

Blk 212

2465 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" - 7'-0".
2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

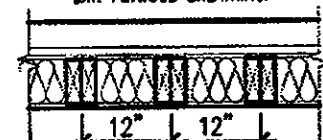
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

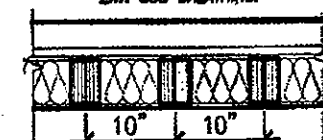
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, 1/4" SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

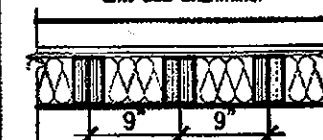
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, 1/4" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, 1/4" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8' TO 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



STRUDET INC.
FOR STRUCTURE ONLY

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
HIGHGROVE 6E, ELEVATION 3			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	774.19 S.F.	142.24 S.F.	18.37 %
LEFT SIDE	888.79 S.F.	64.40 S.F.	7.25 %
RIGHT SIDE	437.26 S.F.	31.50 S.F.	7.20 %
REAR	815.90 S.F.	137.41 S.F.	16.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		19.9 S.F.	
TOTAL SQ. FT.	2916.14 S.F.	355.65 S.F.	12.20 %
TOTAL SQ. M.	270.92 S.M.	33.04 S.M.	12.20 %

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 16 2017
REC BY _____ DATE _____
REF'D TO _____ DATE _____

AREA CALCULATIONS		ELEV. 3
GROUND FLOOR AREA	1202 SF	
SECOND FLOOR AREA	1263 SF	
TOTAL FLOOR AREA	2465 SF	
	(229.00 m2)	
FIRST FLOOR OPEN AREA	0 SF	
SECOND FLOOR OPEN AREA	0 SF	
ADD TOTAL OPEN AREAS	+0 SF	
ADD FINISHED BSMT AREA	+0 SF	
GROSS FLOOR AREA	2465 SF	
	(229.00 m2)	
GROUND FLOOR COVERAGE	1202 SF	
GARAGE COVERAGE/AREA	262 SF	
PORCH COVERAGE/AREA	59 SF	
COVERAGE W/ PORCH	1523 SF	
	(141.49 m2)	
COVERAGE W/O PORCH	1464 SF	
	(136.01 m2)	

CITY OF HAMILTON
Building Division
17-131908
Permit No. _____
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
MAY 30 2018
DATE
FOR CHIEF BUILDING OFFICIAL

OCT 04 2017

HIGHGROVE 6E
COMPLIANCE PACKAGE 'A1'

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17			8			qualification information	
16			7	REVISED, ISSUED FOR PERMIT.	SEP. 25/17 GW	Richard Vink 24488	
15			6	STUCCO REPLACED.	JUL 05/17 GW	signature	
14			5	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT	name	
13			4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17 GW	registration information	
12			3	ADDED SHUTTER FOYER.	JUN 02/17 GW	VA3 Design Inc. 42558	
11			2	REVISED PER CLIENT COMMENTS.	MAY 02/17 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
10			1	PRELIMINARY REVIEW.	APR. 13/17 GW		
no.	description	date	by	no.	description	date	by

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2H 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.		HIGHGROVE 6E	
project name	RUSSELL GARDENS PH.2	municipality	WATERDOWN, ON.
date	2017-04	checked by	3/18" = 1'-0"
drawn by	BD.BRM	scale	16036-HIGHGROVE 6E
GENERAL NOTES & CHARTS		drawing no.	
		AO	

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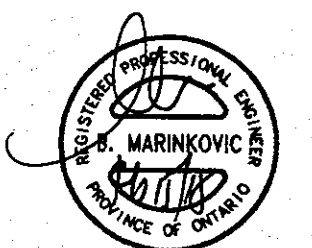
[illegible]

2465 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 22 2018
REC BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

CITY OF HAMILTON
Building Division
17-13-1908

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STRUDET INC.
FOR STRUCTURE ONLY

