

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS.
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS.
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F2 = 48"x48"x20" CONCRETE PAD
F3 = 36"x36"x16" CONCRETE PAD F4 = 40"x40"x16" CONCRETE PAD
F5 = 30"x30"x12" CONCRETE PAD F6 = 34"x34"x14" CONCRETE PAD
F7 = 24"x24"x12" CONCRETE PAD F8 = 28"x28"x12" CONCRETE PAD
F9 = 16"x16"x8" CONCRETE PAD F10 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTH. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

ML1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
ML2 = 4'-3/4"x3'-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
ML3 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0L) + 2-2"x10" SPR. No.2
ML4 = 6'-3/4"x3'-1/2"x1/4" (150x90x6.0L) + 2-2"x12" SPR. No.2
ML5 = 6'-3/4"x3'-1/2"x1/4" (150x100x10.0L) + 2-2"x12" SPR. No.2
ML6 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0L) + 2-2"x12" SPR. No.2
ML7 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0L) + 3-2"x10" SPR. No.2
ML8 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0L) + 3-2"x12" SPR. No.2
ML9 = 6'-3/4"x3'-1/2"x1/4" (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

MB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
MB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
MB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
MB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
MB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
MB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
MB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
MB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
MB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)
LVL11 = 3-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L)
L2 = 4'-3/4"x3'-1/2"x1/4" (100x90x6.0L)
L3 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0L)
L4 = 6'-3/4"x3'-1/2"x1/4" (150x90x6.0L)
L5 = 6'-3/4"x3'-1/2"x1/4" (150x100x10.0L)
L6 = 7'-3/4"x3'-1/2"x1/4" (175x100x10.0L)

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-4"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

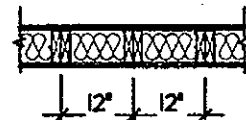
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINISH GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

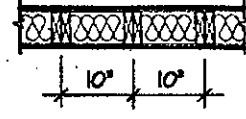
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT. C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 1/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) USE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT. C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 1/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE 'A1'

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.25
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

Refer to EEDS form

AREA CALCULATIONS

ELEV. 1	
GROUND FLOOR AREA	1268 Sq. Ft.
SECOND FLOOR AREA	1635 Sq. Ft.
TOTAL FLOOR AREA	2903 Sq. Ft.
	269.70 Sq. M.
1ST FLOOR OPEN AREA	0 Sq. Ft.
2ND FLOOR OPEN AREA	20 Sq. Ft.
ADD TOTAL OPEN AREAS	20 Sq. Ft.
ADD FIN. BASEMENT AREA	0 Sq. Ft.
GROSS FLOOR AREA	2918 Sq. Ft.
	271.09 Sq. M.
GROUND FLOOR COVERAGE	1268 Sq. Ft.
GARAGE COVERAGE / AREA	348 Sq. Ft.
PORCH COVERAGE / AREA	70 Sq. Ft.
TOTAL COVERAGE W/ PORCH	1736 Sq. Ft.
	161.28 Sq. M.
TOTAL COVERAGE W/O PORCH	1666 Sq. Ft.
	154.78 Sq. M.

AREA CALCULATIONS

ELEV. 2	
GROUND FLOOR AREA	1268 Sq. Ft.
SECOND FLOOR AREA	1635 Sq. Ft.
TOTAL FLOOR AREA	2903 Sq. Ft.
	269.70 Sq. M.
1ST FLOOR OPEN AREA	0 Sq. Ft.
2ND FLOOR OPEN AREA	20 Sq. Ft.
ADD TOTAL OPEN AREAS	20 Sq. Ft.
ADD FIN. BASEMENT AREA	0 Sq. Ft.
GROSS FLOOR AREA	2923 Sq. Ft.
	271.56 Sq. M.
GROUND FLOOR COVERAGE	1268 Sq. Ft.
GARAGE COVERAGE / AREA	348 Sq. Ft.
PORCH COVERAGE / AREA	70 Sq. Ft.
TOTAL COVERAGE W/ PORCH	1736 Sq. Ft.
	161.28 Sq. M.
TOTAL COVERAGE W/O PORCH	1666 Sq. Ft.
	154.78 Sq. M.

AREA CALCULATIONS

ELEV. 3	
GROUND FLOOR AREA	1268 Sq. Ft.
SECOND FLOOR AREA	1635 Sq. Ft.
TOTAL FLOOR AREA	2903 Sq. Ft.
	269.70 Sq. M.
1ST FLOOR OPEN AREA	0 Sq. Ft.
2ND FLOOR OPEN AREA	20 Sq. Ft.
ADD TOTAL OPEN AREAS	20 Sq. Ft.
ADD FIN. BASEMENT AREA	0 Sq. Ft.
GROSS FLOOR AREA	2923 Sq. Ft.
	271.56 Sq. M.
GROUND FLOOR COVERAGE	1268 Sq. Ft.
GARAGE COVERAGE / AREA	348 Sq. Ft.
PORCH COVERAGE / AREA	70 Sq. Ft.
TOTAL COVERAGE W/ PORCH	1736 Sq. Ft.
	161.28 Sq. M.
TOTAL COVERAGE W/O PORCH	1666 Sq. Ft.
	154.78 Sq. M.

ROSEWOOD 4 - ELEV. 1

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	736.87	(68.46)	47.53	(4.06)	13.24 %
LEFT SIDE	1104.56	(103.08)	63.66	(5.91)	5.74 %
RIGHT SIDE	1104.56	(103.08)	36.66	(3.41)	3.30 %
REAR	1271.44	(117.54)	137.53	(12.78)	10.80 %
TOTAL	3668.41 FT²	(342.21 M²)	385.38 FT²	(35.64 M²)	10.51 %

BP. # 18-118777

ROSEWOOD 4 - ELEV. 2

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	736.87	(68.46)	42.14	(3.96)	12.51 %
LEFT SIDE	1104.56	(103.08)	63.66	(5.91)	5.74 %
RIGHT SIDE	1104.56	(103.08)	36.66	(3.41)	3.30 %
REAR	1271.44	(117.54)	137.53	(12.78)	10.80 %
TOTAL	3668.41 FT²	(342.21 M²)	385.38 FT²	(35.64 M²)	10.51 %

ROSEWOOD 4 - ELEV. 3

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	736.87	(68.46)	114.27	(10.62)	5.51 %
LEFT SIDE	1104.56	(103.08)	63.66	(5.91)	5.74 %
RIGHT SIDE	1104.56	(103.08)	36.66	(3.41)	3.30 %
REAR	1271.44	(117.54)	137.53	(12.78)	10.80 %
TOTAL	3668.41 FT²	(342.21 M²)	352.12 FT²	(32.71 M²)	9.56 %

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.plugsafely.ca

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.

CITY OF HAMILTON
Building Division

Permit No. 18-118777

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

BUILDING OFFICIAL

JUL 18 2018

DATE

STRODET INC.



FOR STRUCTURE ONLY

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

5.	
4.	
3.	
2. ISSUED FOR PERMIT	JUNE 2017
1. ISSUED FOR COORDINATION	APR 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

NAME SIGNATURE

28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

**REGION
DESIGN
INC.**

SHEET TITLE
AREA CHARTS
SCALE 3/16"=1'-0"
BY ZMP
DATE JUNE 2017
TYPE

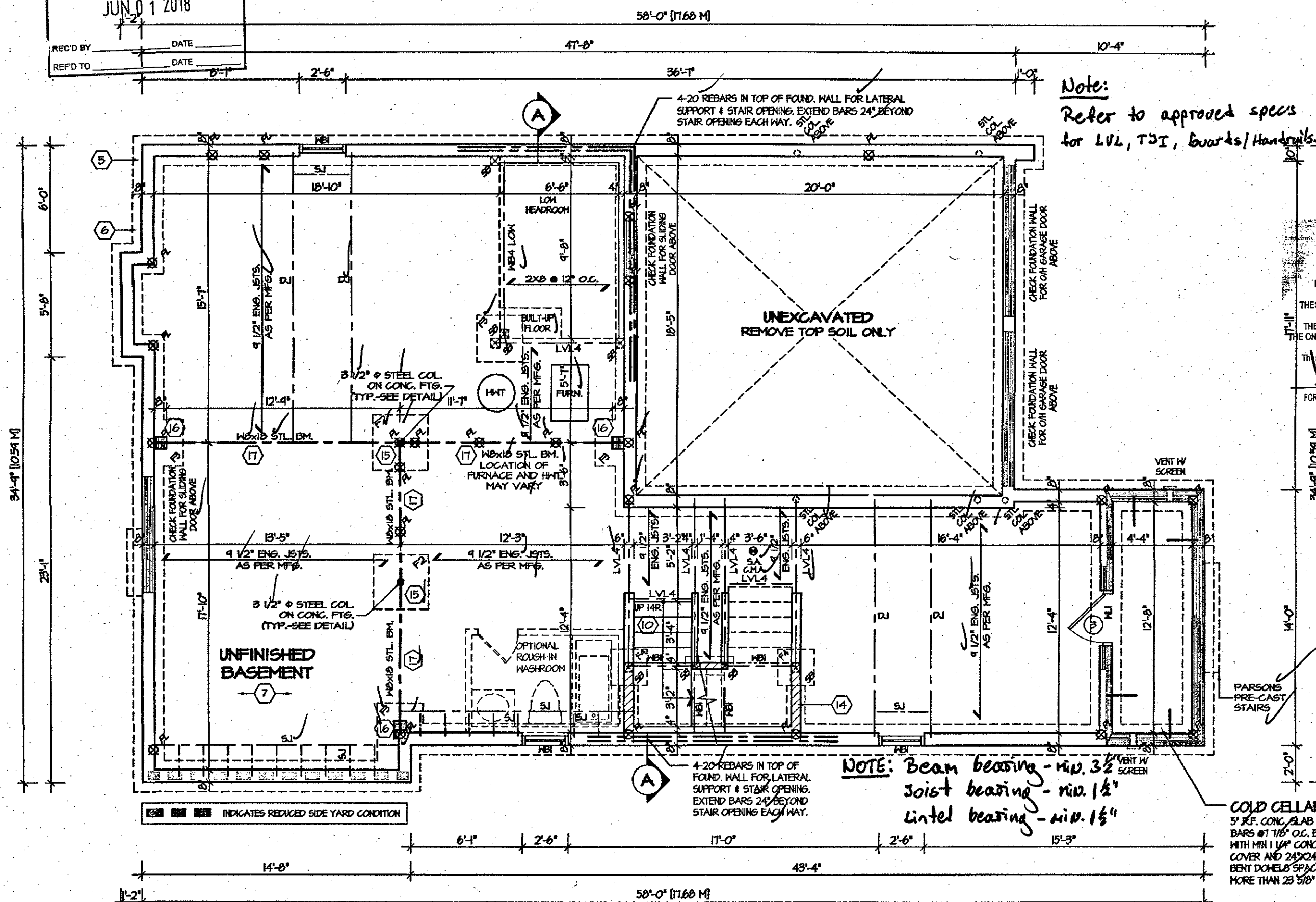
CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.
AREA 2918
PAGE NO. 0
PROJECT 03-13-06

Greenpark.
PROJECT NAME
**RUSSEL GARDENS BUILDING LTD.
PHASE II**

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____



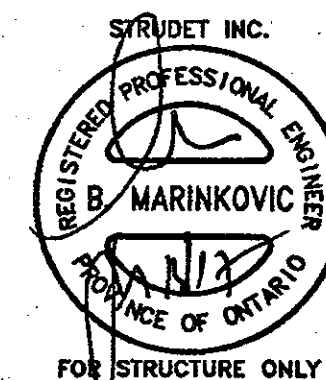
Note:
Refer to approved specs
for LV2, TSI, Guards/Handrails.

CITY OF HAMILTON
Building Division

Permit No. 18-118777

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
The drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

BASEMENT PLAN 1

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

- Note:
- All plumbing is subject to field inspection by City of Hamilton.
 - Footing/Foundation must bear on undisturbed soil.
 - A separate building permit is required to finish basement space.

JUL 14 2017

REVISIONS	
5.	
4.	
3.	
2. ISSUED FOR PERMIT	JUNE 2017
1. ISSUED FOR COORDINATION	APR 2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE 28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE	BASEMENT PLAN 1
SCALE	3/16"=1'-0"
DATE	JUNE 2017
BY	ZMP
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

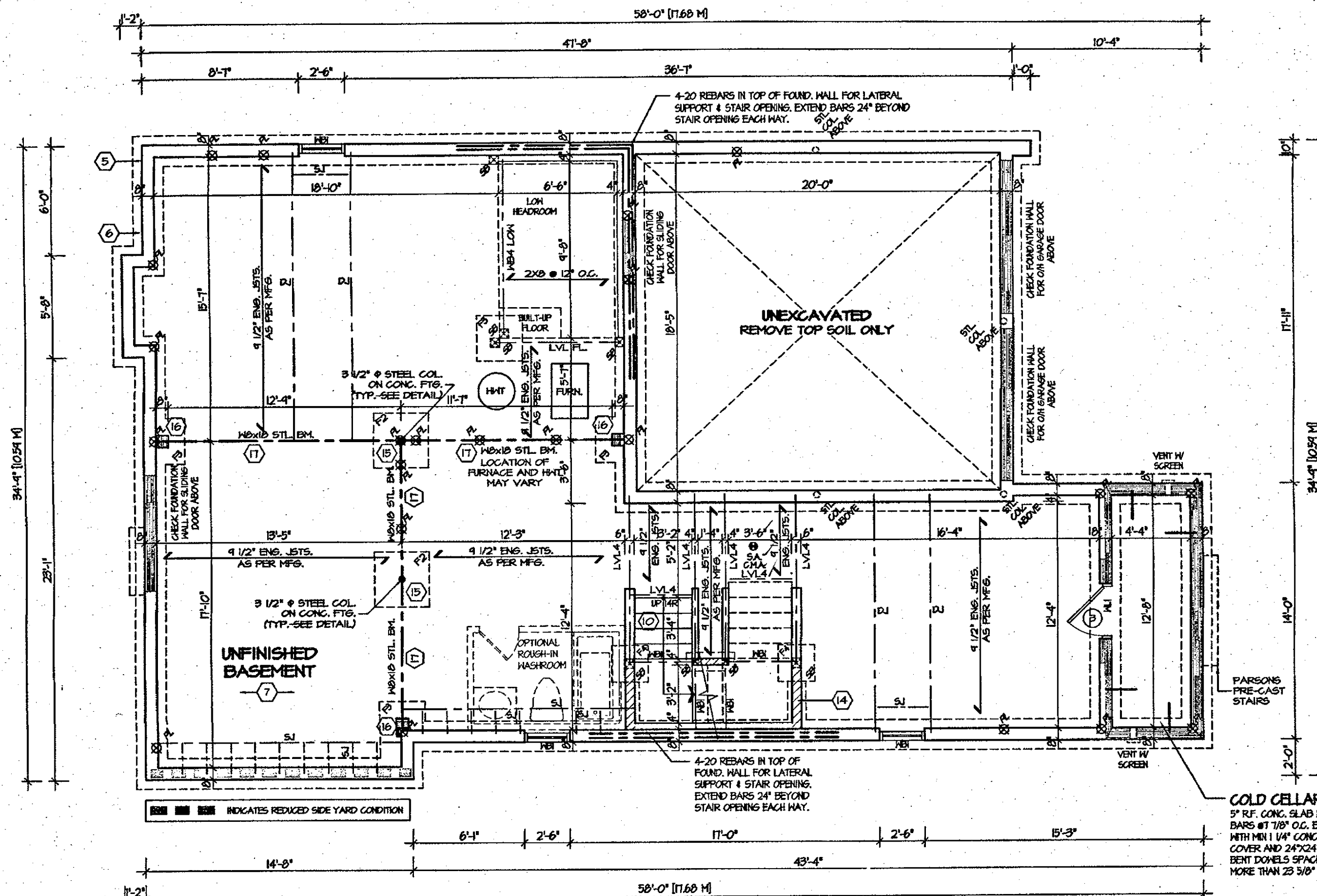
AREA	2918
PROJECT	03-13-06
PAGE NO.	1

Greenpark.

