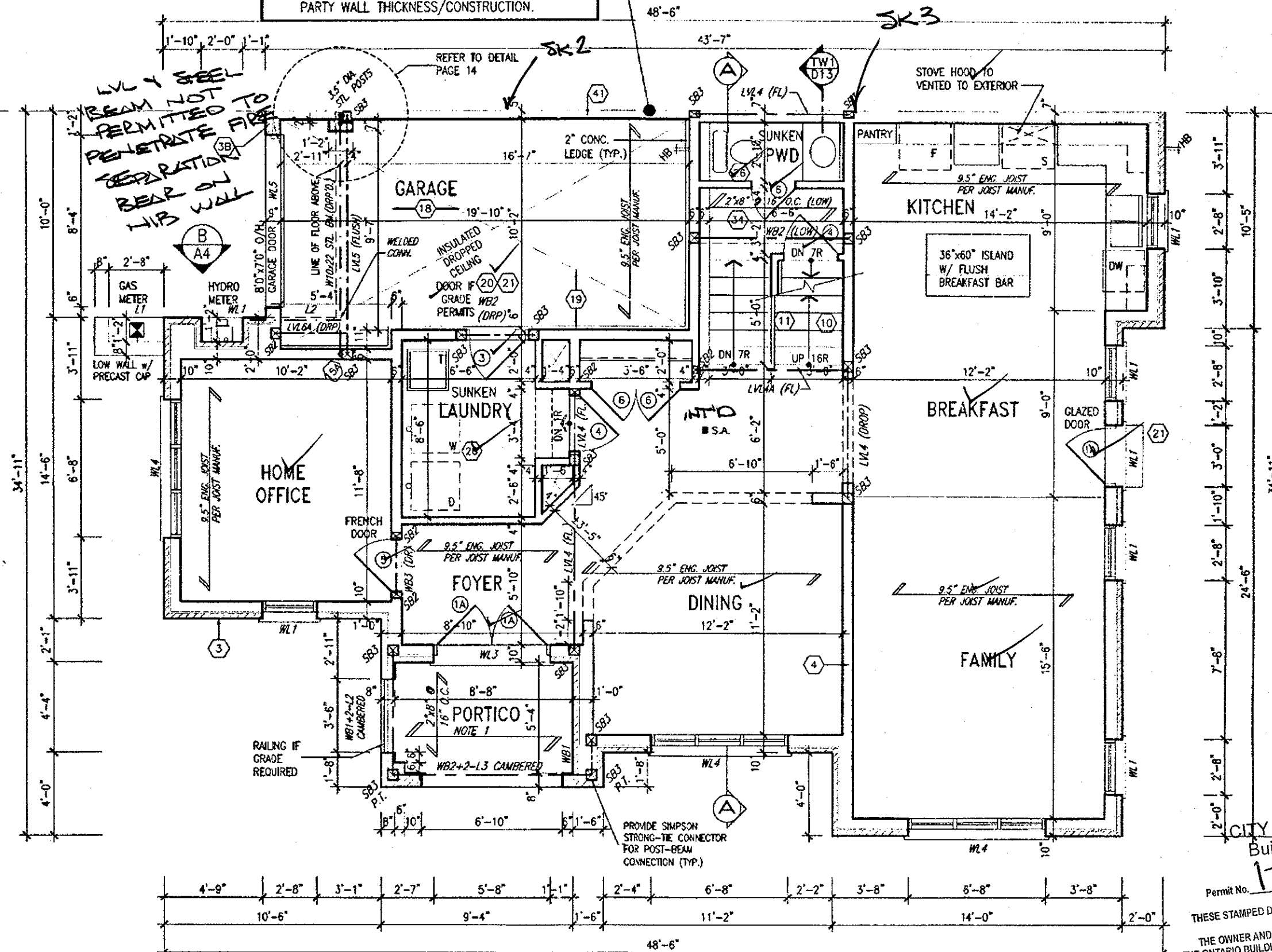


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PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