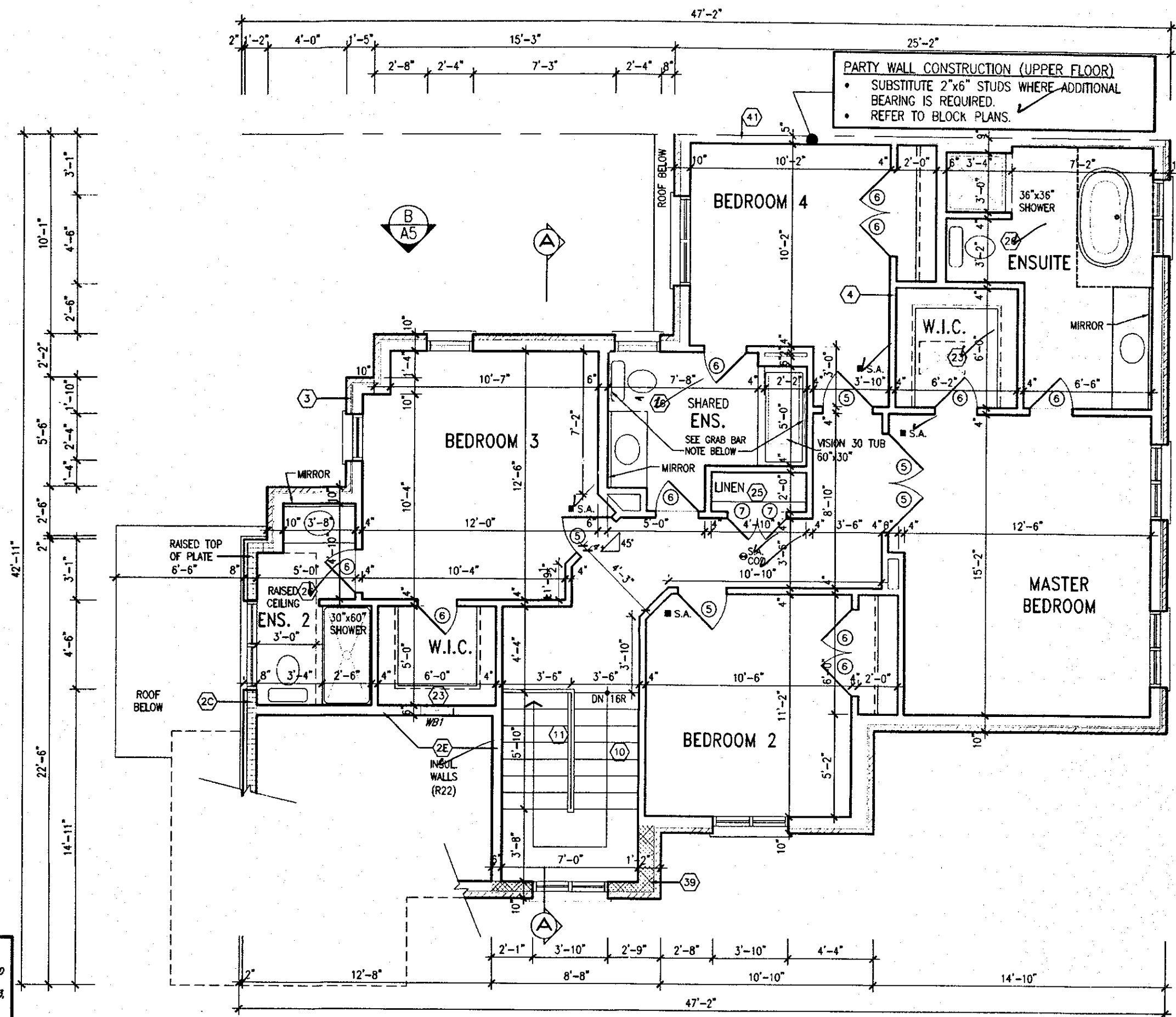
FEB 15 2018

HIGHGROVE 6E
COMPLIANCE PACKAGE 'A1'

GROUND FLOOR PLAN '3'

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2465 SF.



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 22 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
17-131900

Permit No.