PROJECT NAME
RUSSEL GARDENS BUILDING LTD.
PHASE II

JUN 01 2018

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____



BASEMENT PLAN 2 - All notes on Basement Plan 1

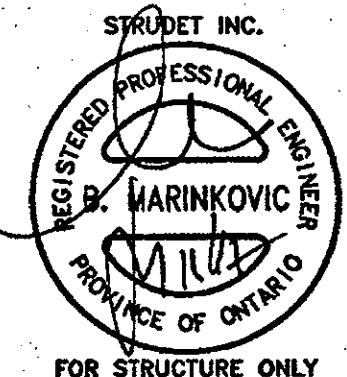
REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4\"/>

COLD CELLAR
5\"/>



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NOV 20 2017

John G. Williams Limited, Architect

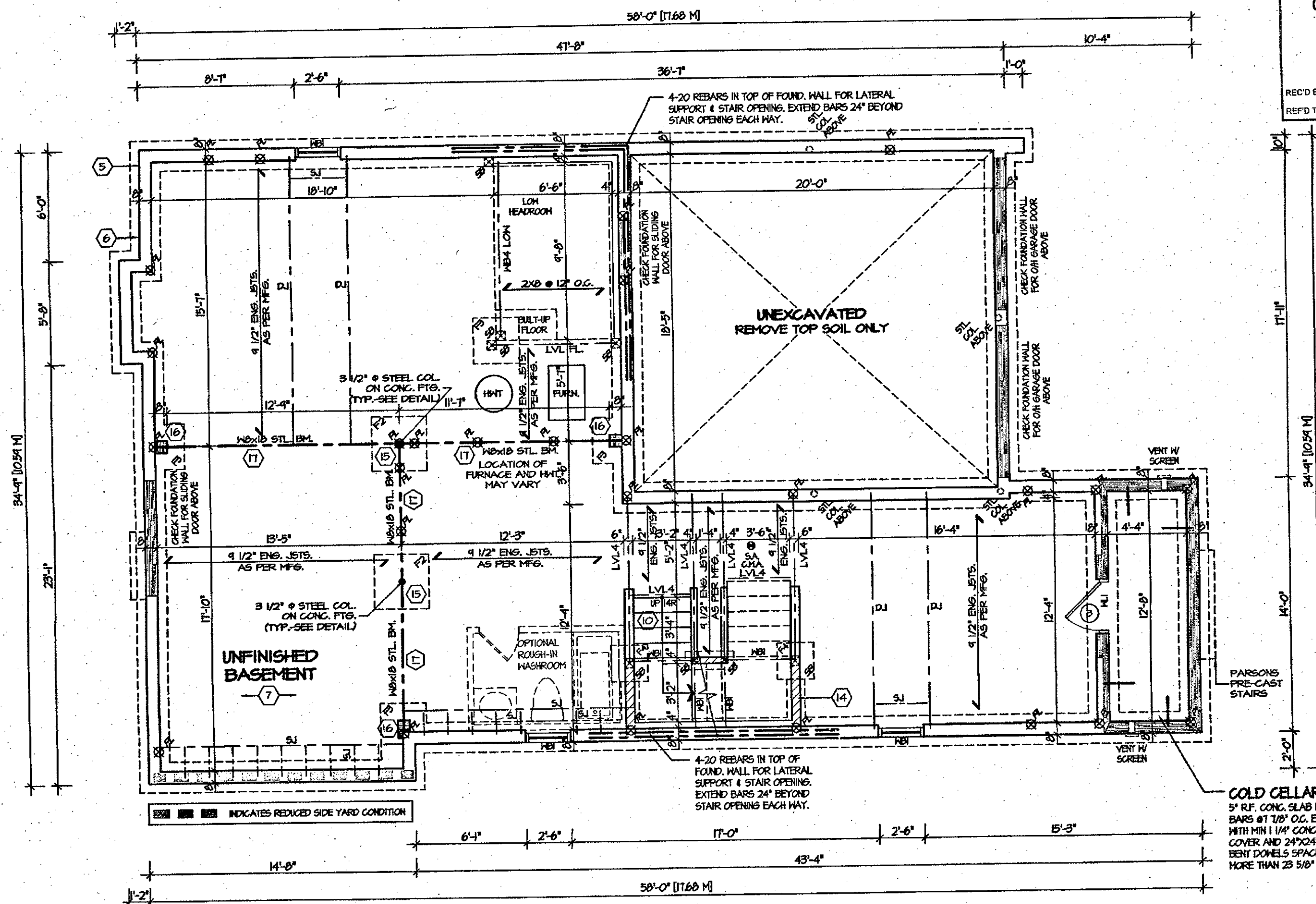
ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR COORDINATION APR 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN 2 SCALE 3/16\"/>	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2918 PROJECT 03-13-06	PAGE No. 1-2	Greenpark. PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II
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REC'D BY _____ DATE _____
REF'D TO _____ DATE _____



BASEMENT PLAN 3 - As noted on Basement Plan 1

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR
SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS
FOR SPANS GREATER THAN 1'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

COLD CELLAR
5' R.F. CONC. SLAB WITH 10M
BARS @ 7 1/8" O.C. EACH WAY
WITH MIN 1 1/4" CONCRETE
COVER AND 24"X24" 10M
BENT DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.

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ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

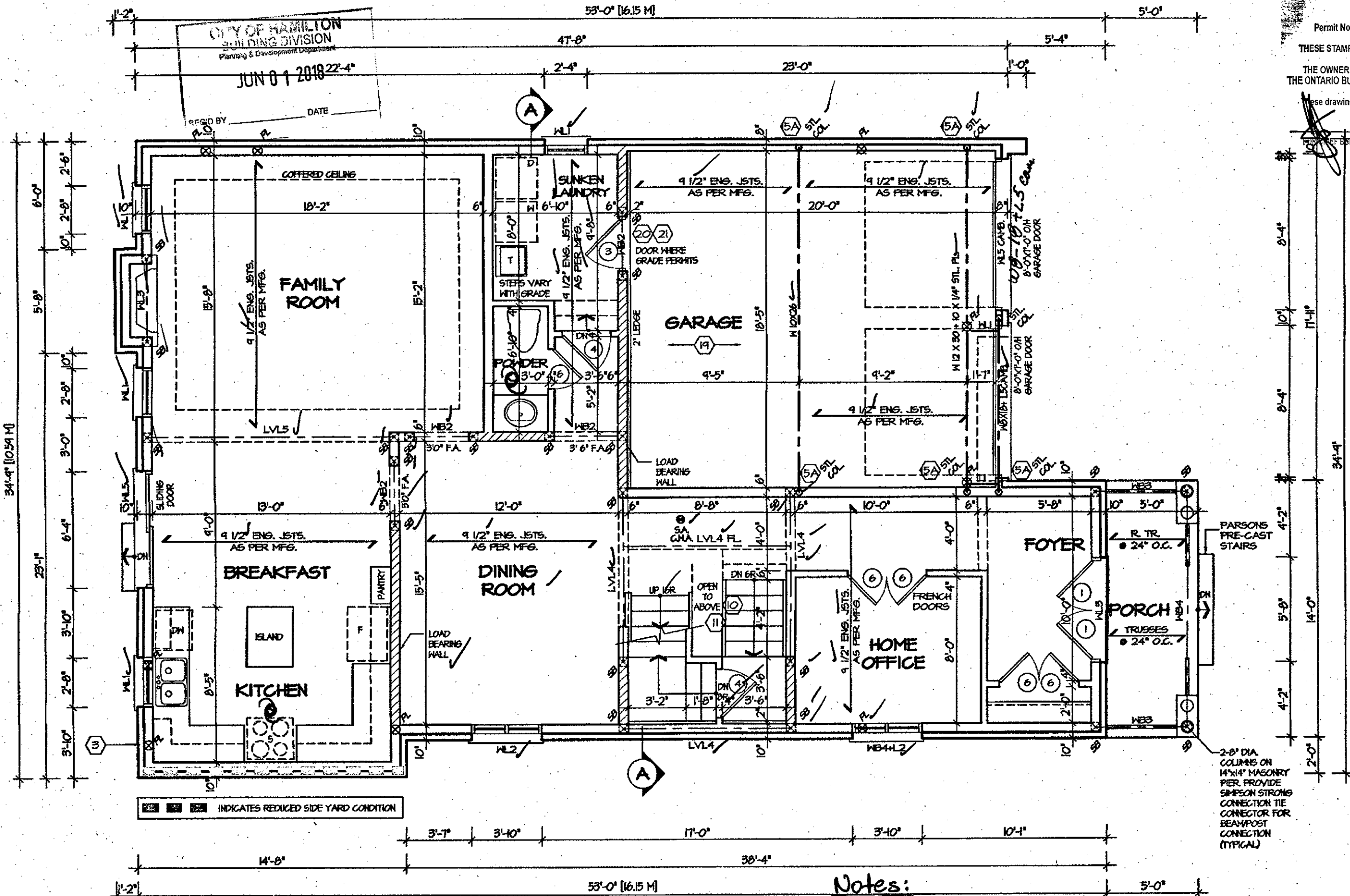
John G. Williams Limited, Architect

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 1-3		PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II	
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-06				
2.	ISSUED FOR PERMIT JUNE 2017										
1.	ISSUED FOR COORDINATION APR 2017										
REVISIONS											



FIRST FLOOR PLAN I

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

Notes:

- Beam bearing - min. 3 1/2"
- Joist bearing - min. 1 1/2"
- Lintel bearing - min. 1 1/2"
- Rafter bearing - min. 1 1/2"

• @ vent to outdoor.

• All plumbing is subject to field inspection by City of Hamilton.

JUL 14 2017

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

Greenpark.

PROJECT NAME
**RUSSEL GARDENS BUILDING LTD.
PHASE II**

5.	
4.	
3.	
2.	ISSUED FOR PERMIT JUNE 2017
1.	ISSUED FOR COORDINATION APR 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE BCIN **28770**

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
FIRST FLOOR PLAN 1

SCALE
3/16"=1'-0"

DATE
JUNE 2017

BY
ZMP

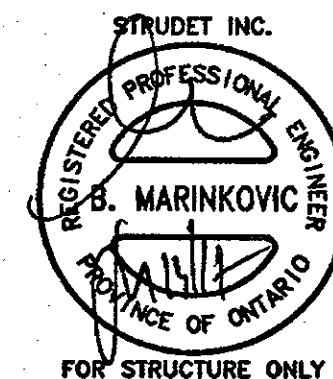
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2918

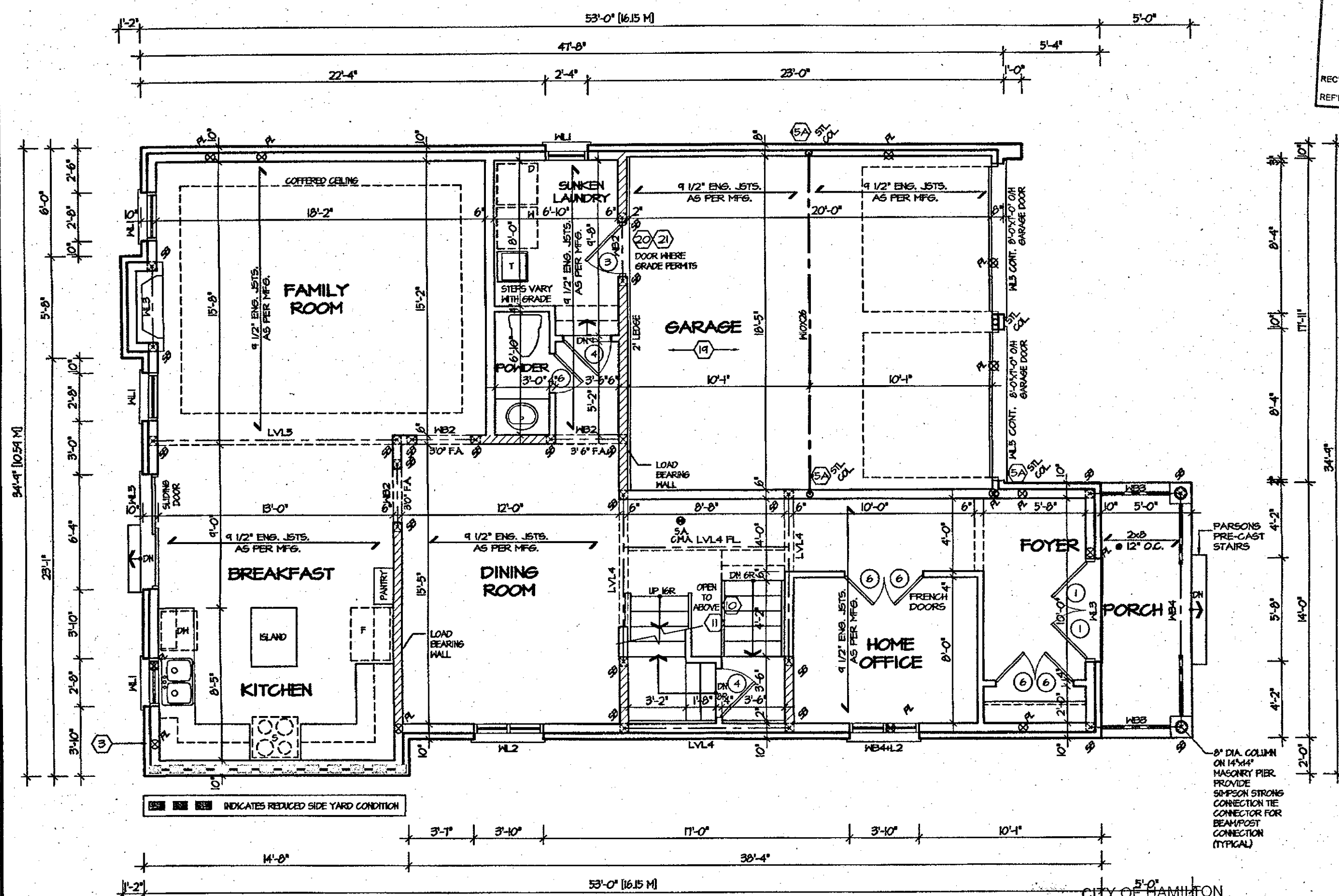
PROJECT
03-13-06

PAGE No.
2



John G. Williams Limited, Architect

PROJECT NAME
RUSSEL GARDENS BUILDING LTD
PHASE II



FIRST FLOOR PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS
FOR SPANS GREATER THAN 1'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED
AND NAILED ON THIS FLOOR.

