

1902 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8' to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

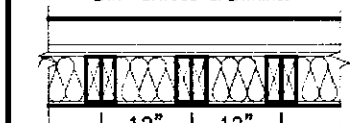
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

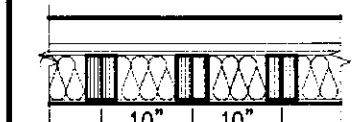
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 3 ELEVATION 1		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	471 S.F.	124.42 S.F.	26.42 %	
LEFT SIDE	965 S.F.	00.0 S.F.	0.00 %	
RIGHT SIDE	965 S.F.	00.0 S.F.	0.00 %	
REAR	445 S.F.	116.17 S.F.	26.11 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
TOTAL SQ. FT.	2846.00 S.F.	240.59 S.F.	8.45 %	
TOTAL SQ. M.	264.40 S.M.	22.35 S.M.	8.45 %	

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 3 ELEVATION 2		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	466 S.F.	127.50 S.F.	27.36 %	
LEFT SIDE	965 S.F.	00.0 S.F.	0.00 %	
RIGHT SIDE	965 S.F.	00.0 S.F.	0.00 %	
REAR	445 S.F.	116.17 S.F.	26.11 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
TOTAL SQ. FT.	2841.00 S.F.	243.67 S.F.	8.58 %	
TOTAL SQ. M.	263.94 S.M.	22.64 S.M.	8.58 %	

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 3 ELEVATION 3		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	461 S.F.	139.75 S.F.	30.31 %	
LEFT SIDE	965 S.F.	00.0 S.F.	0.00 %	
RIGHT SIDE	965 S.F.	00.0 S.F.	0.00 %	
REAR	445 S.F.	116.17 S.F.	26.11 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
TOTAL SQ. FT.	2836.00 S.F.	255.92 S.F.	9.02 %	
TOTAL SQ. M.	263.47 S.M.	23.78 S.M.	9.02 %	

AREA CALCULATIONS FLEV '1'

GROUND FLOOR AREA	833 SF
SECOND FLOOR AREA	1069 SF
TOTAL FLOOR AREA	1902 SF (176.70 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1902 SF (176.70 m2)
GROUND FLOOR COVERAGE	833 SF
GARAGE COVERAGE/AREA	273 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	1202 SF (111.67 m2)
COVERAGE W/O PORCH	1106 SF (102.75 m2)

AREA CALCULATIONS FLEV '2'

GROUND FLOOR AREA	842 SF
SECOND FLOOR AREA	1078 SF
TOTAL FLOOR AREA	1920 SF (178.37 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1920 SF (178.37 m2)
GROUND FLOOR COVERAGE	842 SF
GARAGE COVERAGE/AREA	273 SF
PORCH COVERAGE/AREA	48 SF
COVERAGE W/ PORCH	1163 SF (108.04 m2)
COVERAGE W/O PORCH	1115 SF (103.59 m2)

AREA CALCULATIONS FLEV '3'

GROUND FLOOR AREA	833 SF
SECOND FLOOR AREA	1069 SF
TOTAL FLOOR AREA	1902 SF (176.70 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1902 SF (176.70 m2)
GROUND FLOOR COVERAGE	833 SF
GARAGE COVERAGE/AREA	273 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	1202 SF (111.67 m2)
COVERAGE W/O PORCH	1106 SF (102.75 m2)

OCT 04 2017

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.				24488	
17. qualification information				BCN	
16. 6. REVISED, ISSUED FOR PERMIT.				42658	
15. 4. ISSUED FOR PRICING.				42658	
14. 4. REVISED AS PER CLIENT COMMENTS.				42658	
13. 3. CHANGED JOIST DEPTH/ FLOOR HEIGHTS				42658	
12. 2. REVISED PER CLIENT COMMENTS.				42658	
11. 1. PRELIMINARY REVIEW.				42658	
10. no. description				date by	
9. no. description				date by	
8. no. description				date by	
7. no. description				date by	
6. no. description				date by	
5. no. description				date by	
4. no. description				date by	
3. no. description				date by	
2. no. description				date by	
1. no. description				date by	

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2

municipality
WATERDOWN, ON.

project no.
16036

date
APRIL 2017

checked by
GW

scale
3/16" = 1'-0"

file name
16036-HIGHGROVE-3

drawing no.
A0

GENERAL NOTES & CHARTS

HIGHGROVE 3

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1902 SF.

BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

UNFINISHED BASEMENT

BASEMENT PLAN ELEV. '1'

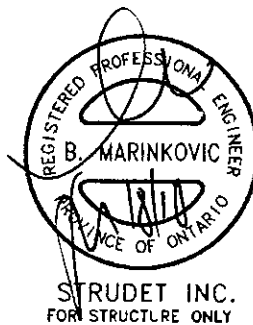
ENGINEERED FLOOR FRAMING INFO
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PARTY WALL AT HOUSE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
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COLD STORAGE SLAB
6" REINFORCED CONCRETE SLAB WITH 15M BARS @ 12"o.c. BOTTOM EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 15M BENT (24"x24") DOWELS SPACED NOT MORE THAN 16"o.c. TYPICALLY ALL AROUND.

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JUL 18 2018

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18				9	REVISED.	JUN. 26/18	G	
17				8	REVISED.	APR. 13/18	G	
16				7	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	G	
15				6	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	G	
14				5	ISSUED FOR PRICING.	AUG. 23/17	G	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	W	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	G	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	G	
10				1	PRELIMINARY REVIEW.	APR. 12/17	G	
no.	description		date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 3
project no.
16036
drawing no.
A1

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REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

UNFINISHED BASEMENT

BASEMENT PLAN ELEV. '1A'

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HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18	REVISED.	JUN. 26/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	24488	<p>255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 416.630.2255 f 416.630.4782 va3design.com</p>	<p>Greenpark.</p> <p>Project name: RUSSELL GARDENS PH.2 Municipality: WATERDOWN, ON.</p> <p>date: APRIL 2017 checked by: GW scale: 3/16" = 1'-0"</p>	<p>HIGHGROVE 3</p> <p>project no: 16036</p> <p>BASEMENT PLAN ELEV. '1A'</p> <p>file name: 16036-HIGHGROVE-3</p>	<p>drawing no: A1a</p>
17	REVISED.	APR. 13/18	GW	qualification information	42658				
16	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW	Richard Vink					
15	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	name					
14	ISSUED FOR PRICING.	AUG. 23/17	GW	registration information					
13	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	VA3 Design Inc.					
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW						
11	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW						
10	PRELIMINARY REVIEW.	APR. 12/17	GW						
no.	description	date	by	no.	description	date	by		

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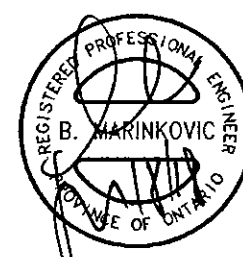
UNFINISHED
BASEMENT

BASEMENT PLAN ELEV. '2'

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16				7	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW
15				6	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
14				5	ISSUED FOR PRICING.	AUG. 23/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by	no.	description	date	by

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Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658

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of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
Project name
RUSSELL GARDENS PH.2
Municipality
WATERDOWN, ON.
Date
APRIL 2017
Drawn by
WT
Checked by
GW
Scale
3/16" = 1'-0"

HIGHGROVE 3
HIGHGROVE 3
Project no.
16036
Drawing no.
16036-HIGHGROVE-3
A1b

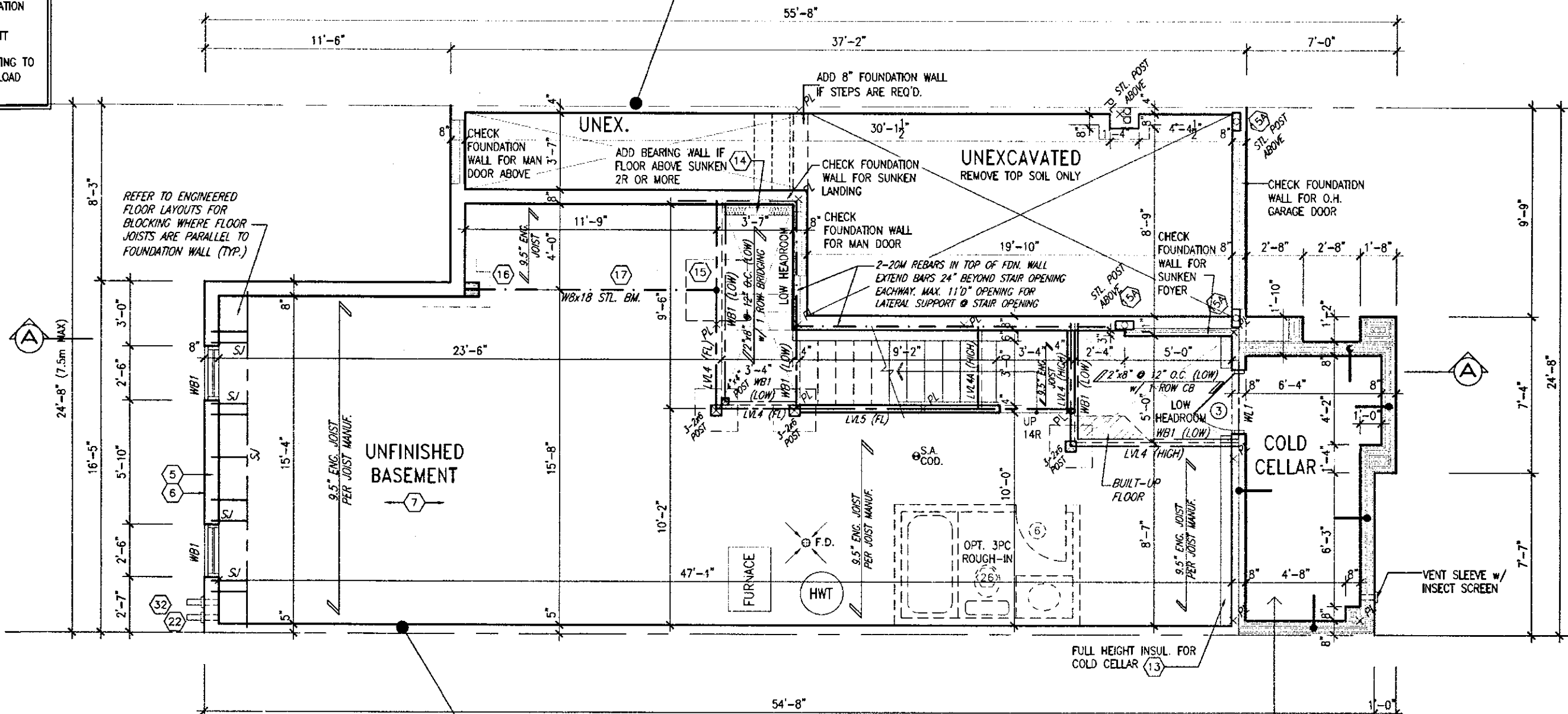
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1902 SF.

BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER
SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4A OR 4B TO VERIFY
PARTY WALL THICKNESS/CONSTRUCTION.

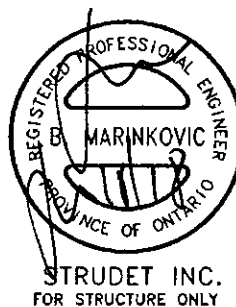


PARTY WALL AT HOUSE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER
SK1 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4 OR 4B TO VERIFY
PARTY WALL THICKNESS/CONSTRUCTION.

COLD STORAGE SLAB
6" REINFORCED CONCRETE SLAB
WITH 15M BARS @ 12"o.c.
BOTTOM EACH WAY WITH MIN. 1
1/4" CONC. COVER AND 15M
BENT (24"x24") DOWELS
SPACED NOT MORE THAN 16"o.c.
TYPICALLY ALL AROUND.