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
 These drawings and/or specifications have been reviewed by
 MAY 30 2018
 FOR CHIEF BUILDING OFFICIAL DATE

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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SECOND FLOOR PLAN '3'

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

FEB 15 2018

HIGHGROVE 6E
COMPLIANCE PACKAGE 'A1'

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	REVISED PER CITY COMMENTS REISSUED.	FEB 15/18	GW	qualification information
16				7	REVISED ISSUED FOR PERMIT.	SEP 25/17	GW	Richard Vink 2448 BC
15				6	STUCCO REPLACED.	JUL 05/17	GW	signature <i>R Vink</i>
14				5	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	none 4265
13				4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	GW	registration information VA3 Design Inc.
12				3	ADDED SUNKEN FOYER.	JUN 02/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	MAY 02/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
10				1	PRELIMINARY REVIEW.	APR. 13/17	GW	
no. description date by no. description date by								

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
qualification information		
Richard Vink	<i>R Vink</i>	244
name	signature	B
registration information		
VA3 Design Inc.		426
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		
Drawings are not to be copied		

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vo3design.com

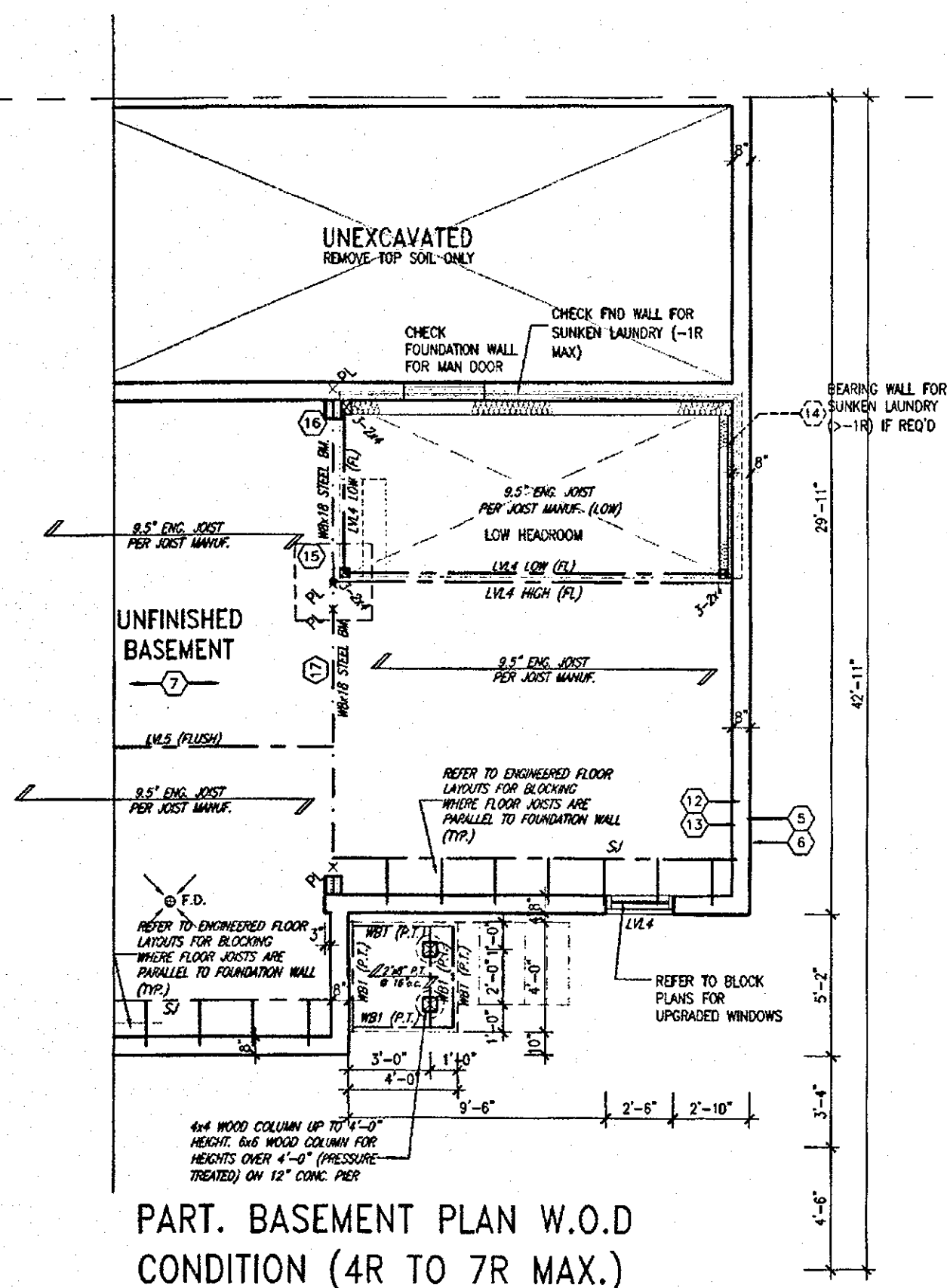
 Greenpark.		
Project name		Municipality
RUSSELL GARDENS PH.2		WATERDOWN, ON.
17-04		SECOND FLOOR
Drawn by	checked by	scale
BIM	-	3/16" = 1'-0"