~~CITY OF HAMILTON~~
Building Division

Permit No. 18-118777

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

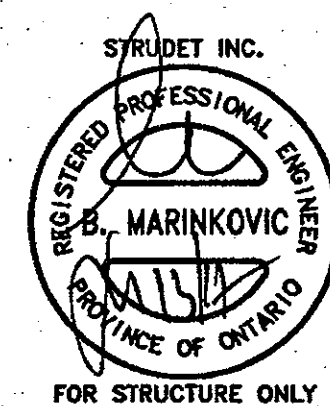
FOR CASE BUILDING OFFICIAL

DATA

JUL 14 2017

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

NOV 20 2017

John G. Williams Limited, Architect

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

SIGNATURE

28770

BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0744

REGIONAL DESIGN INC.

SHEET TITLE
FIRST FLOOR PLAN 3

SCALE
3/16"=1'-0"

DATE **JUNE 2017**

ZMF

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA	2918
------	------

PROJECT
03-13-0

PAGE No.

2-3

Greenpark.

PROJECT NAME
RUSSEL GARDENS BUILDING LTD
PHASE II

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUN 01 2018

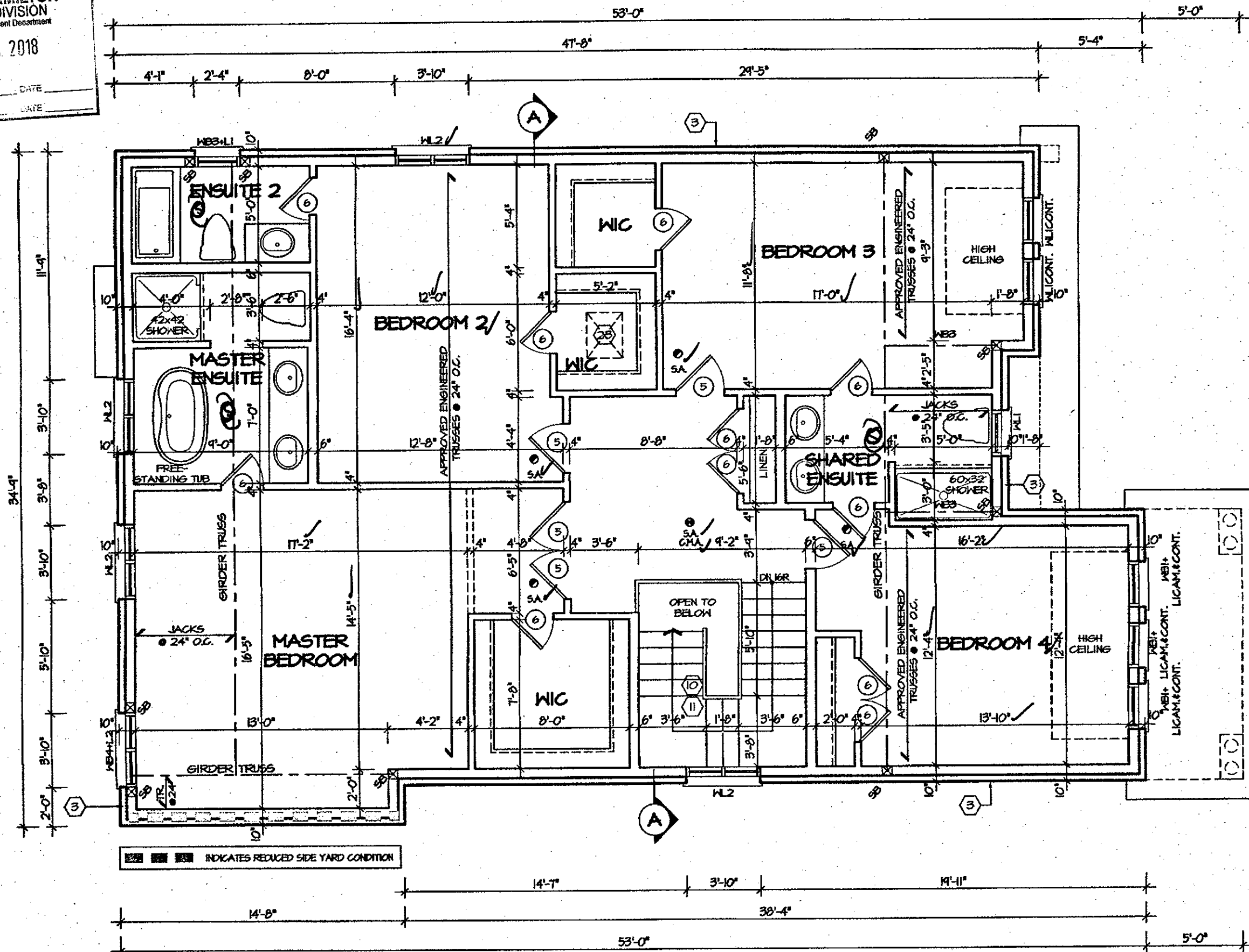
REC'D BY: _____ DATE _____
REF'D TO: _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. **18-110777**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by

FOR CITY BUILDING OFFICIAL JUL 18 2018
DATE



SECOND FLOOR PLAN I

Note: • @ vent to outdoor.

REFER TO TRUSS SHOP DRAWINGS FOR TRUSS LAYOUTS

G.T. = GIRDER TRUSS BY ROOF TRUSS MFG.



FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

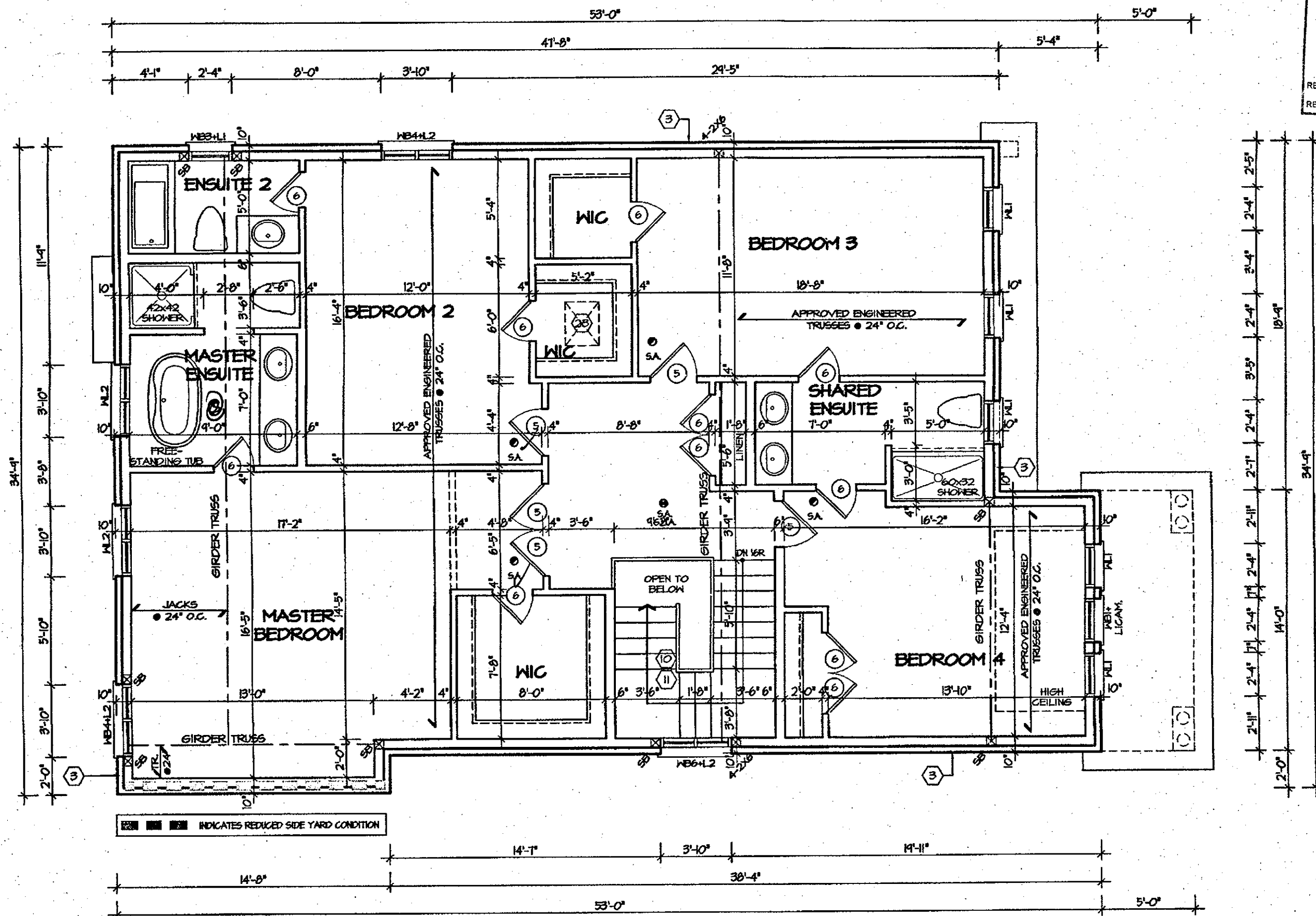
ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR COORDINATION APR 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE SECOND FLOOR PLAN 1 SCALE 3/16"=1'-0" DATE JUNE 2017	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. BY ZMP AREA 2918 PROJECT 03-13-06	PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II
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Greenpark.



SECOND FLOOR PLAN 2

REFER TO TRUSS SHOP DRAWINGS FOR TRUSS LAYOUTS

G.T. = GIRDER TRUSS BY ROOF TRUSS MFG.

STRADET INC.



FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

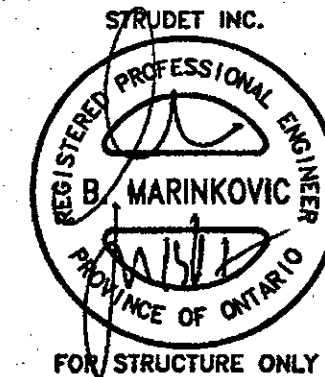
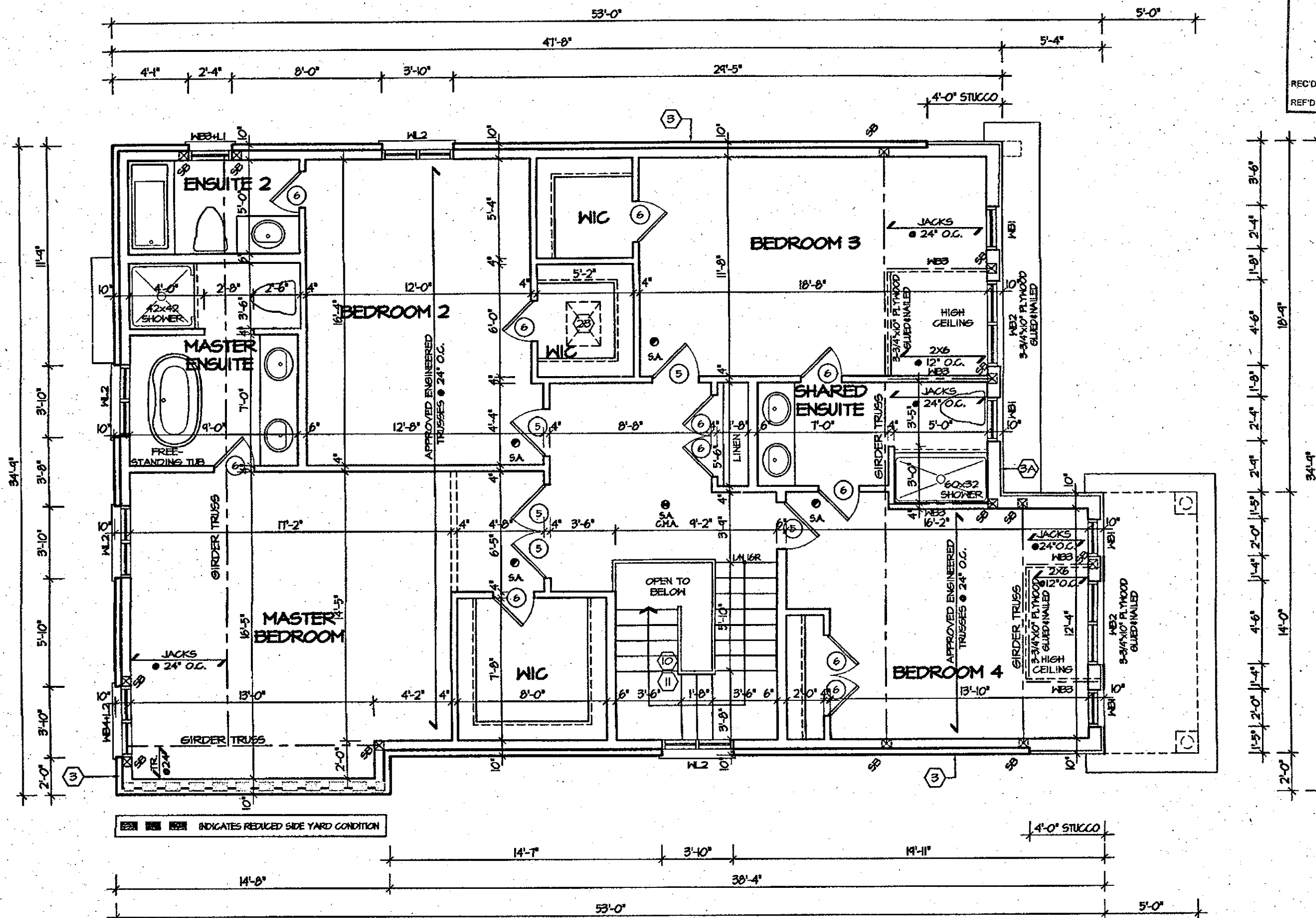
JUL 14 2017