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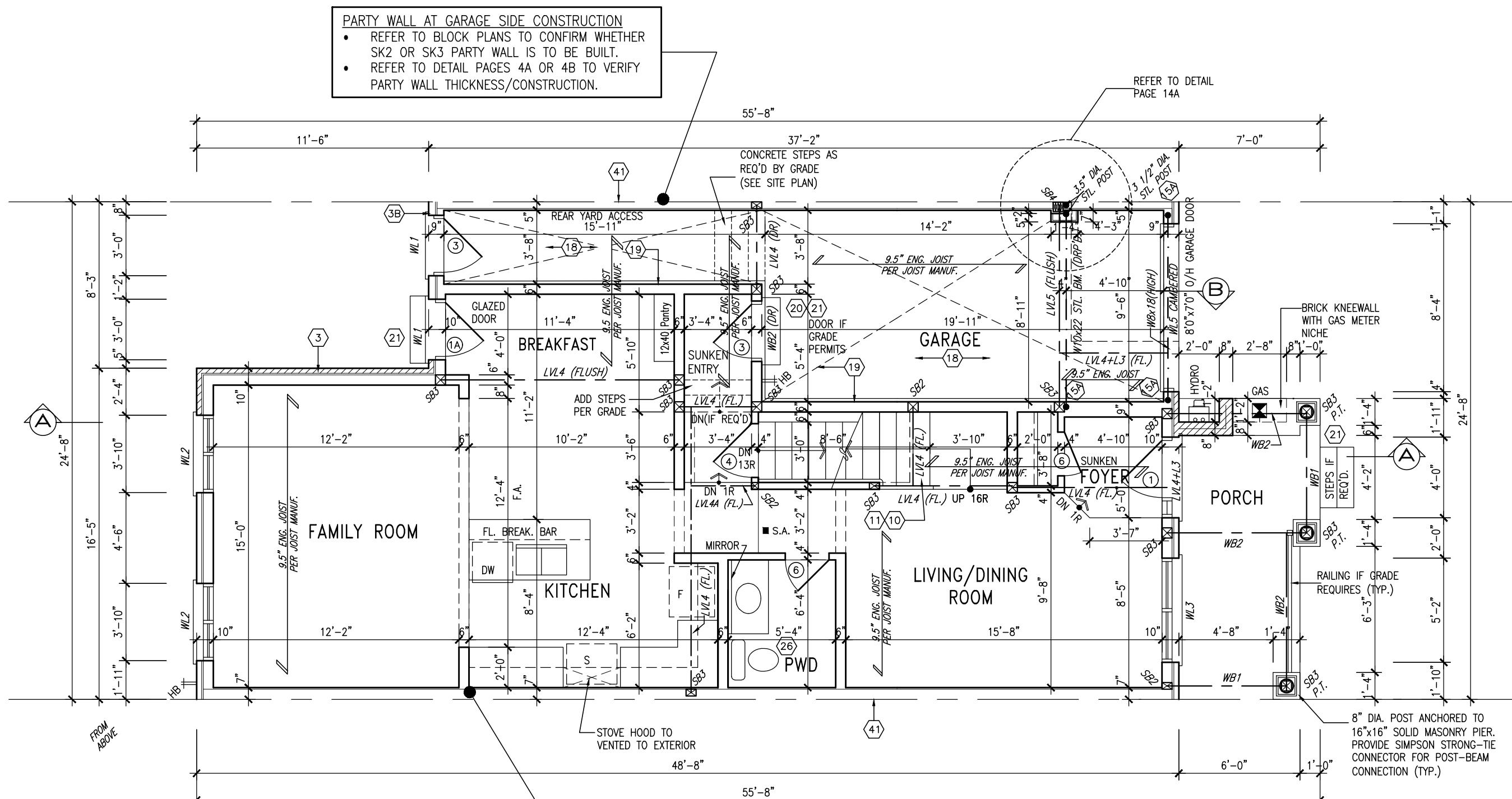
STRUDET INC.
FOR STRUCTURE ONLY

JUL 18 2018

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18		9	REVISED.	JUN. 26/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Greenpark. project name RUSSELL GARDENS PH.2 date APRIL 2017 drawn by WT	municipality WATERDOWN, ON.	project no. 16036	drawing no. A1c
17		8	REVISED.	APR. 13/18	GW	qualification information Richard Vink name registration information VA3 Design Inc. 42658					
16		7	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW						
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3											
2											
1											
no.	description	date	by	no.	description	date	by				

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ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



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no.	description	date	by	no.	description	date by

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qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
name registration information

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

**Greenpark.**

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

project name
RUSSELL GARDENS PH.2

municipality
WATERDOWN, ON.

project no.
16036

date
APRIL 2017

checked by
GW

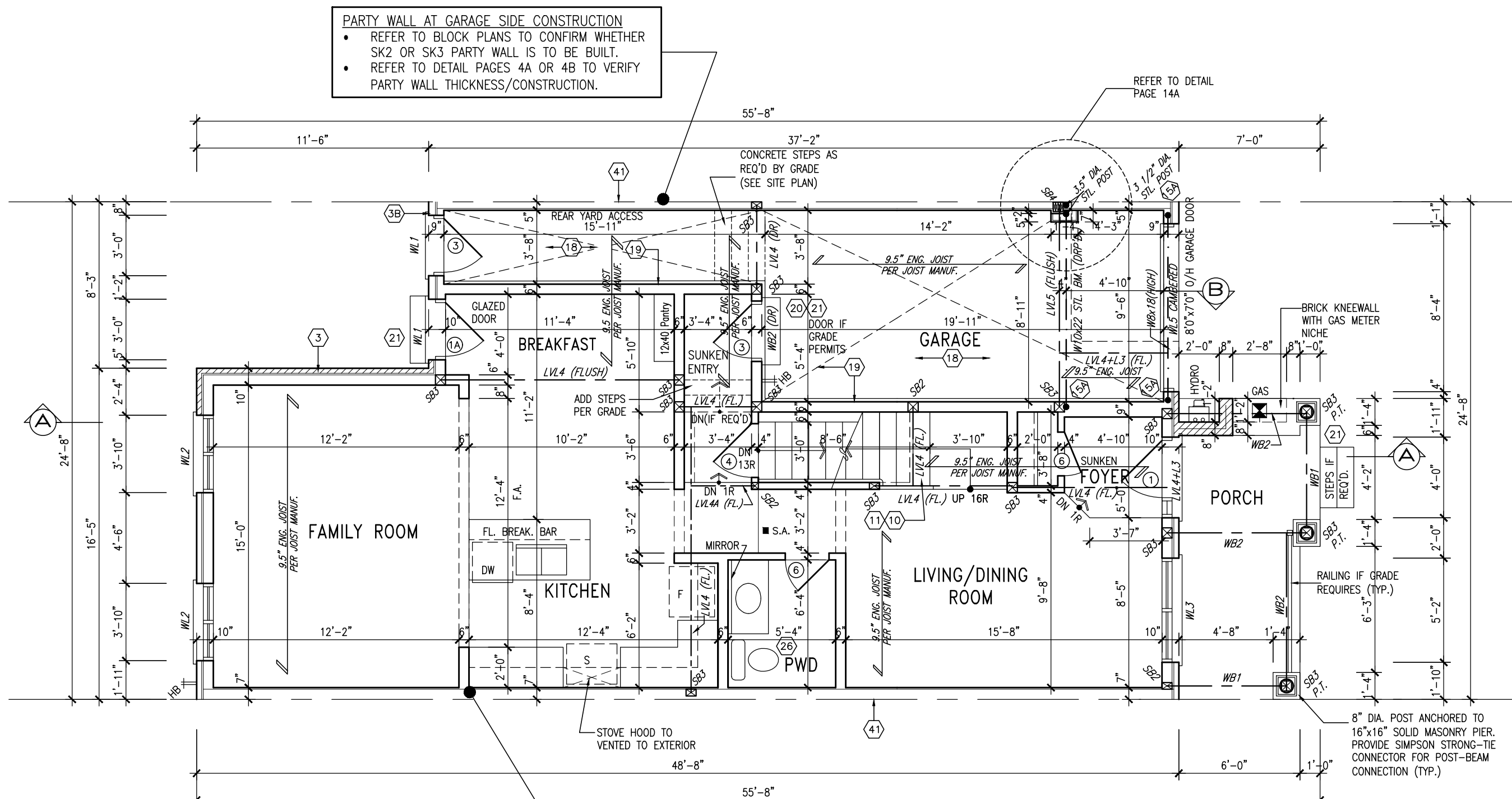
scale
3/16" = 1'-0"

file name
16036-HIGHGROVE-3

drawing no.
A2

GROUND FLOOR PLAN ELEV. '1'

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PARTY WALL AT GARAGE SIDE CONSTRUCTION

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HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'

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no.	description	date	by	no.	description	date by

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Richard Vink 24488
signature BCIN
qualification information
VA3 Design Inc. 42658

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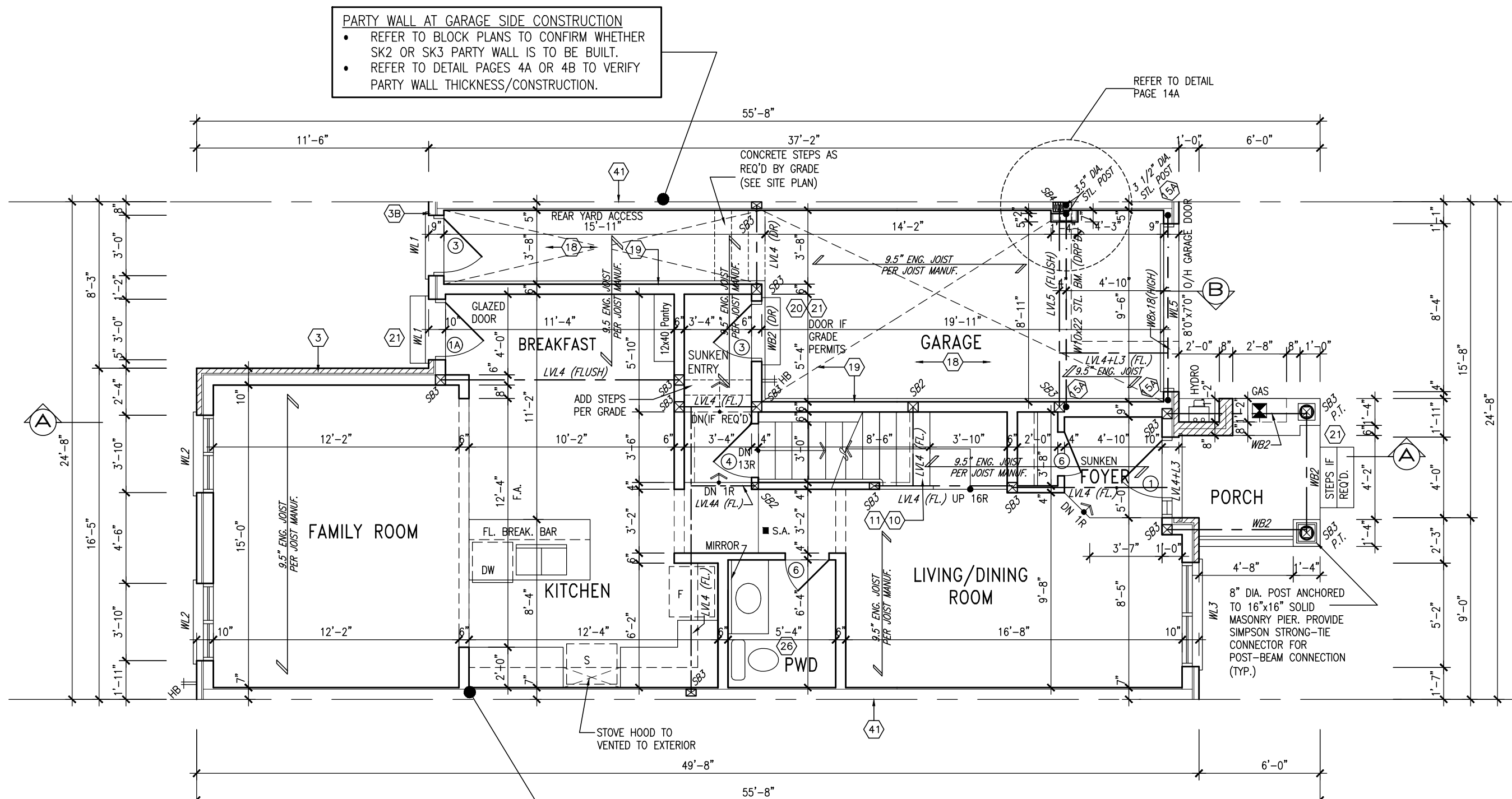
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