HIGHGROVE 6E	
	project no. 16036
FLOOR PLAN '3'	drawing no.
file name 16036-HIGHGROVE 6E	A3
FRI JUN 19 1998 2:17 PM	

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MAY 22 2018

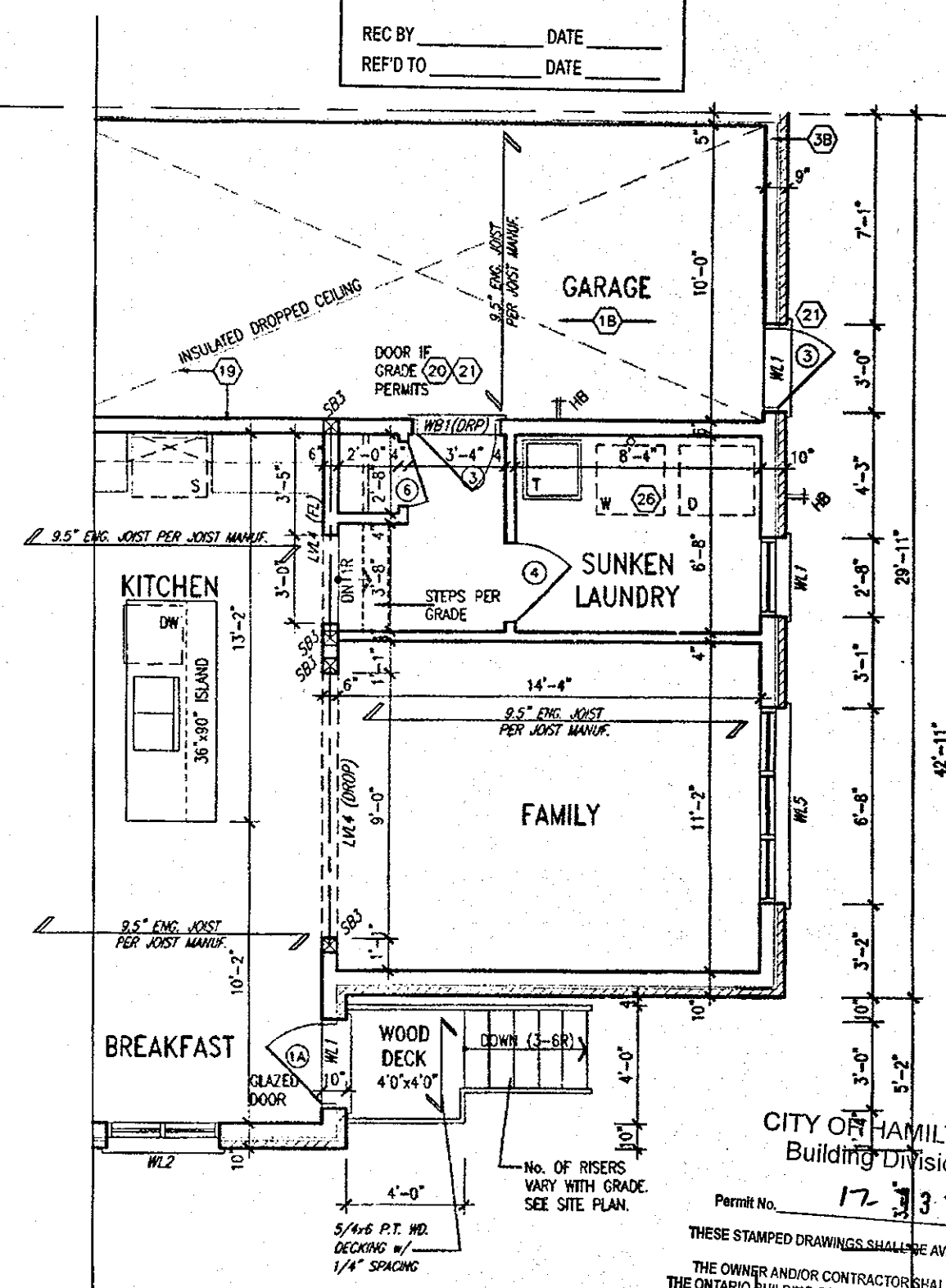
REC BY _____ DATE _____
REF'D TO _____ DATE _____