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4.				SECOND FLOOR PLAN 2					
3.				SCALE	BY	AREA	PAGE No.		
2.	ISSUED FOR PERMIT			3/16"=1'-0"	ZMP	2918			
1.	ISSUED FOR COORDINATION			DATE	TYPE	PROJECT			
REVISIONS		VIKAS GAJJAR NAME		28770 BCIN		3-2		PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II	

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____



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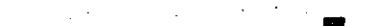
ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 4
COMPLIANCE PACKAGE 'A1'

JUL 14 2017

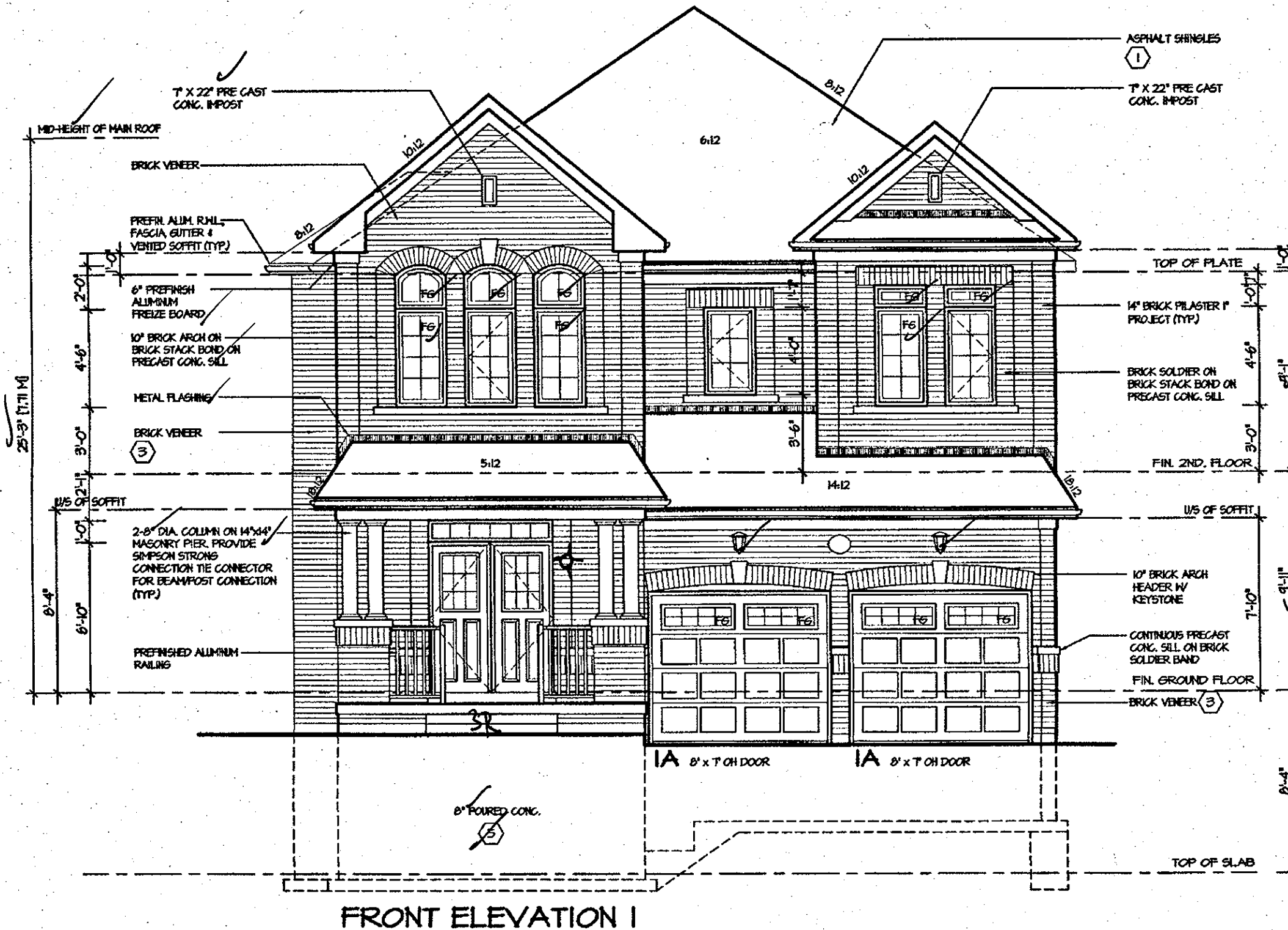
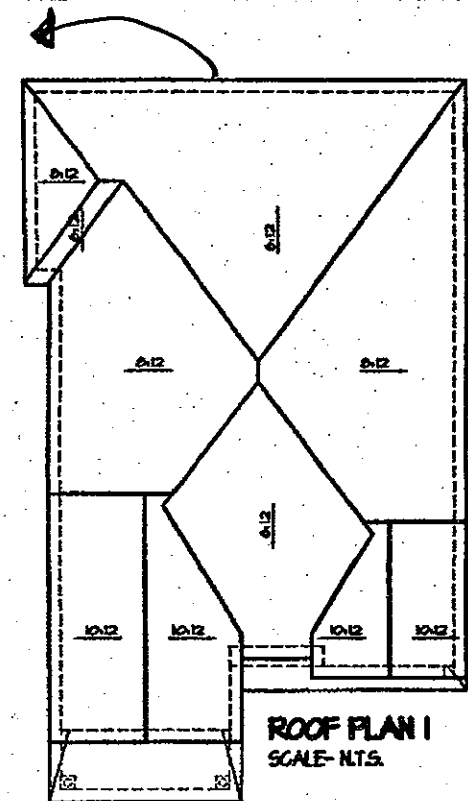
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4.					SECOND FLOOR PLAN 3				
3.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 3-3	
2. ISSUED FOR PERMIT	JUNE 2017				DATE JUNE 2017	TYPE	PROJECT 03-13-06		
1. ISSUED FOR COORDINATION	APR 2017								
REVISIONS									

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Note:
• Provide natural ventilation for every 1/300 sq. ft. of the insulated roof space.



CITY OF HAMILTON
Building Division

Permit No. **18-118777**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by _____
DATE **JUL 18 2018**

CITY OF HAMILTON BUILDING OFFICIAL

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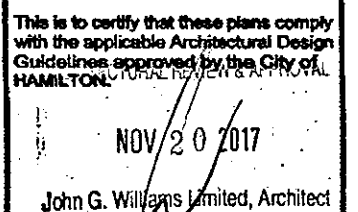
ARCHITECTURAL REVIEW & APPROVAL
NOV 20 2017
John G. Williams Limited, Architect

ROSEWOOD 4
COMPLIANCE PACKAGE 'A1'

JUL 14 2017

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 4
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-06	
2.	ISSUED FOR PERMIT				JUNE 2017			
1.	ISSUED FOR COORDINATION	APR 2017						
REVISIONS		PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II						

ROOF PLAN 2
SCALE - N.T.S.

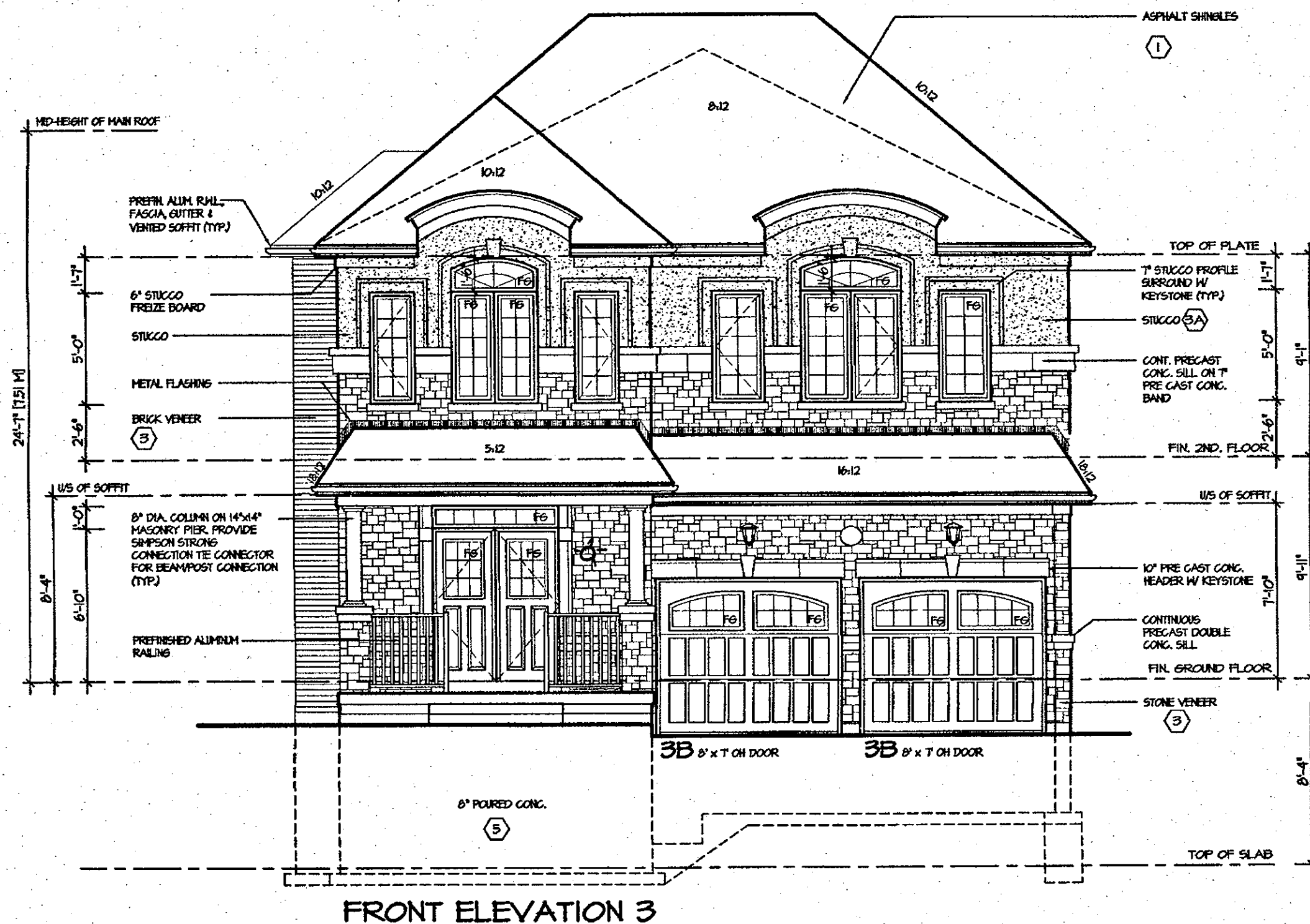
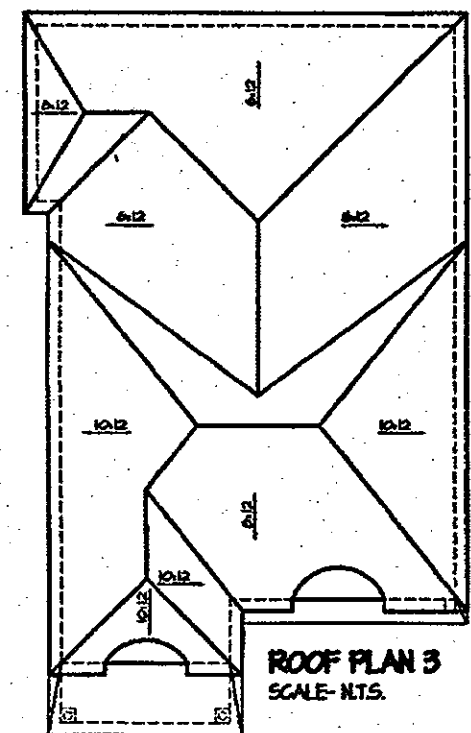


JUL 14 2017

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 4-2	
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-06		
2.	ISSUED FOR PERMIT JUNE 2017								
1.	ISSUED FOR COORDINATION APR 2017								
REVISIONS									

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUN 01 2018
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Note:
Stucco approved CSA/CMC
system must be on-site prior
instalation.



CITY OF HAMILTON
Building Division
Permit No. **18-118277**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
JUL 1 8 2018
DATE

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ARCHITECTURAL REVIEW & APPROVAL
NOV 20 2017
John G. Williams Limited, Architect

ROSEWOOD 4
COMPLIANCE PACKAGE 'A1'

JUL 14 2017

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4.						SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 4-3	
3.						DATE JUNE 2017	TYPE	PROJECT 03-13-06		
2.		ISSUED FOR PERMIT	JUNE 2017							
1.		ISSUED FOR COORDINATION	APR 2017							
REVISIONS										

10:16:45 AM M:\PROJECTS\RUSSELL GARDENS II\STANDARD PLANS\ROSEWOOD 4 (41-8) - REG - ZMP\ACAD-ROSEWOOD 4 (41-8) MASTER.DWG July 12, 2017

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

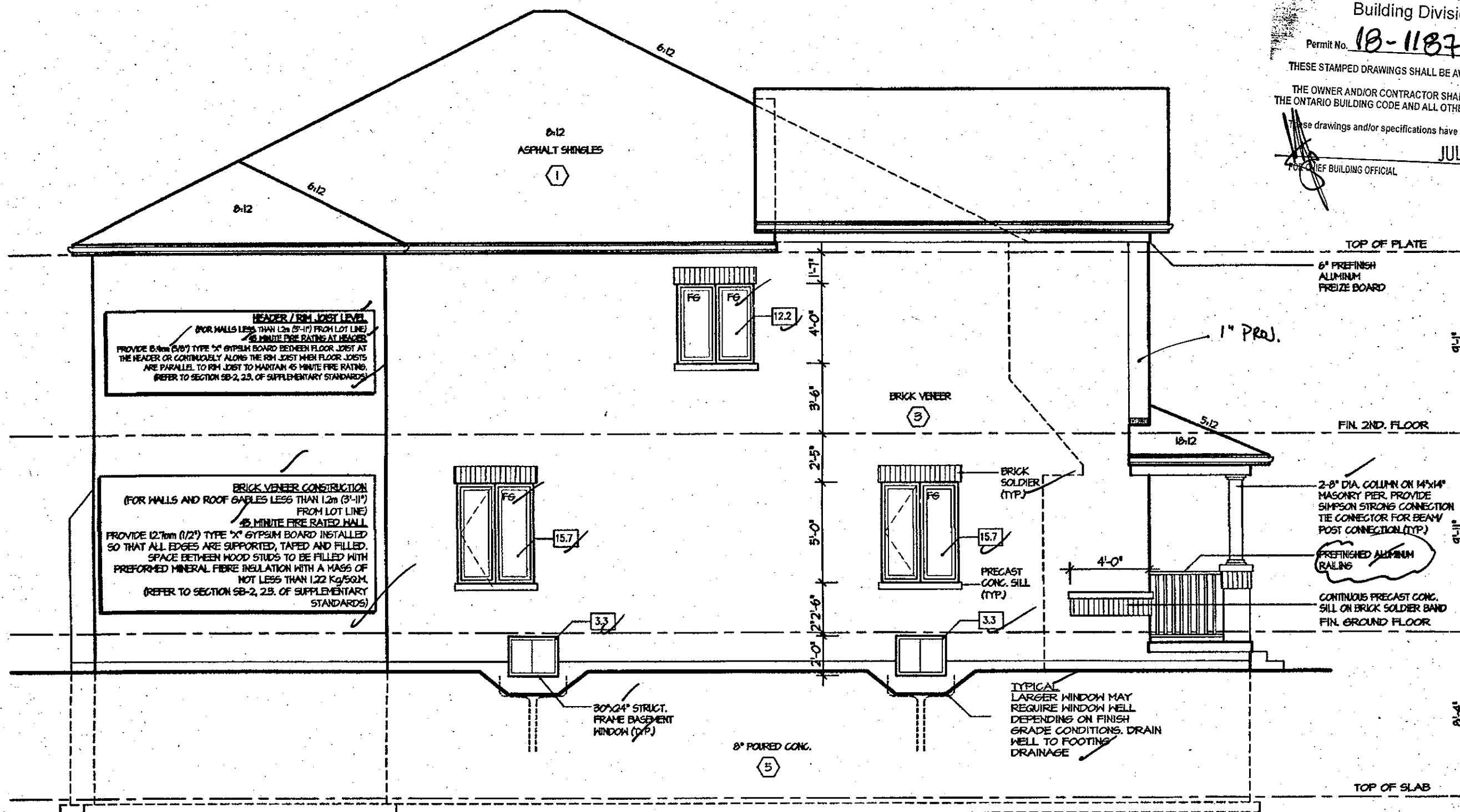
CITY OF HAMILTON
Building Division

Permit No. **18-118777**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by _____
DATE **JUL 18 2018**
FOR CHIEF BUILDING OFFICIAL _____



ALLOWABLE GLAZING (STANDARD PLAN)

WALL AREA	=	802	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1:8 1/2 SIDE YARD	=	56.4	Sq. Ft.
ACTUAL GLAZED AREA	=	50.2	Sq. Ft.