HIGHGROVE 3
project name: **RUSSELL GARDENS PH.2**
municipality: **WATERDOWN, ON.**
project no.: **16036**

date: **APRIL 2017**
drawn by: **WT**
checked by: **GW**
scale: **3/16" = 1'-0"**
file name: **16036-HIGHGROVE-3**
drawing no.: **A2a**

GROUND FLOOR PLAN ELEV. '1A'



GROUND FLOOR PLAN ELEV. '2'

PARTY WALL AT HOUSE SIDE CONSTRUCTION

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ENGINEERED FLOOR FRAMING INFO
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HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'

18.				9	REVISED.	JUN. 26/18	GW
17.				8	REVISED.	APR. 13/18	GW
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no.	description	date	by	no.	description	date	by

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VA3 DESIGN
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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

HIGHGROVE 3

project name
RUSSELL GARDENS PH.2

municipality
WATERDOWN, ON.

project no.
16036

date
APRIL 2017

drawn by
WT

checked by
GW

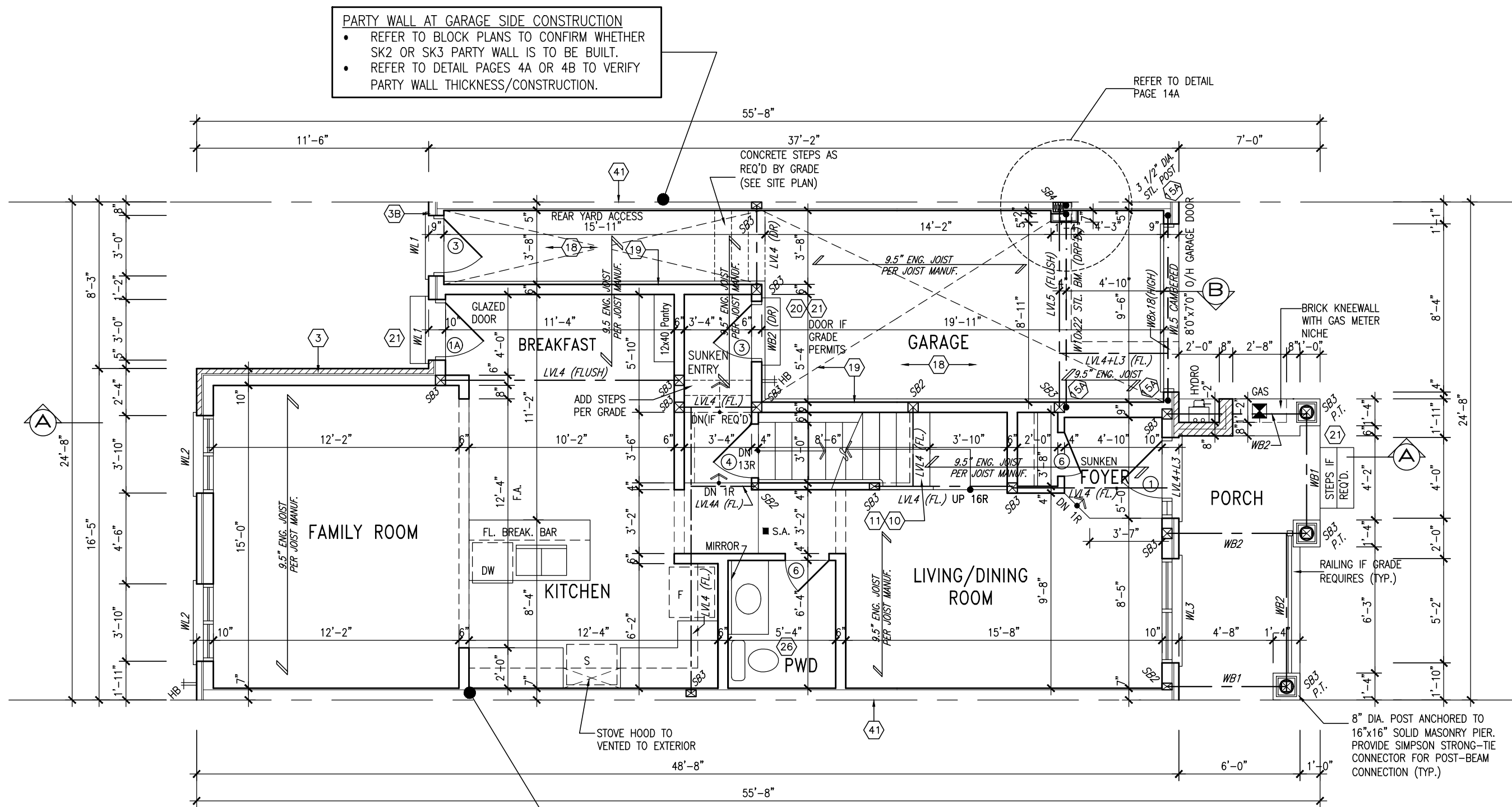
scale
3/16" = 1'-0"

file name
16036-HIGHGROVE-3

drawing no.
A2b

GROUND FLOOR PLAN ELEV. '2'

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PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
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GROUND FLOOR PLAN ELEV. '3'

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ENGINEERED FLOOR FRAMING INFO
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HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'

18 .		.	.	9 REVISED.	JUN. 26/18	GW
17 .		.	.	8 REVISED.	APR. 13/18	GW
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no.	description	date	by	no.	description	date by

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name
registration information
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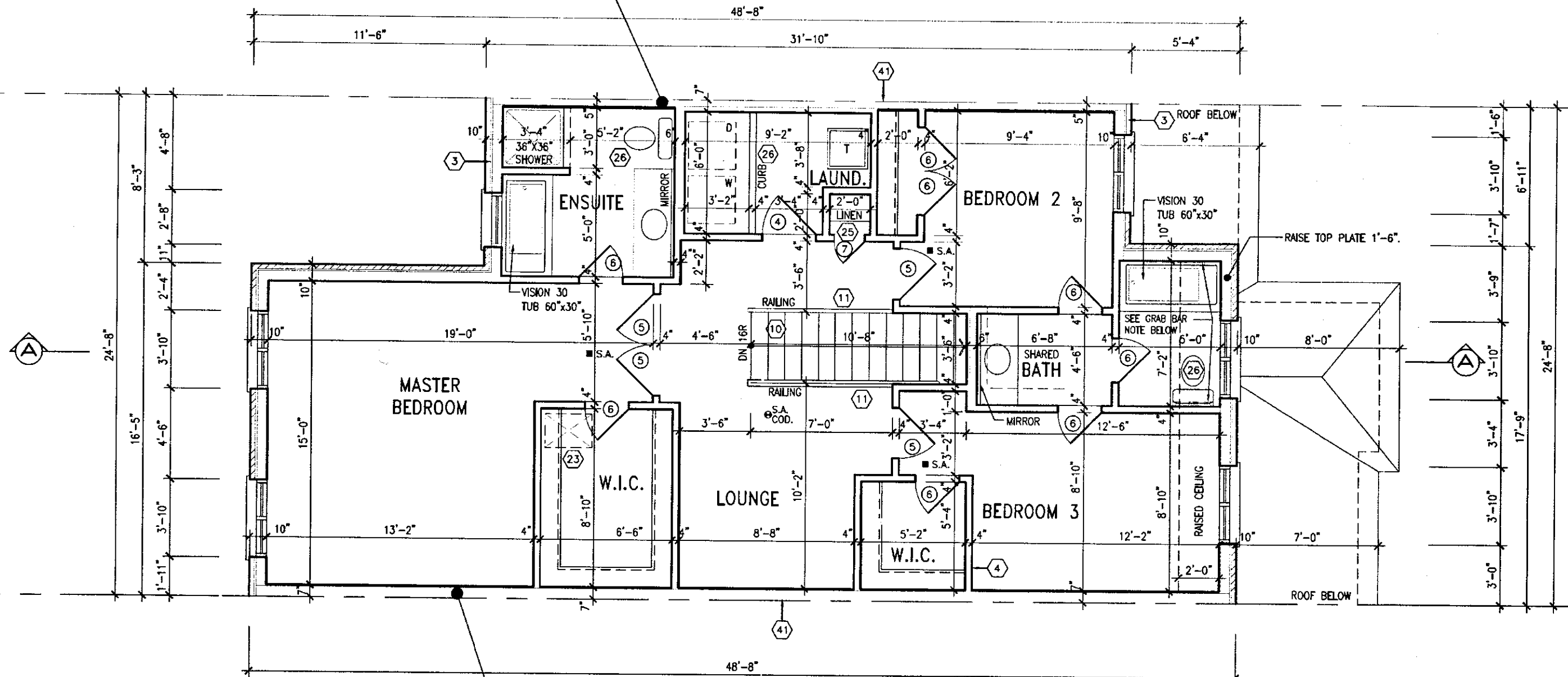
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

		HIGHGROVE 3	
project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.	project no. 16036	
date APRIL 2017	checked by GW	scale 3/16" = 1'-0"	file name 16036-HIGHGROVE-3
drawing no. A2c		drawing no. A2c	

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1902 SF.

- PARTY WALL CONSTRUCTION (UPPER FLOOR)
- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
 - REFER TO BLOCK PLANS.



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NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

18			9		
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qualification information
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name
signature
VA3 Design Inc. 42658
BCA

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VA3
DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2 municipality
WATERDOWN, ON.

HIGHGROVE 3

project no.
16036

date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

SECOND FLOOR PLAN ELEV. '1'

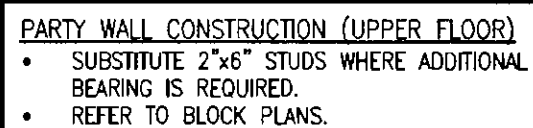
file name
16036-HIGHGROVE-3

drawing no.
A3

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PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.

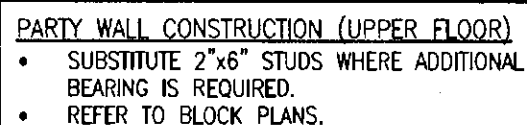


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HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
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18				9				<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Richard Vink</div> <div>name</div> <div>registration information</div> <div>VA3 Design Inc.</div> <div></div> <div>signature</div> <div>2440</div> <div>BC</div> <div>4265</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be signed.</div>
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N	VA3 Design Inc. Code to be a Designer.	
N	qualification information	
N	Richard Vink	244
N	name	signature
I	registration information	BC
	VA3 Design Inc.	4265

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



VAD
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name **RUSSELL GARDENS PH.2** municipality **WATERDOWN, ON**
date **APRIL 2017** SECOND FLOOR
drawn by **WT** checked by **GW** scale **3/16" = 1'-0"**

HIGHGROVE 3

project no.
16036

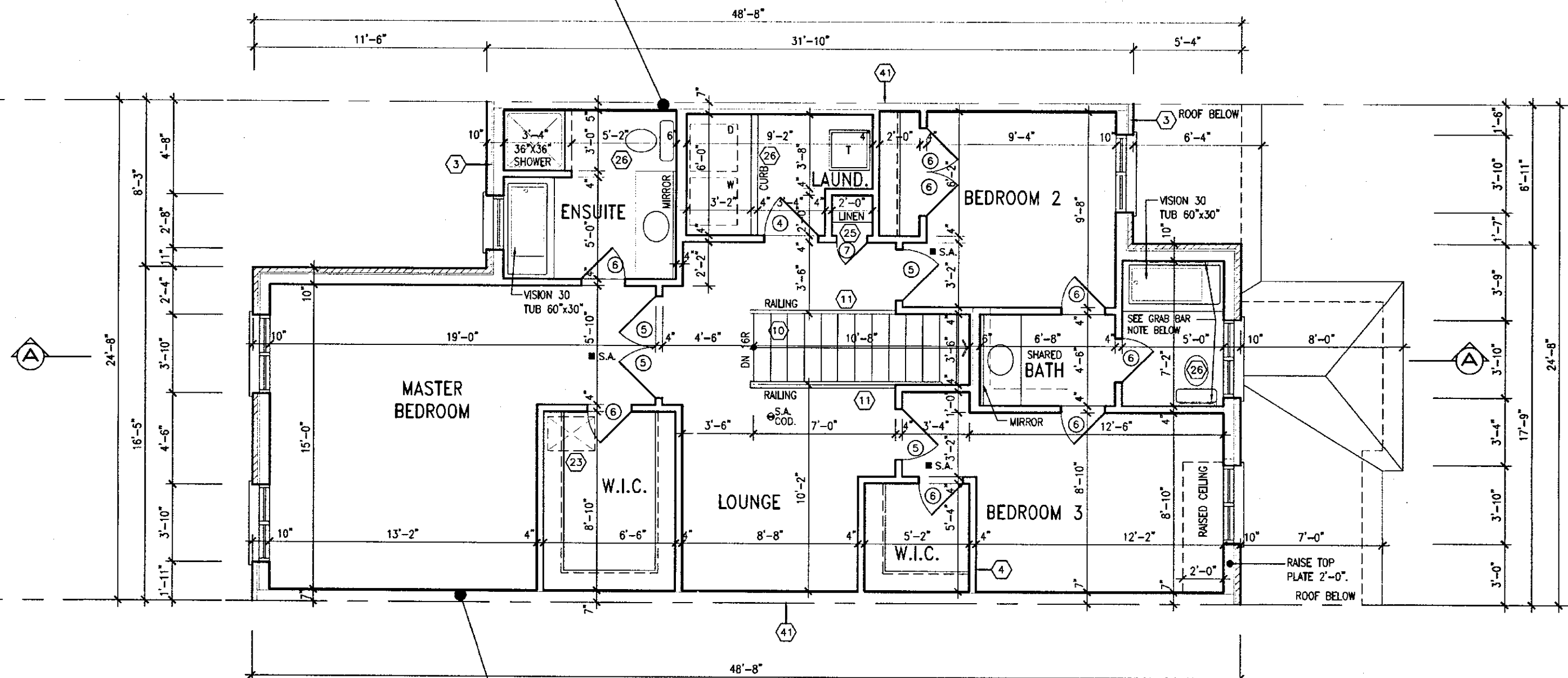
drawing no.

