

2264 SF.

**STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS**

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

**FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS**

24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

**FOOTINGS ON ENGINEERED FILL**

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.

BELOW PARTY WALLS.

(REFER TO ENGINEER FILL FOOTING DETAIL)

**ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY**

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

**PAD FOOTINGS**

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**VENEER CUT**

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**EXPOSED CONCRETE (FLATWORK)**

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

**BRICK VENEER LINTELS (WL)**

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

**WOOD LINTELS AND BEAMS (WB)**

WB1 = 2-2"x8" (2-38x184) SPR. No.2  
WB2 = 3-2"x8" (3-38x184) SPR. No.2  
WB3 = 2-2"x10" (2-38x235) SPR. No.2  
WB4 = 3-2"x10" (3-38x235) SPR. No.2  
WB5 = 2-2"x12" (2-38x286) SPR. No.2  
WB6 = 3-2"x12" (3-38x286) SPR. No.2  
WB7 = 5-2"x12" (5-38x286) SPR. No.2  
WB11 = 4-2"x10" (4-38x235) SPR. No.2  
WB12 = 4-2"x12" (4-38x286) SPR. No.2

**LAMINATED VENEER LUMBER (LVL) BEAMS**

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)  
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)  
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)  
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)  
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)  
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)  
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)  
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)  
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)  
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)  
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)  
LVL8 = 2-1 3/4"x14" (2-45x356)  
LVL9 = 3-1 3/4"x14" (3-45x356)

**LOOSE STEEL LINTELS (L)**

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)  
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)  
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)  
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)  
L5 = 6" x 4" x 3/8" L (150x100x10.0L)  
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

**DOOR SCHEDULE**

NOS.	WIDTH	HEIGHT 8' TO 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

**CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)**

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0"-7'-0", 2 ROWS FOR SPANS GREATER THAN 7'-0".

**NOTE: ROOF FRAMING**

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

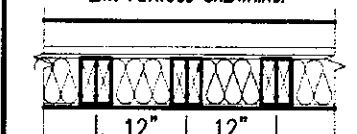
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

**NOTE: ENGINEERED FLOOR FRAMING**

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

**TWO STOREY HEIGHT WALL DETAIL**

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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**UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))**

HIGHGROVE 5E AND ELEV. 1	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.42 S.F.	23.15 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	299.90 S.F.	9.98 %
TOTAL SQ. M.	279.24 S.M.	27.86 S.M.	9.98 %

**UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))**

HIGHGROVE 5E AND ELEV. 2	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.67 S.F.	23.20 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	300.15 S.F.	9.99 %
TOTAL SQ. M.	279.24 S.M.	27.86 S.M.	9.99 %

**UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))**

HIGHGROVE 5E AND ELEV. 3	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	299.16 S.F.	9.95 %
TOTAL SQ. M.	279.24 S.M.	27.79 S.M.	9.95 %

**AREA CALCULATIONS****ELEV '1'**

GROUND FLOOR AREA 1030 SF  
SECOND FLOOR AREA 1234 SF

**TOTAL FLOOR AREA 2264 SF**  
(210.33 m2)

FIRST FLOOR OPEN AREA 00 SF  
SECOND FLOOR OPEN AREA 00 SF

ADD TOTAL OPEN AREAS +00 SF  
ADD FINISHED BSMT AREA +00 SF

**GROSS FLOOR AREA 2264 SF**  
(210.33 m2)

GROUND FLOOR COVERAGE 1030 SF  
GARAGE COVERAGE/AREA 220 SF  
PORCH COVERAGE/AREA 90 SF

**COVERAGE W/ PORCH 1340 SF**  
(124.49 m2)

**COVERAGE W/O PORCH 1250 SF**  
(116.13 m2)

**AREA CALCULATIONS****ELEV '2'**

GROUND FLOOR AREA 1030 SF  
SECOND FLOOR AREA 1234 SF

**TOTAL FLOOR AREA 2264 SF**  
(210.33 m2)

FIRST FLOOR OPEN AREA 00 SF  
SECOND FLOOR OPEN AREA 00 SF

ADD TOTAL OPEN AREAS +00 SF  
ADD FINISHED BSMT AREA +00 SF

**GROSS FLOOR AREA 2264 SF**  
(210.33 m2)

GROUND FLOOR COVERAGE 1030 SF  
GARAGE COVERAGE/AREA 220 SF  
PORCH COVERAGE/AREA 102 SF

**COVERAGE W/ PORCH 1352 SF**  
(125.61 m2)

**COVERAGE W/O PORCH 1250 SF**  
(116.13 m2)

**AREA CALCULATIONS****ELEV '3/3A/3B'**

GROUND FLOOR AREA 1024 SF  
SECOND FLOOR AREA 1228 SF

**TOTAL FLOOR AREA 2252 SF**  
(209.22 m2)

FIRST FLOOR OPEN AREA 00 SF  
SECOND FLOOR OPEN AREA 00 SF

ADD TOTAL OPEN AREAS +00 SF  
ADD FINISHED BSMT AREA +00 SF

**GROSS FLOOR AREA 2252 SF**  
(209.22 m2)

GROUND FLOOR COVERAGE 1024 SF  
GARAGE COVERAGE/AREA 220 SF  
PORCH COVERAGE/AREA 96 SF

**COVERAGE W/ PORCH 1340 SF**  
(124.50 m2)

**COVERAGE W/O PORCH 1244 SF**  
(115.57 m2)

OCT 04 2017

**HIGHGROVE 5E**  
**COMPLIANCE PACKAGE A1**

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.					
17			8			7. REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW			
16			7			6. ISSUED FOR PRICING.	AUG. 23/17	GW			
15			6			5. STUCCO REPLACED.	JUL. 05/17	GW			
14			5			4. REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT			
13			4			3. CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW			
12			3			2. REVISED PER CLIENT COMMENTS.	APR. 28/17	GW			
11			2			1. PRELIMINARY REVIEW.	APR. 12/17	GW			
10			1								
no.	description	date	by	no.	description	date	by				

**VAS**  
**DESIGN**

255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark.**

project name **RUSSELL GARDENS PH.2** municipality **WATERDOWN, ON.**

date **MARCH 2017** checked by **3/16" = 1'-0"** scale

drawn by **WT** file name **16036-HIGHGROVE 5E**

date **MARCH 2017** checked by **3/16" = 1'-0"** scale

**HIGHGROVE 5E**

project no. **16036**

drawing no. **A0**

file name **16036-HIGHGROVE 5E**

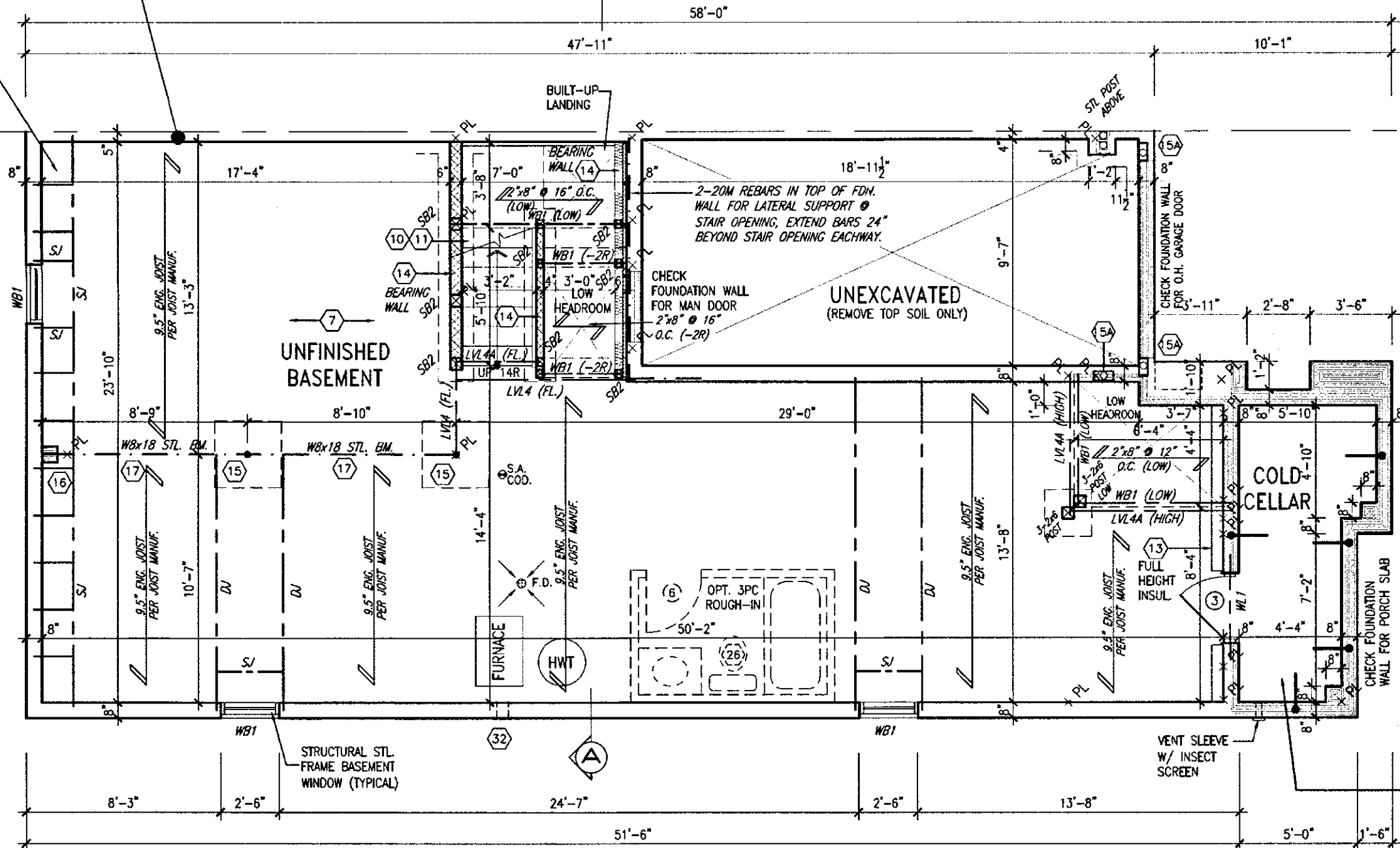
date **MARCH 2017** checked by **3/16" = 1'-0"** scale

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2264 SF.

- PARTY WALL AT GARAGE SIDE CONSTRUCTION**
- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.
  - REFER TO DETAIL PAGES 4.4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



**BASEMENT WALL INSULATION (TYP.)** (13)  
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.**  
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).  
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION.  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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BASEMENT PLAN ELEV. '1'

APR 17 2018

**HIGHGROVE 5E**  
COMPLIANCE PACKAGE A1

18			9	REVISED.	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	qualification information
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink
14			5	STUCCO REPLACED.	JUL. 05/17	GW	name
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	VA3 Design Inc.
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	42658
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no. description		date	by	no. description			

**VA3**  
DESIGN

255 Consumers Rd Suite 120  
Toronto ON M2L 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

project name  
RUSSELL GARDENS PH.2

municipality  
WATERDOWN, ON.

**HIGHGROVE 5E**

project no.  
16036

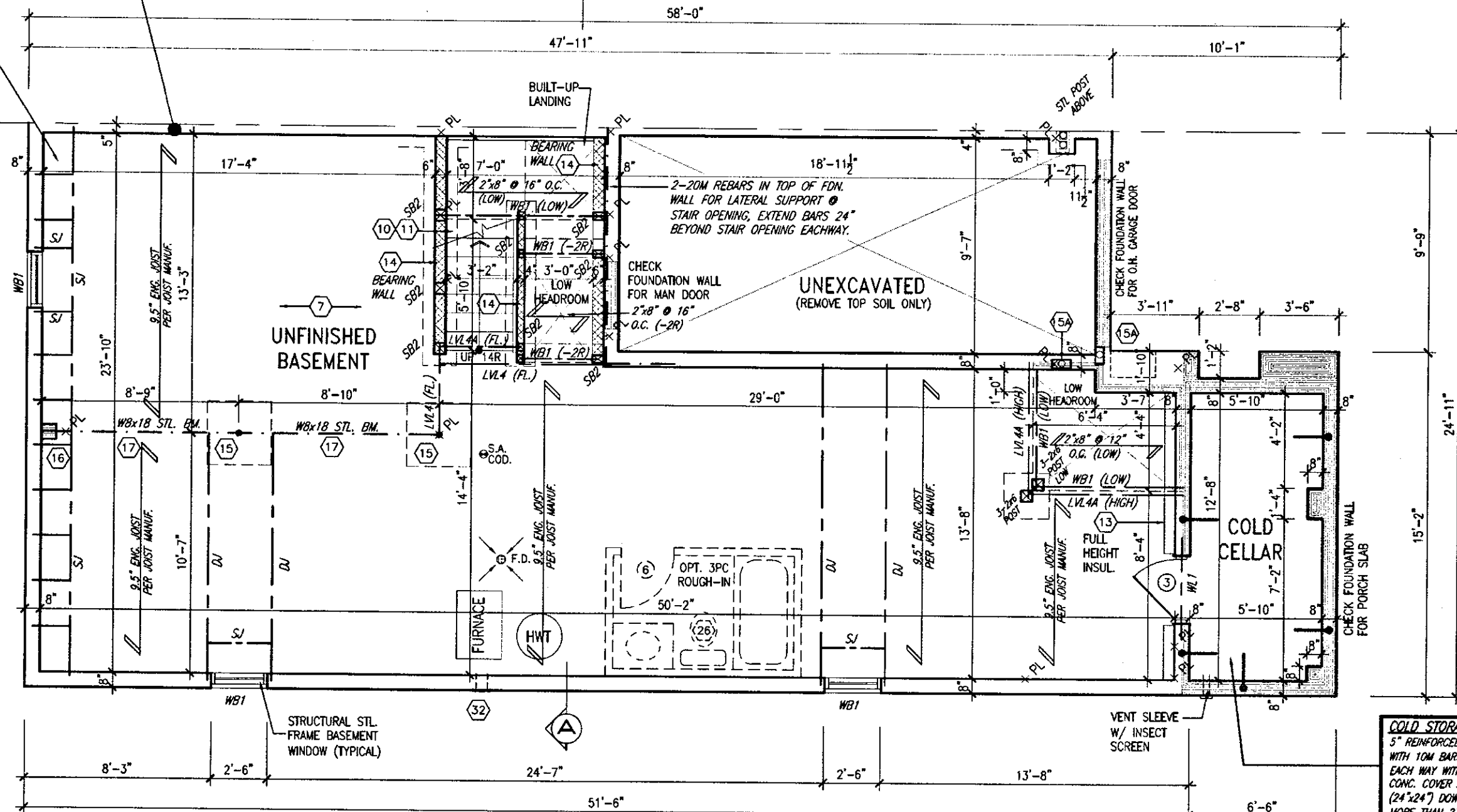
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GW  
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drawing no.  
16036-HIGHGROVE 5E  
A1

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2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION  
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.  
• REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT WALL INSULATION  
(TYP) (13)  
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.  
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION.  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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BASEMENT PLAN ELEV. '2'

APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
16				7	REVISED ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
name  
registration information  
VAS Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH.2  
municipality  
WATERDOWN, ON.  
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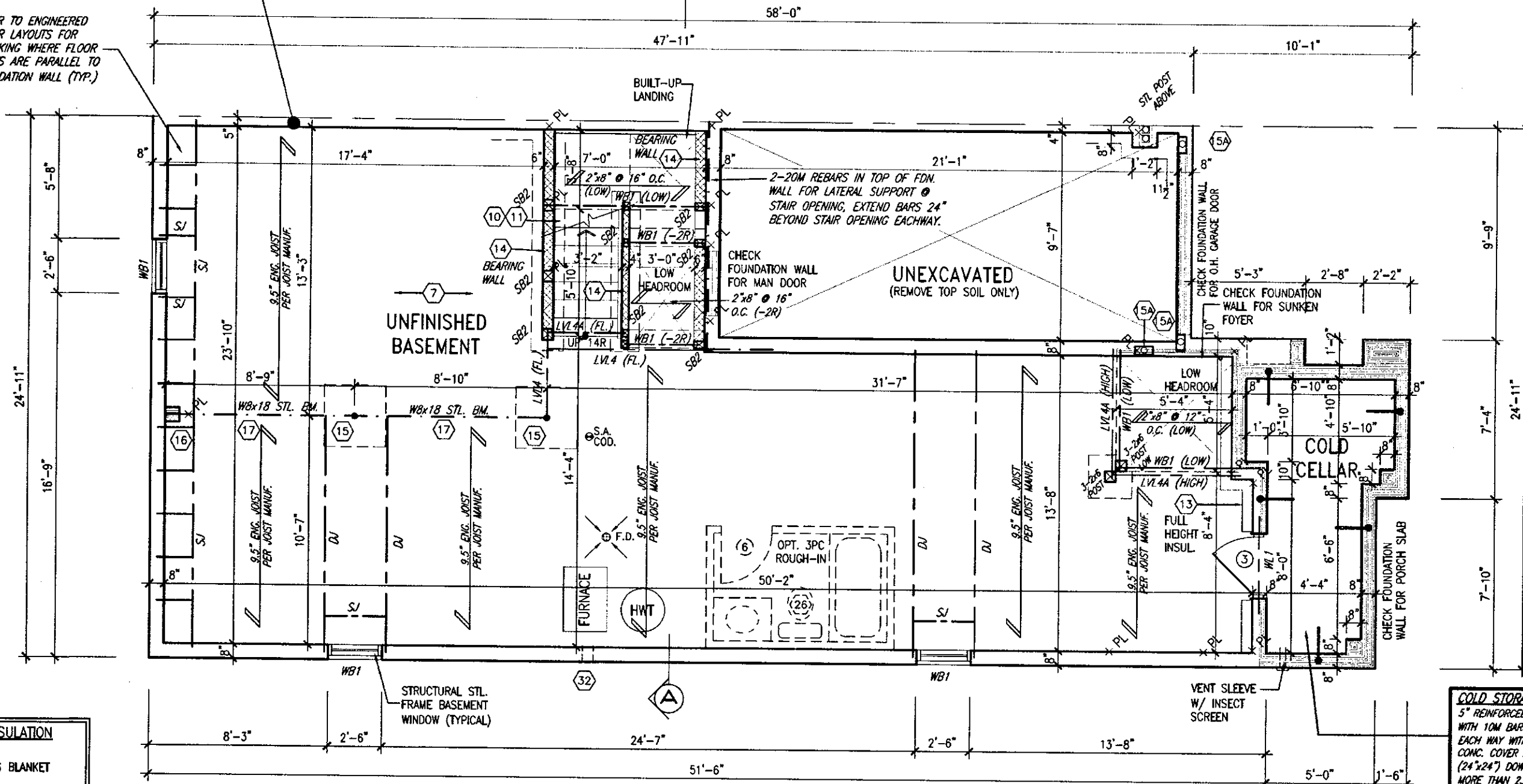
HIGHGROVE 5E  
project no.  
16036  
drawing no.  
A1a  
file name  
16036-HIGHGROVE 5E.dwg  
date  
Tue - Apr 17 2018 - 8:47 AM

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PARTY WALL AT GARAGE SIDE CONSTRUCTION

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REFER TO ENGINEERED  
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FOUNDATION WALL (TYP.)



