

It is the builder's complete responsibility to ensure that the proposed construction fully complies with the Architectural Guidelines and all applicable regulations and any provisions including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAY 04 2018

John G. Williams Limited, Architect

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

REC'D TO DATE
REF'D TO DATE

CITY OF HAMILTON
Building Division

Permit No. 18-118747

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
DATE 6/28/18
FOR CHIEF BUILDING OFFICIAL

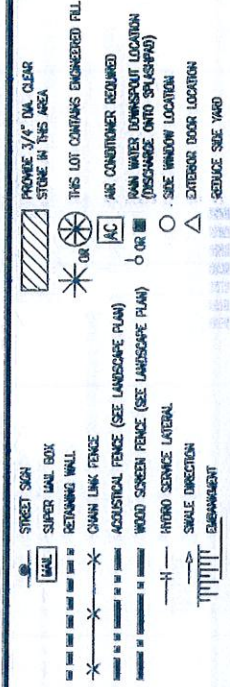


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.

LOT 164

LOT No.	LOT WIDTH (M) (± 0.0m)	LOT AREA (M ²)
164	12.50	451

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.



- PROPOSED VALUE
- UP LIGHT POLE
- HYDRANT
- TRANSFORMER
- WATER SERVICE
- DOUBLE STN./SAN. CONNECTION
- SINGLE STN./SAN. CONNECTION
- CR. CATCH BASIN
- CABLE TELEVISION PEDestal
- BELL PEDestal
- NO. OF RISERS
- FINISHED FLOOR ELEVATION
- UNDERSIDE FOOTING ELEVATION
- FIN. BASEMENT FLOOR SLAB
- TOP OF FOUNDATION WALL
- UNDERSIDE FOOTING AT REAR
- UNDERSIDE FOOTING AT FRONT
- UNDERSIDE FOOTING AT SIDE
- W.O.D. WALK OUT DECK
- W.O.D. WALK OUT BASEMENT
- REV. REVERSE PLAN
- STREET SIGN
- SUPER MAIL BOX
- RETAINING WALL
- CHAIN LINK FENCE
- ACoustICAL FENCE (SEE LANDSCAPE PLAN)
- WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
- HYDRO SERVICE LATERAL
- SINGLE DIRECTION
- REDUCE SIDE YARD
- THIS LOT CONTAINS ENGINEERED FILL
- AIR CONDITIONER REQUIRED
- RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
- SIDE WINDOW LOCATION
- EXTERIOR DOOR LOCATION
- PROMISE 3/4" DIA. CLEAR STONE IN THIS AREA

Richard Vink
signature
VAS Design Inc.
qualification information

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8.
7.
6.
5.
4.
3.
2. ISSUED FOR PERMIT. APR. 23/18 GW
1. ISSUED FOR REVIEW. APR. 18/18 GW

VA3 DESIGN

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Greenpark

Project Name: RUSSELL GARDENS PHASE 2
City: HAMILTON
Project No.: 16036
Drawing No.: 1
Date: APRIL 2018
Scale: 1:250
Drawn by: GW
Checked by: .
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