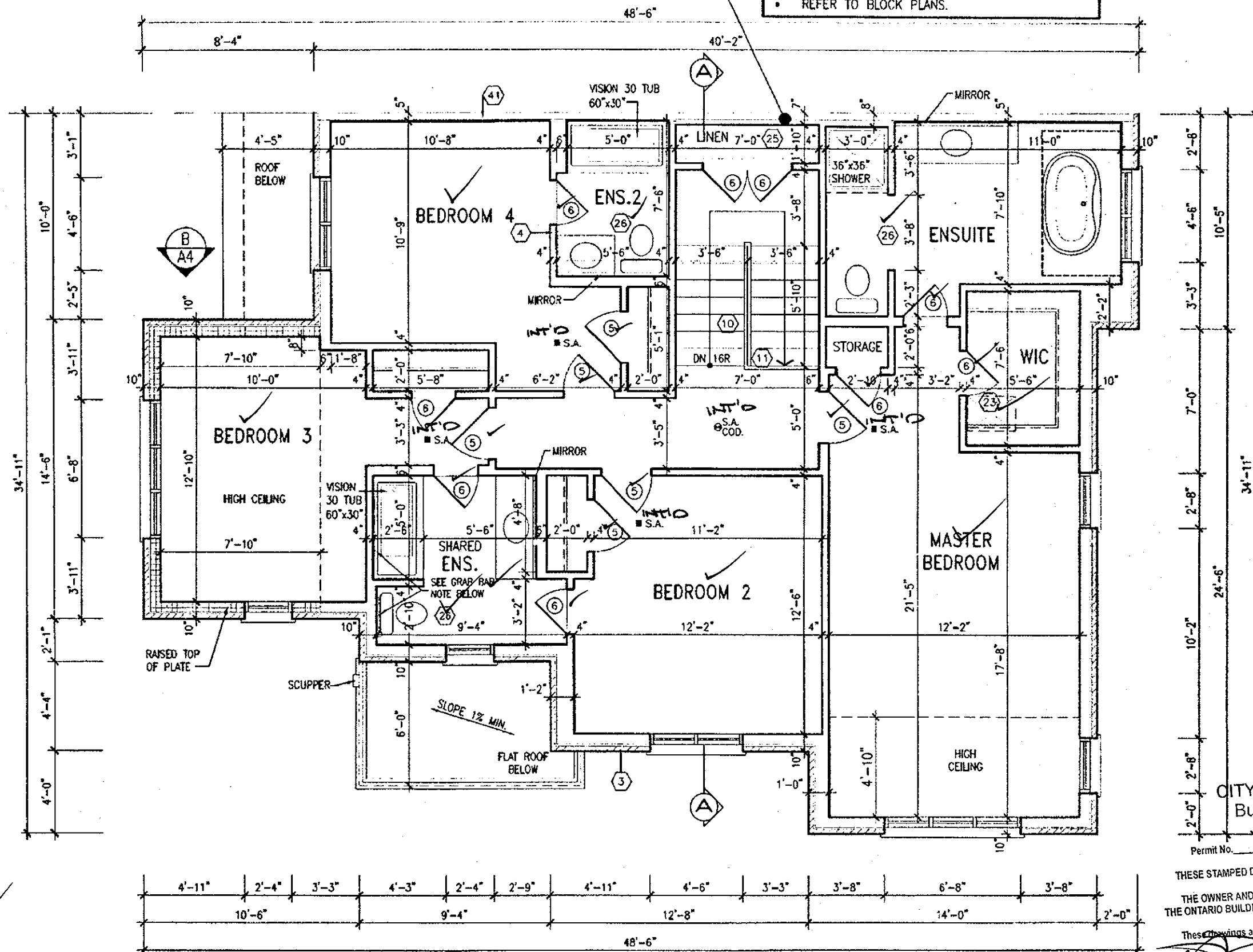


HIGHGROVE 11 B218-6		project no. 16036
FLOOR PLAN '2' file name 16036-HIGHGROVE 11 - Tue - Apr 17 2012 - 2:41 PM		drawing no. A2

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PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.



CITY OF HAMILTON
Building Division

Permit No. A7-132120

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.1(1)(d) & 3.8.3.13.1(1)(f).