**BASEMENT WALL INSULATION**  
(TYP) (13)  
-6" (R20) CONTINUOUS BLANKET  
INSULATION. INSULATION  
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT**  
**STAIR/SUNKEN AREAS where**  
**FRAMING IS REQ'D. FOR**  
**SUPPORT.**

-2" (R10) CONTINUOUS INSULATION  
(RIGID OR SPRAY FOAM).  
-2'x4" @ 16"o.c. w/ R12 BATT  
INSULATION.  
-EXTEND EXTERIOR WALL FOOTING TO  
SUPPORT 2'x4" WALL WHERE LOAD  
BEARING.

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BASEMENT PLAN ELEV. '3'





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APR 17 2018


HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

## HIGHGROVE 5E

18		9	REVISED.	APR. 16/18	GW	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div><div>Richard Vink 24488</div><div>signature BCM</div></div> <div>name registration information</div> <div>VA3 Design Inc. 42658</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>	
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no.	description	date	by	no.	description		date



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
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va3design.com



HIGHGROVE 5E

project name  
RUSSELL GARDENS PH.2  
municipality  
WATERDOWN, ON.  
project no.  
16036

date  
MARCH 2017  
drawing no.  
A1b

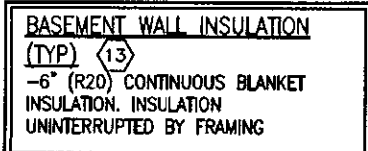
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16036-HIGHGROVE 5E

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PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



**BASEMENT INSULATION AT**  
**STAIR/SUNKEN AREAS where**  
**FRAMING IS REQ'D. FOR**  
**SUPPORT.**

- 2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
- 2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
- EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

BASEMENT PLAN ELEV. '3A' - B202-UNIT 7/B211-UNIT6/B212-UNIT1

**COLD STORAGE SLAB**  
5" REINFORCED CONCRETE SLAB  
WITH 10M BARS @ 7 7/8" o.c.  
EACH WAY WITH MIN. 1 1/4"  
CONC. COVER AND 10M BENT  
(24"x24") DOWELS SPACED NOT  
MORE THAN 23 5/8" o.c.



STRUDET INC.  
FOR STRUCTURE ONLY

APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

18										17										16										15										14										13										12										11										10										no.																																							
										9										8										7										6										5										4										3										2										1										no.																													
										REVISED.										REV. PER CITY COMMENTS. REISSUED.										REVISED. ISSUED FOR PERMIT.										ISSUED FOR PRICING.										STUCCO REPLACED.										REVISED AS PER CLIENT COMMENTS.										CHANGED JOIST DEPTH / FLOOR HEIGHTS										REVISED PER CLIENT COMMENTS.										PRELIMINARY REVIEW.										no.																													
										APR. 16/18										FEB. 06/18										SEP. 28/17										AUG. 23/17										JUL 05/17										JUN 21/17										JUN 14/17										APR. 28/17										APR 12/17										no.																													
										GW										GW										GW										GW										GW										WT										GW										GW										GW										no.																													
										The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.										qualification information										Richard Vink 24488										signature										name registration information										VA3 Design Inc. 42658										Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.										no.																																																	
no.										description										date										by										no.										description										date										by										no.										description										date										by										no.									

VA3

DESIGN

255 Consumers Rd Suite 120  
Toronto ON M2J 1H1  
T 416.630.2255 F 416.630.4782  
va3design.com

Greenpark.

project name

RUSSELL GARDENS PH.2

municipality

WATERDOWN, ON.

project no.

160356

date

MARCH 2017

checked by

GW

scale

3/16" = 1'-0"

drawing no.

A1c

BASEMENT PLAN ELEV. '3A'

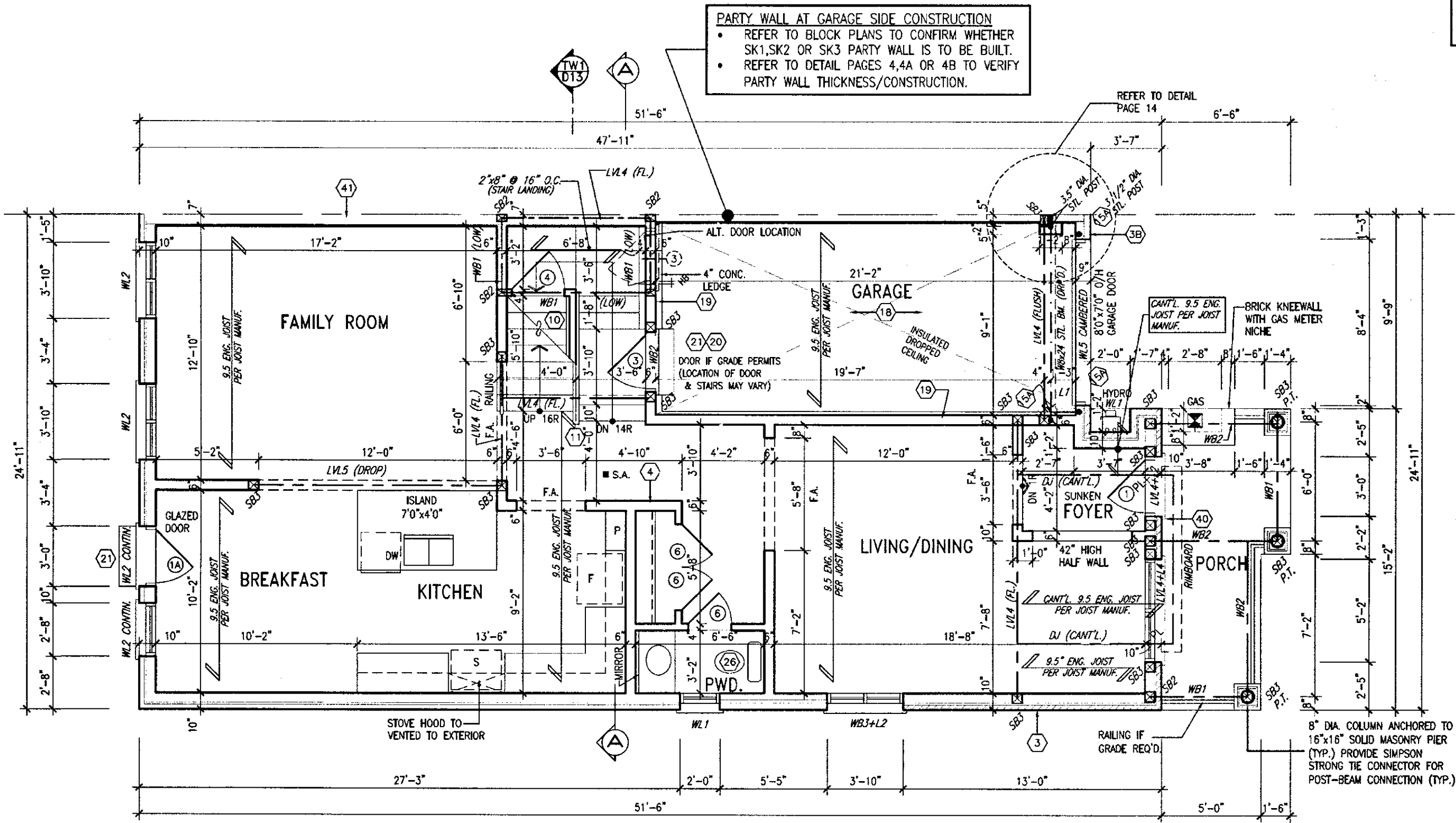
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160356-HIGHGROVE 5E

160356-HIGHGROVE 5E

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2264 SF.



GROUND FLOOR PLAN ELEV. '1'



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ALL GARAGE SLABS, PORCH  
SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa  
WITH 5-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING  
REFER TO ROOF TRUSS SHOP DRAWINGS AND  
TOWNHOUSE BLOCK PLANS FOR ALL ROOF  
FRAMING INFORMATION UNLESS OTHERWISE  
NOTED.

ENGINEERED FLOOR FRAMING INFO  
REFER TO ENGINEERED FLOOR LAYOUTS FOR  
ALL FLOOR FRAMING INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
HAMILTON.

APR 17 2018

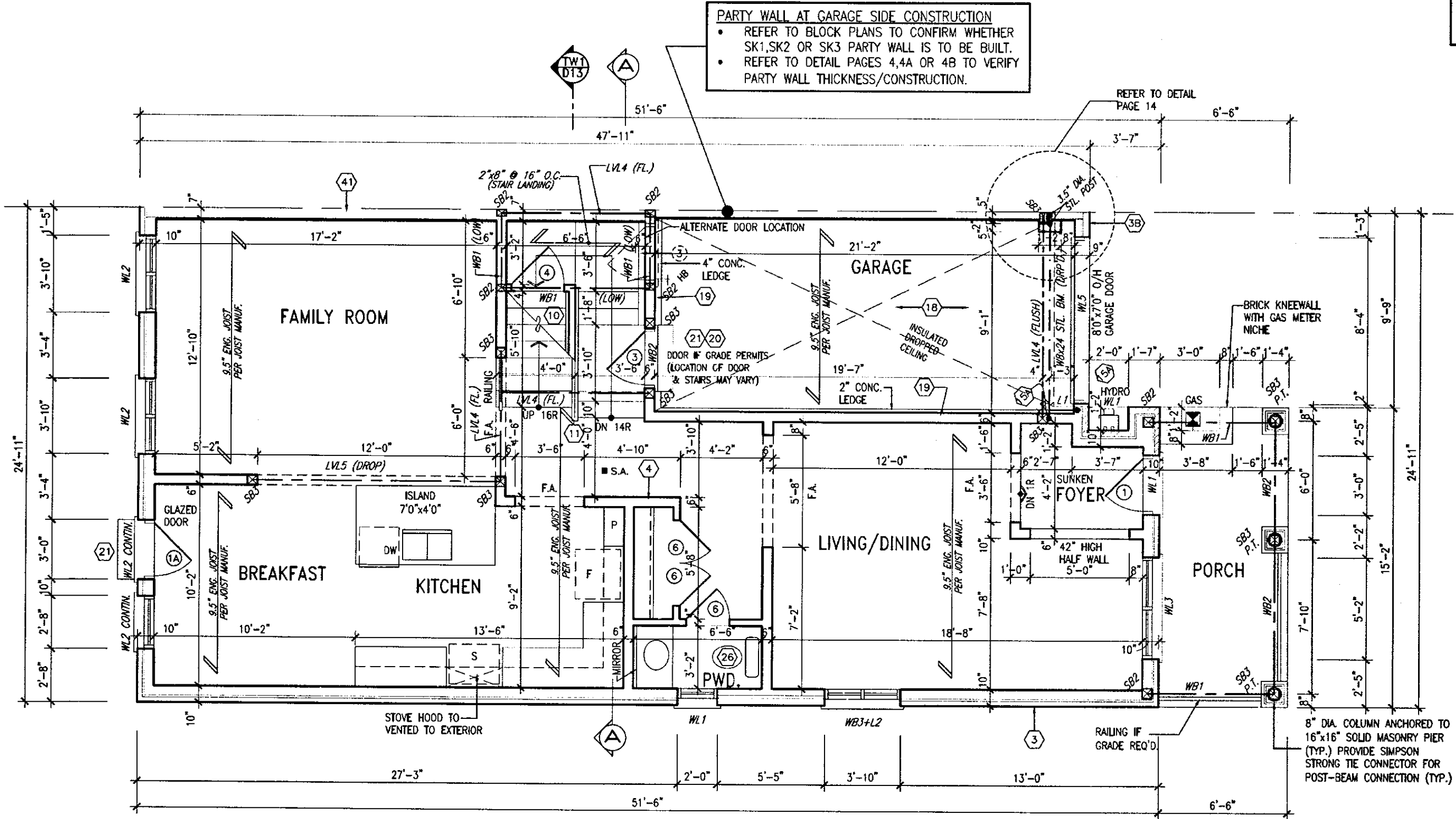
# HIGHGROVE 5E COMPLIANCE PACKAGE A1

18			9	REVISED.	APR. 16/18	GW	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 416.630.2255 / 416.630.4782 va3design.com</div></div>	<div><div>Greenpark.</div><div>project name RUSSELL GARDENS PH.2</div><div>municipality WATERDOWN, ON.</div><div>date MARCH 2017</div><div>checked by GW</div><div>scale 3/16" = 1'-0"</div><div>file name 16036-HIGHGROVE 5E-NEW</div><div>drawing no. A2</div></div>	<div>HIGHGROVE 5E</div> <div>project no. 16036</div>
17			8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW			
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW			
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW			
14			5	STUCCO REPLACED.	JUL. 05/17	GW			
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT			
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW			
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW			
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW			
no.	description	date	by	no.	description	date			

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2264 SF.



GROUND FLOOR PLAN ELEV. '2'



STRUDET INC.  
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ALL GARAGE SLABS, PORCH  
SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa  
WITH 5-8% AIR ENTRAINMENT.

**NOTE: ROOF FRAMING**  
REFER TO ROOF TRUSS SHOP DRAWINGS AND  
TOWNHOUSE BLOCK PLANS FOR ALL ROOF  
FRAMING INFORMATION UNLESS OTHERWISE  
NOTED.

**ENGINEERED FLOOR FRAMING INFO**  
REFER TO ENGINEERED FLOOR LAYOUTS FOR  
ALL FLOOR FRAMING INFORMATION AND DETAILS.  
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

APR 17 2018

**HIGHGROVE 5E**  
COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
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15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink  
signature  
24488  
BCN  
42658

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**DESIGN**  
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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark.**  
Project name  
**RUSSELL GARDENS PH.2**  
date  
MARCH 2017  
drawn by  
WT  
checked by  
GW  
scale  
3/16" = 1'-0"

**HIGHGROVE 5E**  
municipality  
WATERDOWN, ON.  
project no.  
16036  
drawing no.  
A2a

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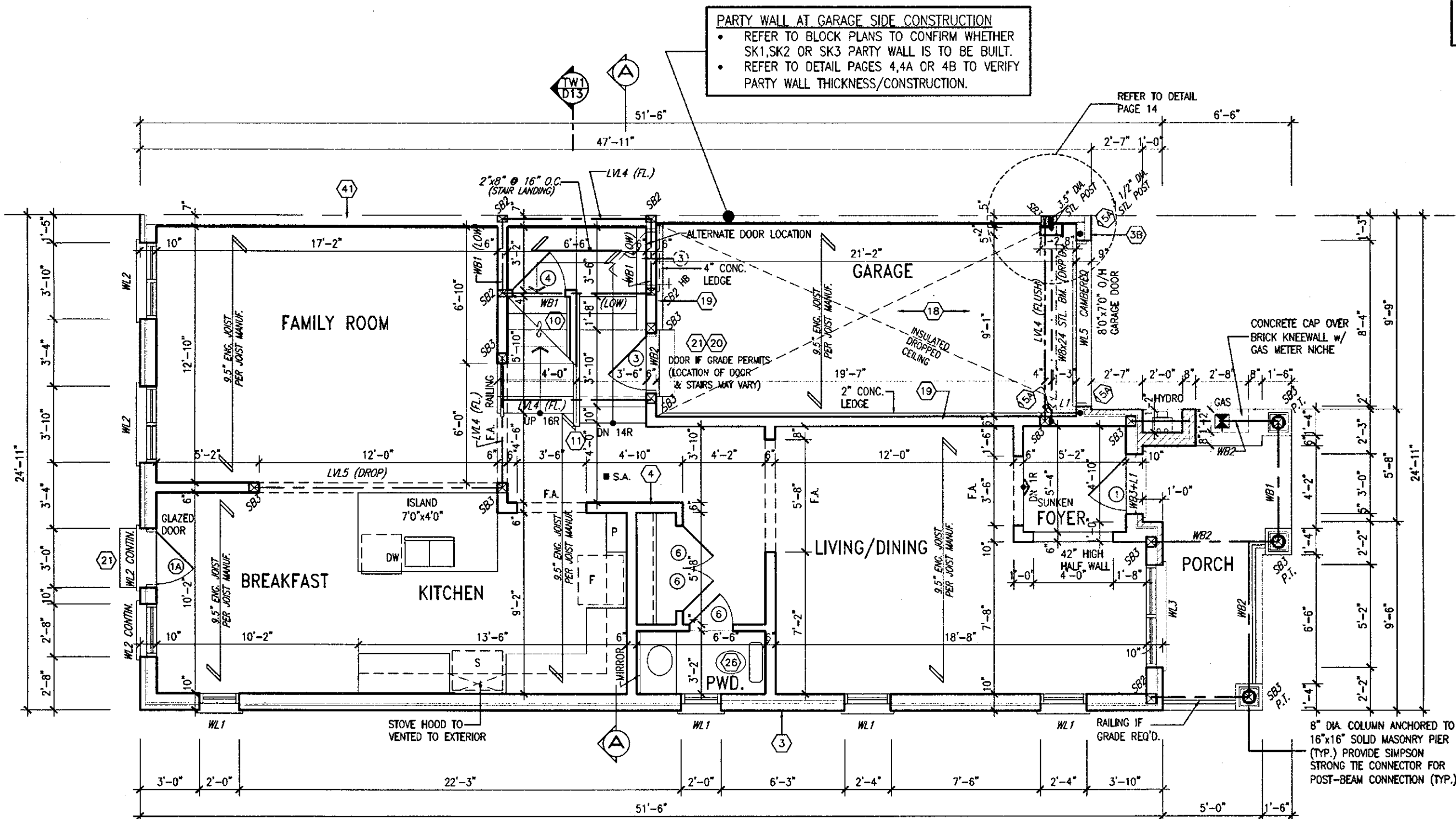
PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.





2264 SF.



GROUND FLOOR PLAN ELEV. '3A' - B202-UNIT 7/B211-UNIT6/B212-UNIT1



STRUDET INC.  
FOR STRUCTURE ONLY

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

**NOTE: ROOF FRAMING**  
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

**ENGINEERED FLOOR FRAMING INFO**  
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

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APR 17 2018

**HIGHGROVE 5E**  
COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	G	
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	G	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	G	
15				6	ISSUED FOR PRICING.	AUG. 23/17	G	
14				5	STUCCO REPLACED.	JUL. 05/17	G	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	W	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	G	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	G	
10				1	PRELIMINARY REVIEW.	APR. 12/17	G	
no.	description		date	by	no.	description	date	b

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qualification information  
Richard Vink 24488  
name registration information BCN  
VA3 Design Inc. 42658

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t 416.630.2255 f 416.630.4782  
va3design.com



Project name  
**RUSSELL GARDENS PH.2**  
date MARCH 2017  
drawn by WT  
checked by GW  
scale 3/16" = 1'-0"

**HIGHGROVE 5E**

WATERDOWN, ON.