PART. BASEMENT PLAN W.O.D
CONDITION (4R TO 7R MAX.)

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



PART. GROUND FLOOR PLAN
CONDITION (4R TO 7R MAX.)

These drawings and/or specifications have been reviewed by
W.O.D. MAY 30 2018
 FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 6E

COMPLIANCE PACKAGE 'A1'

18				9	REPLACE P.C. WITH WOOD DECK PER CLIENT.	APR. 04/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information  Richard Vink 2448 name registration information VAS Design Inc. 4250
17				8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 25/17	GW	
15				6	STUCCO REPLACED.	JUL. 05/17	GW	
14				5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
13				4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17	GW	
12				3	ADDED SUNKEN FOYER	JUN. 02/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	MAY. 02/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 13/17	GW	
9	description	date	by	no.	description	date	by	



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1 416.630.2255 1 416.630.478
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HIGHGROVE 6E

project name	municipality	project
RUSSELL GARDENS PH.2	WATERDOWN, ON.	1603

date: 04/27/04 PART PLANS- DECK CONDITION drawing no.

drawn by _____ checked by _____ scale _____ file name _____

80.00W - 3/16" = 1'-0" 16038-HIGHGROVE 6E

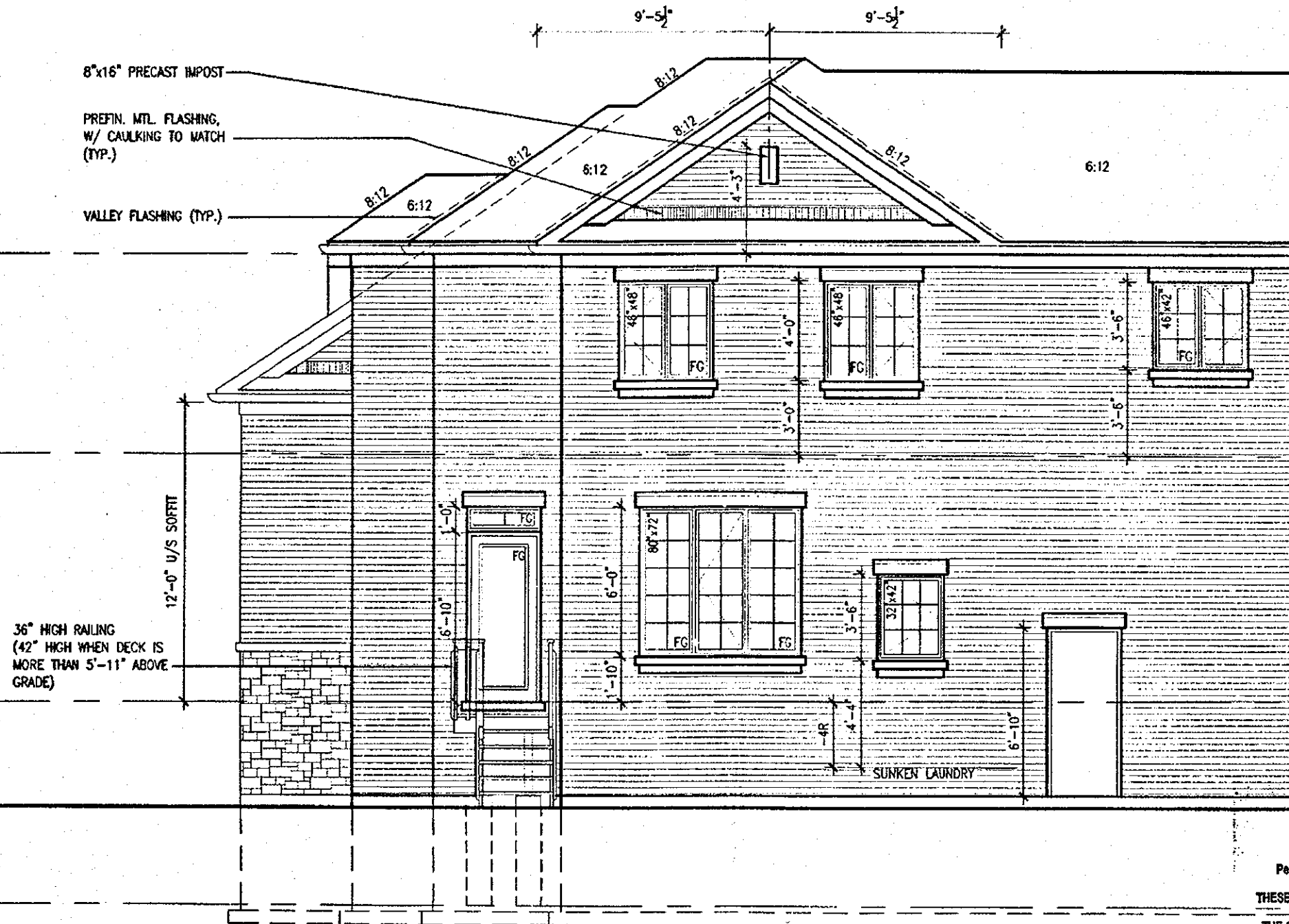
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2465 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 22 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____



REAR ELEV. 3 - DECK CONDITION
(4R TO 7R MAX.)

CITY OF HAMILTON
Building Division

Permit No. 17-131908

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
MAY 30 2018

FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 6E
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Apr. 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18				9	REPLACE P.C. WITH WOOD DECK PER CLIENT	APR. 04/18	GW	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW	Qualification Information
16				7	REVISED PER CITY COMMENTS. REISSUED.	SEP. 25/17	GW	Richard Vink
15				6	STUCCO REPLACED.	JUL. 05/17	GW	signature
14				5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	BCN
13				4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17	GW	registration information
12				3	ADDED SUNKEN FOYER.	JUN. 02/17	GW	VA3 Design Inc.
11				2	REVISED PER CLIENT COMMENTS.	MAY. 02/17	GW	42658
10				1	PRELIMINARY REVIEW.	APR. 13/17	GW	
no.	description	date	by	no.	description	date	by	

VA3
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255 Consumers Rd Suite 120
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t: 416.630.2255 f: 416.630.4782
va3design.com