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Apr. 20, 2018
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED

18				9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	REVISED.	APR. 17/18	GN		
16				7	REV. PER CITY COMMENTS, REISSUED.	FEB. 21/18	GH		
15				6	REVISED ISSUED FOR PERMIT.	S/E 29/17	GN		
14				5	ISSUED FOR PRICING	AUG. 23/17	GN	name signature	244
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information VA3 Design Inc.	428
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17	DR		
11				2	ISSUED PER CLIENT COMMENTS.	MAY. 03/17	GN		
10				1	ISSUED FOR CLIENT REVIEW.	APR. 19/17	GN		
no.	Description	date	by	no.	Description	date	by		

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DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

Project Name	Municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.

date
2017-04

drawn by
BD.BJM

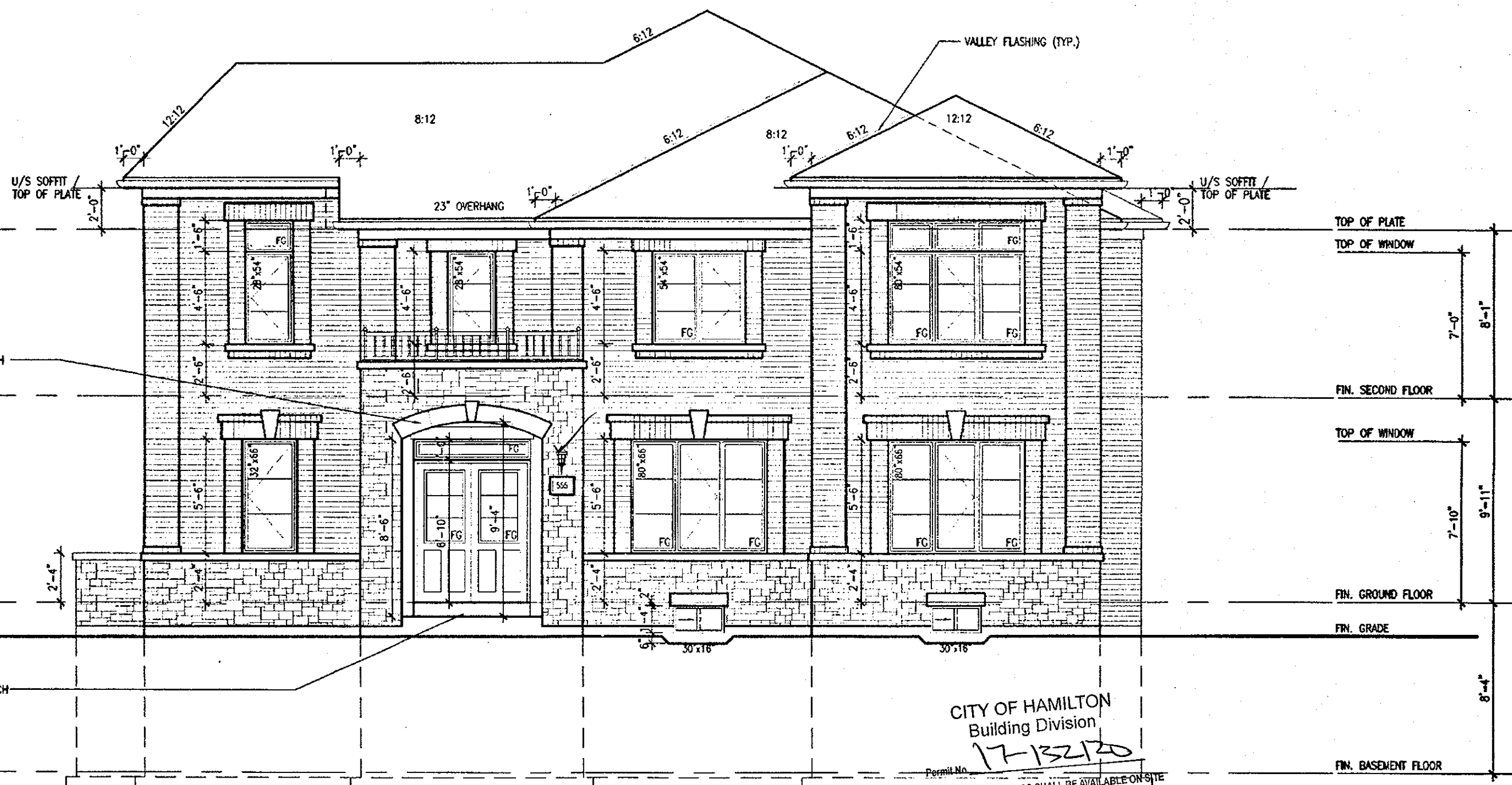
checked by
-

scale
 $3/16" = 1'-0"$

HIGHGROVE 11
B218-6

SECOND FLOOR PLAN '2'

File name
16036-HIGHGROVE 11
- for 12/20/2 - 241 PM



FLANKAGE ELEV. 2

OK - CORNER

CITY OF HAMILTON
Building Division

Permit No. 1

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON-SITE