GROUND FLOOR PLAN ELEV. '3A'

16036-HIGHGROVE SE-NEW

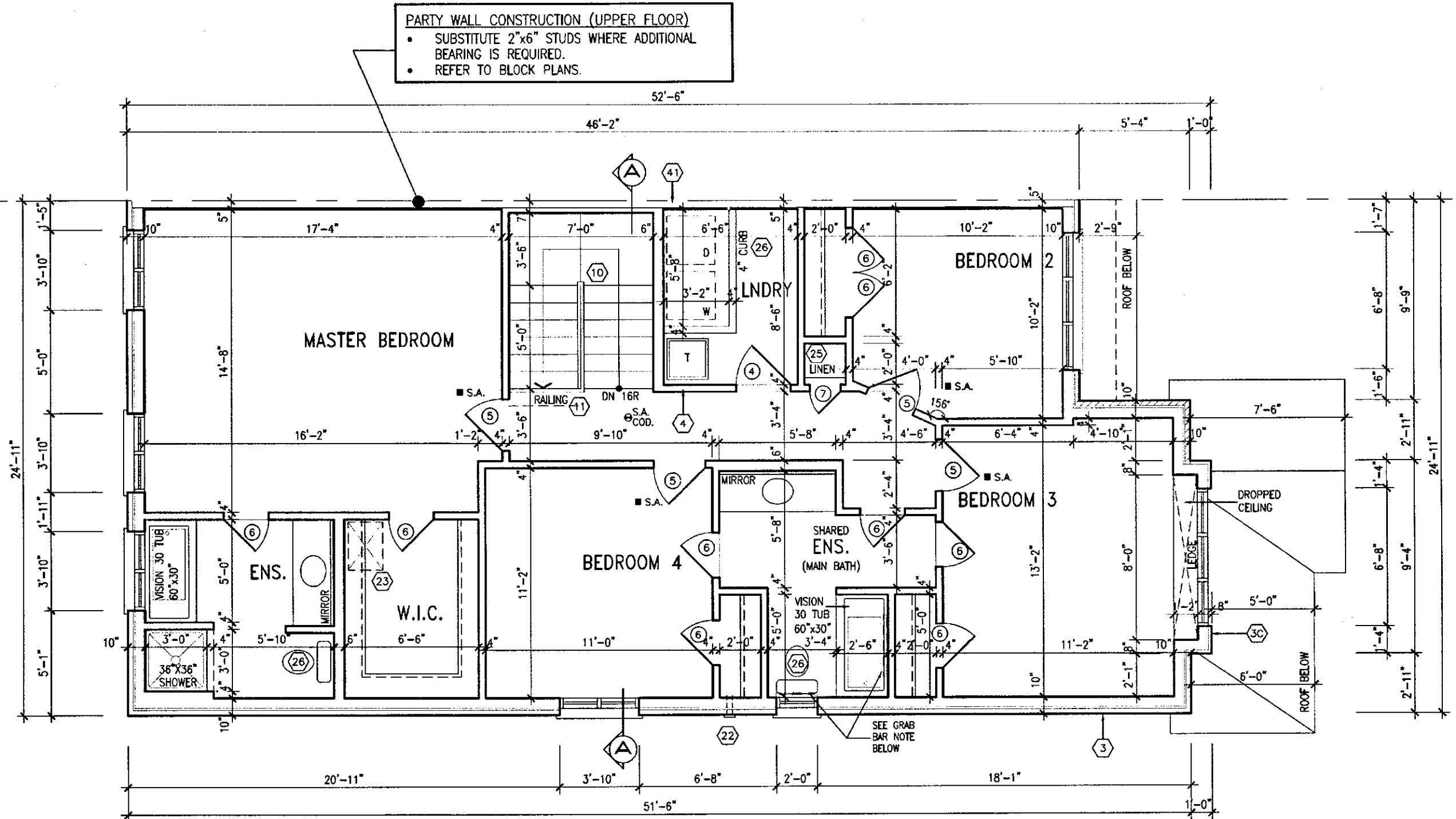
project no. 16036

drawing no.

**A2c**

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17	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	qualification information
16	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink 24488
15	ISSUED FOR PRICING.	AUG. 23/17	GW	signature
14	STUCCO REPLACED.	JUL 05/17	GW	name
13	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	registration information
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	VAS Design Inc. 42658
11	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10	PRELIMINARY REVIEW	APR. 12/17	GW	
no.	description	date	by	

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t 416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark.**

project name  
RUSSELL GARDENS PH.2  
date  
MARCH 2017  
drawn by  
WT  
checked by  
GW  
scale  
3/16" = 1'-0"

HIGHGROVE 5E

municipality  
WATERDOWN, ON.

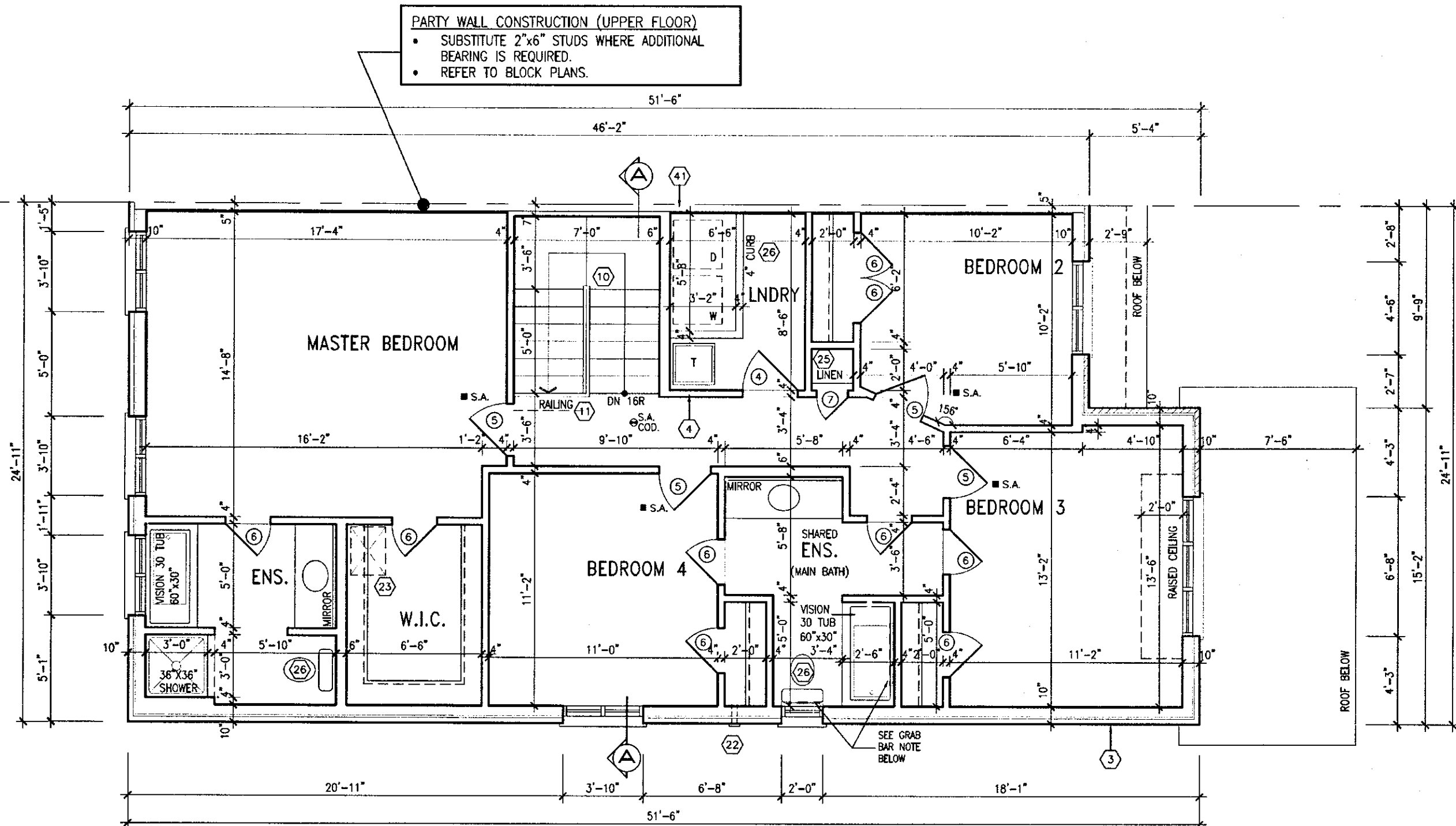
SECOND FLOOR PLAN ELEV. '1'

project no.  
16036

drawing no.  
A3

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APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	
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13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	
10				1	PRELIMINARY REVIEW.	APR. 12/17	
no.	description	date	by	no.	description	date	

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qualification information  
Richard Vink 24488  
signature  
name  
registration information  
VA3 Design Inc. 42658

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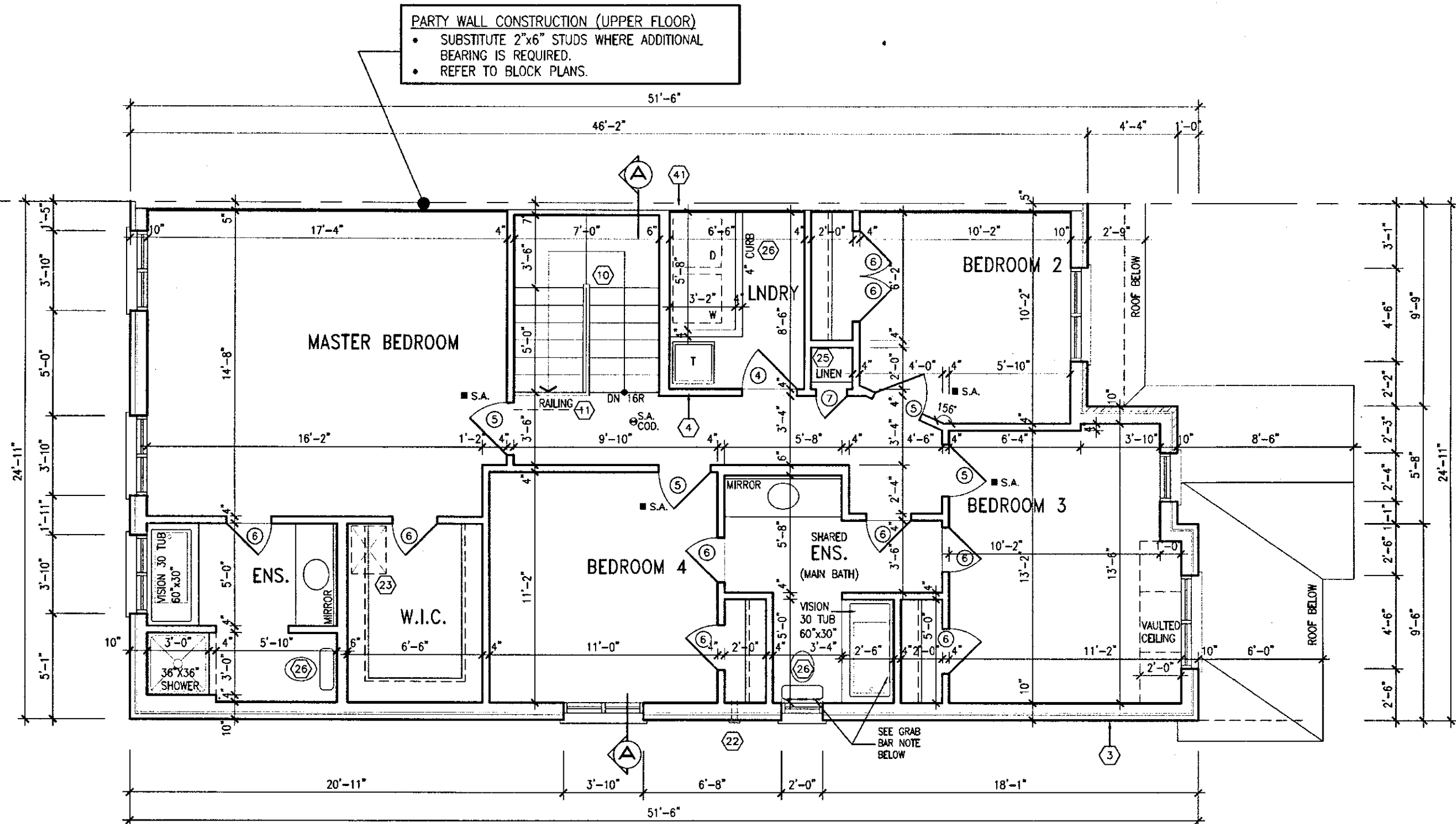
**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
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va3design.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH.2  
date  
MARCH 2017  
drawn by  
WT  
checked by  
CW  
scale  
3/16" = 1'-0"

**HIGHGROVE 5E**  
project no.  
16036  
drawing no.  
A3a  
SECOND FLOOR PLAN ELEV. '2'

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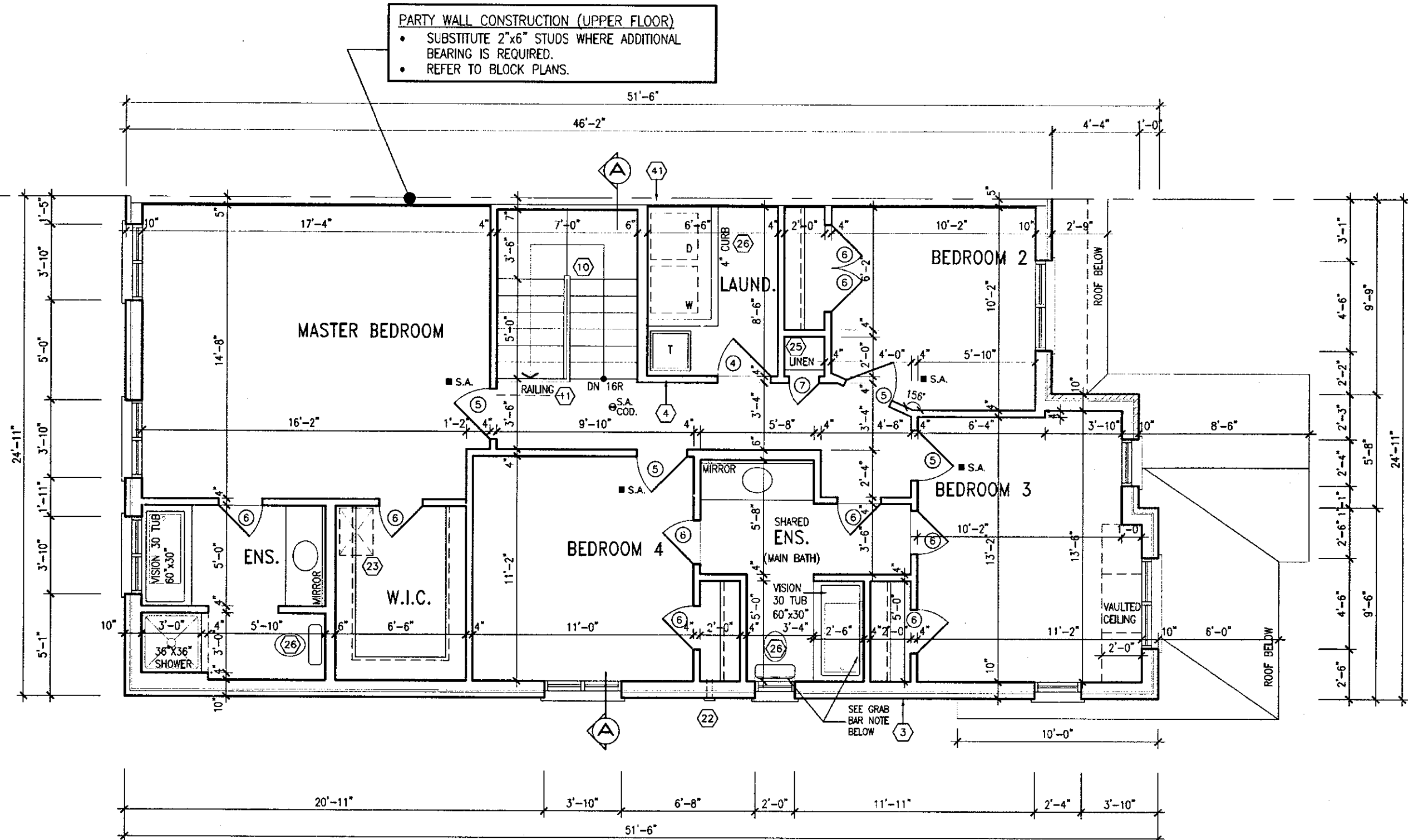
# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

18			9	REVISED.	APR. 16/18	GW	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information Richard Vink 24488 <i>R Vink</i> signature name registration information VA3 Design Inc. 42658</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	<p><b>VA3 DESIGN</b></p> <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<p><b>Greenpark.</b></p> <p>project name RUSSELL GARDENS PH.2</p> <p>municipality WATERDOWN, ON.</p> <p>date MARCH 2017</p> <p>checked by WT</p> <p>scale 3/16" = 1'-0"</p> <p>project no. 16036</p>	<p><b>HIGHGROVE 5E</b></p> <p>drawing no. A3b</p>
17			8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW				
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW				
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW				
14			5	STUCCO REPLACED.	JUL. 05/17	GW				
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT				
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW				
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW				
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW				
no. description		date	by	no. description		date				

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# HIGHGROVE 5E COMPLIANCE PACKAGE A1

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17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	
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no.	description		date	by	no.	description	date	by

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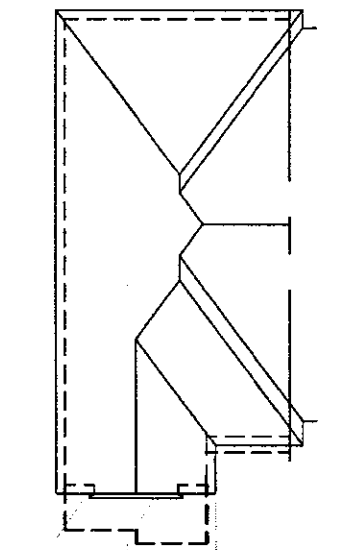
**VAD DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
T 416.630.2255 F 416.630.4782  
vadesign.com

