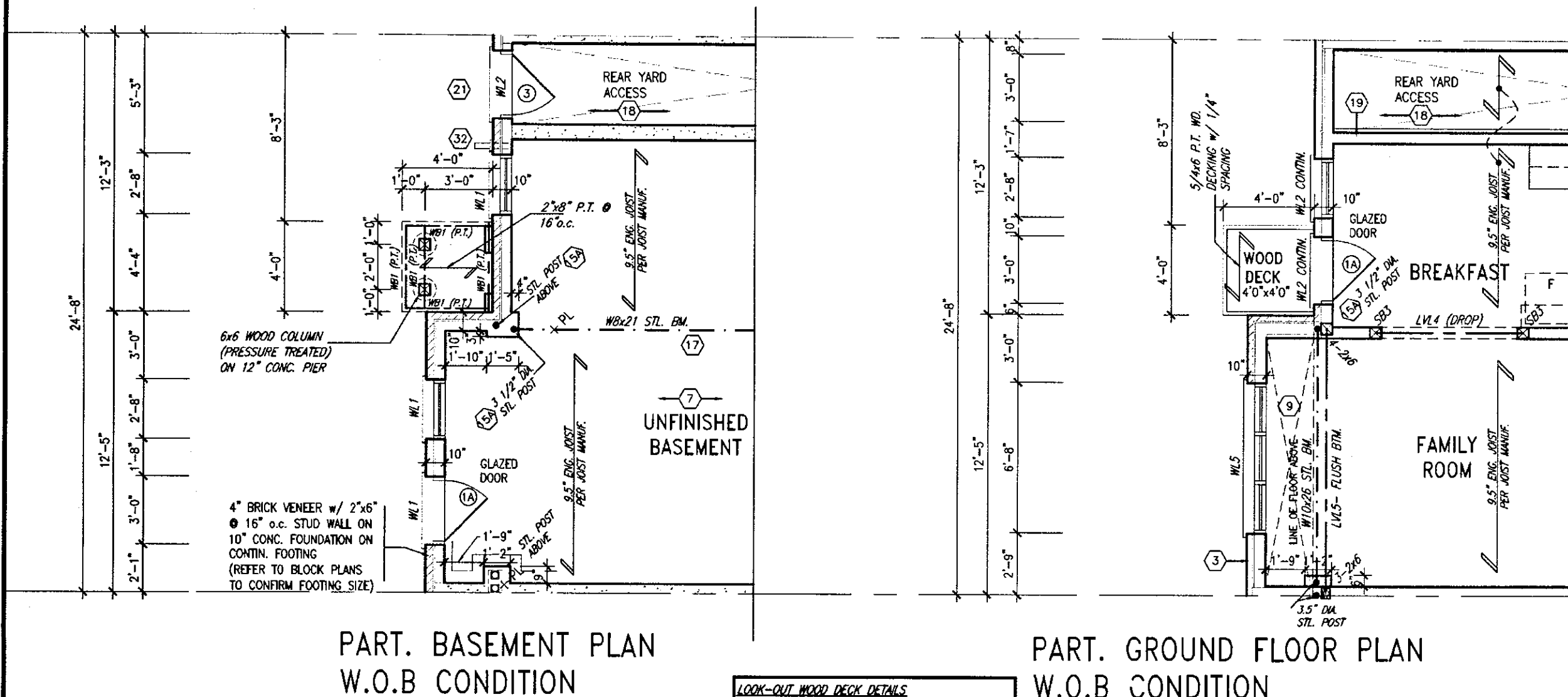


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HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2)
FOR ADDITIONAL WOOD DECK INFORMATION.

18				9	REVISED.	APR. 13/18	GW
17				8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN. 23/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	ISSUED FOR CLIENT PRELIMINARY REVIEW		
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	2448
name	signature
registration information	BC
VAS Design Inc.	4265

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Dimensions only to be signed.


Greenpark.

HIGHGROVE 4

project name RUSSELL GARDENS PH.2		municipality WATERDOWN, ON.		project no. 16036			
date APRIL 2017		PARTIAL PLANS- WOB CONDITION				drawing no. A10	
drawn by WT		checked by GW		scale 3/16" = 1'-0"		file name 16036-HIGHGROVE-4	

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



OCT 04 2017

HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

18				9			
17				8			
16				7	REVISED, ISSUED FOR PERMIT.	SEP 28/17	G
15				6	ISSUED FOR PRICING.	AUG 23/17	G
14				5	STUCCO REPLACED.	JUL 05/17	G
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	W
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	G
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	G
10				1	ISSUED FOR CLIENT PRELIMINARY REVIEW		
no.	description	date	by	no.	description	date	b

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

W	Richard Vink	<i>R Vink</i>	244
W	name	signature	6
IT	registration information		
W	YA3 Design Inc.		426
W	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		

**VA3
DESIGN**

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vo3design.com

Greenpark

project name	municipality
RUSSELL GARDENS PH.2	WATERDOWN, ONT

date	APRIL 2017		REA
drawn by	checked by	scale	
WT	GW	3/16" = 1'-0"	

HIGHGROVE 4

municipality	project no.
WN, ON.	16036

REAR ELEVATION - WOB CONDITIO

WOB CONDITION	A11
file name	
16036-HIGHGROVE-4	

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BRICK SOLDIER
HEADER (TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM

FACE BRICK (TYP.)

42" HIGH RAILING

6x6 WOOD COLUMN
(PRESSURE TREATED,
ON 12" CONC. PIER

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

OCT 04 2017

HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

18		-	-	9				<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div><div>Richard Vink</div><div><i>R Vink</i></div><div>signature</div><div>BCN</div><div>24488</div></div> <div>name registration information</div> <div>VA3 Design Inc.,</div> <div>42658</div>	<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120</div><div>Toronto, ON M2J 1A1</div><div>t 416.630.2255 f 416.630.4782</div><div>va3design.com</div></div>	<div><div>Greenpark.</div><div>HIGHGROVE 4</div><div>-</div><div>project name</div><div>RUSSELL GARDENS PH.2</div><div>municipality</div><div>WATERDOWN, ON.</div><div>project</div><div>16035-HIGHGROVE-4</div><div>drawing no.</div><div>A111</div></div>
17		-	-	8						
16		-	-	7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW			
15		-	-	6	ISSUED FOR PRICING.	AUG. 23/17	GW			
14		-	-	5	STUCCO REPLACED.	JUL 05/17	GW			
13		-	-	4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT			
12		-	-	3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN 13/17	GW			
11		-	-	2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW			
10		-	-	1	ISSUED FOR CLIENT PRELIMINARY REVIEW					
no.	description	date	bw	no.	description	date	bw			

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UPGRADED REAR ELEVATION '3'
WOB CONDITION

OCT 04 2017

HIGHGROVE 4

COMPLIANCE PACKAGE 'A1'

18			9			<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com</div></div>	<div><div></div><div>HIGHGROVE 4</div></div>	<div>project name RUSSELL GARDENS PH.2</div> <div>municipality WATERDOWN, ON.</div> <div>project no. 1603</div>		
17		8								
16		7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW					
15		6	ISSUED FOR PRICING.	AUG. 23/17	GW				Richard Vink	24488
14		5	STUCCO REPLACED.	JUL 05/17	GW				name	signature
13		4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT				registration information	VA3 Design Inc.
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 13/17	GW					
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW					
10		1	ISSUED FOR CLIENT PRELIMINARY REVIEW							
no. description		date	by	no. description	date	dx				

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date APRIL 2017

checked by GW

scale 3/16" = 1'-0"

file name 1603S-HIGHGROVE-4

drawing no. A111

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