

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPLICABLE SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMANCE WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDING'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DERIVED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible for any way for examining or approving site grading plans or working drawings with respect to any zoning, building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAY 28 2018

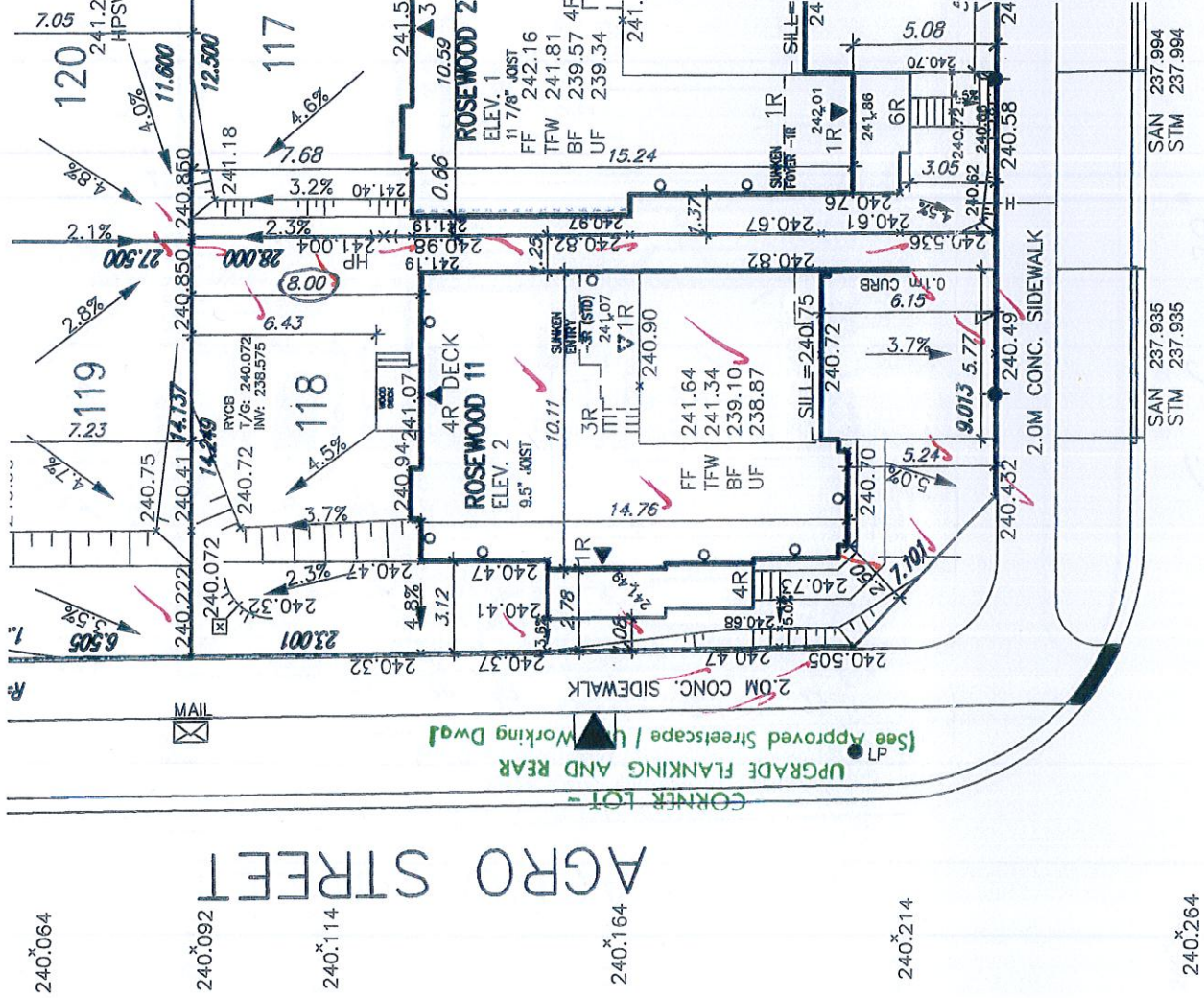
John G. Williams Limited, Architect

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUN 01 2018

REC'D BY: V.A. DATE: DATE:

REF'D TO: DATE:



240.064	240.092	240.114	240.164	240.214	240.264	240.282
x 240.187	x 240.248	x 240.307	x 240.365	x 240.424	x 240.411	x 240.432

SKINNER ROAD

CITY OF HAMILTON
Building Division

Permit No. 18-118741

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

JUL 12 2018

DATE

LOT 118

LOT No.	LOT WIDTH (M) (± 0.0m)	LOT AREA (M²)
118	14.06	38.3

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALVE	NO. OF RISERS	FINISHED FLOOR ELEVATION	UNDERSIDE FLOOR ELEVATION	UNDERSIDE FLOOR SLAB	TOP OF FOUNDATION WALL	UNDERSIDE FOOTING AT REAR	UNDERSIDE FOOTING AT FRONT	UNDERSIDE FOOTING AT SIDE	W.O.D. WALK OUT DECK	W.O.D. WALK OUT BASEMENT	REVERSE PLAN
LP	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF
HT	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF
TRANSFORMER	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF
WATER SERVICE	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF
DOUBLE SIM/SAN. CONNECTION	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF
SINGLE SIM/SAN. CONNECTION	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF
CATCH BASIN	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF
CABLE TELEVISION PEDestal	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF
BELL PEDestal	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF	FF

The undersigned has reviewed and approved these drawings for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
signature
Richard Vink
24488
42858
VA3 Design Inc.

no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.	ISSUED FOR PERMIT.	MAY 18/18 GW	
1.	ISSUED FOR REVIEW.	MAY 11/18 GW	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

		lot/track no. 118 registered plan no.
project name RUSSELL GARDENS PHASE 2	municipality HAMILTON	project no. 16036
date MAY 2018	checked by -	drawing no. 1
drawn by GW	scale 1:250	file name 16036-RC2-SP
LOT SITING/GRADING		

REG - H:\ARCHIVE\WORKING\2018\16036\RG2-SP.dwg - Fri - May 18 2018 - 3:46 PM
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