**Greenpark.**

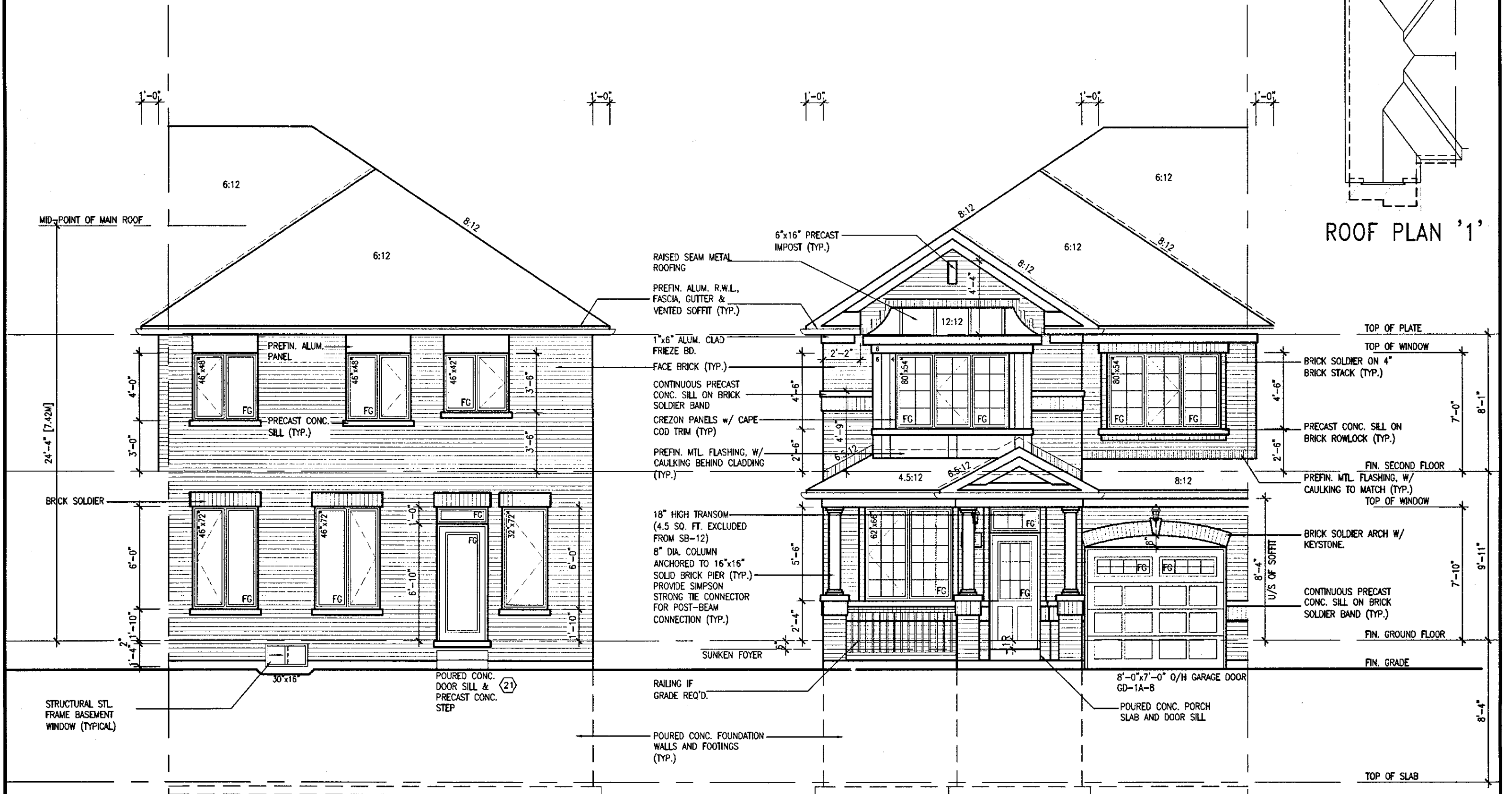
project name	RUSSELL GARDENS PH.2	municipality	WATERDOWN, ON.	project no.	16036
date	MARCH 2017	second floor plan elev. '3A'		drawing no.	A3c
drawn by	WT	checked by	GW	scale	3/16" = 1'-0"
file name	16036-HIGHGROVE 5E-NEW				

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2264 SF.



ROOF PLAN '1'



REAR ELEVATION '1'

FRONT ELEVATION '1'

APR 17 2018

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

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16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	
14			5	STUCCO REPLACED.	JUL. 05/17	GW	Richard Vink 24488
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	signature
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN. 14/17	GW	name
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	registration information
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW	VA3 Design Inc. 42658
no. description		date	by	no. description			

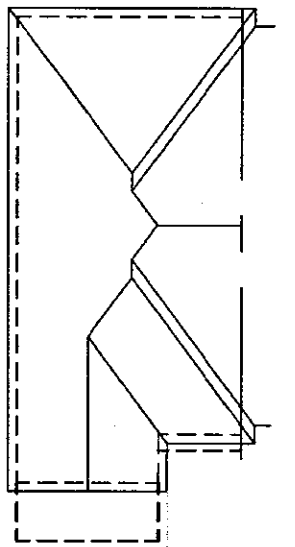
**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.** HIGHGROVE 5E  
project name: RUSSELL GARDENS PH.2 municipality: WATERDOWN, ON. project no.: 16036  
date: MARCH 2017 checked by: GW scale: 3/16" = 1'-0" site name: 16036-HIGHGROVE 5E-NEW drawing no.: A4  
notes: TELEPHONE: 416.630.2255 FAX: 416.630.4782 EMAIL: INFO@VA3DESIGN.COM  
DATE: 16036-HIGHGROVE 5E-NEW.dwg - Mar - Apr 18 2018 - 11:26 AM

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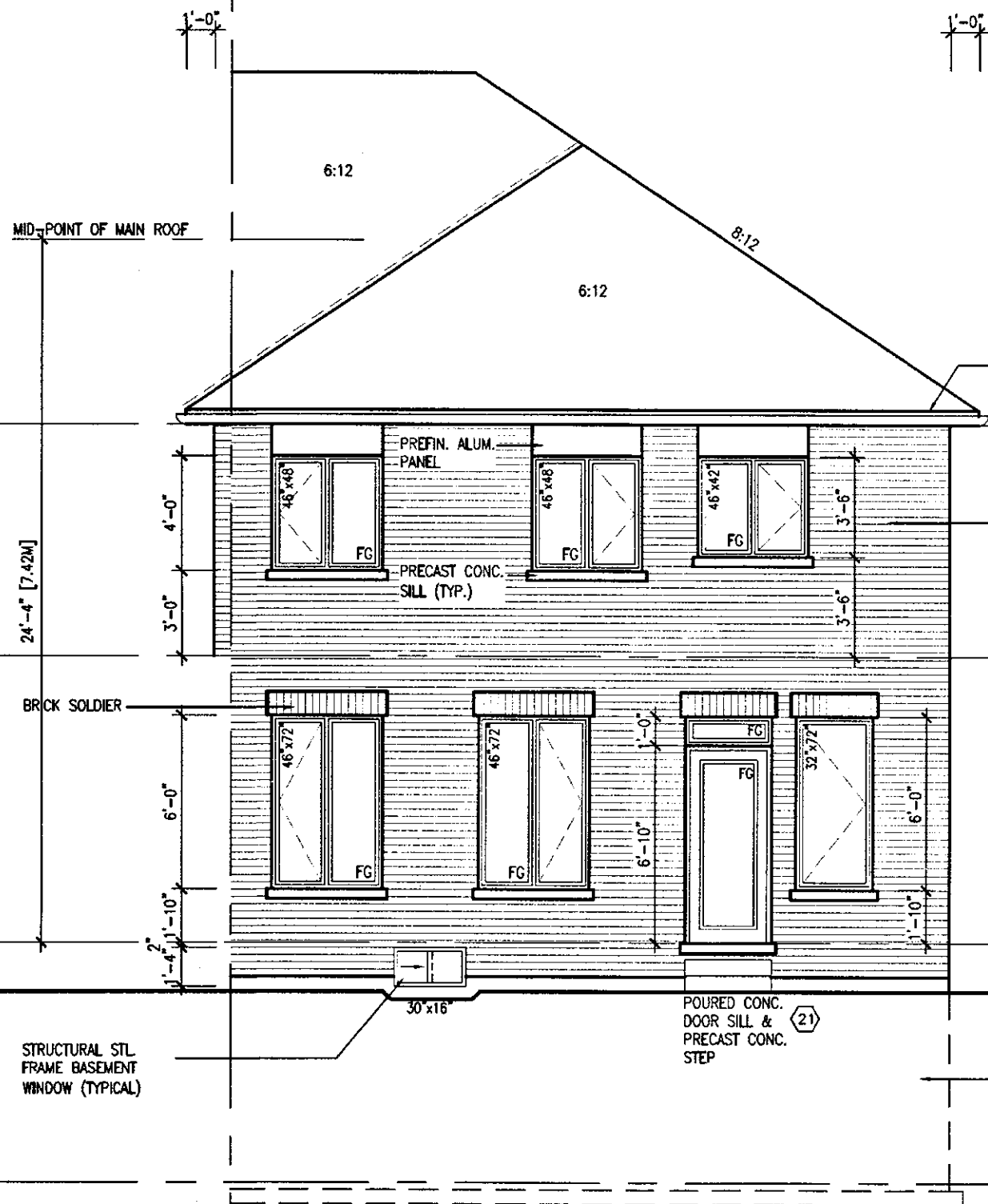


2264 SF.



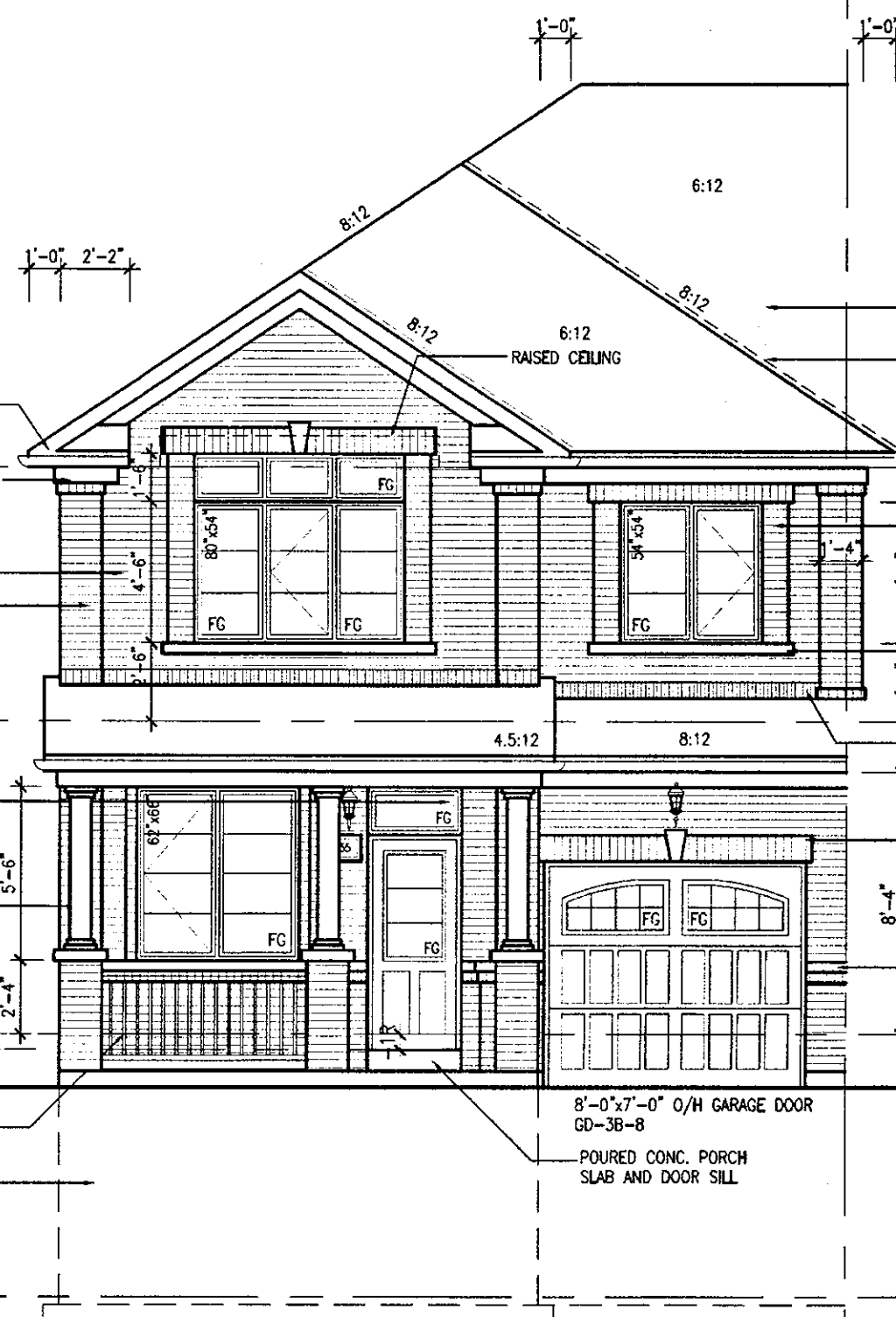
ROOF PLAN '2'

ASPHALT SHINGLES (TYP.)  
VALLEY FLASHING (TYP.)



REAR ELEVATION '2'

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)  
1"x6" ALUM. CLAD FRIEZE BD.  
FACE BRICK (TYP.)  
BRICK PILASTER (TYP.)  
BRICK ROWLOCK ON BRICK  
SOLDIER CAPITAL. ON 16"  
WIDE RAISED BRICK PILASTER  
ON BRICK SOLDIER ON BRICK  
ROWLOCK BASE.  
18" HIGH TRANSOM  
(4.5 SQ. FT. EXCLUDED  
FROM SB-12)  
8" DIA. COLUMN ANCHORED  
TO 16"x16" SOLID MASONRY  
PIER (TYP.) PROVIDE SIMPSON  
STRONG-TIE CONNECTOR FOR  
POST-BEAM CONNECTION  
(TYP.)  
SUNKEN FOYER  
RAILING IF  
GRADE REQ'D.  
POURED CONC. FOUNDATION  
WALLS AND FOOTINGS  
(TYP.)



FRONT ELEVATION '2'

TOP OF PLATE  
TOP OF WINDOW  
BRICK SOLDIER ON  
BRICK STACK (TYP.)  
PRECAST CONC. SILL  
(TYP.)  
FIN. SECOND FLOOR  
PREFIN. MTL. FLASHING W/  
CAULKING TO MATCH (TYP.)  
TOP OF WINDOW  
BRICK SOLDIER W/ KEYSTONE.  
U/S OF SOFFIT  
CONTINUOUS PRECAST  
CONC. SILL OVER BRICK  
ROWLOCK BAND (TYP.)  
FIN. GROUND FLOOR  
FIN. GRADE  
8'-0"x7'-0" O/H GARAGE DOOR  
GD-3B-8  
POURED CONC. PORCH  
SLAB AND DOOR SILL  
TOP OF SLAB

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APR 17 2018

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

18			9	REVISED.	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	qualification information
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	Richard Vink 24488
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	signature
14			5	STUCCO REPLACED.	JUL. 05/17	GW	42658
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	name
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	registration information
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	VA3 Design Inc.
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no.	description	date	by	no.	description	date	by

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255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

project name  
**RUSSELL GARDENS PH.2**  
date  
**MARCH 2017**  
drawn by  
**WT**  
checked by  
**GW**  
scale  
**3/16" = 1'-0"**

**HIGHGROVE 5E**

WATERDOWN, ON.

FRONT AND REAR ELEVATION '2'

16036-HIGHGROVE 5E-NEW

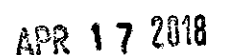
project no.  
16036

drawing no.

**A4a**

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- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING (TYP.)

**Greenpark.**


project name	municipality	project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	16036

date **MARCH 2017** **FRONT AND REAR ELEVATION '3'** drawing no. **A4b**  
 drawn by **WT** checked by **GW** scale **3/16" = 1'-0"** file name **16036-HIGHGROVE SE-NEW**

A4b



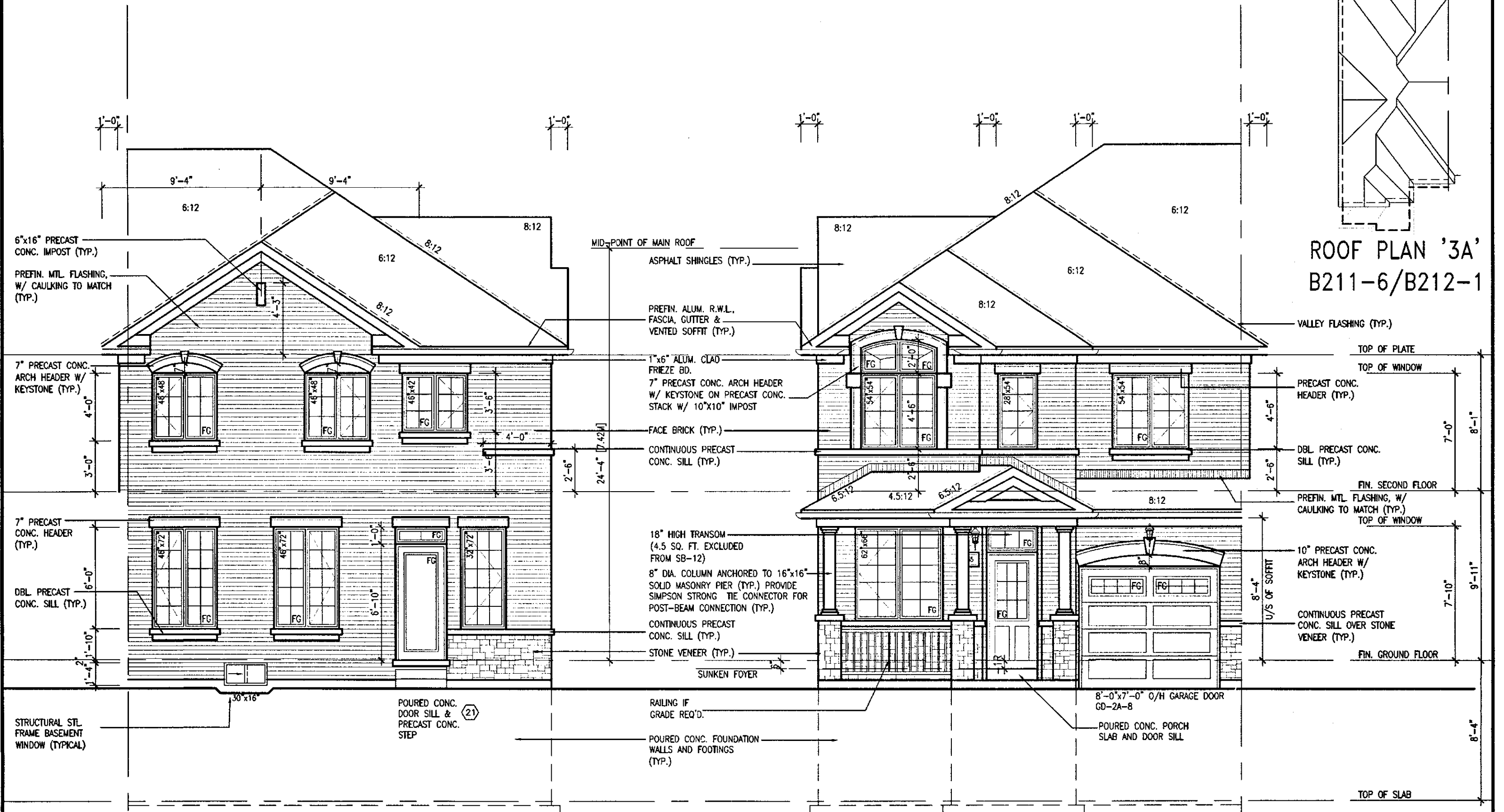
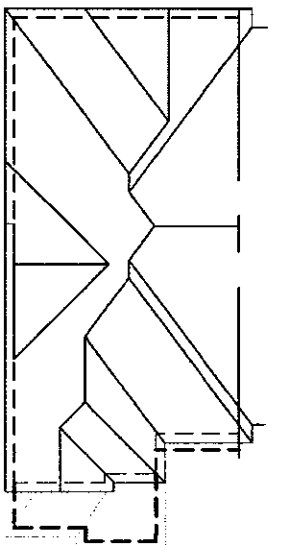
**VA3**  
DESIGN

 <b>Greenpark.</b>		<b>HIGHGROVE 5E</b>	
project name <b>RUSSELL GARDENS PH.2</b>		municipality <b>WATERDOWN, ON.</b>	
date <b>MARCH 2017</b>		project no. <b>16036</b>	
drawn by <b>WT</b>		checked by <b>GW</b>	
scale <b>3/16" = 1'-0"</b>		file name <b>16036-HIGHGROVE 5E-NEW</b>	
drawing no. <b>A4b</b>		date <b>Mon - Apr 16 2018 - 11:22 AM</b>	

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2264 SF.