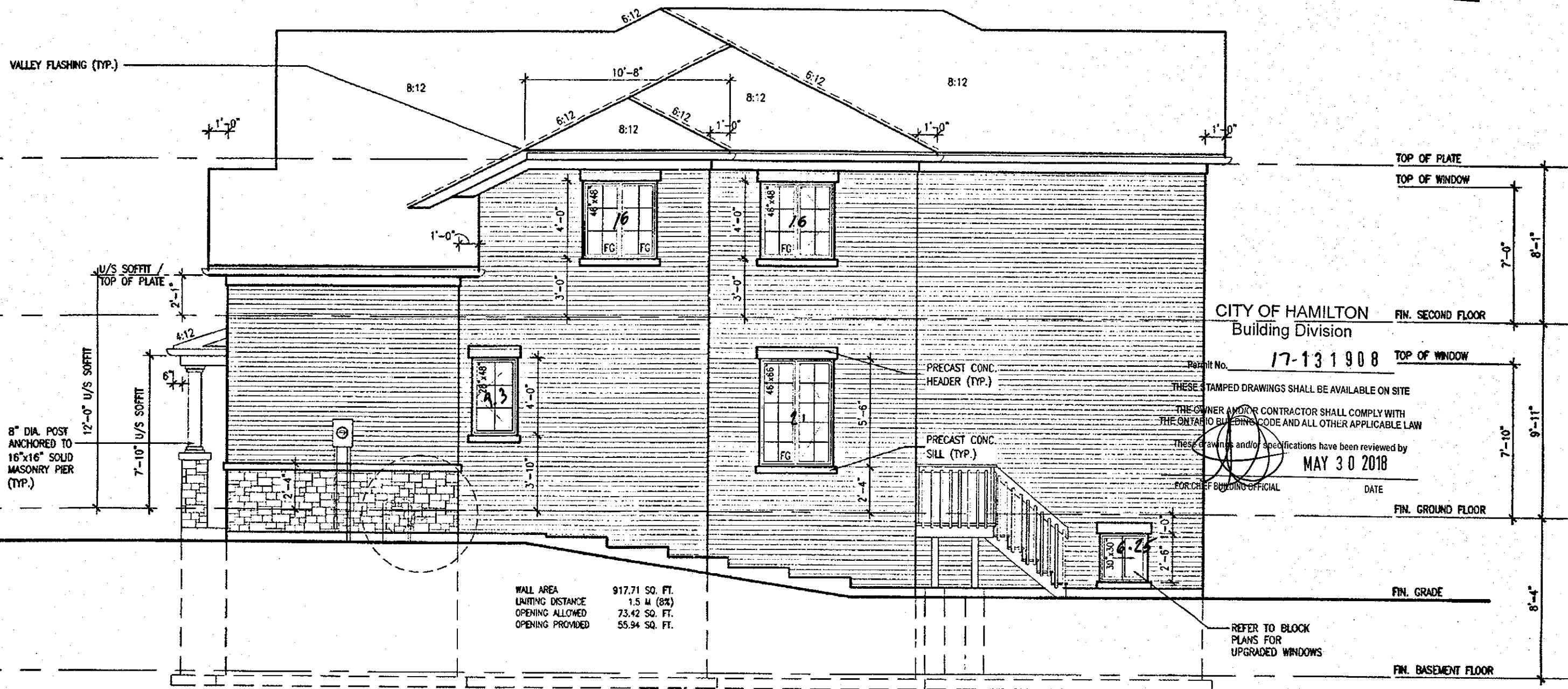
Greenpark.
project name
RUSSELL GARDENS PH.2
date
2017-04
checked by
BD.BIM
scale
3/16" = 1'-0"

HIGHGROVE 6E
project no.
16036
drawing no.
A10
REAR ELEVATION 3- DECK CONDITION
16036-HIGHGROVE 6E

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2465 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 22 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____



RIGHT SIDE ELEV. 3 - DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: APR. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18				9	REPLACE P.C. WITH WOOD DECK PER CLIENT.	APR. 04/18	SW	
17				8	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18	GW	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 25/17	GW	
15				6	STUCCO REPLACED.	JUL. 05/17	GW	
14				5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
13				4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17	GW	
12				3	ADDED SUNKEN FOYER	JUN. 02/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	MAY. 02/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 13/17	GW	
no.	description		date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BON
VAS Design Inc. 42653
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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vasdesign.com

Greenpark.	HIGHGROVE 6E
PROJECT NAME RUSSELL GARDENS PH.2	MUNICIPALITY WATERDOWN, ON.
DATE 2017-04	RIGHT SIDE ELEV. 3 - DECK CONDITION
DRAWN BY BS:BM	CHECKED BY 3/16" = 1'-0"
PROJECT NO. 16036	DRAWING NO. A11