A3b

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PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.



PARTY WALL CONSTRUCTION (UPPER FLOOR)


- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO CBC. 9.5.2.3,
J.B.3.8.(1)(d) & J.B.3.13.(1)(f).

18				9					<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Richard Vink  2448</div> <div>name signature BC</div> <div>registration information</div> <div>VAS Design Inc. 4265</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.</div>
17				8					
16				7	REV. PER CITY COMMENTS, REISSUED.	FEB 15/18	GW		
15				6	REVISED ISSUED FOR PERMIT.	SEP. 28/17	GW		
14				5	ISSUED FOR PRICING.	AUG. 23/17	GW		
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT		
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW		
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description		date	by no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has verified the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	2448
name	signature
registration information	BC
VA3 Design Inc.	4265
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	
Drawings.doc no. 10-10-2004	



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.

date APRIL 2017		
drawn by WT	checked by GW	scale 3/16" = 1'-0"

HIGHGROVE 3

municipality	project no.
WATERDOWN, ON.	16036

SECOND FLOOR PLAN ELEV. '3'		drawing no.
0°	file name 16036-HIGHGROVE-3	A3c
C:\MSD01\16036-HIGHGROVE-3.dwg - Tue, Aug 15, 2006 11:07 AM		

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1902 SF.

ROOF PLAN ELEV. 1

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

6:12

6:12

8:12

8:12



POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP

(2)

30"x16"

30"x16"

REAR ELEVATION '1'

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FRONT ELEVATION '1'

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

PRECAST BAND ON BRICK
SOLDIER BAND (TYP.)

PREFIN. MTL. FLASHING
W/ CAULKING TO MATCH
(TYP.)

18" HIGH TRANSOM (FG)

8" DIA. POST ANCHORED
TO 16"x16" SOLID
MASONRY PIER (TYP.)

FIN. SUNKEN FOYER

12:12

8:12

8'-0"
U/S SOFFIT
6'-8"

12:12

6:12

U/S SOFFIT /
TOP OF PLATE
6'-0"

ASPHALT SHINGLES
(TYP.) MID-POINT OF MAIN ROOF

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK VENEER (TYP.)

BRICK SOLDIER OVER BRICK
STACK ON PRECAST CONC.
SILL (TYP.)

BRICK SOLDIER ARCH.
WITH KEYSTONE (TYP.)

CONT. 4" PRECAST CONC.
SILL ON BRICK SOLDIER
BAND (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW

TOP OF TRANSOM

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

OCT 04 2017

HIGHGROVE 3 COMPLIANCE PACKAGE 'A1'

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18.			9.		
17.			8.		
16.			7.		
15.			6.	REVISED, ISSUED FOR PERMIT.	SEP. 28/17 GW
14.			5.	ISSUED FOR PRICING.	AUG. 23/17 GW
13.			4.	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT
12.			3.	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17 GW
11.			2.	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW
10.			1.	PRELIMINARY REVIEW.	APR. 12/17 GW
no. description	date	by	no. description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2

municipality
WATERDOWN, ON.

date
APRIL 2017

checked by
GW

scale
3/16" = 1'-0"

HIGHGROVE 3

project no.
16036

drawing no.
A4

16036-HIGHGROVE-3

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PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

6:12

8:12

6:12

POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP

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3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

6"x16" PRECAST
IMPOST (TYP.)

PRECAST BAND ON BRICK
SOLDIER BAND (TYP.)

PREFIN. MTL FLASHING, -
W/ CAULKING TO MATCH
(TYP.)

18" HIGH TRANSOM (FG)

8" DIA. POST ANCHORED
TO 16"x16" SOLID
MASONRY PIER (TYP.)

POURED CONC. DOOR SILL:

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

OCT 04 2017

HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'

HIGHGROVE 3

18	.			9	.			
17	.			8	.			
16	.			7	.			
15	.			6	REVISED ISSUED FOR PERMIT.	SEP. 28/17	G	
14	.			5	ISSUED FOR PRICING.	AUG. 23/17	G	
13	.			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	N	
12	.			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	G	
11	.			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	G	
10	.			1	PRELIMINARY REVIEW.	APR. 12/17	G	
no.	description		date	by	no.	description	date	b

	The undersigned has reviewed and takes responsibility for this design and has the qualifications to meet the requirements set out in the Ontario Building Code to be a Designer.	
	qualification information	
R	Richard Wink	2444
N	name	B
P	registration information	
T	VAS Design Inc.	426
C	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	



VA3
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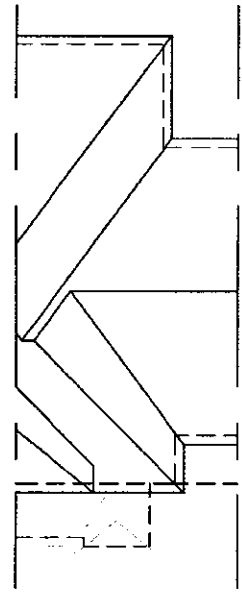
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name **RUSSELL GARDENS PH.2** municipality **WATERDOWN, ON.**
date **APRIL 2017** FRONT & REAR
drawn by **WT** checked by **GW** scale **3/16" = 1'-0"**
GEOID = H:\ARCHIVE\WORKING\2015\16936\CP\ELVIS\HIGH20\EN\H2A\GROVE-3\16036-HIGH20VE-July.dwg

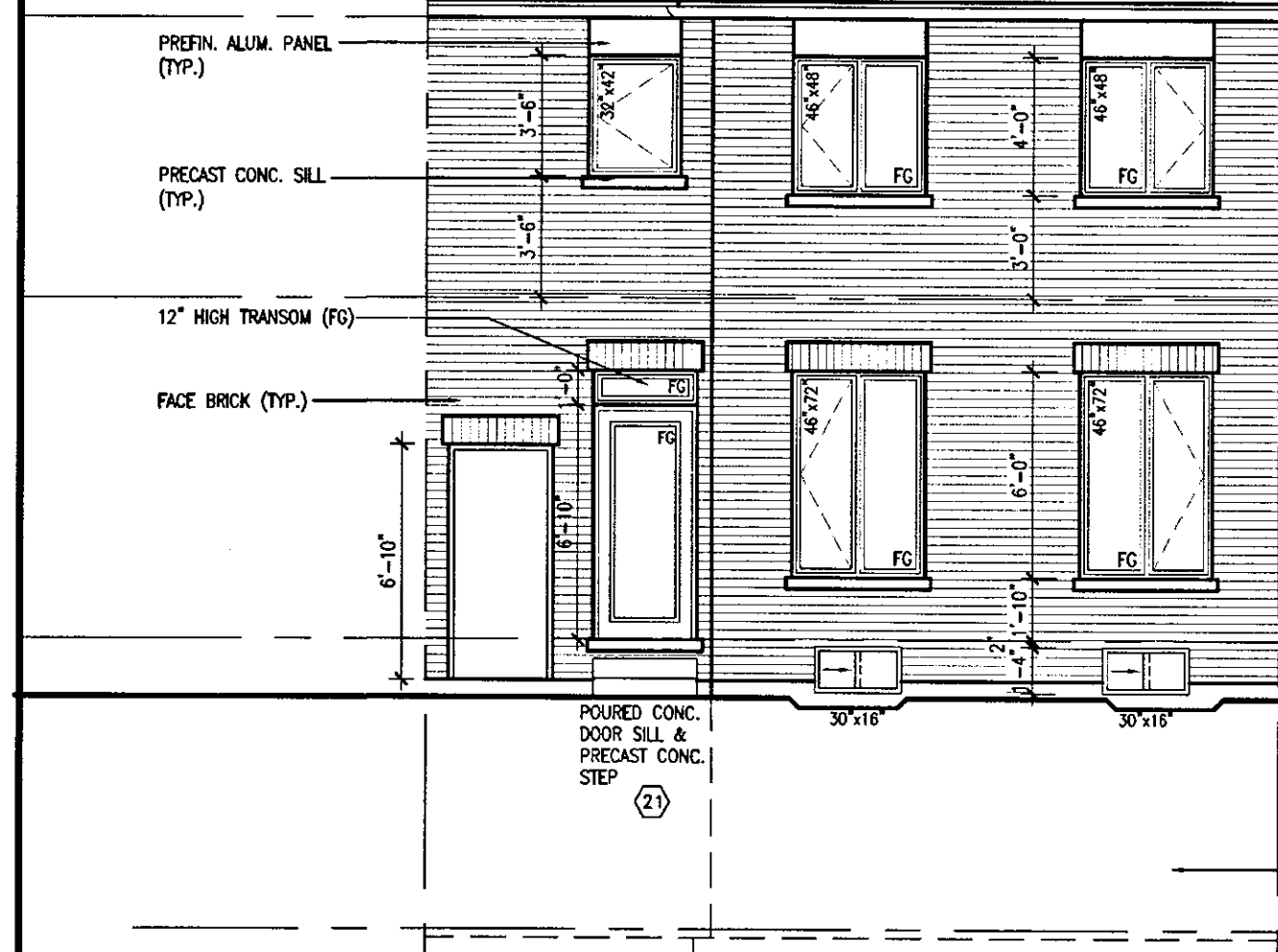
project no. 16036	
ELEVATION '1A'	drawing no. A4a
file name 16036-HIGHGROVE-3	