LEFT ELEVATION I

Pg. 0 (Area Charts) ✓

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ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 4
COMPLIANCE PACKAGE 'A1'

JUL 14 2017

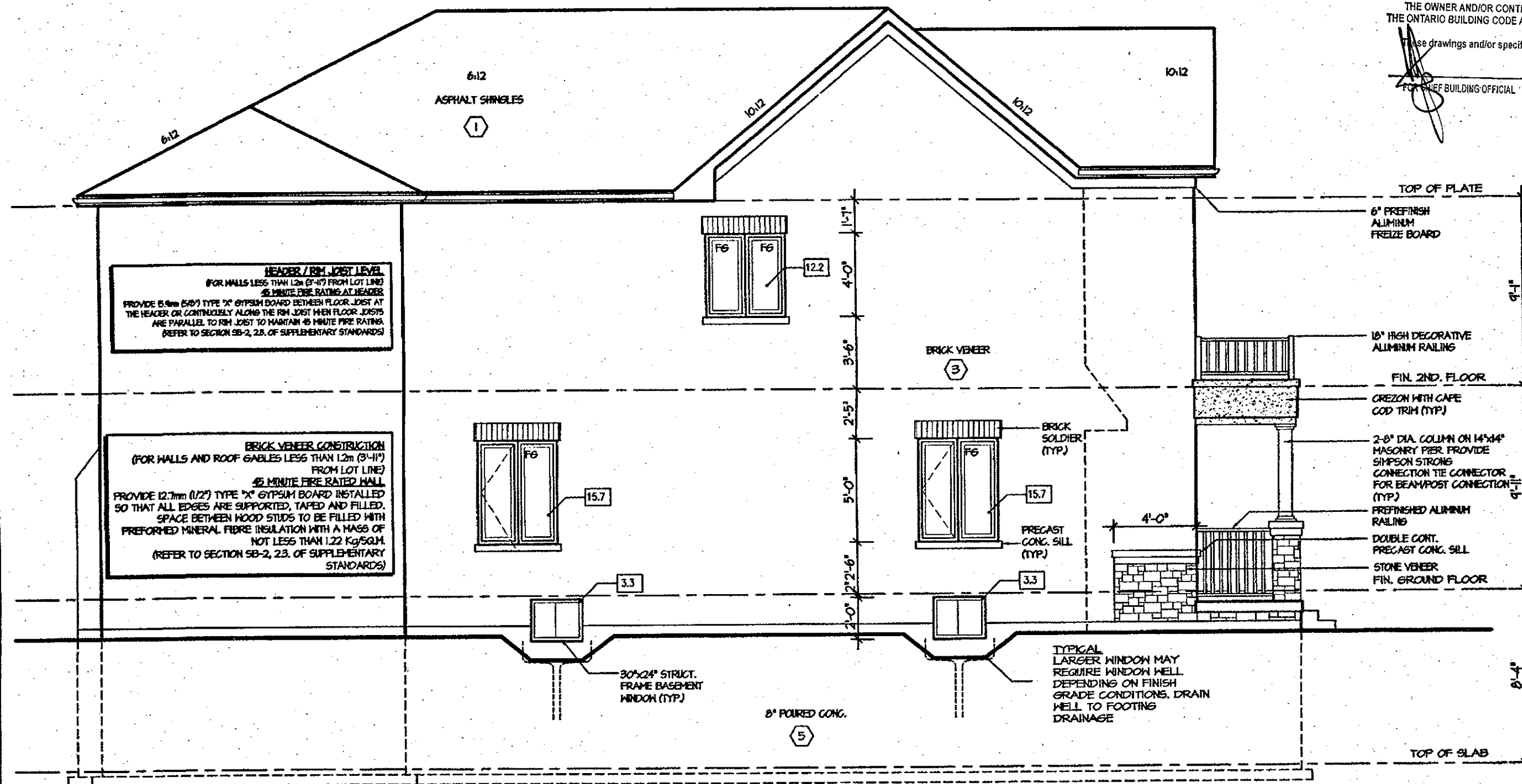
5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME _____ SIGNATURE _____ 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746 REGION DESIGN INC.	SHEET TITLE LEFT SIDE ELEVATION 1 SCALE 3/16"=1'-0" DATE JUNE 2017	BY ZMP TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2918 PROJECT 03-13-06	PAGE No. 5	PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II
4.								
3.								
2.	ISSUED FOR PERMIT							
1.	ISSUED FOR COORDINATION	APR 2017						



10:16:39 AM M:\PROJECTS\RUSSELL GARDENS\STANDARD PLANS\ROSEWOOD 4 (1-6) - REG-ZIP\ACAD-ROSEWOOD 4 (1-6) MASTER.DWG July 12, 2017

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUN 01 2018
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. **18-118772**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
JUL 18 2018
DATE
FOR CHIEF BUILDING OFFICIAL



ALLOWABLE GLAZING (STANDARD PLAN)

WALL AREA	802	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7' x 12' H SIDE YARD	5614	Sq. Ft.
ACTUAL GLAZED AREA	502	Sq. Ft.

LEFT ELEVATION 2

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ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 5-2
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-06	
2. ISSUED FOR PERMIT	JUNE 2017							
1. ISSUED FOR COORDINATION	APR 2017							
REVISIONS		PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II						

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUN 01 2018
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

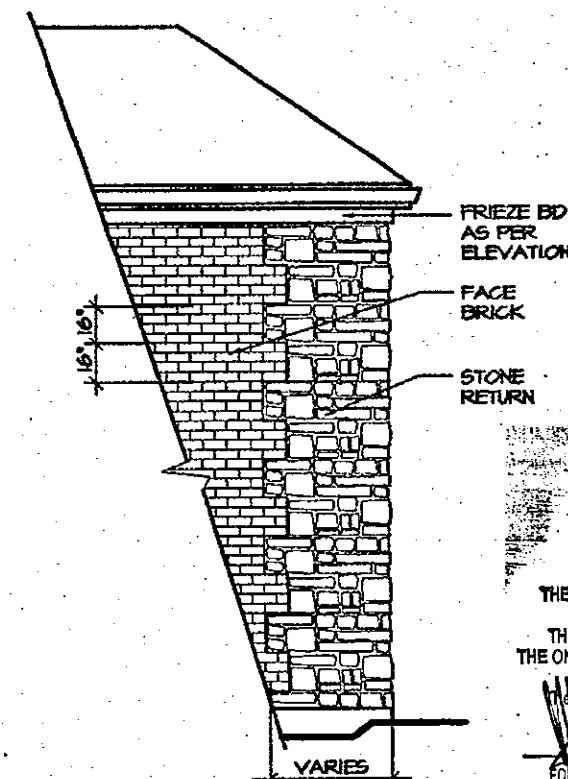
Permit No. **18-118777**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

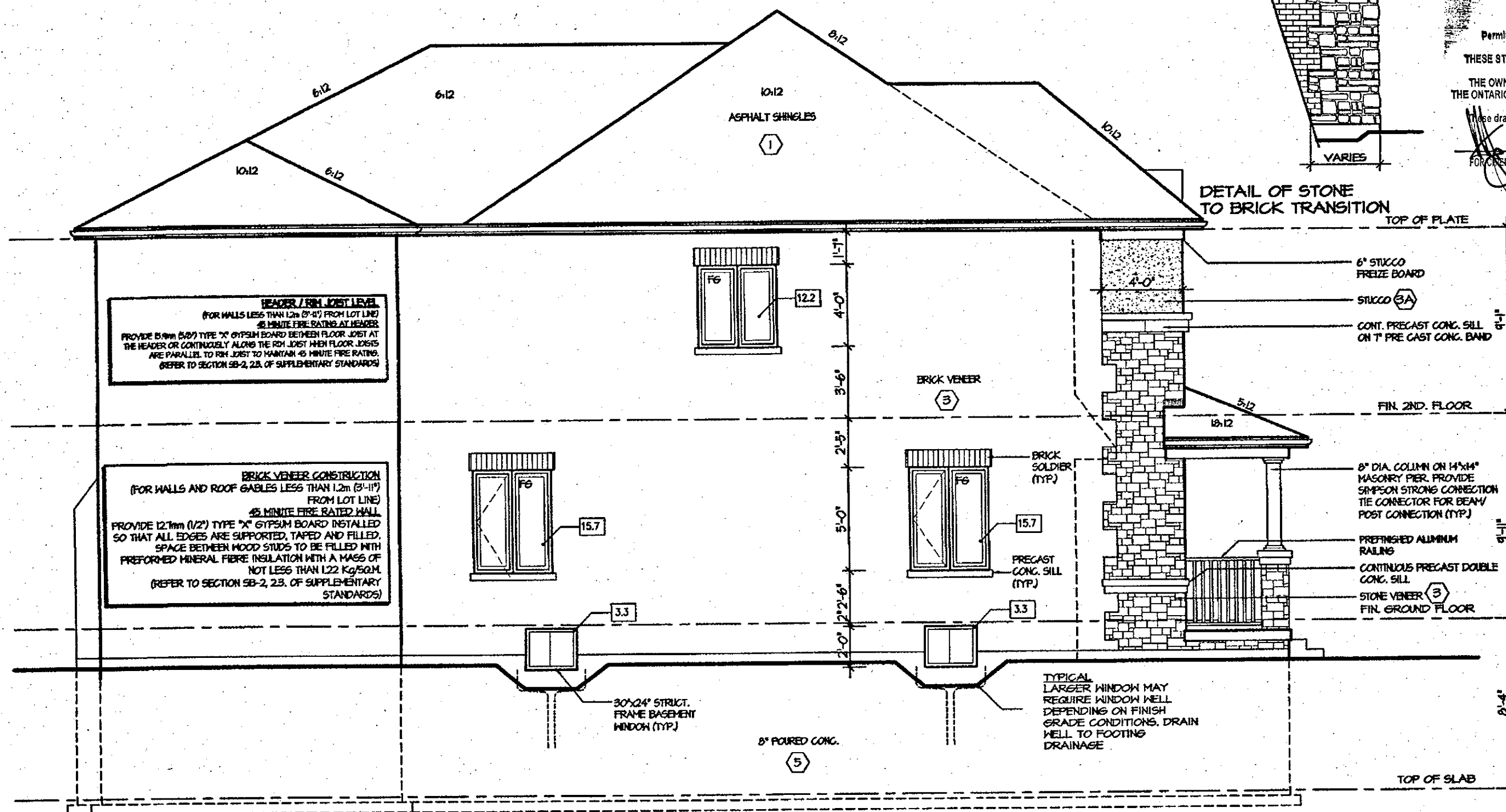
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CITY BUILDING OFFICIAL DATE **JUL 18 2018**



DETAIL OF STONE
TO BRICK TRANSITION



ALLOWABLE GLAZING(Standard Plan)

WALL AREA	=	802	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 12 M SIDE YARD	=	56.14	Sq. Ft.
ACTUAL GLAZED AREA	=	50.2	Sq. Ft.

LEFT ELEVATION 3

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2918	PAGE No. 5-3	PROJECT 03-13-06	PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II
4.					LEFT SIDE ELEVATION 3						
3.					SCALE 3/16"=1'-0"	BY ZMP					
2.	ISSUED FOR PERMIT				JUNE 2017	DATE JUNE 2017					
1.	ISSUED FOR COORDINATION	APR 2017	SIGNATURE Vikas Gajjar		28770						
REVISIONS											

Greenpark.