ROOF PLAN '3A'  
B211-6/B212-1



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UPGRADE REAR ELEVATION '3A'  
B202-UNIT 7/B211/Unit 6 &  
B212/Unit 1

FRONT ELEVATION '3A'  
B202-UNIT 7/B211/Unit 6 &  
B212/Unit 1

APR 17 2018  
**HIGHGROVE 5E**  
COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	G
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	G
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	G
15				6	ISSUED FOR PRICING.	AUG. 23/17	G
14				5	STUCCO REPLACED.	JUL. 05/17	G
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	W
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	G
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	G
10				1	PRELIMINARY REVIEW.	APR. 12/17	G
no.	description	date	by	no.	description	date	b

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink  
signature  
24488  
BCN  
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

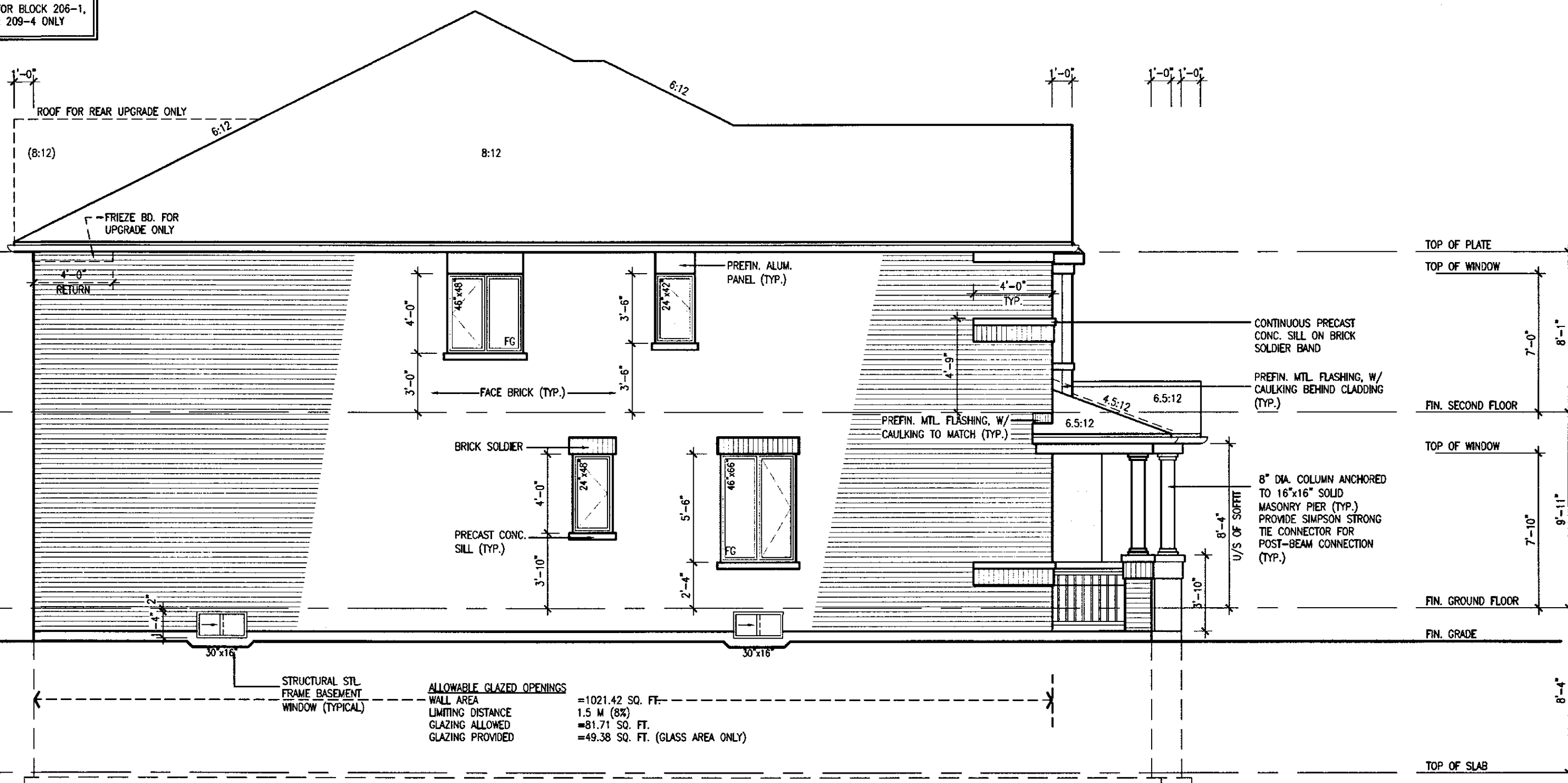
**Greenpark.**  
project name  
RUSSELL GARDENS PH.2  
date  
MARCH 2017  
drawn by  
WT  
checked by  
GW  
scale  
3/16" = 1'-0"

**HIGHGROVE 5E**  
project no.  
16036  
drawing no.  
A4c  
FRONT & REAR PLAN ELEV. '3A'  
16036-HIGHGROVE 5E-NEW

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2264 SF.

UPGRADE NOTES FOR BLOCK 206-1,  
206-5, 209-1 & 209-4 ONLY



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LEFT SIDE ELEVATION '1

OCT 04 2017

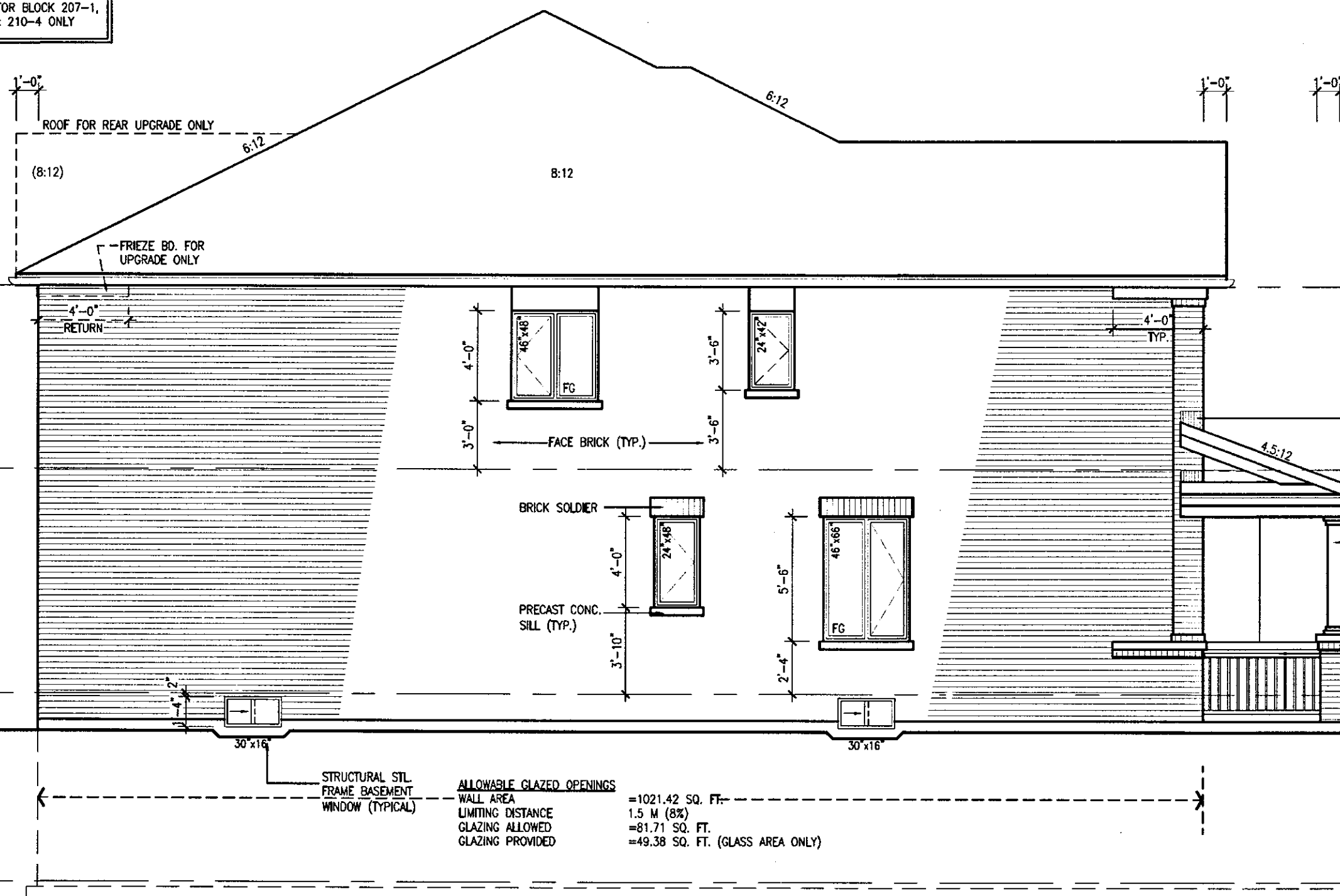
# HIGHGROVE 5E

## COMPLIANCE PACKAGE A

[illegible]

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UPGRADE NOTES FOR BLOCK 207-1,  
207-6, 210-1, & 210-4 ONLY



OCT 04 2017

# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

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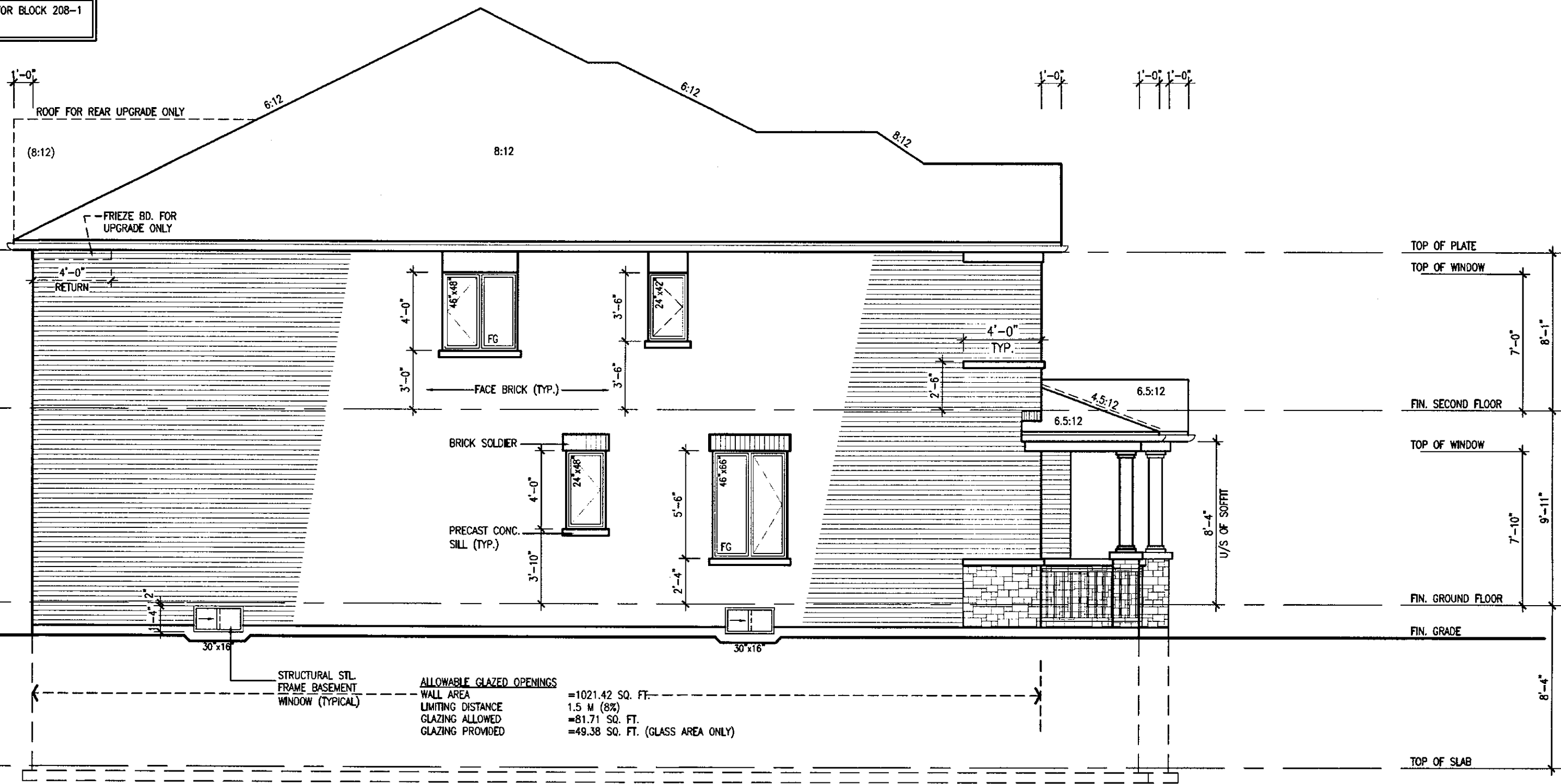
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

18.			9.			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	<div><div></div><div>project name <b>RUSSELL GARDENS PH.2</b> municipality <b>WATERDOWN, ON.</b> project no. <b>1603-</b></div></div>	
17.			8.						
16.			7. REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW				
15.			6. ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink  signature 24488 BCN			
14.			5. STUCCO REPLACED.	JUL 05/17	GW	none registration information VA3 Design Inc. 42658			
13.			4. REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT				
12.			3. CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	LEFT SIDE ELEVATION '2' drawing no. <b>A5a</b>	
11.			2. REVISED PER CLIENT COMMENTS.	APR. 28/17	GW				
10.			1. PRELIMINARY REVIEW.	APR. 12/17	GW				
no.	description	date	by	no.	description	date	by		

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2264 SF.

UPGRADE NOTES FOR BLOCK 208-1  
& 208-6 ONLY




LEFT SIDE ELEVATION '3'

OCT n 4 2017

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

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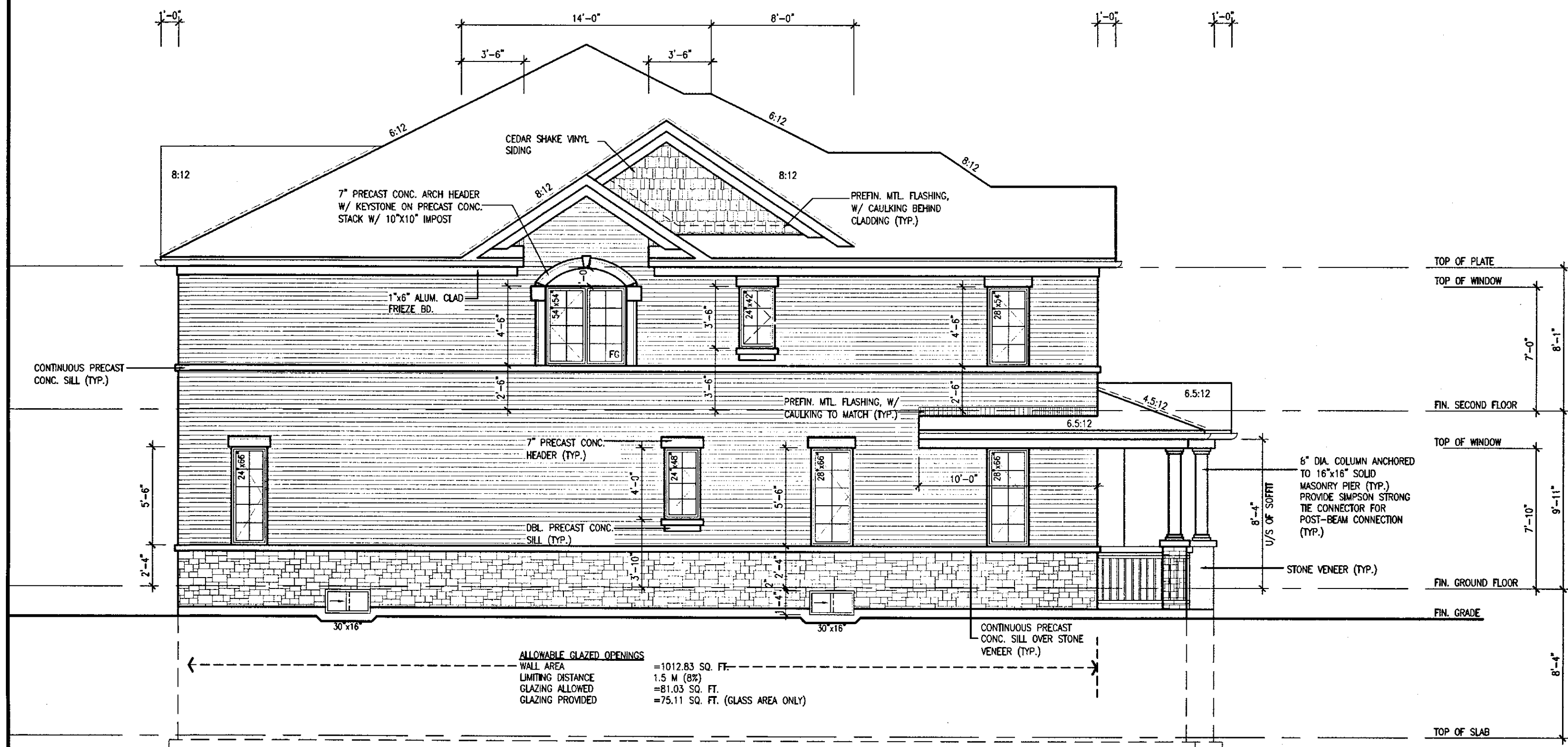
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17		8							
16		7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW				
15		6	ISSUED FOR PRICING.	AUG. 23/17	GW				
14		5	STUCCO REPLACED.	JUL 05/17	GW	name Richard Vink signature registration information VA3 Design Inc. 42658	BCN		
13		4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT				
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW				
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW				
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW				
no.	description	date	by	no.	description	date	by		

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2264 SF.