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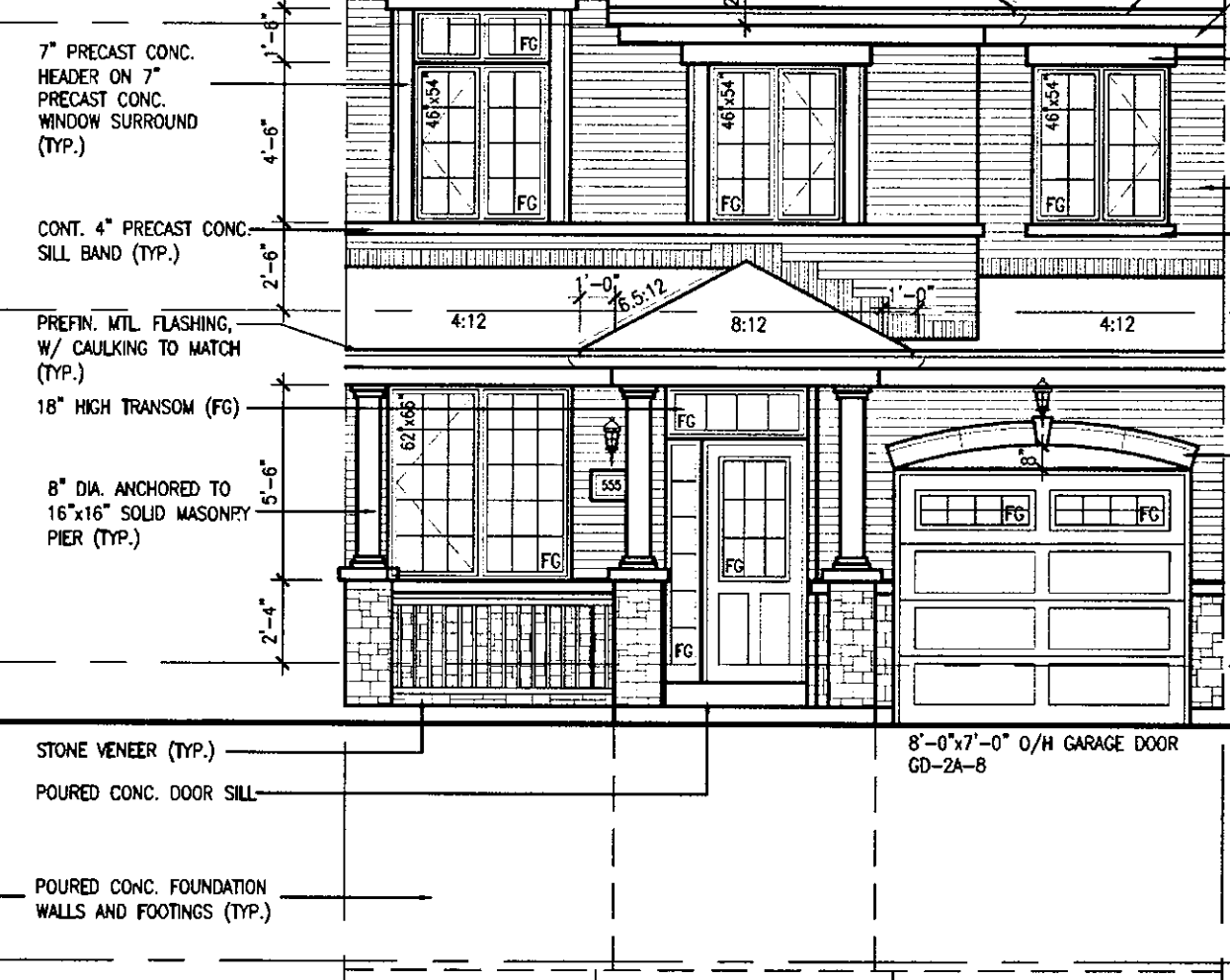


ROOF PLAN
ELEV. 3

1902 SF.



REAR ELEVATION '3'



FRONT ELEVATION '3'

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3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

OCT 04 2017

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18			9		
17			8		
16			7		
15			6	REVISED ISSUED FOR PERMIT.	SEP. 28/17 GW
14			5	ISSUED FOR PRICING.	AUG. 23/17 GW
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17 GW
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW
10			1	PRELIMINARY REVIEW.	APR. 12/17 GW
no.	description	date	by	no.	description

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qualification information
Richard Vink 24488
signature
BCN
VA3 Design Inc. 42658

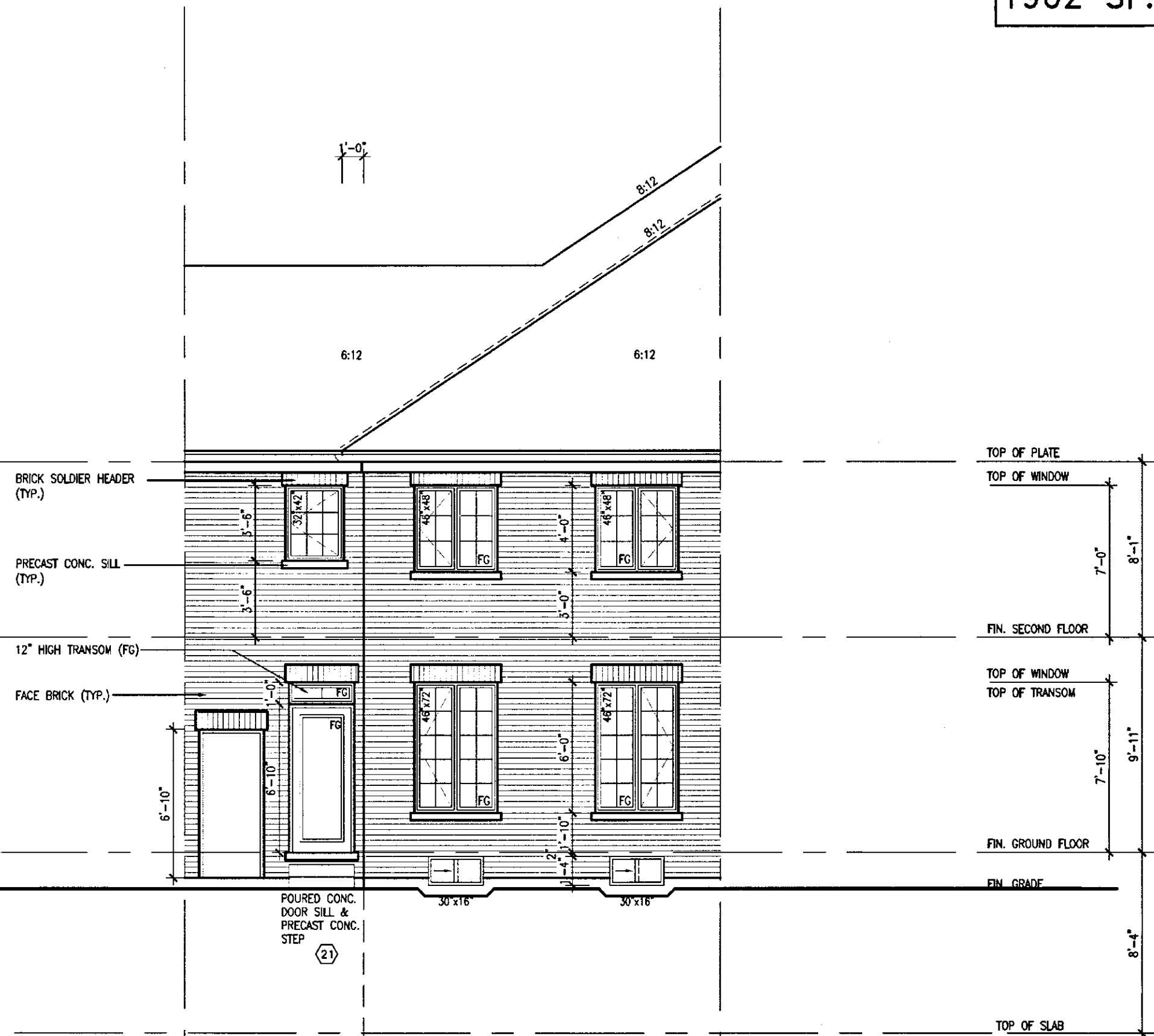
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VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 3
project no.
16036
drawing no.
A4c
date
OCT 04 2017
file name
16036-HIGHGROVE-3
drawing title
FRONT & REAR ELEVATION '3'

1902 SF.



UPGRADED REAR ELEVATION '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

OCT 04 2017

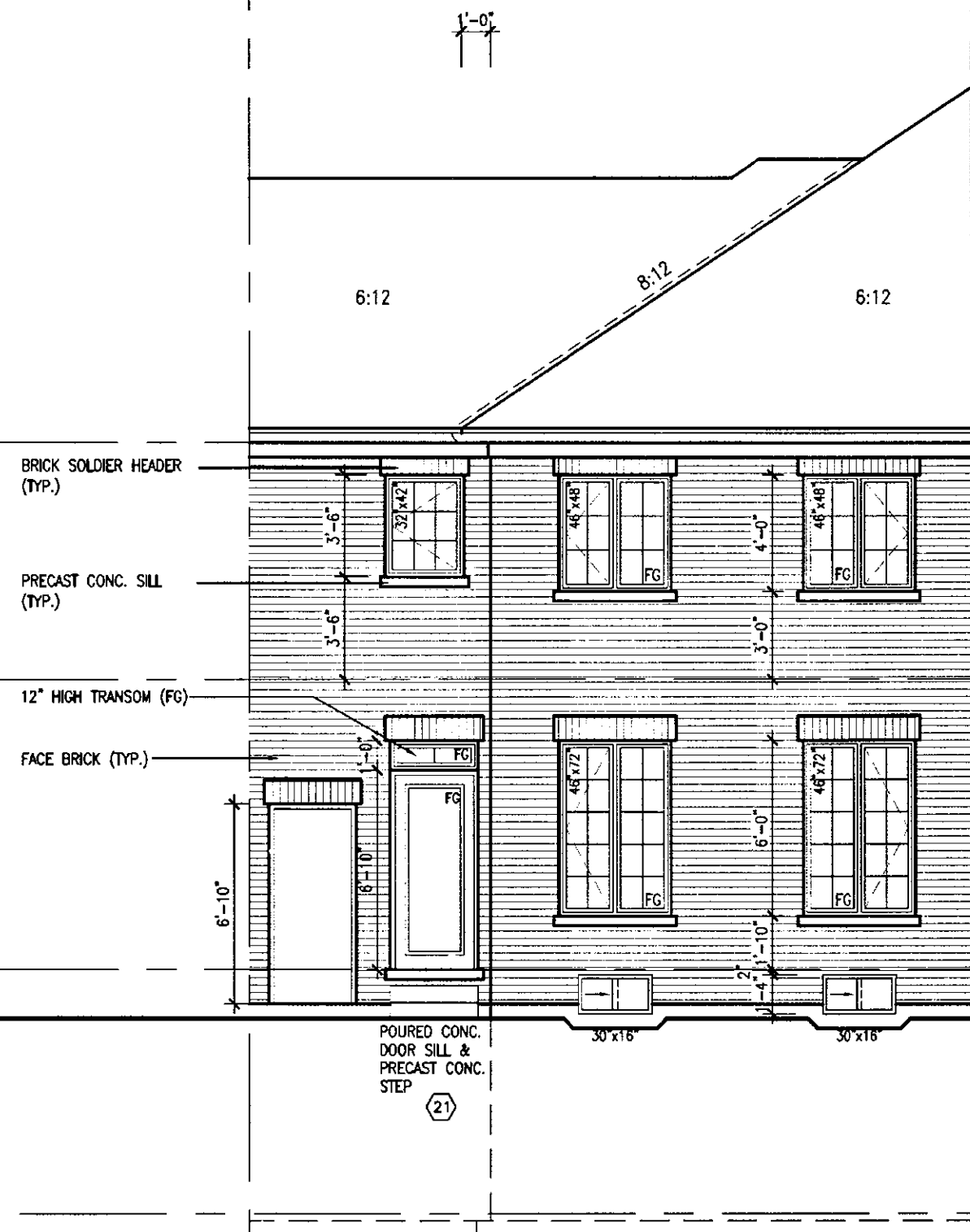
HIGHGROVE 3 COMPLIANCE PACKAGE 'A1'

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18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Greenpark. project name RUSSELL GARDENS PH.2 date APRIL 2017 drawn by WT checked by GW scale 3/16" = 1'-0" drawing no. 16036-HIGHGROVE-3 date THU - SEP 28 2017 - 5:23 PM	HIGHGROVE 3 project no. 16036 drawing no. A5
17		8							
16		7							
15		6	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW				
14		5	ISSUED FOR PRICING.	AUG. 23/17	GW				
13		4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT				
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW				
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW				
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW				
no.	description	date	by	no.	description	date	by	All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.	

1902 SF.



UPGRADED REAR ELEVATION '1A'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

OCT 04 2017

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

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17			8			qualification information	
16			7				
15			6	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW	
14			5	ISSUED FOR PRICING.	AUG. 23/17	GW	
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by

VA3 DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: **RUSSELL GARDENS PH.2** municipality: **WATERDOWN, ON.**

date: **APRIL 2017** checked by: **GW** scale: **3/16" = 1'-0"**

drawing no.: **16036-HIGHGROVE-3**

HIGHGROVE 3

project no.: **16036**

drawing no.: **A5a**

$$1' - 0''$$

6:12

9.17

g.

6:12

FACE BRICK (TYP.)

