

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS, WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS. THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.R.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDING'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.

05/23/2018

PROFESSIONAL ENGINEER

K.D. HOLLINGWORTH

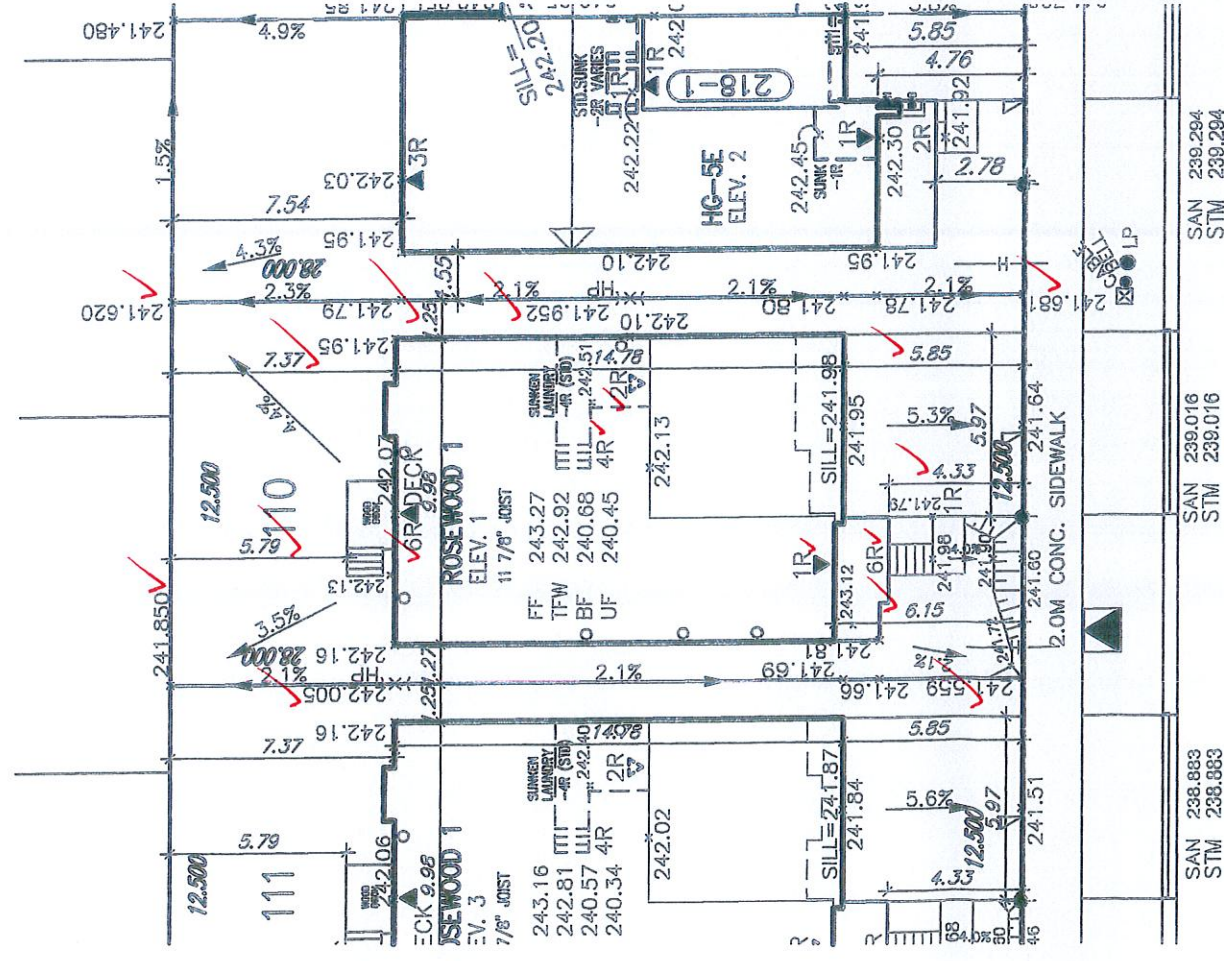
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PROVINCE OF ONTARIO

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAY 28 2018
John G. Williams Limited, Architect



342 241.417 * 241.434 * 241.458 * 241.538 * 241.556 * 241.567 * 241.586 *

SKINNER ROAD

CITY OF HAMILTON
Building Division

Permit No. 18-118751

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Chief Engineer June 28/18
FOR CHIEF BUILDING OFFICIAL

LOT 110			
LOT No.	LOT WIDTH (M) (± 0.0m)	LOT AREA (M²)	
110	12.50	350	

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

- PROPOSED VALUE

LP LIGHT POLE

HT HYDRO TRANSFORMER

WS WATER SERVICE

DS DOUBLE SIM/SIML CONNECTION

SS SINGLE SIM/SIML CONNECTION

CS CATCH BASIN

CE CABLE TELEPHONE FIBER OPTICAL

BE BELL FIBER OPTICAL
- NO. OF REBERS

FF FINISHED FLOOR ELEVATION

UF UNDERSE FLOOR SLAB

TFW TOP OF FOUNDATION WALL

UFR UNDERSE FLOORING AT REAR

UFS UNDERSE FLOORING AT FRONT

WAD. WALK OUT DECK

WAD. WALK OUT DECK

REV REVERSE PLAN
- STREET SIGN

SURF MAIL BOX

RETAINING WALL

CHAIN LINK FENCE

ACROUSTICAL FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN LATERAL

SIMPLE DIRECTION

EMBARMENT
- PROVIDE 3/4" DIA. CLEAR SPACE IN THIS AREA

THIS LOT CONTAINS ENGINEERED FILL

AC AIR CONDITIONER REQUIRED

RAW WATER DOWNSPOUT LOCATION (DOWNSPOUT AND SPILLWAY)

SIDE WINDOW LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE WIND

9.					
8.					
7.					
6.					
5.					
4.					
3.	RE-ISSUED.	MAY 23/18 GW			
2.	ISSUED FOR PERMIT.	MAY 18/18 GW			
1.	ISSUED FOR REVIEW.	MAY 11/18 GW			
NO.	description	date	by		

VAB

DESIGN

255 Consumers Rd Suite 120

Toronto ON M2N 1R4

t 416.630.2255 / 416.630.4782

va3design.com

Richard Vink

signature

24488

BON

42858

VAB Design Inc.

Refer to verify location of all features, elevations and setbacks of the lot and adjacent lots. Dimensions are not indicated. Builder is to provide to verify service connection elevations prior to construction.

project name	RUSSELL GARDENS PHASE 2	municipality	HAMILTON
lot/block no.	110	project no.	16036
registered plan no.		drawing no.	1
date	MAY 2018	date time	16036-RG2-SP
drawn by	GW	scale	1:250
checked by		date	May 23 2018 - 12:22 PM
drawn by	GW	date	May 23 2018 - 12:22 PM

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be paired to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolis Consulting Inc.