SHALL COMPLY WITH

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

THE ONTARIO BUILDING CODE AND REGULATIONS

These drawings and/or specifications have been reviewed by

 DATE Jun 5/18

FOR CHIEF BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 11
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Apr. 20, 2016
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

18			9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			3	REVISED.	APR 17/18	GW		 signature 244-426-8888
16			7	REV. PER CITY COMMENTS, REDSSED.	FEB 21/18	GW	qualification information	
15			6	REVISED, ISSUED FOR PERMIT.	SEP 29/17	GW	Richard Vink	
14			5	ISSUED FOR PRICING.	AUG 23/17	GW	room	
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	registration information	
12			3	CHANGED JUST DEPTH/ FLOOR HEIGHTS	JUN 15/17	GW	VAS Design Inc.	
11			2	REVISED PER CLIENT COMMENTS.	MAY 03/17	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be scaled.
10			1	ISSUED FOR CLIENT REVIEW.	APR 19/17	GW		
no	description	date	by	no	description	date	by	

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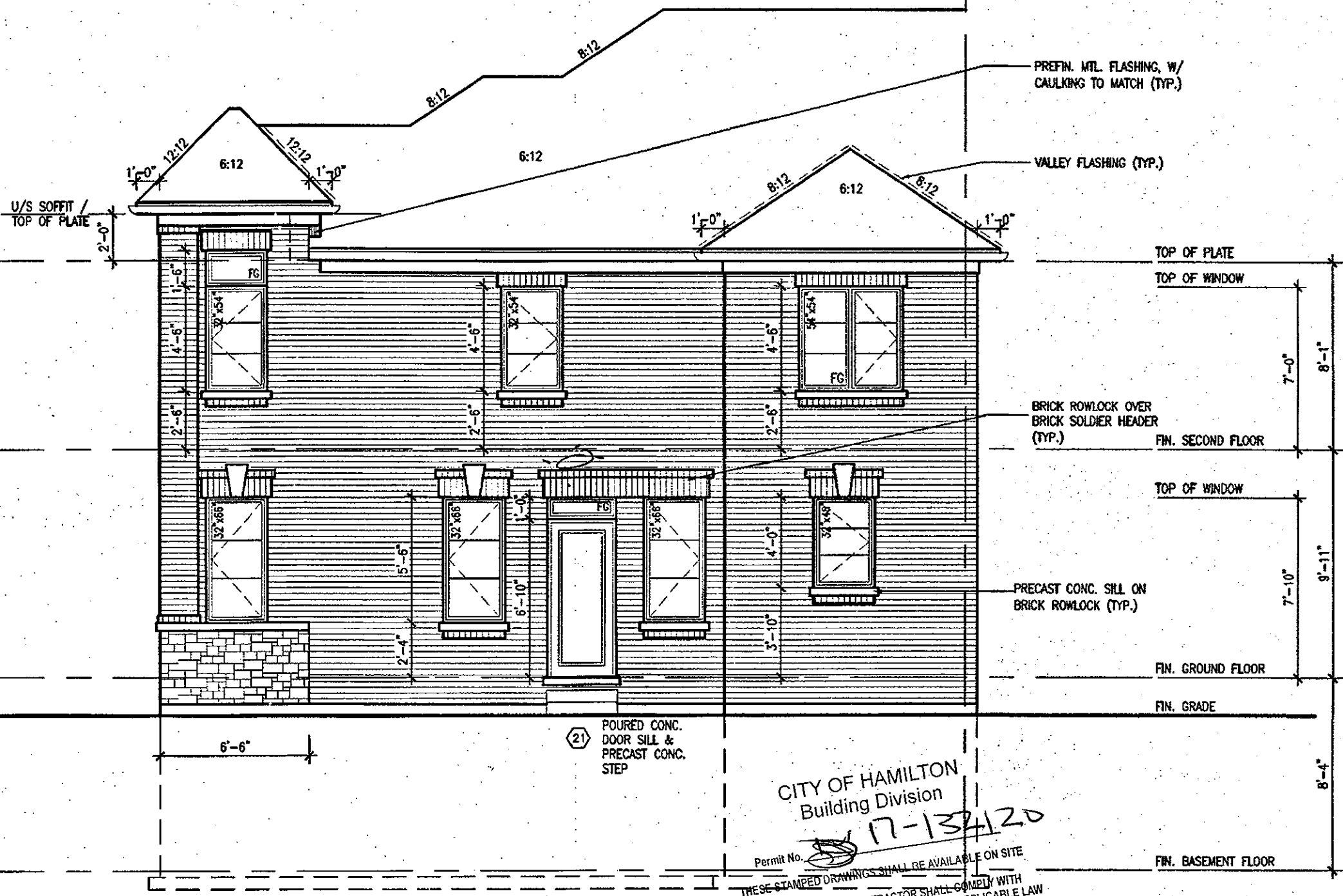
VAD
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
vadesign.com