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UPGRADE SIDE ELEVATION '3A'  
B202-UNIT 7/B211/Unit 6 &  
B212/Unit 1

NOV 24 2017

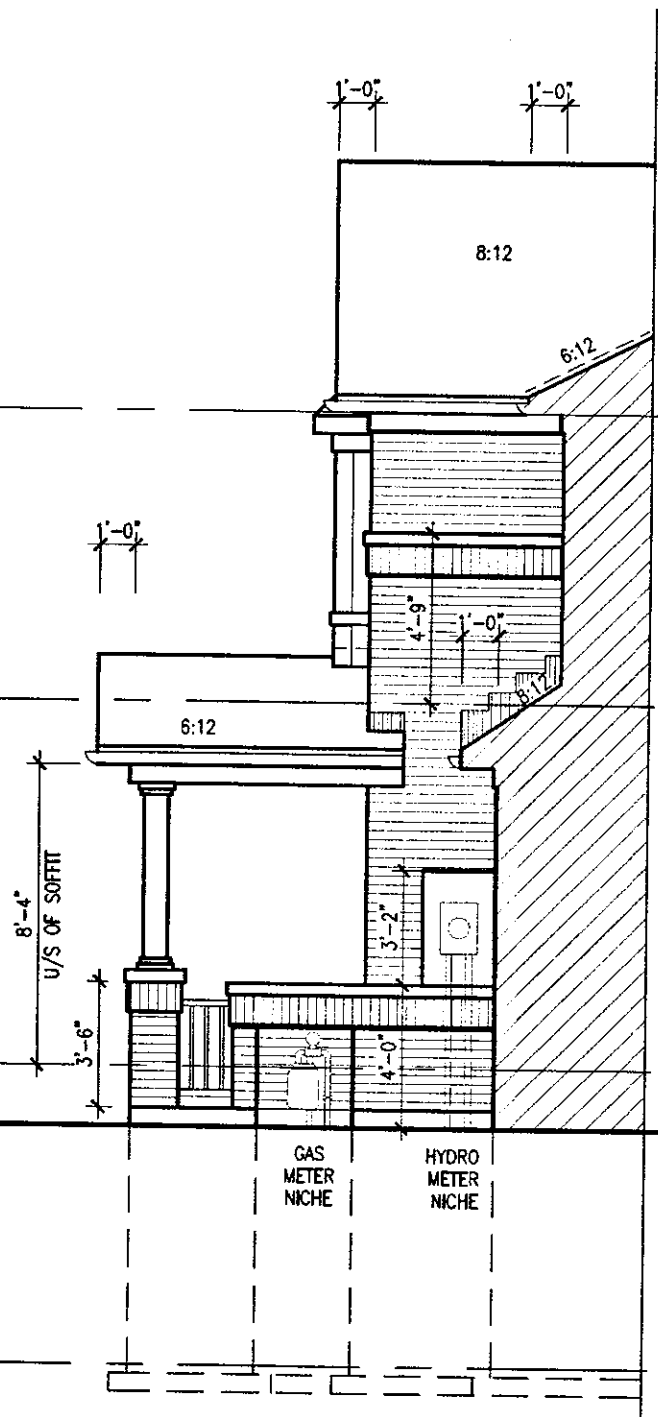
# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

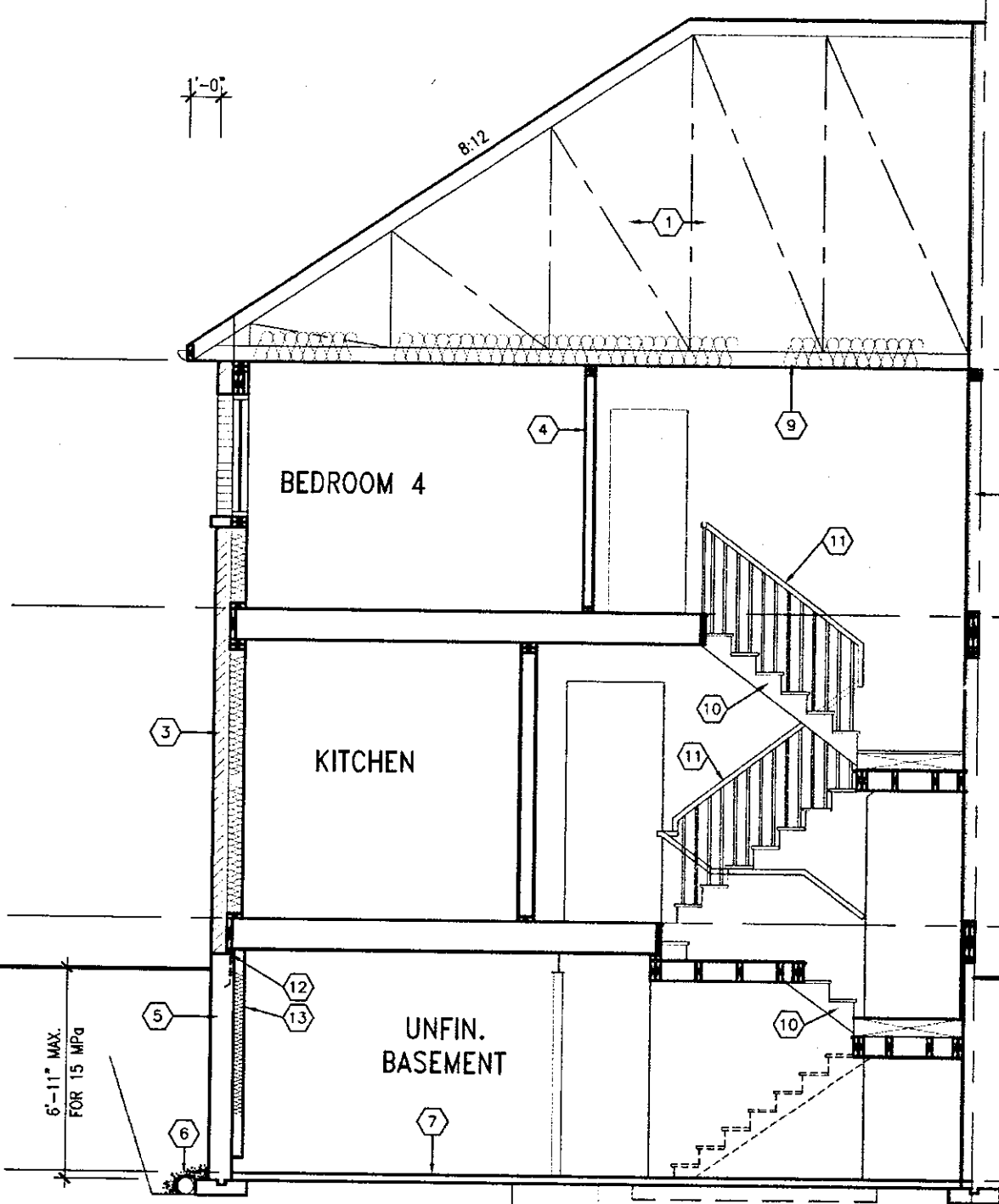
18				9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<div><div>VA3</div><div>DESIGN</div></div> <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com</p>	<div><div>Greenpark.</div><div>HIGHGROVE 5E</div><div>-</div><div>project name RUSSELL GARDENS PH.2</div><div>municipality WATERDOWN, ON.</div><div>date MARCH 2017</div><div>drawn by WT</div><div>checked by GW</div><div>scale 3/16" = 1'-0"</div><div>file name 16036-HIGHGROVE 5E.dwg - Fr - Nov 3 2017 - 11:55 AM</div></div>	drawing no. 16036
17			8.				qualification information				
16			7. REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW						
15			6. ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink	24488 BCL				
14			5. STUCCO REPLACED.	JUL 05/17	GW		signature				
13			4. REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT		registration information VA3 Design Inc. 42658				
12			3. CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN 14/17	GW			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
11			2. REVISED PER CLIENT COMMENTS.	APR. 28/17	GW						
10			1. PRELIMINARY REVIEW.	APR. 12/17	GW						
no.	description	date	by	no.	description	date	by				

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SECTION B ELEV. 1

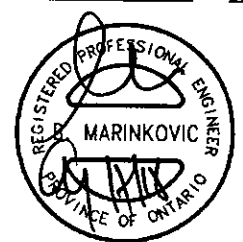


SECTION A-A ELEV. '1'

TOP OF PLATE  
TOP OF WINDOW  
FIN. SECOND FLOOR  
FIN. GROUND FLOOR  
FIN. GRADE  
TOP OF SLAB

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APR 17 2018

# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	GW		
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW		
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW		
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW		
14				5	STUCCO REPLACED.	JUL. 05/17	GW		
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW		
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW		
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no. description				date	by	no. description		date	by

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qualification information  
Richard Vink  
signature  
name  
registration information  
VA3 Design Inc.  
24488  
BCN  
42658

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com



project name  
RUSSELL GARDENS PH.2  
municipality  
WATERDOWN, ON.

date  
MARCH 2017

checked by  
GW

scale  
3/16" = 1'-0"

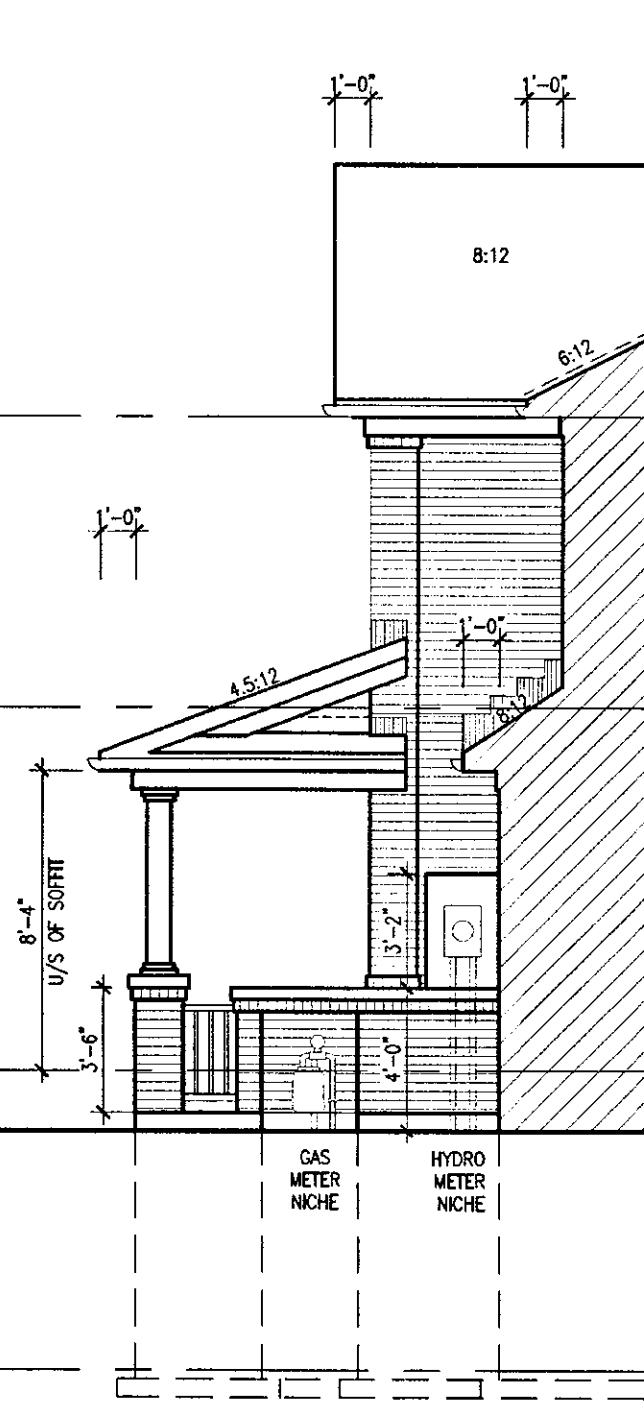
SECTION A-A AND SECTION B ELEV. '1'

HIGHGROVE 5E

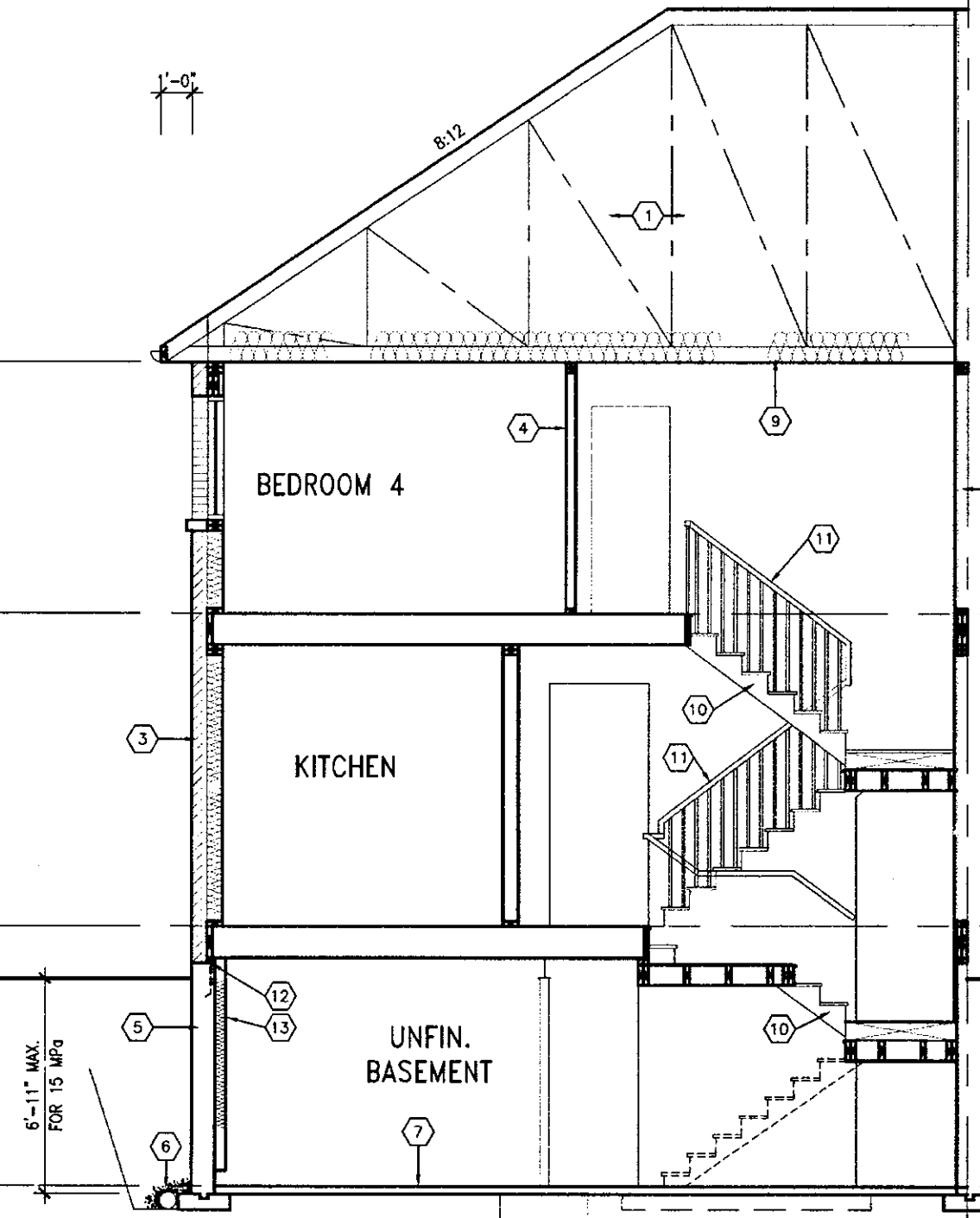
project no.  
16036

drawing no.  
A6

2264 SF.



SECTION B ELEV. 2



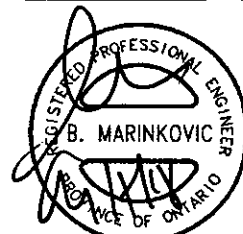
SECTION A-A ELEV. '2'

TOP OF PLATE  
TOP OF WINDOW  
FIN. SECOND FLOOR  
FIN. GROUND FLOOR  
FIN. GRADE  
TOP OF SLAB

7'-0"  
8'-1"  
9'-11"  
8'-4"

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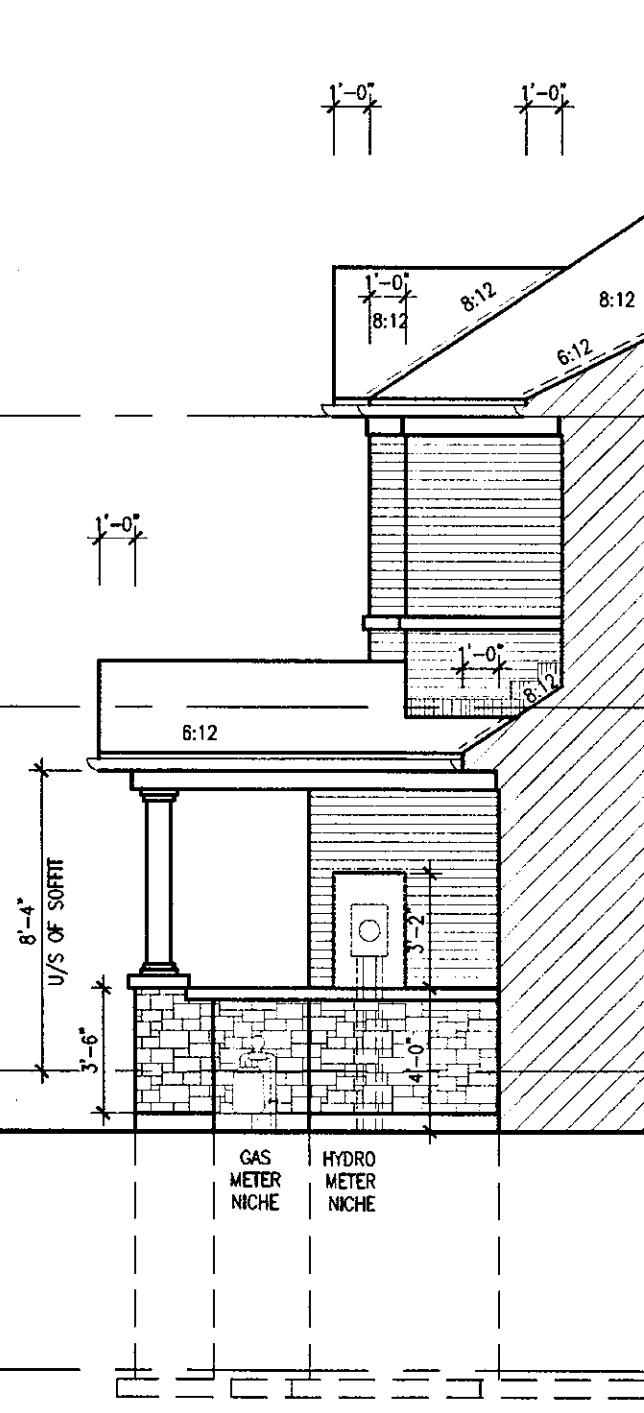
APR 17 2018