**CITY OF HAMILTON
BUILDING DIVISION**
Planning & Development Department

JUN 01 2018

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

**CITY OF HAMILTON
Building Division**

Permit No. **18-118777**

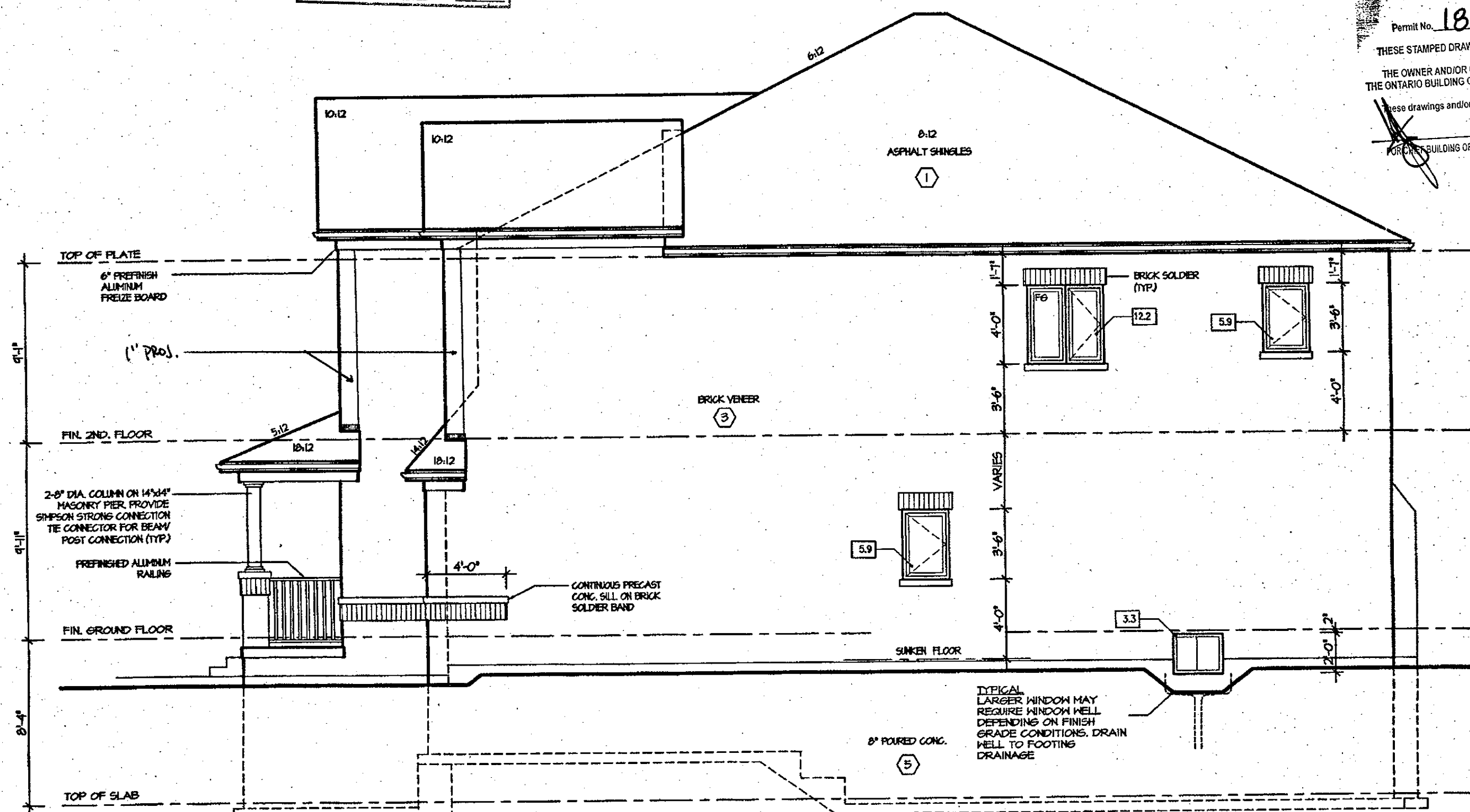
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by _____

JUL 18 2018
DATE

FOR CHIEF BUILDING OFFICIAL



RIGHT ELEVATION I

ALLOWABLE GLAZING(STANDARD PLAN)

WALL AREA	=	186	Sq. Ft.	✓
ALLOWABLE GLAZED AREA @ 1:12 H SIDE YARD	=	7452	Sq. Ft.	✓
ACTUAL GLAZED AREA	=	213	Sq. Ft.	✓

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ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

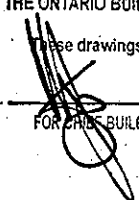
ROSEWOOD 4

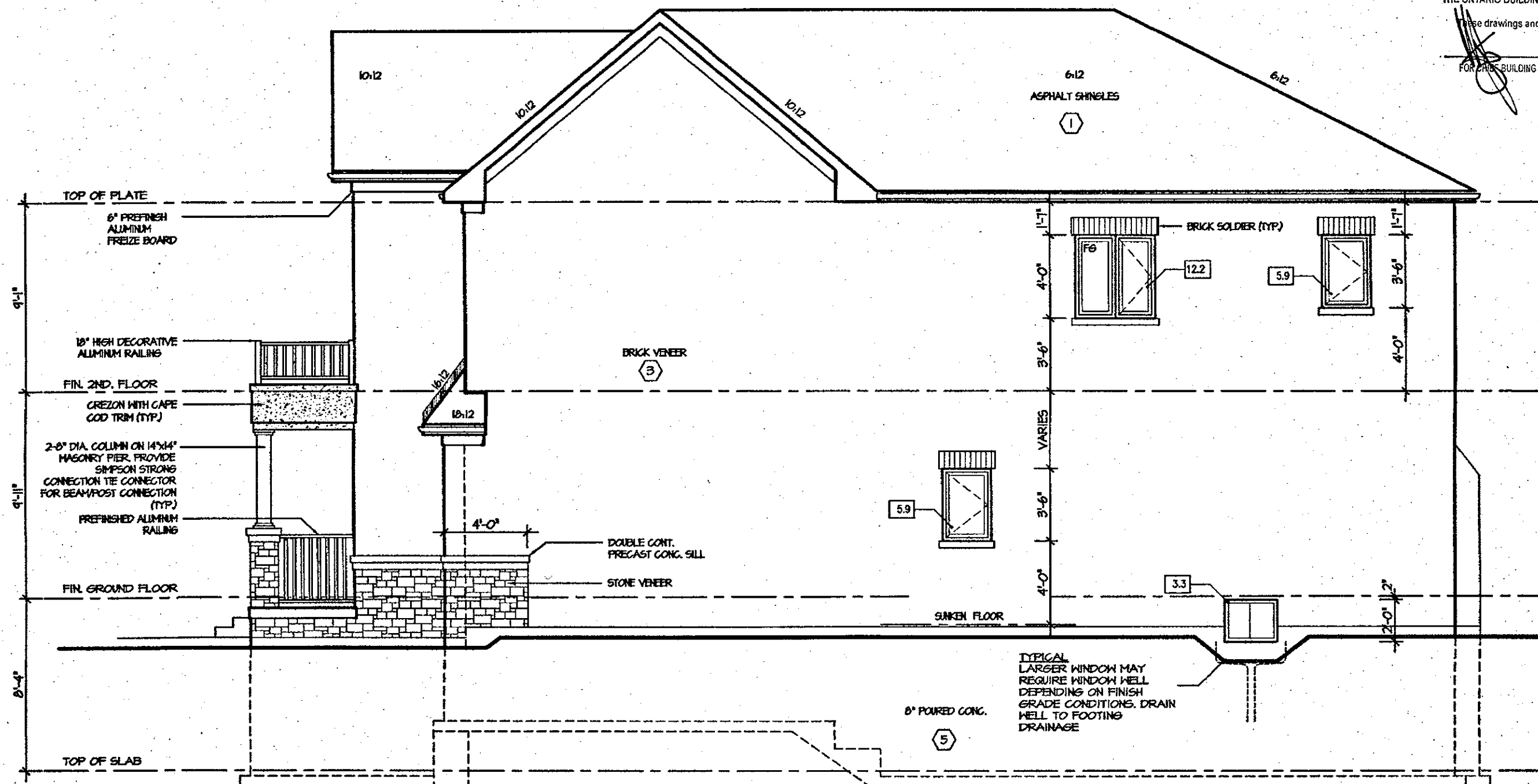
COMPLIANCE PACKAGE 'A1'

JUL 14 2017

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4.				SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 6		
3.				DATE JUNE 2017	TYPE	PROJECT 03-13-06			
2. ISSUED FOR PERMIT	JUNE 2017								
1. ISSUED FOR COORDINATION	APR 2017								
REVISIONS									

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUN 01 2018
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. **18-118777**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by

FOR THE BUILDING OFFICIAL
JUL 18 2018
DATE



RIGHT ELEVATION 2

ALLOWABLE GLAZING (STANDARD PLAN)

HALL AREA	=	1836	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1% 12 M SIDE YARD	=	7432	Sq. Ft.
ACTUAL GLAZED AREA	=	213	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	JUNE 2017
1.	ISSUED FOR COORDINATION	APR 2017
REVISIONS		

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

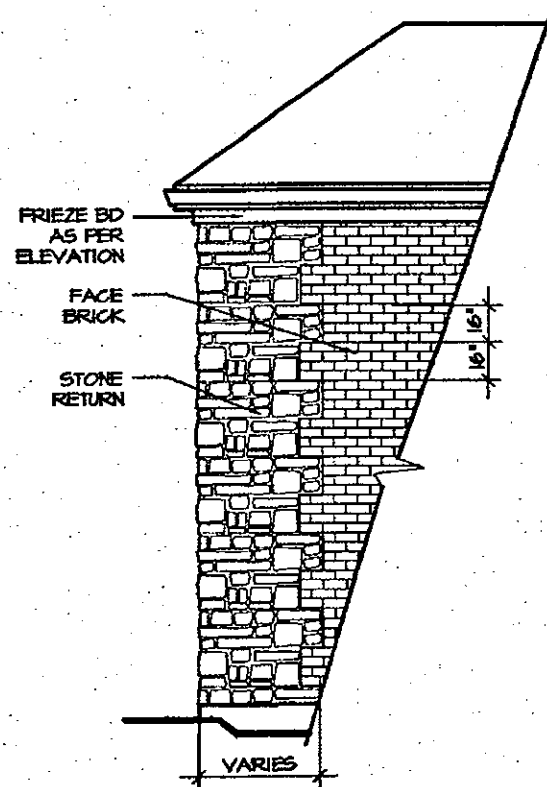
VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

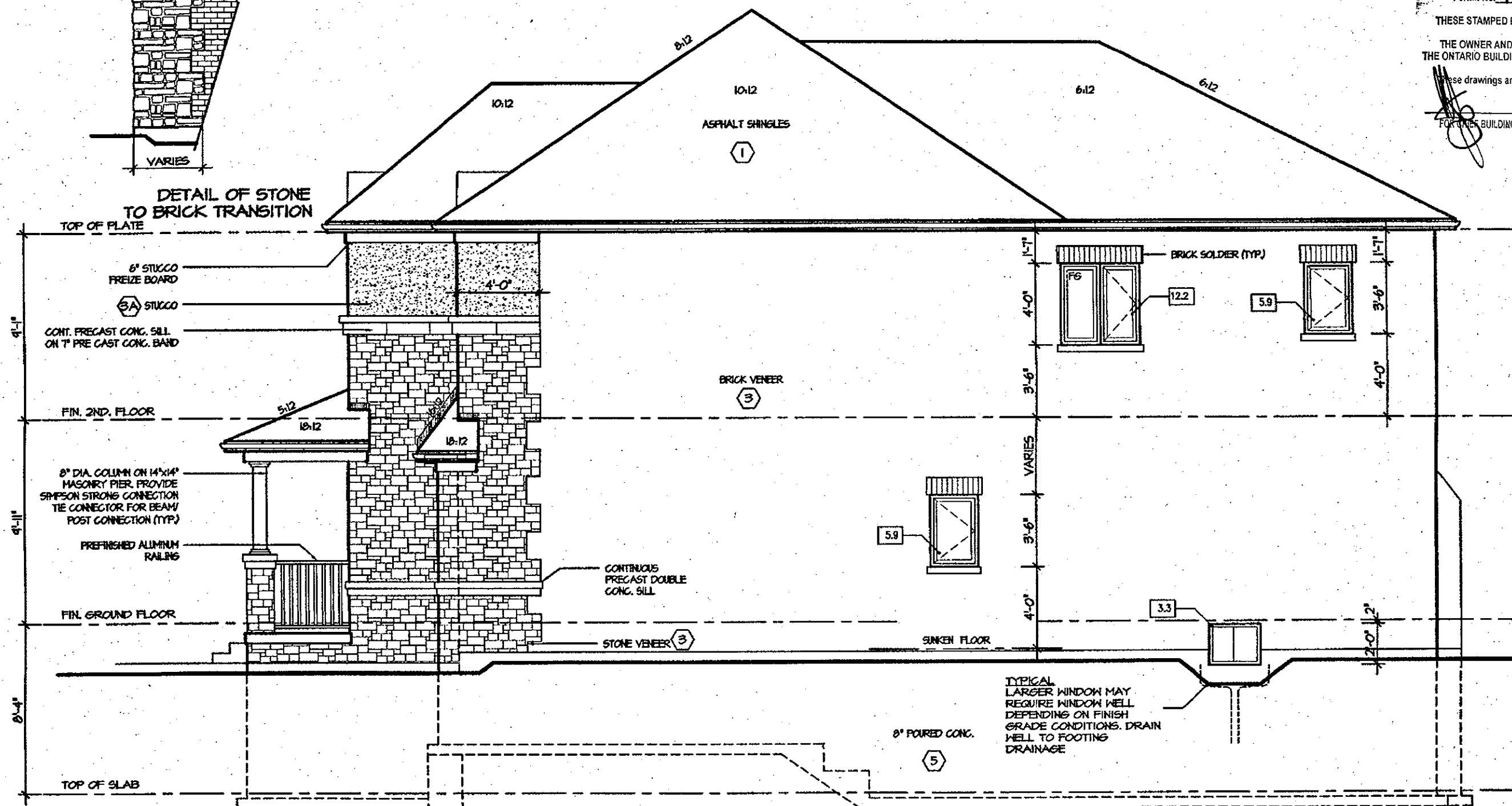
SHEET TITLE RIGHT SIDE ELEVATION 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 6-2
DATE JUNE 2017	TYPE	PROJECT 03-13-06	


PROJECT NAME
RUSSEL GARDENS BUILDING LTD.
PHASE II



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUN 01 2018
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. **10-118777**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
JUL 18 2018
DATE
FOR THE BUILDING OFFICIAL



RIGHT ELEVATION 3

ALLOWABLE GLAZING(Standard Plan)

WALL AREA	=	186	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 & 1/2 M SIDE YARD	=	1452	Sq. Ft.
ACTUAL GLAZED AREA	=	273	Sq. Ft.