FIN. GRADE

POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP

21

TOP OF SLAB

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

[illegible]

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1902 SF.

PRECAST CONC. HEADER
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP
(21)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW

TOP OF TRANSOM

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION '3'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

OCT 04 2017

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

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18		9	
17		8	
16		7	
15		6	REVISED. ISSUED FOR PERMIT.
14		5	ISSUED FOR PRICING.
13		4	REVISED AS PER CLIENT COMMENTS.
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS
11		2	REVISED PER CLIENT COMMENTS.
10		1	PRELIMINARY REVIEW.
no.	description	date	by
9		SEP. 28/17	GW
8		AUG. 23/17	GW
7		JUN. 21/17	WT
6		JUN. 12/17	GW
5		APR. 28/17	GW
4		APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name
signature
registration information
VA3 Design Inc. 42658

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2

municipality
WATERDOWN, ON.

HIGHGROVE 3

project no.
16036

date
APRIL 2017

drawing no.
UPGRADED REAR ELEVATION '3'

drawn by
WT

checked by
GW

scale
3/16" = 1'-0"

file name
16036-HIGHGROVE-3

drawing no.
A5c

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Architectural section drawing of a house, showing multiple levels and structural details. The drawing includes the following rooms and features:

- Rooms:** MASTER BEDROOM, SHARED BATH, FAMILY ROOM, BREAKFAST, SUNKEN FOYER, COLD CELLAR, BEDROOM 2, UNFINISHED BASEMENT, PORCH, GARAGE.
- Structural Details:**
 - Roof pitches: 8:12, 12:12.
 - Floor joists: 12:12, 8:12, 6.5:12, 4:12.
 - Stairs: Indicated by dashed lines and arrows.
 - Garage: Includes GARAGE DOOR TRACK, CAMBERED L5 STEEL LINTEL OVER D/H DOOR TO BE CONNECTED TO STEEL POSTS, GAS METER NICHE, and HYDRO METER NICHE.
 - Other details: U/S SOFFIT, 1'-6" dimension, 6'-11" MAX. FOR 15 MPa, 1'-0" dimension, 7'-0" dimension, 7'-10" dimension, TOP OF PLATE, TOP OF WINDOW, FIN. SECOND FLOOR, TOP OF WINDOW, TOP OF TRANSOM, FIN. GROUND FLOOR, FIN. GRADE, TOP OF SLAB.
- Callouts:**
 - 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15.
 - 1'-0"
 - 8:12
 - 12:12
 - U/S SOFFIT
 - 1'-6"
 - 8:12
 - 6.5:12
 - 4:12
 - L3 STEEL
 - W10x26 STL. BM.
 - WBx18 STL. BM. DRP. CEILING
 - GAS METER NICHE
 - HYDRO METER NICHE
 - 6'-11" MAX. FOR 15 MPa
 - 1'-0"
 - 7'-0"
 - 7'-10"
 - TOP OF PLATE
 - TOP OF WINDOW
 - FIN. SECOND FLOOR
 - TOP OF WINDOW
 - TOP OF TRANSOM
 - FIN. GROUND FLOOR
 - FIN. GRADE
 - TOP OF SLAB

SECTION B

APR 17 2018

HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'

STRUDET INC.
FOR STRUCTURE ONLY

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8 REVISED.	APR. 13/18	GW		qualification information
16				7 REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW		Richard Vink <i>R Vink</i> 244
15				6 REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW		name signature VA3 Design Inc. 428
14				5 ISSUED FOR PRICING.	AUG. 23/17	GW		registration information
13				4 REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT		VA3 Design Inc.
12				3 CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be scaled.
11				2 REVISED PER CLIENT COMMENTS.	APR. 28/17	GW		
10				1 PRELIMINARY REVIEW.	APR. 12/17	GW		
no. description		date	bv	no. description		date	bv	

<p>The undersigned has reviewed and takes responsibility for this design and has met the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p>	
<p>qualification information</p>	<p><i>R. Vink</i></p>
<p>Richard Vink</p>	<p>244</p>
<p>name</p>	<p>signature</p>
<p>registration information</p>	<p></p>
<p>VA3 Design Inc.</p>	<p>428</p>
<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.</p> <p>Drawings are not to be copied</p>	

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t 416.630.2255 f 416.630.
va3design.com

Greenpark.

project name	municipality	
RUSSELL GARDENS PH.2		WATERDOWN, ON.
date	SECTION	
APRIL 2017		
drawn by	checked by	scale
WT	GW	3/16" = 1'-0"

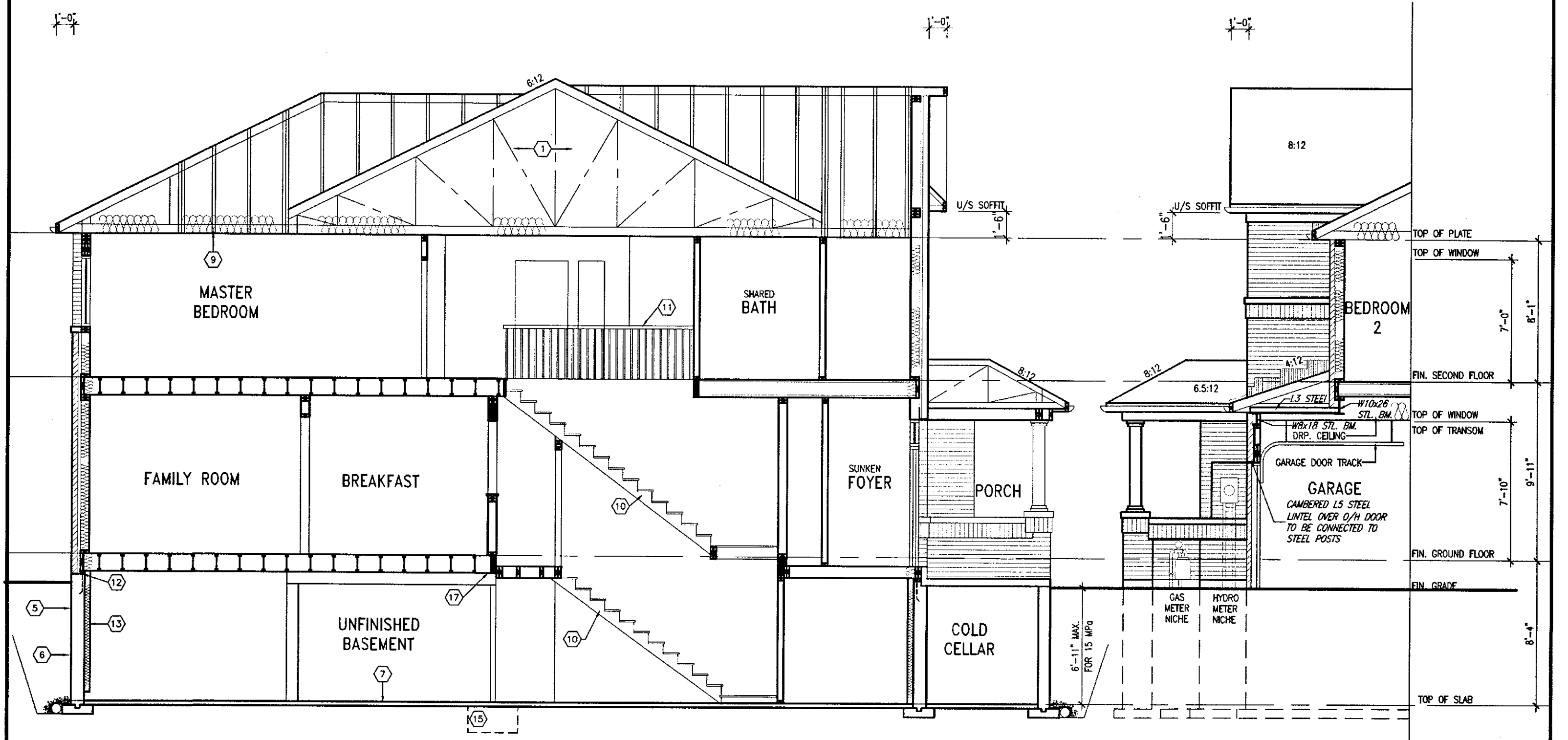
HIGHGROVE 3

project no.
16036

ing no.
6

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1902 SF.



SECTION A-A ELEV. 1A

SECTION B

APR 17 2018

HIGHGROVE 3 COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



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no.	description	date	by	no.	description	date	by
18				9			
17				8	REVISED.	APR. 13/18	GW
16				7	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW
15				6	REVISED. ISSUED FOR PERMIT.	S.E.P. 28/17	GW
14				5	ISSUED FOR PRICING.	AUG. 23/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
signature
BCN
42658

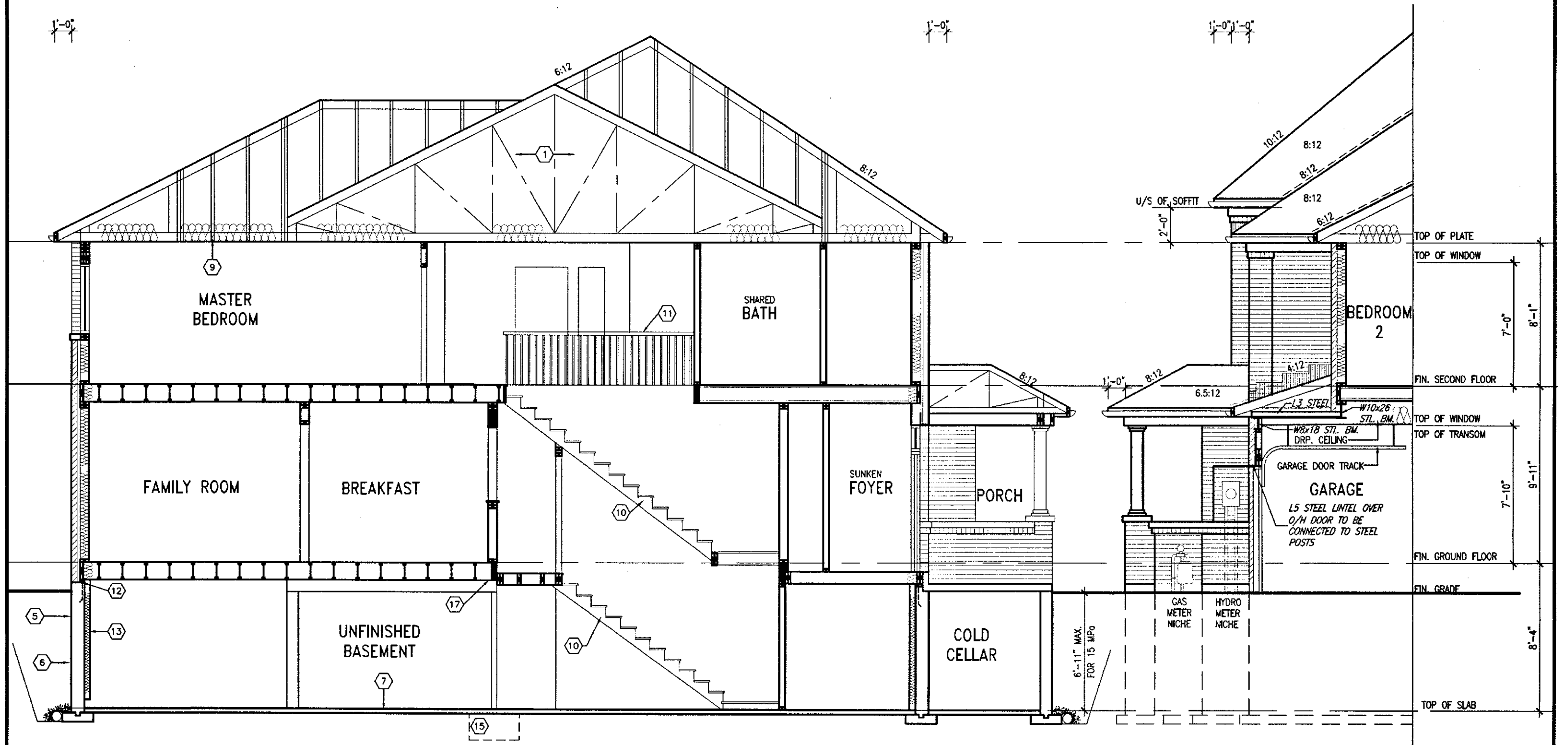
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t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 3
project no.
16036
drawing no.
A6a
SECTION A-A ELEV. 1A
16036-HIGHGROVE-3
file name
16036-HIGHGROVE-3
date
Apr 13 2018 - 3:13 PM