Greenpark.

HIGHGROVE 11
B218-6

project name		municipality		project no.	
RUSSELL GARDENS PH.2		WATERDOWN, ON.		1603	
date		FLANKAGE ELEV. 2		drawing no.	
2017-04				A5	
drawn by		checked by		scale	
BD.BHM		-		3/16" = 1'-0"	
				file name	
				16036-HIGHCROVE 11	

2451 SF.



REAR ELEV. 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

OCT 16 2017

John G. Williams Limited, Architect

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	
16				7	-	-	qualification information
15				6	REVISED. ISSUED FOR PERMIT.	SEP. 29/37 GW	Richard Vink 244B-9C
14				5	ISSUED FOR PRICING.	AUG. 23/17 GW	signature
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT	some registration information VA3 Design Inc. 4265
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17 GW	
11				2	REVISED PER CLIENT COMMENTS.	MAY 03/17 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be scaled.
10				1	ISSUED FOR CLIENT REVIEW.	APR. 19/17 GW	
no.	description	date	by no.	description	date	by	

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.

Date	2017-04			REAR ELEV. 2
drawn by	BD,BHM	checked by	-	file name
			scale	
			3/16" = 1'-0"	16036-HIGHCROVE 11
BD - H:\R\W\F\PROJECTS\2016\16036-HIGHCROVE\DWG\HDCV-HIGHCROVE-11.dwg 11.dwg Fri - Sep 29 2017 - 11:44 AM				