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

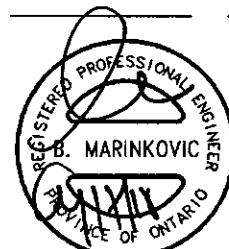
<p>18</p> <p>17</p> <p>16</p> <p>15</p> <p>14</p> <p>13</p> <p>12</p> <p>11</p> <p>10</p> <p>no. description</p>	<p>9 REVISED.</p> <p>8 REV. PER CITY COMMENTS. REISSUED.</p> <p>7 REVISED. ISSUED FOR PERMIT.</p> <p>6 ISSUED FOR PRICING.</p> <p>5 STUCCO REPLACED.</p> <p>4 REVISED AS PER CLIENT COMMENTS.</p> <p>3 CHANGED JOIST DEPTH/ FLOOR HEIGHTS</p> <p>2 REVISED PER CLIENT COMMENTS.</p> <p>1 PRELIMINARY REVIEW.</p> <p>no. description</p>	<p>APR. 16/18 GW</p> <p>FEB. 06/18 GW</p> <p>SEP. 28/17 GW</p> <p>AUG. 23/17 GW</p> <p>JUL. 05/17 GW</p> <p>JUN. 21/17 WT</p> <p>JUN. 14/17 GW</p> <p>APR. 28/17 GW</p> <p>APR. 12/17 GW</p> <p>date by</p>	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488 BCN</p> <p>signature</p> <p>VA3 Design Inc. 42658</p> <p>255 Consumers Rd Suite 120</p> <p>Toronto ON M2J 1R4</p> <p>t 416.630.2255 f 416.630.4782</p> <p>va3design.com</p>	<p><b>VA3 DESIGN</b></p> <p>255 Consumers Rd Suite 120</p> <p>Toronto ON M2J 1R4</p> <p>t 416.630.2255 f 416.630.4782</p> <p>va3design.com</p>	<p><b>Greenpark.</b></p> <p>project name RUSSELL GARDENS PH.2</p> <p>municipality WATERDOWN, ON.</p> <p>project no. 16036</p> <p>date MARCH 2017</p> <p>drawn by WT</p> <p>checked by GW</p> <p>scale 3/16" = 1'-0"</p> <p>file name 16036-HIGHGROVE 5E-NEW</p> <p>drawing no. A6a</p>
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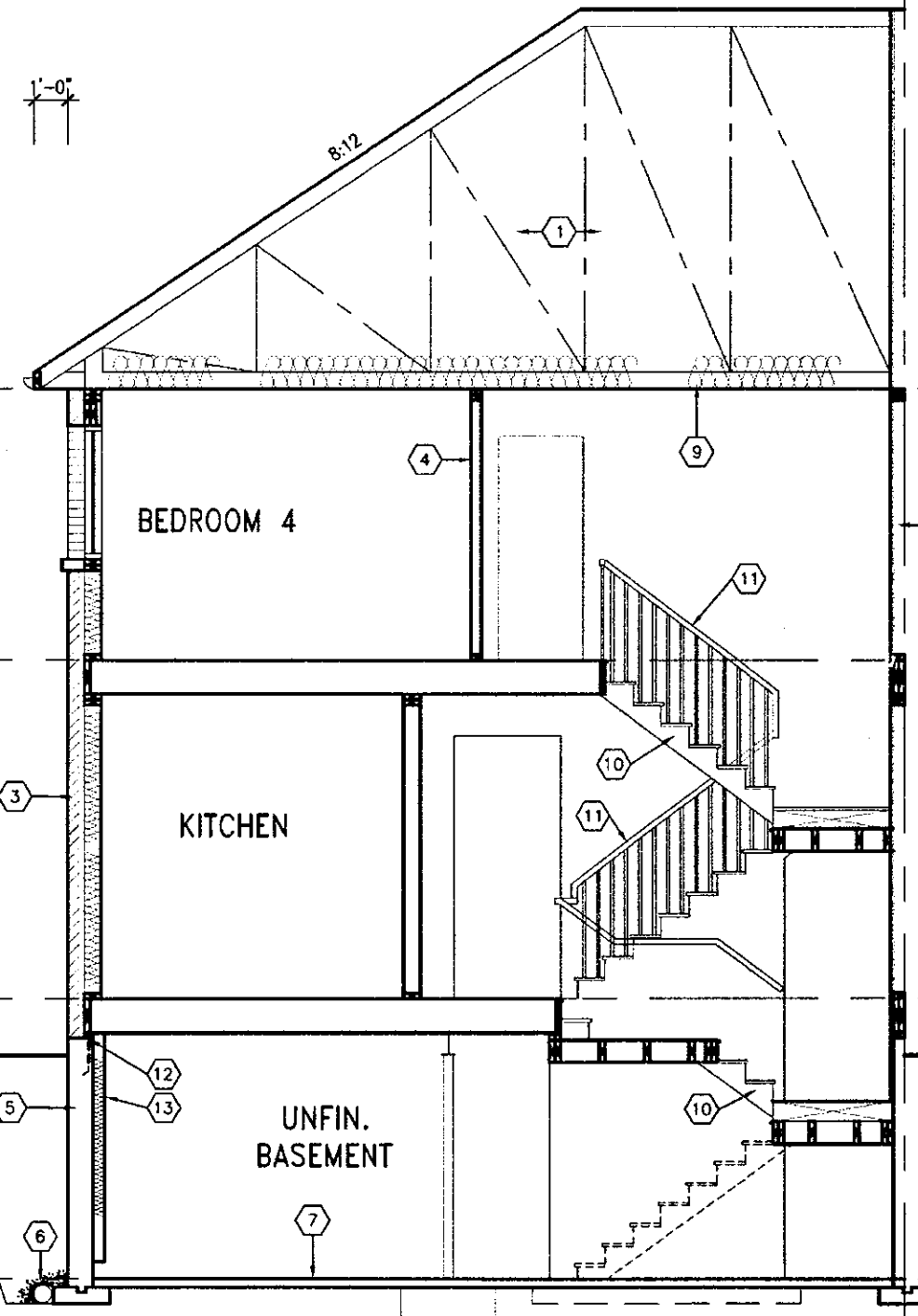
2264 SF.



SECTION B ELEV. 3



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SECTION A-A ELEV. '3'

TOP OF PLATE  
TOP OF WINDOW  
7'-0"  
8'-1"  
FIN. SECOND FLOOR  
9'-11"  
FIN. GROUND FLOOR  
FIN. GRADE  
8'-4"  
TOP OF SLAB

APR 17 2018

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

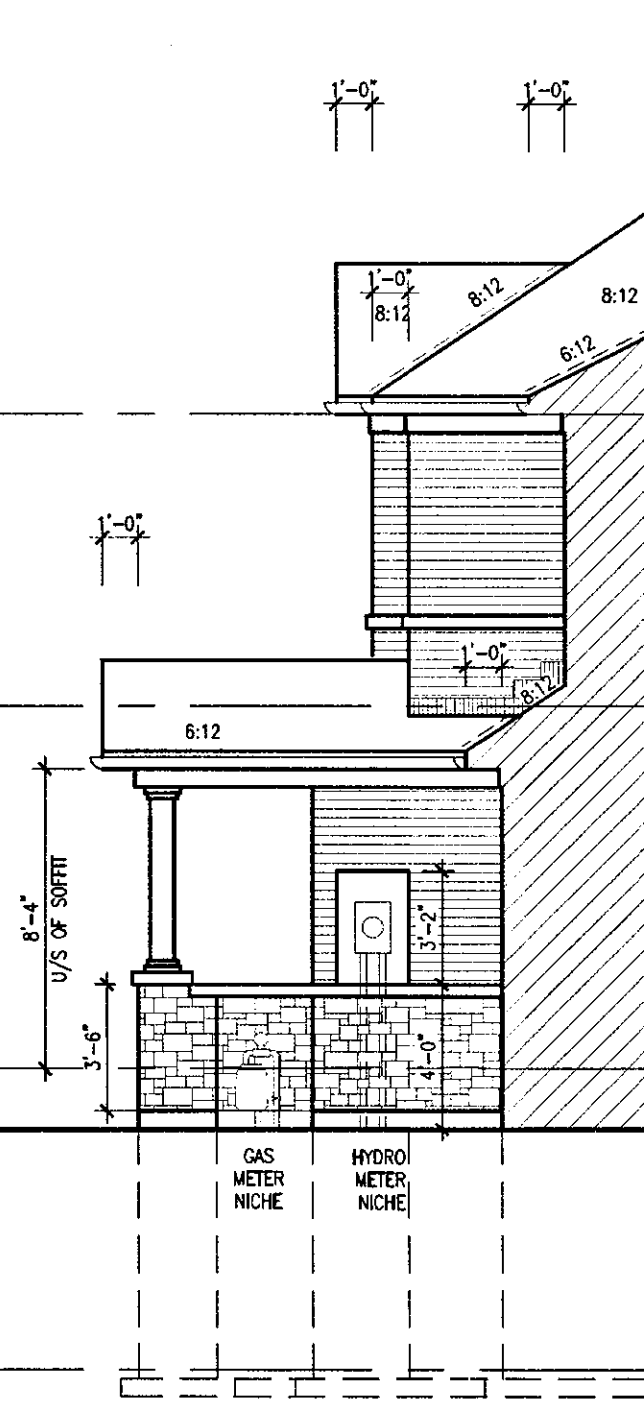
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18			9	REVISED.	APR. 16/18	GW	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div><div><div>VA3</div><div>DESIGN</div></div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	<div><div><div></div><div>Greenpark.</div></div><div>project name RUSSELL GARDENS PH.2 date MARCH 2017 drawn by WT checked by GW scale 3/16" = 1'-0"</div><div>municipality WATERDOWN, ON. SECTION A-A AND SECTION B ELEV. '3' file name 16036-HIGHGROVE 5E-NEW</div></div>	<div>project no. 16036 drawing no. A6b</div>		
17			8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW					
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW					
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW					
14			5	STUCCO REPLACED.	JUL. 05/17	GW					
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT					
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW					
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW					
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW					
no.	description	date	by	no.	description	date	by	All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.			

2264 SF.

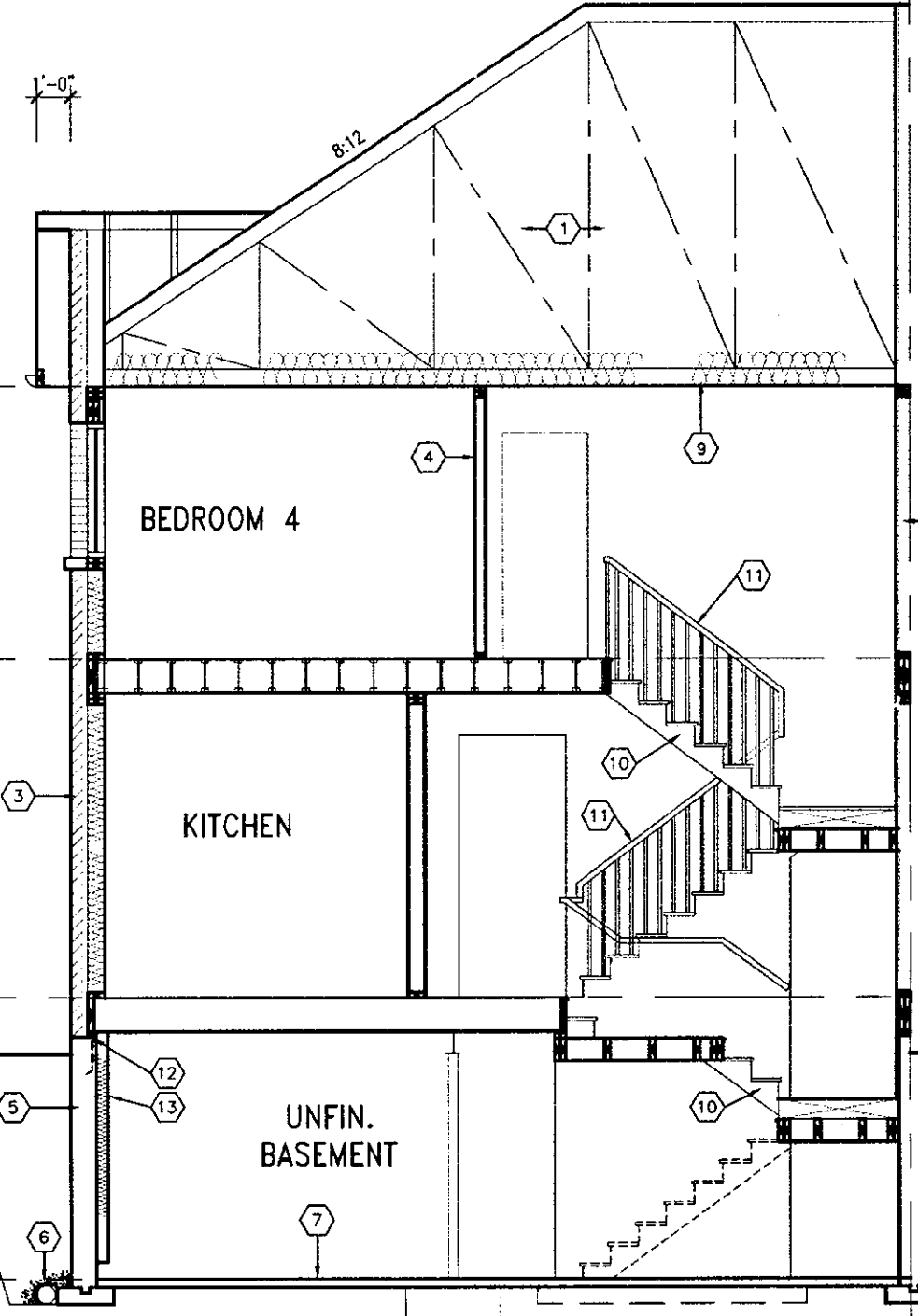
UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
HIGHGROVE 5E AND ELEV. 3A			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	89.07 S.F.	8.79 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	330.16 S.F.	10.98 %
TOTAL SQ. M.	279.24 S.M.	30.67 S.M.	10.98 %



SECTION B ELEV. 3A



STRUDET INC.  
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SECTION A-A ELEV. '3A'

TOP OF PLATE  
TOP OF WINDOW  
FIN. SECOND FLOOR  
FIN. GROUND FLOOR  
FIN. GRADE  
TOP OF SLAB

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15		6	ISSUED FOR PRICING.	AUG. 23/17	GW
14		5	STUCCO REPLACED.	JUL. 05/17	GW
13		4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
no.	description	date	by	no.	description

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qualification information  
Richard Vink 24488  
signature  
VA3 Design Inc. 42658

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**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 416.630.4782  
va3design.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH.2  
municipality  
WATERDOWN, ON.  
date  
MARCH 2017  
checked by  
GW  
scale  
3/16" = 1'-0"

**HIGHGROVE 5E**  
project no.  
16036  
drawing no.  
A6c  
SECTION A-A AND SECTION B ELEV. '3A'  
16036-HIGHGROVE 5E-NEW  
11:27 AM

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Architectural elevation drawing of a house with a gabled roof and brick exterior. The drawing includes dimensions for roof pitch (6:12), window sizes (48" x 16", 48" x 24", 32" x 72"), and door height (6'-10"). Callouts specify materials like "FACE BRICK (TYP.)", "PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)", and "POURED CONC. DOOR SILL & PRECAST CONC. STEP". A note on the right indicates "1" x 6" ALUM. CLAD FRIEZE BD." and "12" HIGH TRANSOM".