TYPICAL
LARGER WINDOW MAY
REQUIRE WINDOW WELL
DEPENDENT ON FINISH
GRADE CONDITIONS. DRAIN
WELL TO FOOTING
DRAINAGE

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ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	JUNE 2017
1.	ISSUED FOR COORDINATION	APR 2017
REVISIONS		

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4096
F (905) 660-0746

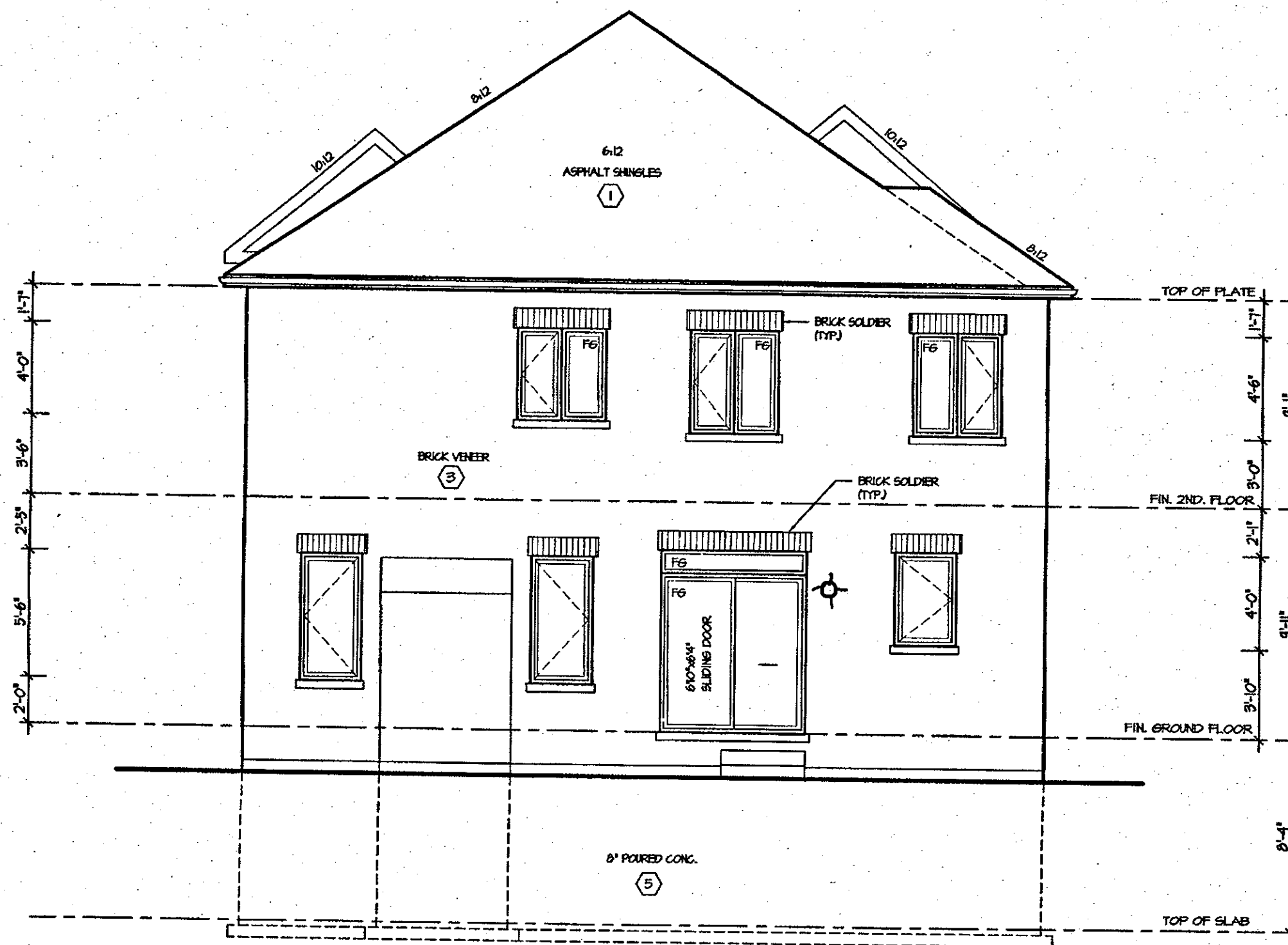
REGION
DESIGN
INC.

SHEET TITLE RIGHT SIDE ELEVATION 3	
SCALE 3/16"=1'-0"	BY ZMP
DATE JUNE 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2918	PAGE No. 6-3
PROJECT 03-13-06	

Greenpark.
PROJECT NAME
RUSSEL GARDENS BUILDING LTD.
PHASE II

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JUN 01 2018
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____



CITY OF HAMILTON
Building Division
Permit No. **18-118777**
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These drawings and/or specifications have been reviewed by
FOR THE BUILDING OFFICIAL JUL 1 8 2018
DATE

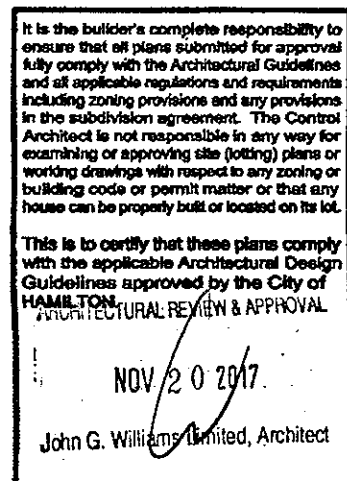
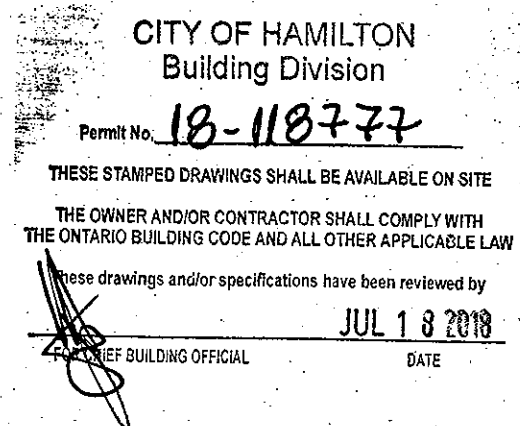
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ARCHITECTURAL REVIEW & APPROVAL
NOV 20 2017
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 4
COMPLIANCE PACKAGE 'A1'

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 7	
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-06		
2.		ISSUED FOR PERMIT JUNE 2017							
1.		ISSUED FOR COORDINATION APR 2017							
REVISIONS									

10:15:31 AM M:\PROJECTS\RUSSEL GARDENS\STANDARD PLANS\ROSEWOOD 4 (41-6) - REG-ZMP\ACAD-ROSEWOOD 4 (41-6) MASTER.DWG July 12, 2017



ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

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4.					REAR ELEVATION 2				
3.					SCALE	BY	AREA	PAGE No.	
2.	ISSUED FOR PERMIT				JUNE 2017	3/16"=1'-0"	ZMP	2918	7-2
1.	ISSUED FOR COORDINATION				APR 2017	DATE	TYPE	PROJECT	PROJECT NAME
REVISIONS			JUNE 2017		03-13-06	RUSSEL GARDENS BUILDING LTD. PHASE II			

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

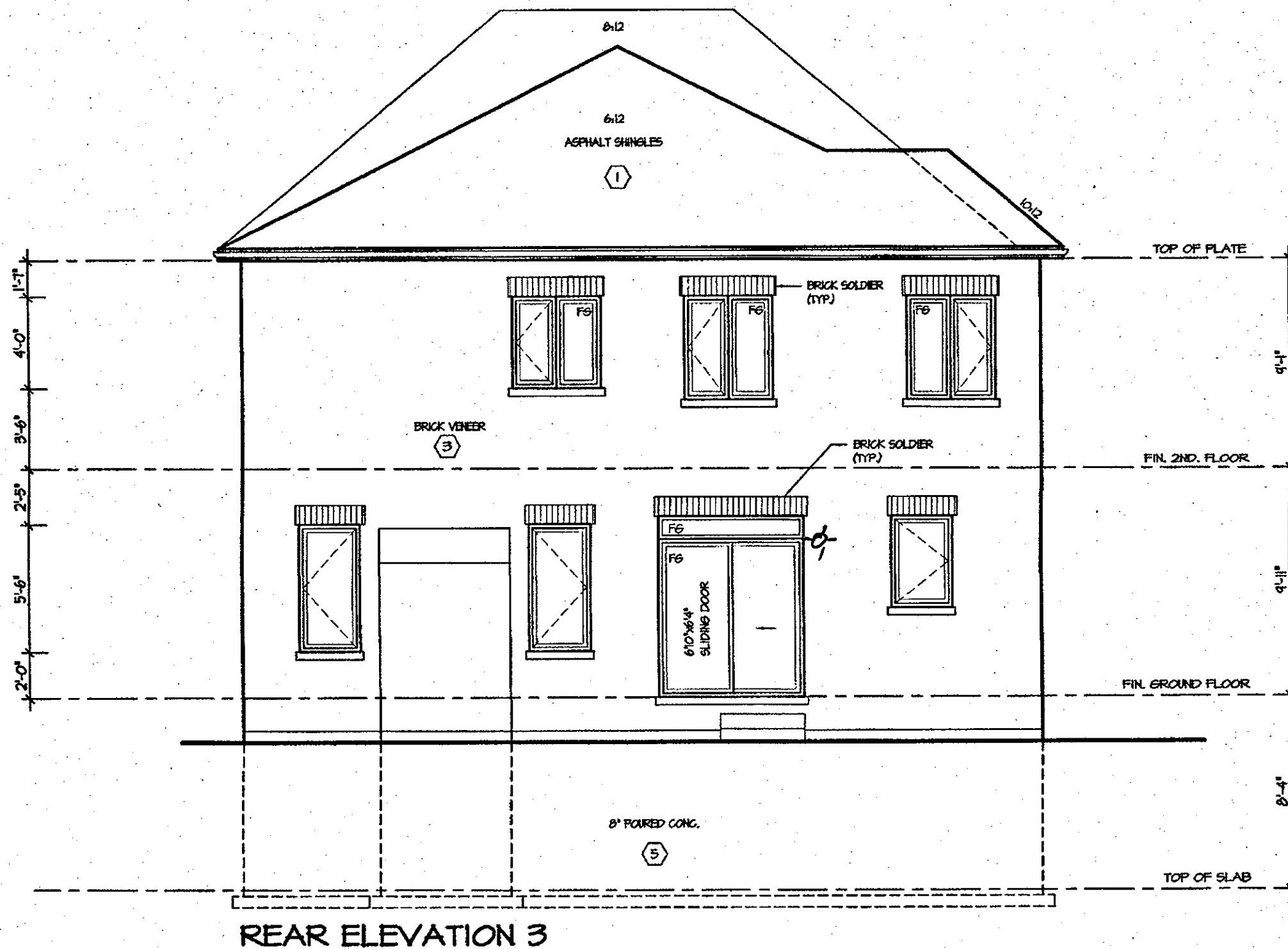
Permit No. **18-118777**

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JUL 18 2018

FOR THE BUILDING OFFICIAL _____ DATE _____



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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 7-3	
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-06		
2.	ISSUED FOR PERMIT JUNE 2017								
1.	ISSUED FOR COORDINATION APR 2017								
REVISIONS									

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

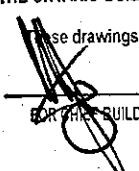
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

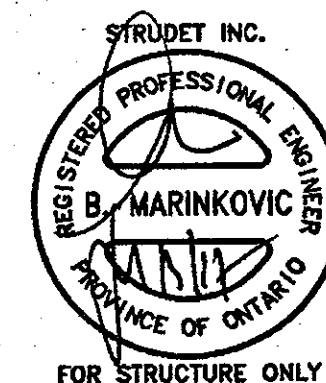
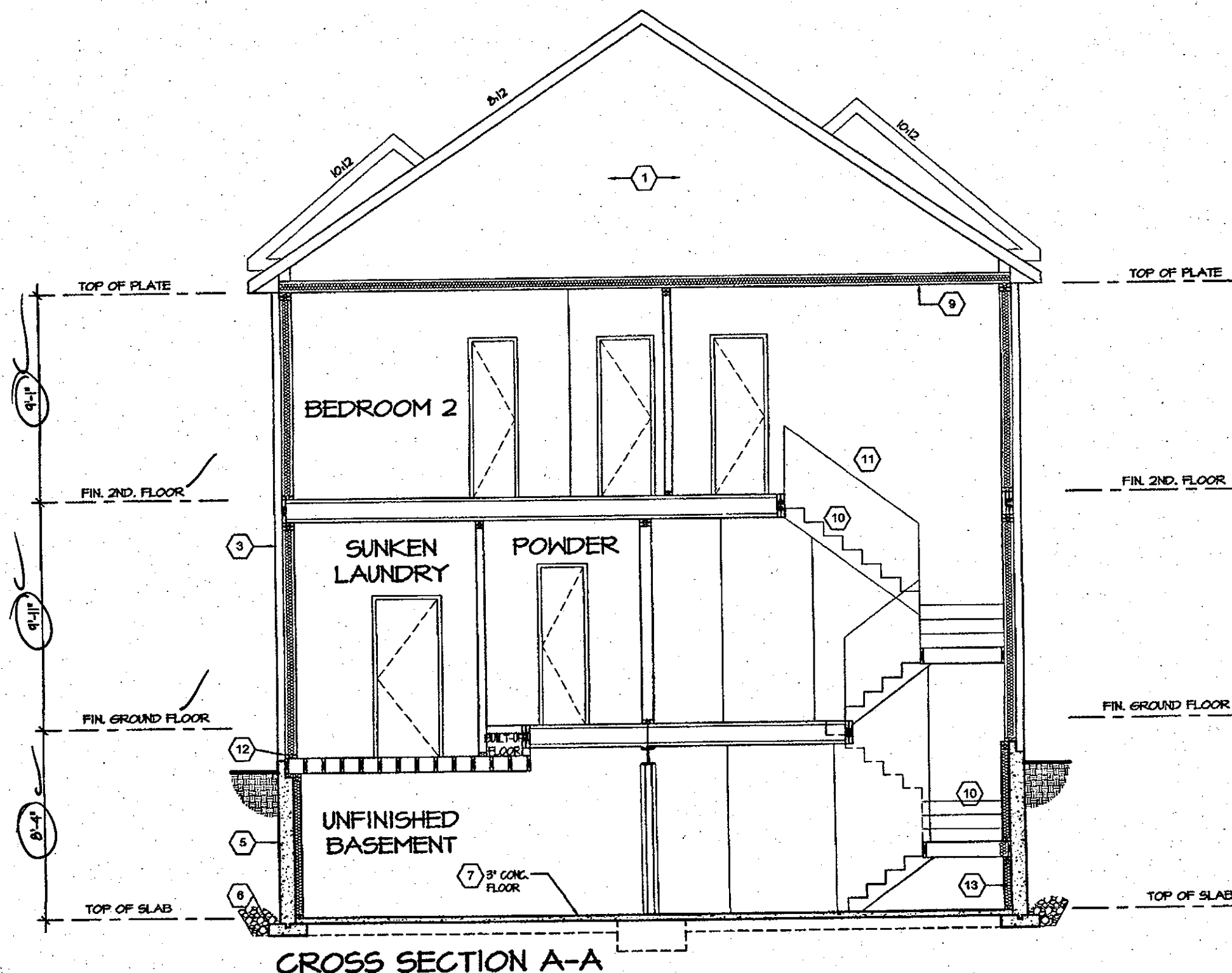
CITY OF HAMILTON
Building Division

Permit No. **18-118777**

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ROSEWOOD 4
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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 8
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-06	
2. ISSUED FOR PERMIT	JUNE 2017				PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II			
1. ISSUED FOR COORDINATION	APR 2017	Greenpark. PROJECT NAME REVISIONS						

DATE _____

DATE _____

34'-4" (10.54 M)

16'-8"

7'-0"

5'-0"

1'-0"

4'-0"

5'-0"

2'-6"

3'-11"

1'-2"

58'-0" (17.68 M)

47'-8"

18'-10"

15'-7"

12'-4"

13'-5"

17'-10"

14'-8"

58'-0" (17.68 M)

UPGRADED WINDOW WITH MIN. 4'-4" FIN. FIRST FLOOR TO GRADE CONDITION

DELETE WINDOW FOR UPGRADED REAR WINDOWS

MB RIM JOIST ALL AROUND (PRESSURE TREATED)

2" X 8" SPR. #2

16" O.C. (P.T.)