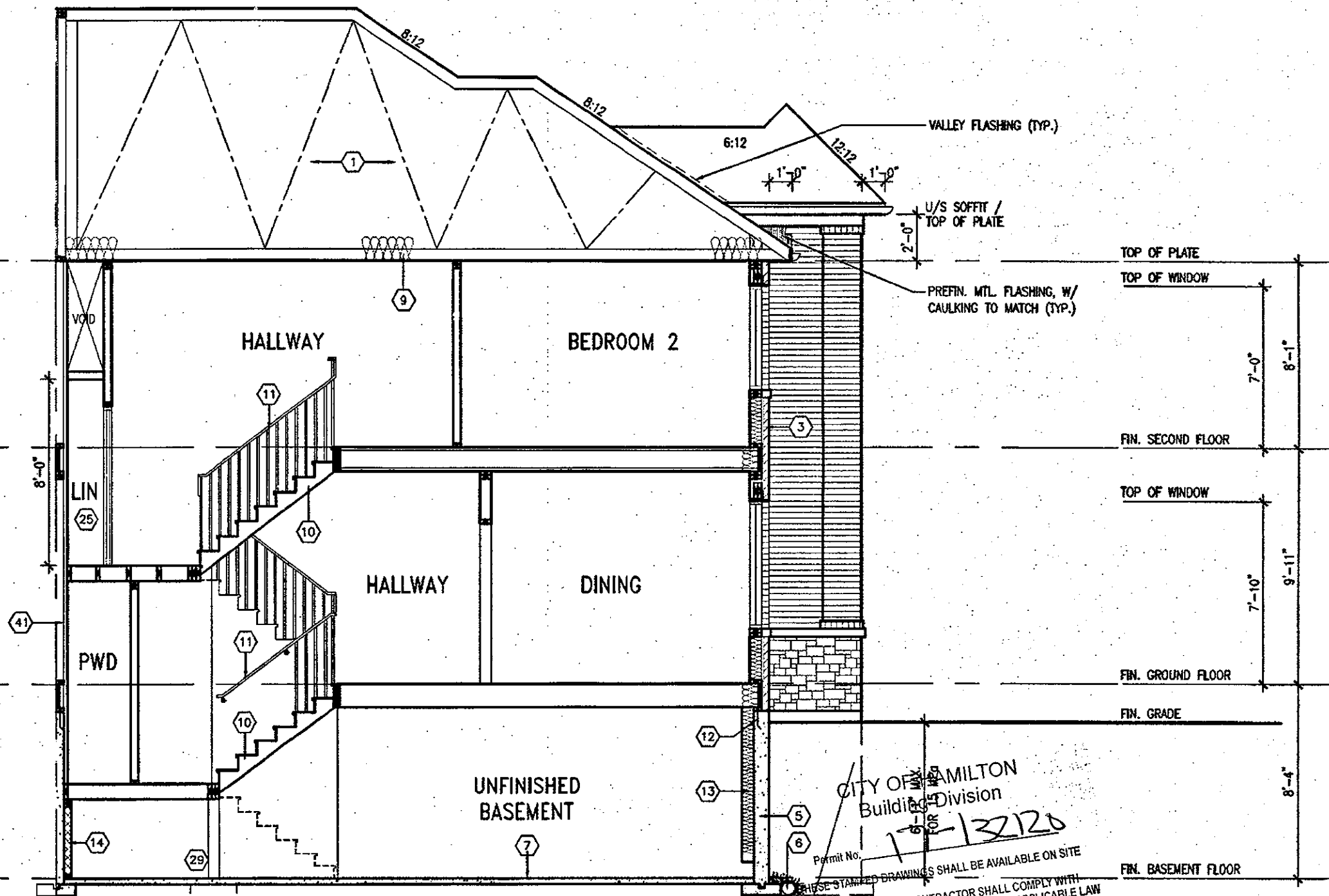
HIGHGROVE 11
B218-6

	project no. 16036
--	----------------------

REAR ELEV. 2
File name
16036-HIGHGROVE 11
Fri - Sep 29 2017 - 11:44 AM

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2451 SF.



CROSS SECTION 'A-A'
ELEV. '2'

CITY OF HAMILTON
Building Division
Permit No. 17-132120
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] DATE OCT 3/17
FOR CHIEF BUILDING OFFICIAL

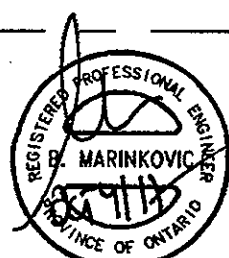
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ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

John G. Williams Limited, Architect



STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6	REVISED, ISSUED FOR PERMIT.	SEP. 29/17	GW
14				5	ISSUED FOR PRICING.	AUG. 23/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	GW
11				2	REVISED PER CLIENT COMMENTS.	MAY 03/17	GW
10				1	ISSUED FOR CLIENT REVIEW.	APR. 19/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name registration information 42658
signature
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
checked by
BD.BIM
scale
3/16" = 1'-0"

HIGHGROVE 11
B218-6
project no.
16036
drawing no.
A7