1902 SF.



SECTION A-A ELEV. 2

SECTION B

APR 17 2018

HIGHGROVE 3 COMPLIANCE PACKAGE 'A1'

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18			9		
17			8	REVISED.	APR. 13/18 GW
16			7	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18 GW
15			6	REVISED. ISSUED FOR PERMIT.	SEP. 28/17 GW
14			5	ISSUED FOR PRICING.	AUG. 23/17 GW
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17 GW
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW
10			1	PRELIMINARY REVIEW.	APR. 12/17 GW
no.	description	date	by	no.	description

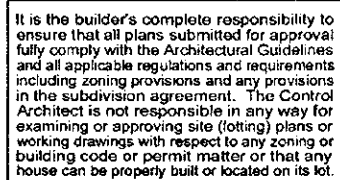
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488 BCN
signature
VA3 Design Inc. 42658
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VA3 DESIGN
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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
Project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
APRIL 2017
drawn by
WT
checked by
GW
scale
3/16" = 1'-0"

HIGHGROVE 3
project no.
16036
drawing no.
A6b
SECTION A-A ELEV. 2
file name
16036-HIGHGROVE-3
date
Apr 13 2018 - 3:13 PM

$$1' - 0''$$
$$1' - 0''$$
$$1' - 0''$$


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STRUDET INC.
FOR STRUCTURE ONLY

SECTION B

APR 17 2018

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18					9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17					8 REVISED.	APR. 13/18	GW	 name: <u>Richard Vink</u> signature: <u>[Signature]</u> registration information: <u>VAS Design Inc.</u> 2448 BCL 4265
16					7 REV. PER CITY COMMENTS, REISSUED.	FEB. 15/18	GW	
15					6 REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW	
14					5 ISSUED FOR PRICING.	AUG. 23/17	GW	
13					4 REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	
12					3 CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
11					2 REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10					1 PRELIMINARY REVIEW.	APR. 12/17	GW	
no. description		date by		no. description				

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information		
Richard Vink	<i>R Vink</i>	244
name	signature	B
registration information		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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t 416.630.2255 f 416.630.4782
va3design.com



project name	municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.

date
APRIL 2017

drawn by
WT

checked by
GW

scale
3/16" = 1'-0"

SECTION A-A ELEV. 3

HIGHGROVE 3

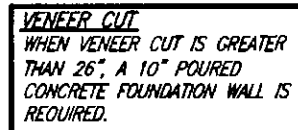
Project no.
6036

A6c

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[illegible]

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.

NOTE:
REFER TO STANDARD DRAWINGS FOR ADDITIONAL
INFORMATION.



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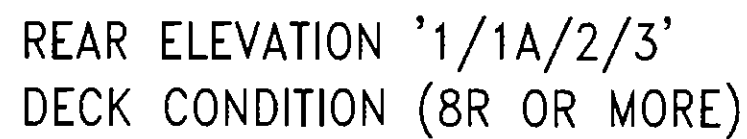
HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

[illegible]

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APR 17 2018

HIGHGROVE 3

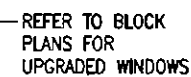
COMPLIANCE PACKAGE 'A1'

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	 HIGHGROVE 3	project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.	project no. 16036	drawing no. A8
17			8 REVISED.	APR. 13/18	GW	 signature 24488 BCH 42658							
16			7 REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW								
15			6 REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW								
14			5 ISSUED FOR PRICING.	AUG. 23/17	GW								
13			4 REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT								
12			3 CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work Drawings are not to be scaled.							
11			2 REVISED PER CLIENT COMMENTS.	APR. 28/17	GW								
10			1 ISSUED FOR CLIENT PRELIMINARY REVIEW										
no. description			date	by	no. description			date	by	DATE APRIL 2017 REAR ELEVATION - DECK CONDITION DRAWN BY WT CHECKED BY GW SCALE 3/16" = 1'-0" FILE NAME 16036-HIGHGROVE-3 <small>FILED IN ARCHIVE\A\PHOTO\2017\16036 DECK\16036-HIGHGROVE-3\16036-HIGHGROVE-3.dwg - Pn - Apr 13 2018 - 3:13 PM</small>			

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APR 17 2018

HIGHGROVE 3

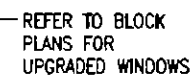
COMPLIANCE PACKAGE 'A1'

18			9			<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink <i>R Vink</i> 24488</p> <p>name signature BCN</p> <p>registration information</p> <p>VA3 Design Inc. 42658</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.</p>	<p>VAR DESIGN</p> <p>255 Consumers Rd Suite 120 Toronto ON M2L 1R4 t 416.630.2255 / f 416.630.4782 vo.design.com</p>	<p>Greenpark.</p> <p>project name RUSSELL GARDENS PH.2</p> <p>municipality WATERDOWN, ON.</p> <p>project no. 16036</p>	<p>drawing no. A9</p>
17		8 REVISED.	APR. 13/18	GW					
16		7 REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW					
15		6 REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW					
14		5 ISSUED FOR PRICING.	AUG. 23/17	GW					
13		4 REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT					
12		3 CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		<p>255 Consumers Rd Suite 120 Toronto ON M2L 1R4 t 416.630.2255 / f 416.630.4782 vo.design.com</p>	<p>Greenpark.</p> <p>project name RUSSELL GARDENS PH.2</p> <p>municipality WATERDOWN, ON.</p> <p>project no. 16036</p>	<p>drawing no. A9</p>	
11		2 REVISED PER CLIENT COMMENTS.	APR. 28/17	GW					
10		1 ISSUED FOR CLIENT PRELIMINARY REVIEW							
no. description			date	by	no. description	date	by	<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.</p>	

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APR 17 2018

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

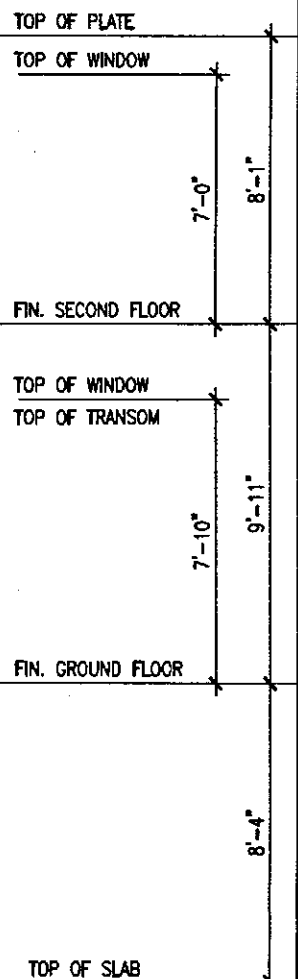
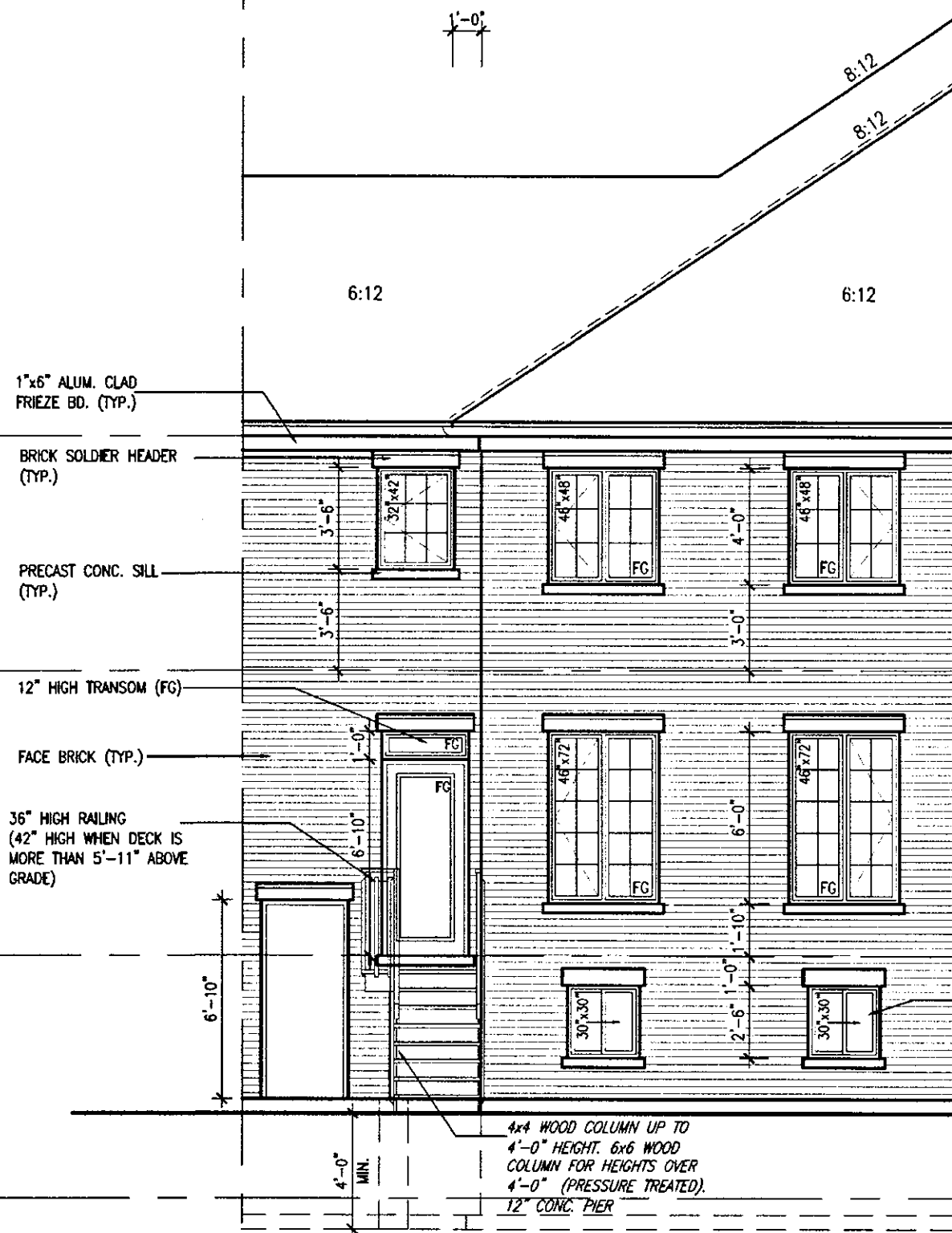
[illegible]

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1902 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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UPGRADED REAR ELEVATION '3'
DECK CONDITION (8R OR MORE)

APR 17 2018

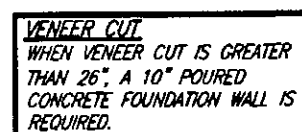
HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VAS DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	Greenpark. project name RUSSELL GARDENS PH.2 date APRIL 2017 drawn by WT	municipality WATERDOWN, ON.	project no. 16036	drawing no. A9c
17			8	REVISED.	APR. 13/18	GW					
16			7	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW					
15			6	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW					
14			5	ISSUED FOR PRICING.	AUG. 23/17	GW					
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT					
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW					
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW					
10			1	ISSUED FOR CLIENT PRELIMINARY REVIEW							
no. description		date	by	no. description		date	by				