DROPPED HEI LEDGER BOARD ANCHORED TO FOUNDATION (PRESSURE TREATED)

CHECK FOUNDATION WALL FOR SLIDING DOOR ABOVE

UNFINISHED BASEMENT

1/2" ENG. JSTS. AS PER MFG.

1/2" STL. EM.

SI

INDICATES REDUCED SIDE YARD CONDITION

PARTIAL BASEMENT PLAN FOR WALK-UP CONDITION

34'-4" [10.51 M]

23'-1"

3'-10" 2'-8" 3'-10" 6'-4" 3'-0" 2'-8" 10'-0" 5'-8" 6'-0" 2'-6" 10'-0" 2'-8"

1'-2" 53'-0" [16.15 M]

47'-8"

22'-4"

1'-2" 1'-0" 1'-0"

COFFERED CEILING

18'-2"

15'-8"

9 1/2" ENG. JSTS. AS PER MFG.

FAMILY ROOM

LVL 5

13'-0"

9'-0"

9 1/2" ENG. JSTS. AS PER MFG.

BREAKFAST

ISLAND

KITCHEN

8'-5"

5'-0"

1'-0"

WOOD DECK

SLIDING DOOR

DN

DN

DN

3

INDICATES REDUCED SIDE YARD CONDITION

14'-8"

1'-2" 53'-0" [16.15 M]

PARTIAL FIRST FLOOR PLAN FOR WALK-UP CONDITION

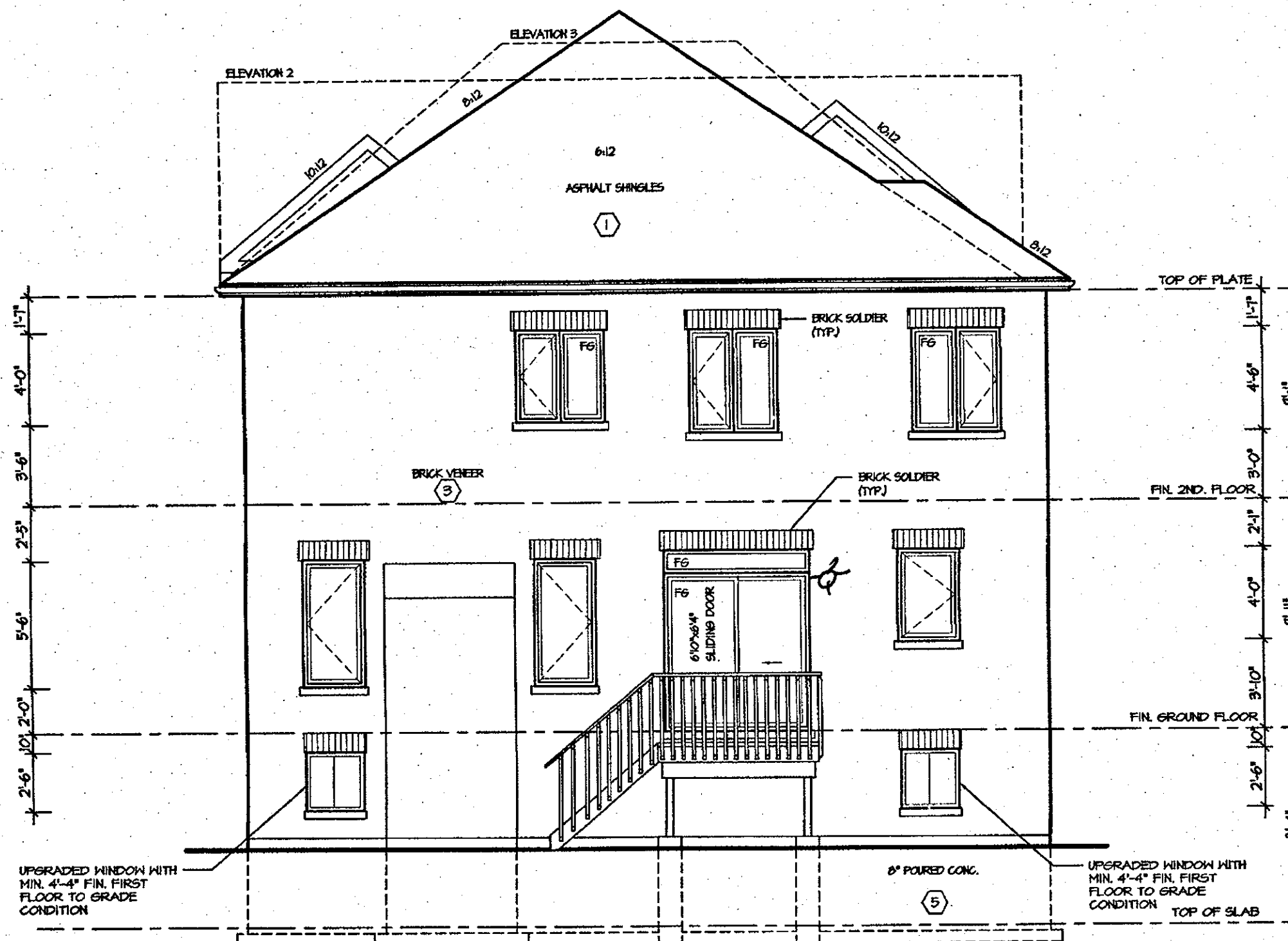
PROJECT NAME
RUSSEL GARDENS BUILDING LTD
PHASE II

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1964	12	100.00	300.00
1964	12	100.00	400.00
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1964	12	100.00	9700.00
1964	12	100.00	9800.00
1964	12	100.00	9900.00
1964	12	100.00	10000.00

CITY OF HAMILTON
BUILDING DIVISION
 Planning & Development Department

JUN 01 2018

REC'D BY _____ DATE _____
 REF'D TO _____ DATE _____



**REAR ELEVATION 1, 2 & 3
 FOR DECK CONDITION**

Stairs:

- Stringer min. 2 x 10
- Run max 14"
- Rise max. 7 3/8"

CITY OF HAMILTON
Building Division

Permit No. **18-118727**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
JUL 18 2018
 DATE

FOR THE BUILDING OFFICIAL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL
NOV 2/0 2017
 John G. Williams Limited, Architect

ROSEWOOD 4
COMPLIANCE PACKAGE 'A1'

JUL 14 2017

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR (NAME) (SIGNATURE) 28770 (BCIN)	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4796 F (905) 680-0746	SHEET TITLE DECK ELEVATION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		Greenpark. PROJECT NAME RUSSEL GARDENS BUILDING LTD. PHASE II
4.				SCALE 3/16"=1'-0"	BY ZMP	AREA 2918	PAGE No. 9-2	
3.				DATE JUNE 2017	TYPE	PROJECT 03-13-06		
2.	ISSUED FOR PERMIT JUNE 2017							
1.	ISSUED FOR COORDINATION APR 2017							
REVISIONS								

Refer to details

PARTIAL BASEMENT PLAN
FOR WALK-UP CONDITION

PARTIAL FIRST FLOOR PLAN
FOR WALK-UP CONDITION

July 12, 2017 10:15:28 AM M:\PROJECTS\RUSSELL GARDENS\INSTANDARD PLANS\ROSEWOOD 4 (41-8) - REG-Z\NIPACAD-ROSEWOOD 4 (41-8) MASTER.DWG

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. **18-118777**

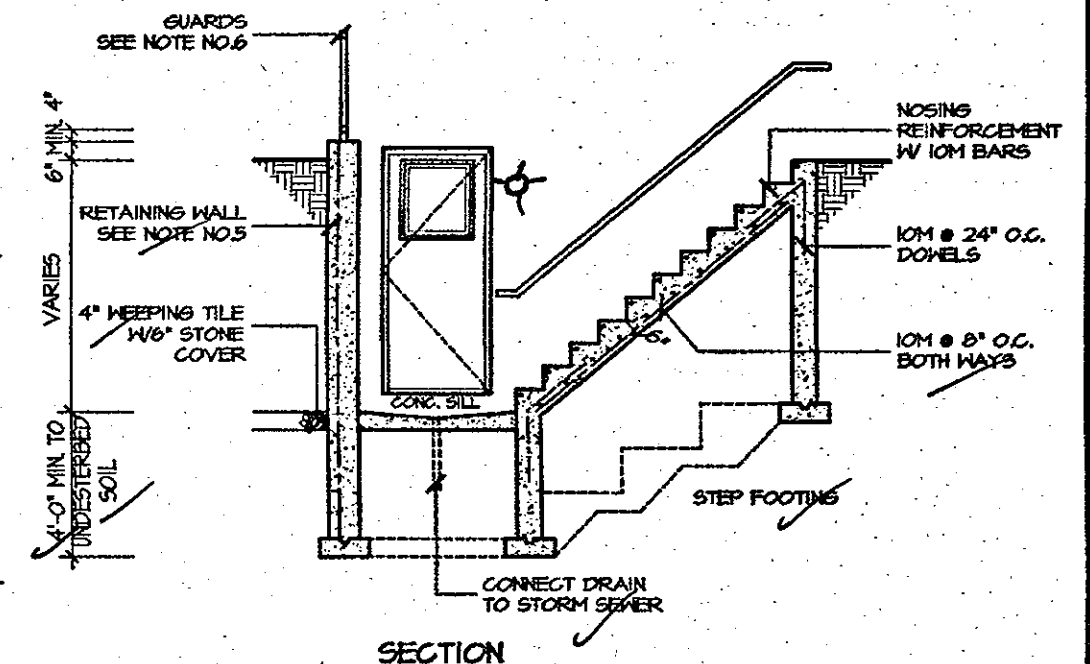
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

JUL 13 2018
DATE

7'1" EXTERIOR WALKUP STAIRS DETAIL



GENERAL NOTES:

1. FOOTING
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 3% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
9 1/4" RUN MINIMUM
4 1/4" TREAD MINIMUM
4. INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
5. RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.15.16.
6. GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

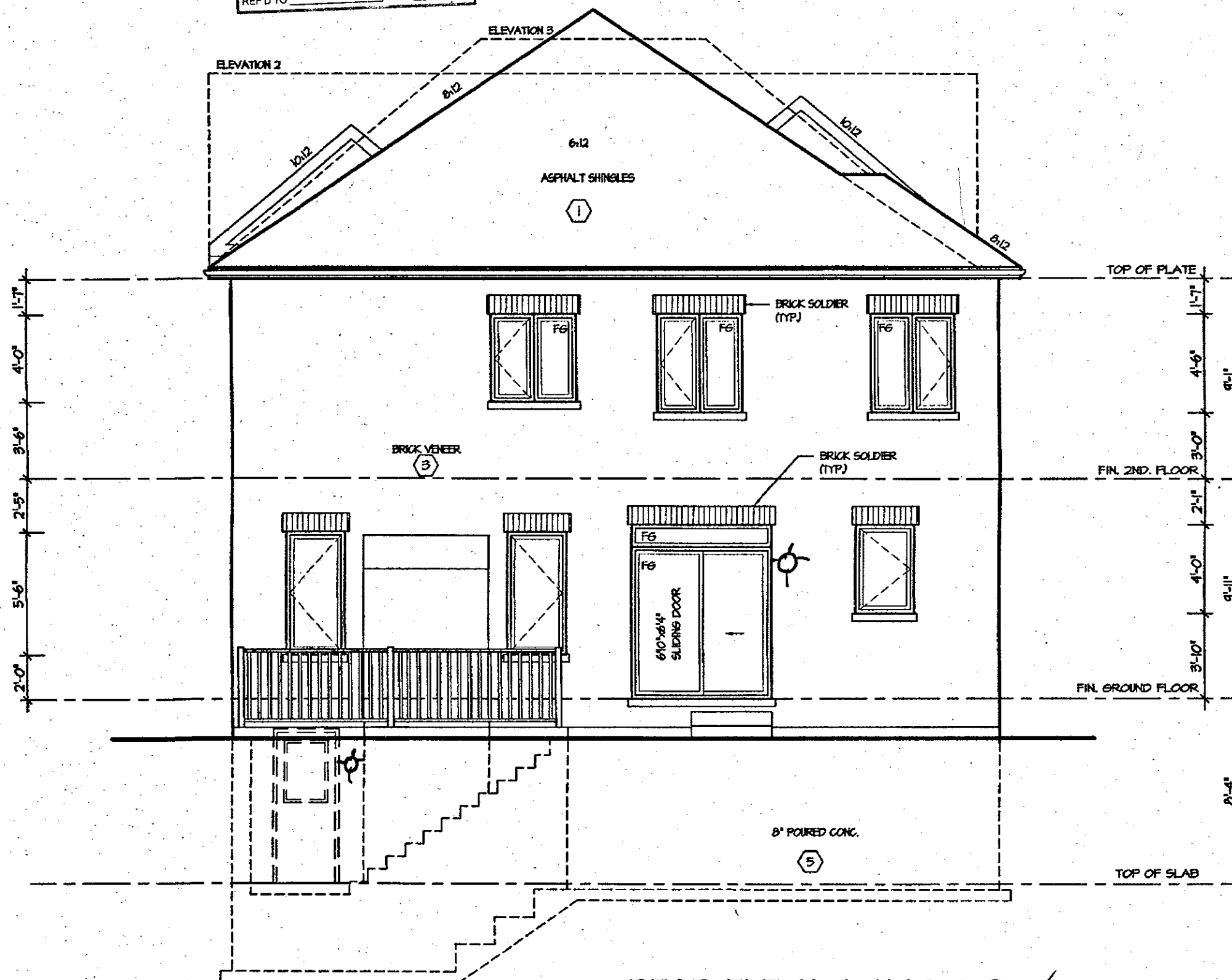
John G. Williams Limited, Architect

ROSEWOOD 4

COMPLIANCE PACKAGE 'A1'

JUL 14 2017

**REAR ELEVATION 1, 2 & 3
FOR WALK-UP CONDITION**



5.		
4.		
3.		
2.	ISSUED FOR PERMIT	JUNE 2017
1.	ISSUED FOR COORDINATION	APR 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE WALK-UP ELEVATION	
SCALE 3/16"=1'-0"	BY ZMP
DATE JUNE 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2918	PAGE No. 10-2
PROJECT 03-13-06	

Greenpark.

PROJECT NAME
**RUSSEL GARDENS BUILDING LTD.
PHASE II**