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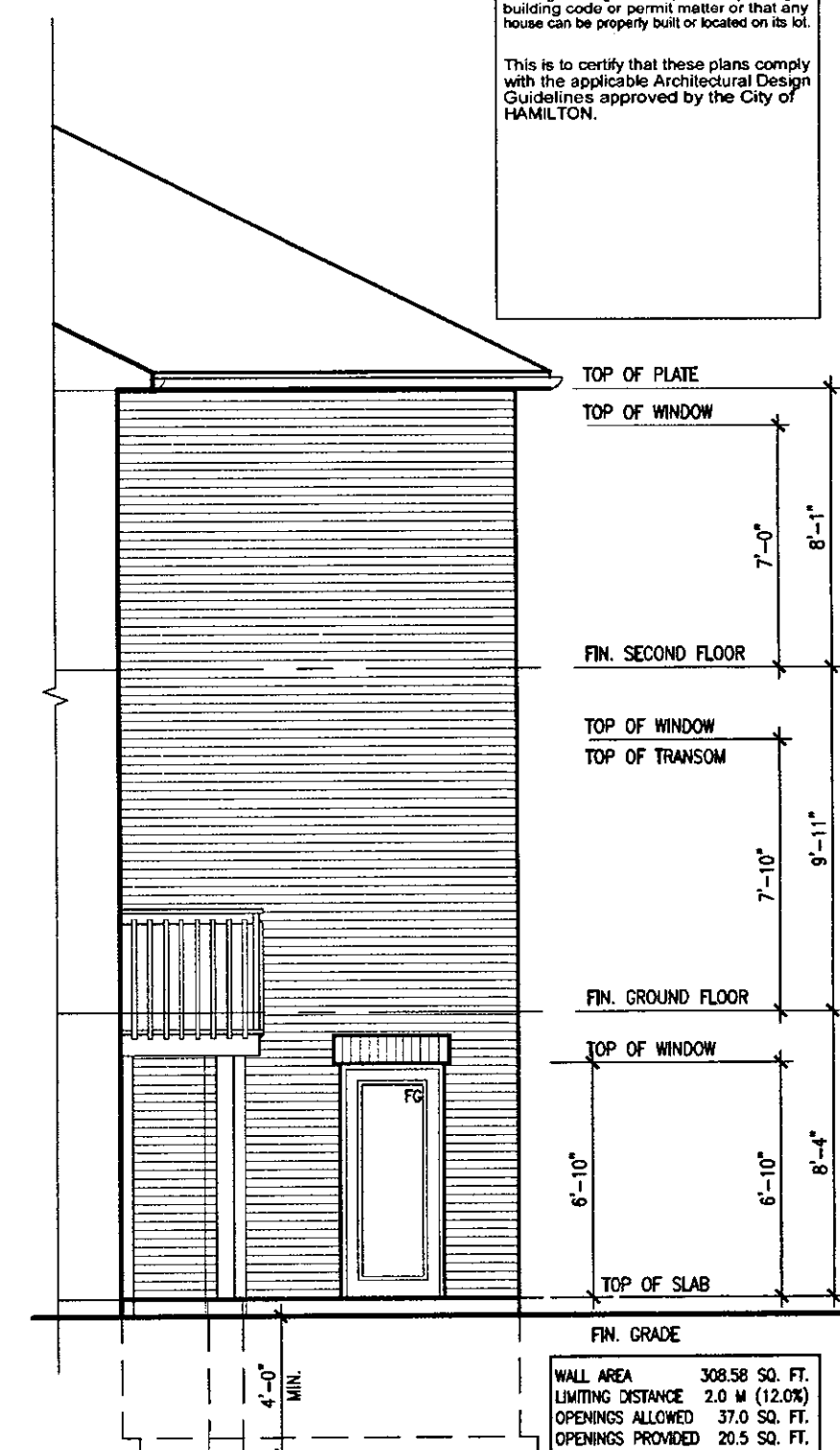
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



PART. BASEMENT PLAN
W.O.B. CONDITION

LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2)
FOR ADDITIONAL WOOD DECK INFORMATION.

PART. GROUND FLOOR PLAN
W.O.B CONDITION



SIDE ELEVATION '1/1A/2/3'
WOB CONDITION

OCT 04 2017

HIGHGROVE 3

COMPLIANCE PACKAGE 'A1'



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18		-	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	8			
16		-	7			qualification information
15		-	6	REVISED: ISSUED FOR PERMIT.	SEP. 28/17 GW	Richard Vink 2448
14		-	5	AUC. 23/17 GW		BCL
13		-	4	ISSUED FOR PRICING.		pname signature
12		-	4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT	registration information VAS Design Inc. 4265
11		-	3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17 GW	
10		-	2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
no.	description	date	by	no.	description	date by
				1	ISSUED FOR CLIENT PRELIMINARY REVIEW	

**VA3
DESIGN**
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com


Greenpark.

HIGHGROVE 3

project name	RUSSELL GARDENS PH.2		municipality	WATERDOWN, ON.		project no.	1603	
date	APRIL 2017		PARTIAL PLANS-- WOB CONDITION				drawing no.	A10
drawn by	WT	checked by	GW	scale	3/16" = 1'-0"		file name	

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1902 SF.

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1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK SOLDIER HEADER
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

42" HIGH RAILING

6x6 WOOD COLUMN
(PRESSURE TREATED)
ON 12" CONC. PIER

UPGRADED REAR ELEVATION '1/1A'
WOB CONDITION

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

42" HIGH RAILING

6x6 WOOD COLUMN
(PRESSURE TREATED)
ON 12" CONC. PIER

REAR ELEVATION '1/1A/2/3'
WOB CONDITION

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW

TOP OF TRANSOM

FIN. GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN. GRADE

OCT 04 2017

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18			9		
17			8		
16			7		
15			6	REVISED, ISSUED FOR PERMIT.	SEP. 28/17 GW
14			5	ISSUED FOR PRICING.	AUG. 23/17 GW
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17 GW
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW
10			1	ISSUED FOR CLIENT PRELIMINARY REVIEW	
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
name Richard Vink
registration information
VA3 Design Inc.
signature
24488
BCR
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2

municipality
WATERDOWN, ON.

HIGHGROVE 3

project no.
16036

date
APRIL 2017

checked by
WT

scale
3/16" = 1'-0"

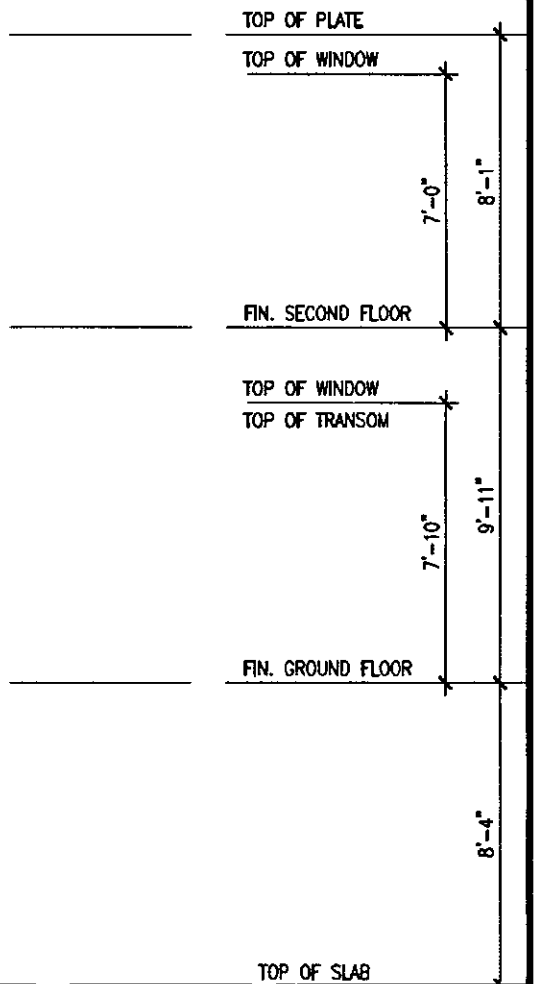
file name
16036-HIGHGROVE-3

drawing no.
A11

REAR ELEVATION - WOB CONDITION

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OCT 04 2017

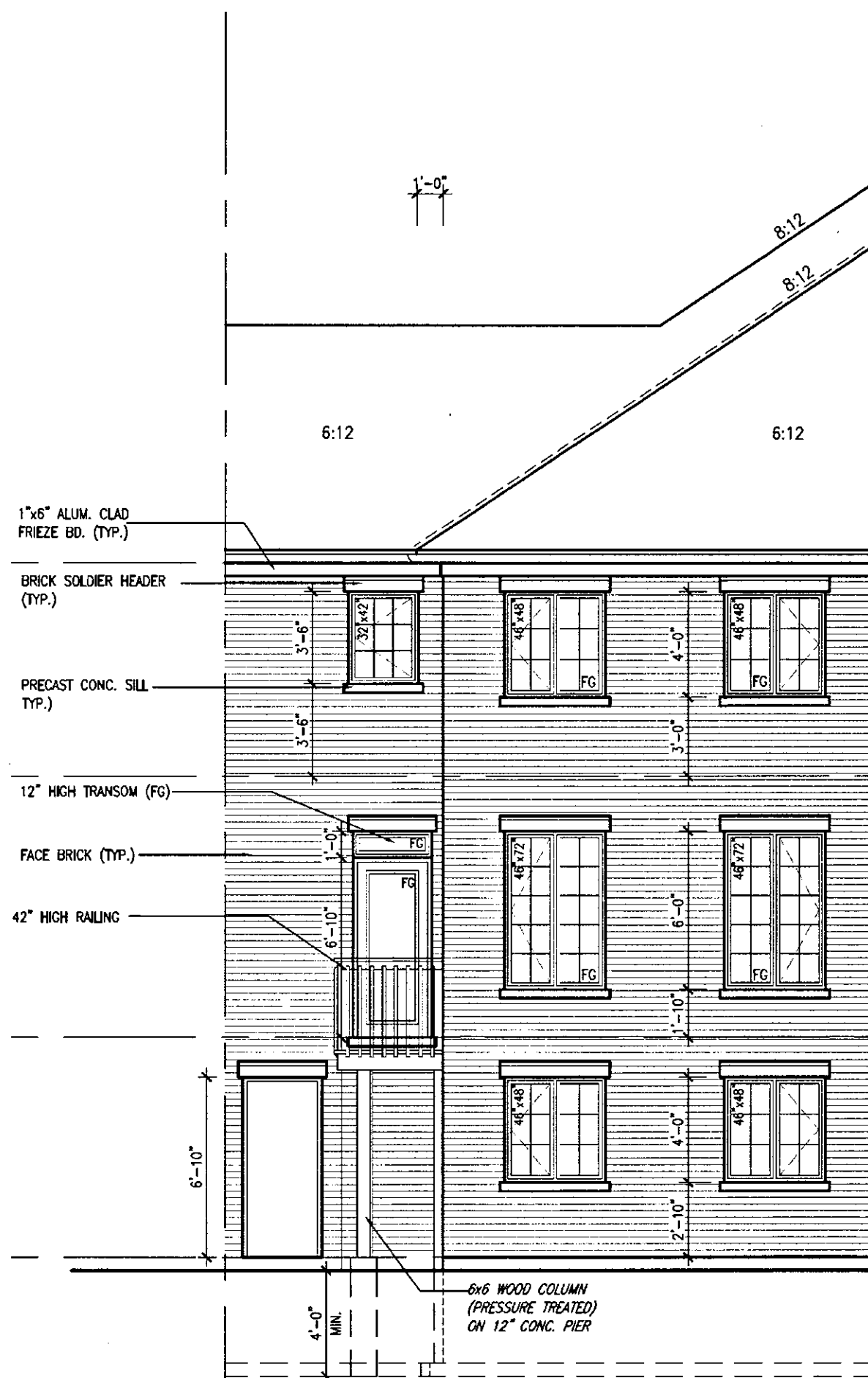
HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18			9			<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div><div><div>VA3</div><div>DESIGN</div></div><div>255 Consumers Rd Suite 120 Toronto ON M2U 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div> <div><div><div>Greenpark.</div><div>project name RUSSELL GARDENS PH.2</div><div>municipality WATERDOWN, ON.</div></div><div>project no. 16036</div></div>				
17			8				<div>date APRIL 2017</div> <div>drawn by WT</div> <div>checked by GW</div> <div>scale 3/16" = 1'-0"</div> <div>file name 16036-HIGHGROVE-3</div> <div>D:\S-D\16036-HIGHGROVE-3\16036-HIGHGROVE-3.dwg - Thu - Sep 28 2017 - 5:23 PM</div> <div>A11b</div>			
16			7							
15			6	REVISED, ISSUED FOR PERMIT.	SEP. 28/17 GW			Richard Vink	<div>signature <i>R Vink</i></div> <div>BCN 42655</div>	
14			5	ISSUED FOR PRICING.	AUG. 23/17 GW			name		
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT			registration information		
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17 GW	VA3 Design Inc.				
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				
10			1	ISSUED FOR CLIENT PRELIMINARY REVIEW						
no.	description	date	by	no.	description	date	by			

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



OCT 04 2017

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