OCT 04 2017

# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

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[illegible]

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OCT 04 2017

# HIGHGROVE 5E


## COMPLIANCE PACKAGE A1

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18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17			8				
16			7	REVISED, ISSUED FOR PERMIT,	SEP. 28/17	GW	
15			6	ISSUED FOR PRICING,	AUG. 23/17	GW	
14			5	STUCCO REPLACED,	JUL 05/17	GW	
13			4	REVISED AS PER CLIENT COMMENTS,	JUN 21/17	WT	
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	
11			2	REVISED PER CLIENT COMMENTS,	APR. 28/17	GW	
10			1	PRELIMINARY REVIEW,	APR. 12/17	GW	
no.	description	date	bv	no	description	date	bv

VA3  
DESIGN

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

 **HIGHGROVE SE**

project name: RUSSELL GARDENS PH.2      municipality: WATERDOWN, ON.  
project no.: 16036-HIGHGROVE SE

DATE: MARCH 2017      checked by: GW      scale: 3/16" = 1'-0"

TITLE: UPGRADE REAR ELEVATION '2'

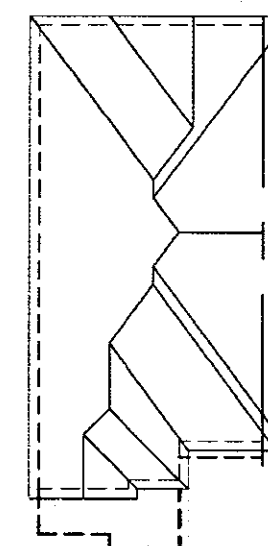
DRAWN BY: H.A.MARSHALL      CHECKED BY: C.DREYER      DATE: Sep 29 2017 - 1:35 PM

FILE NAME: 16036-HIGHGROVE SE

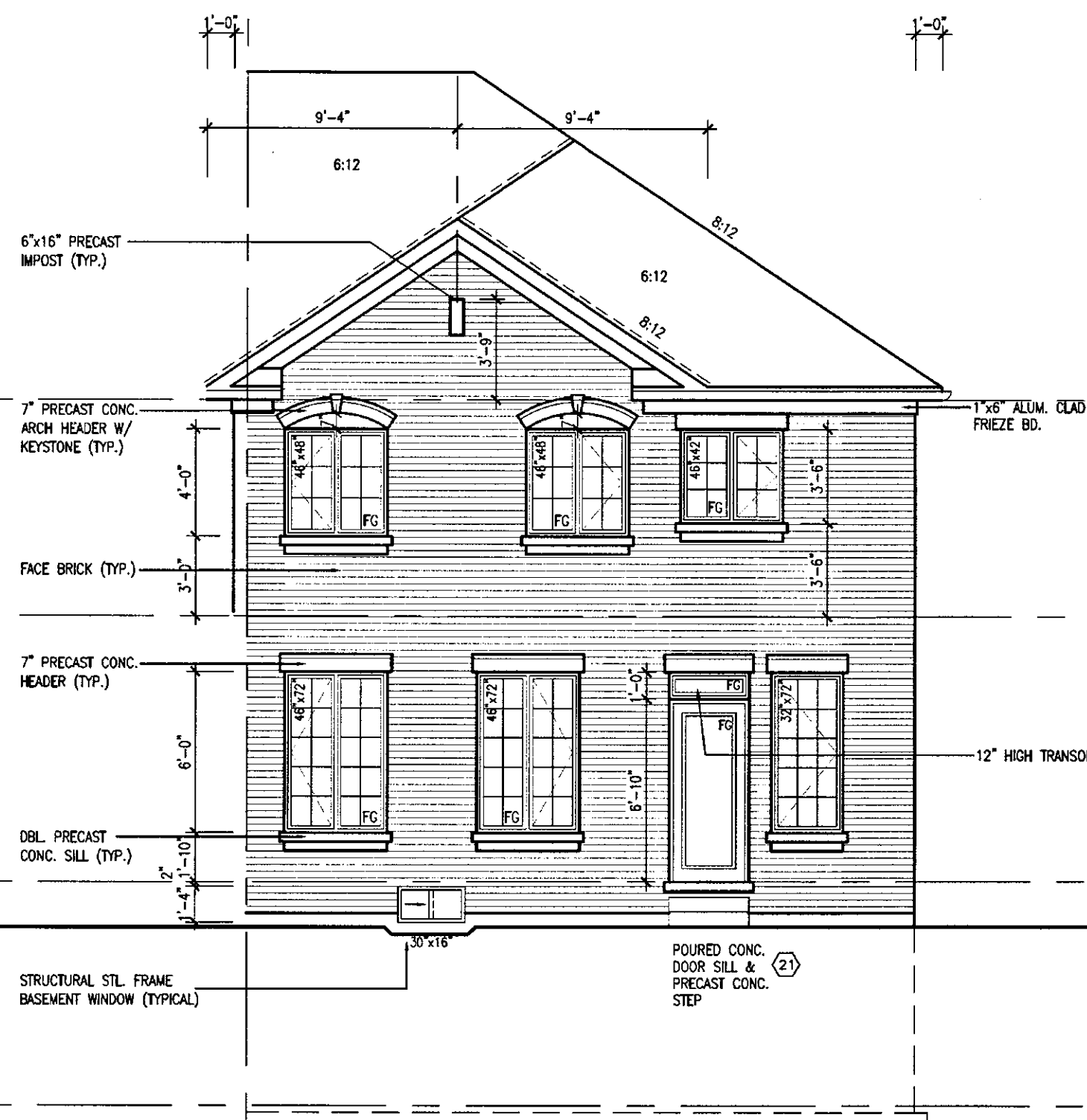
A7α

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2264 SF.



ROOF PLAN '3'  
UPGRADED REAR




UPGRADED REAR ELEVATION '3'

OCT 04 2017

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

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18.			9.			<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div><div><div>VA3</div><div>DESIGN</div></div><div>255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	<div><div> <b>Greenpark.</b></div><div>project name <b>RUSSELL GARDENS PH.2</b> municipality <b>WATERDOWN, ON.</b> date <b>MARCH 2017</b> drawn by <b>WT</b> checked by <b>GW</b> scale <b>3/16" = 1'-0"</b></div><div>project no. <b>16036</b> drawing no. <b>A7b</b></div></div>
17.			8.				
16.			7.	REVISED, ISSUED FOR PERMIT.	SEP. 28/17 GW		
15.			6.	ISSUED FOR PRICING.	AUG. 23/17 GW		
14.			5.	STUCCO REPLACED.	JUL. 05/17 GW		
13.			4.	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17 WT		
12.			3.	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17 GW		
11.			2.	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW		
10.			1.	PRELIMINARY REVIEW.	APR. 12/17 GW		
no. description		date	by	no. description		date	by

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Architectural elevation drawing of a building facade. The drawing includes the following details:

- Roof:** Gabled roof with a pitch of 8:12. Ridge height is 1'-0".
- Windows:**
  - Top left: 48" x 48" double window with a face brick surround (typical).
  - Top right: 24" x 42" single window.
  - Bottom left: 24" x 48" single window with a brick soldier and precast concrete sill (typical).
  - Bottom right: 48" x 66" double window with a face brick surround (typical).
- Structural Details:**
  - Continuous precast concrete sill on brick soldier band.
  - Prefinished metal flashing with caulking behind cladding (typical).
  - 8" diameter column anchored to 16"x16" solid masonry pier (typical).
  - Provide Simpson Strong-Tie connector for post-beam connection (typical).
  - U/S OF SOFFIT: 8'-4" height.
  - FIN. GROUND FLOOR: 3'-10" height.
  - FIN. SECOND FLOOR: 7'-0" height.
  - TOP OF WINDOW: 8'-1" height.
  - TOP OF SLAB: 8'-4" height.
- Dimensions:**
  - FACE BRICK (TYP.): 3'-0" width.
  - BRICK SOLDIER: 4'-0" height.
  - PRECAST CONC. SILL (TYP.): 3'-10" height.
  - 48" x 66" window: 5'-6" height.
  - 24" x 42" window: 3'-6" height.
  - 24" x 48" window: 4'-0" height.
  - 48" x 48" window: 4'-0" height.
  - 30" x 16" structural steel frame basement window (typical).
- Notes:**
  - STRUCTURAL STL FRAME BASEMENT WINDOW (TYPICAL)
  - ALLOWABLE GLAZED OPENINGS:
    - WALL AREA
    - LIMITING DISTANCE
    - GLAZING ALLOWED
    - GLAZING PROVIDED
- Area Calculations:**
  - 1021.42 SQ. FT.
  - 1.5 M (8%)
  - 81.71 SQ. FT.
  - 49.38 SQ. FT. (GLASS AREA ONLY)

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

UPGRADED LEFT SIDE ELEVATION '1'  
FOR BLOCK 200-1

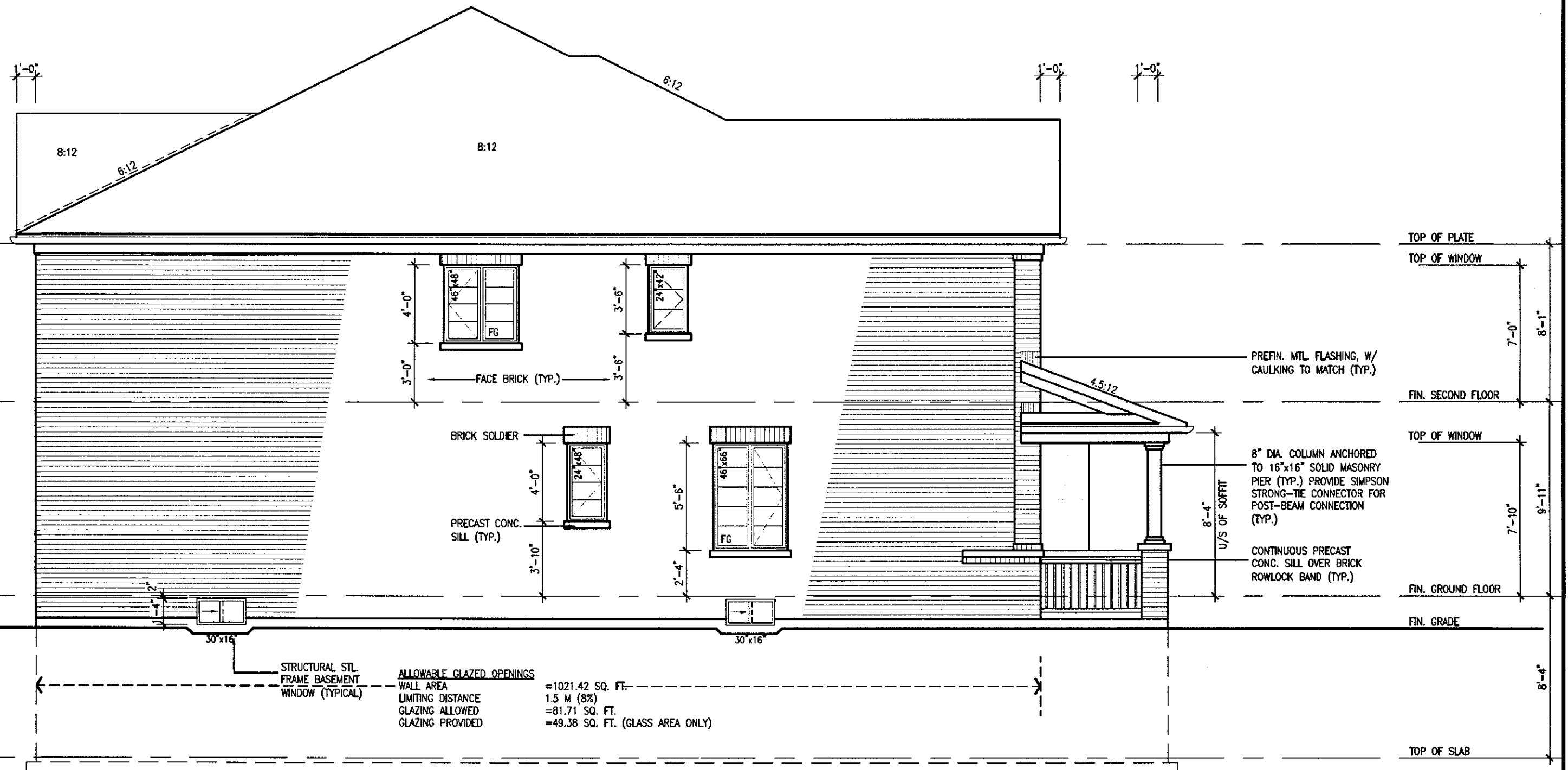
OCT 04 2017

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

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2264 SF.





UPGRADED LEFT SIDE ELEVATION '2'  
FOR BLOCK 201-5

OCT 04 2017

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

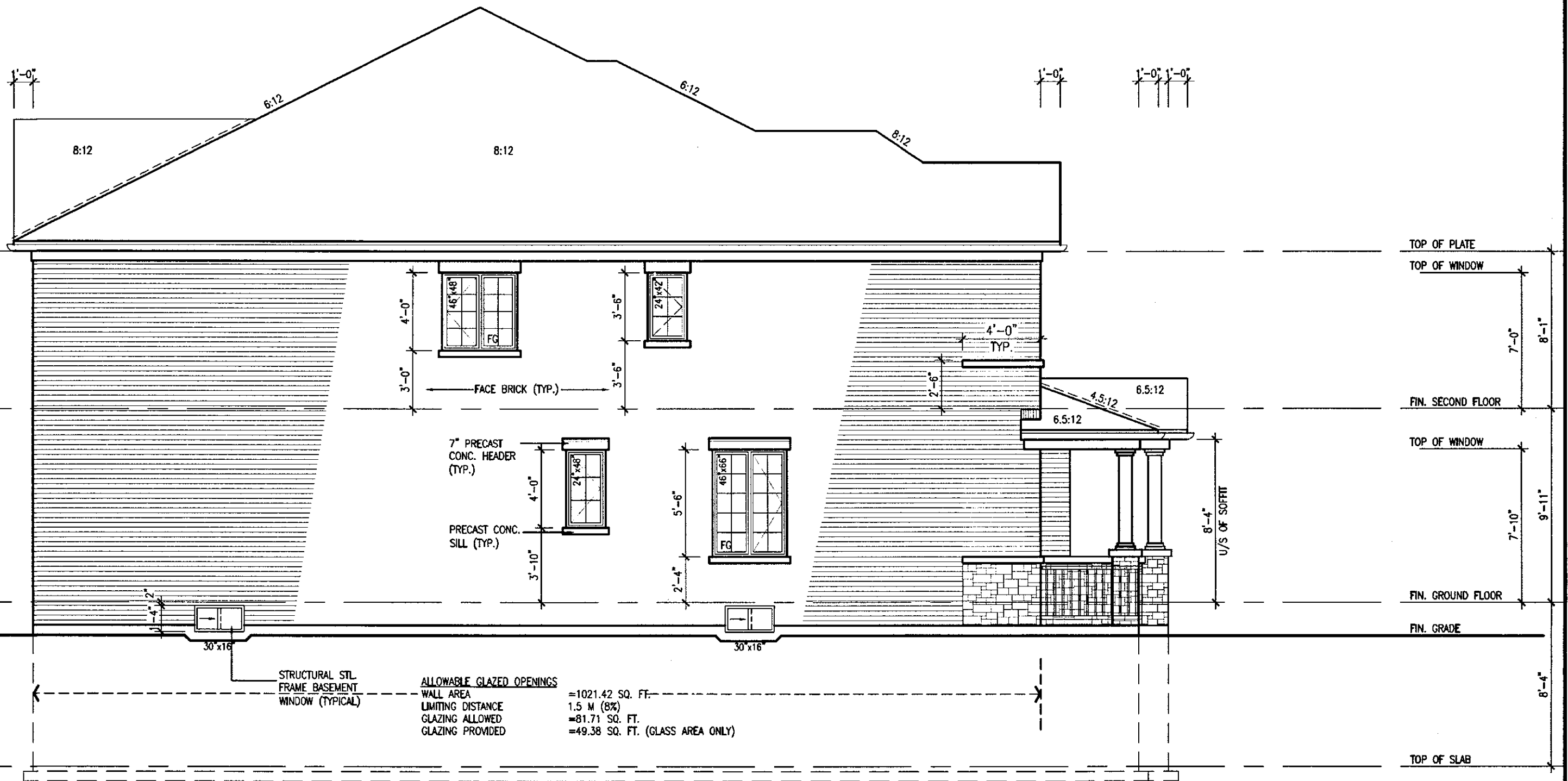
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18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 project name RUSSELL GARDENS PH.2 municipality WATERDOWN, ON.	HIGHGROVE 5E	project no. 16036	drawing no. A8a
17			8			qualification information					
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW					
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW					
14			5	STUCCO REPLACED.	JUL 05/17	GW					
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT					
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW					
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW					
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW					
no.	description	date	by	no.	description	date					

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OCT 04 2017

UPGRADED LEFT SIDE ELEVATION '3'  
BLOCK 205-5 & 211-1

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HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

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**WOOD DECK DETAILS**  
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)  
FOR ADDITIONAL WOOD DECK INFORMATION.

APR 17 2018

# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no. description		date	by	no. description		date	by


The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Order Building Code to be a Designer.

qualification information

Richard Vink	24488
name	signature
registration information	BCN
VAS Design Inc.	42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be re-used.

**VA3  
DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

 <b>Greenpark.</b>			
project name		municipality	
RUSSELL GARDENS PH.2		WATERDOWN, ON	
date		PART. PLANS-	
MARCH 2017			
drawn by	checked by	scale	
WT	GW	3/16" = 1'-0"	160
<small>             NTS - RE-APPROVE WORKING TO 1/4"=1'-0" (PREVIOUSLY 1/8"=1'-0") SEE 1/4"=1'-0" HIC-DRAWING SET NEW-2016           </small>			

<b>HIGHGROVE 5E</b>	
project no.	16036
drawing no.	A9
<b>DECK CONDITION</b>	
file name	
036-HIGHGROVE 5E-NEW	
- Mon - Apr 16 2018 - 11:27 AM	

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2264 SF.

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REFER TO STANDARD DETAIL PACKAGE (PAGE 6) FOR ADDITIONAL WOOD DECK INFORMATION.



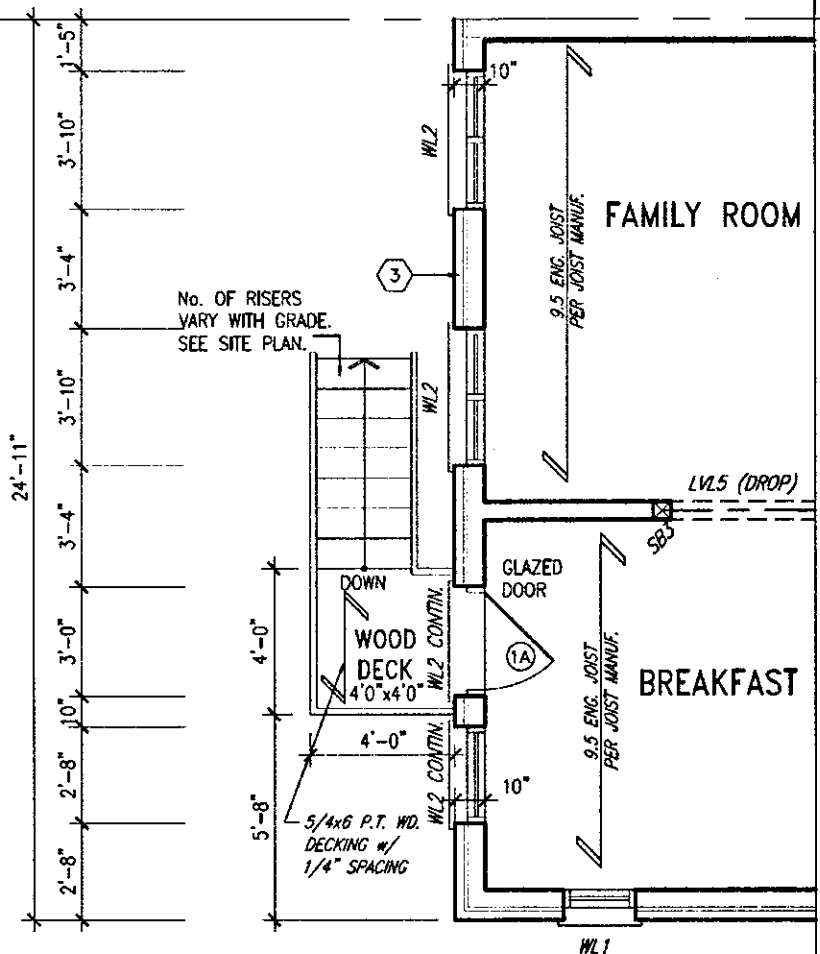
APR 17 2018

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

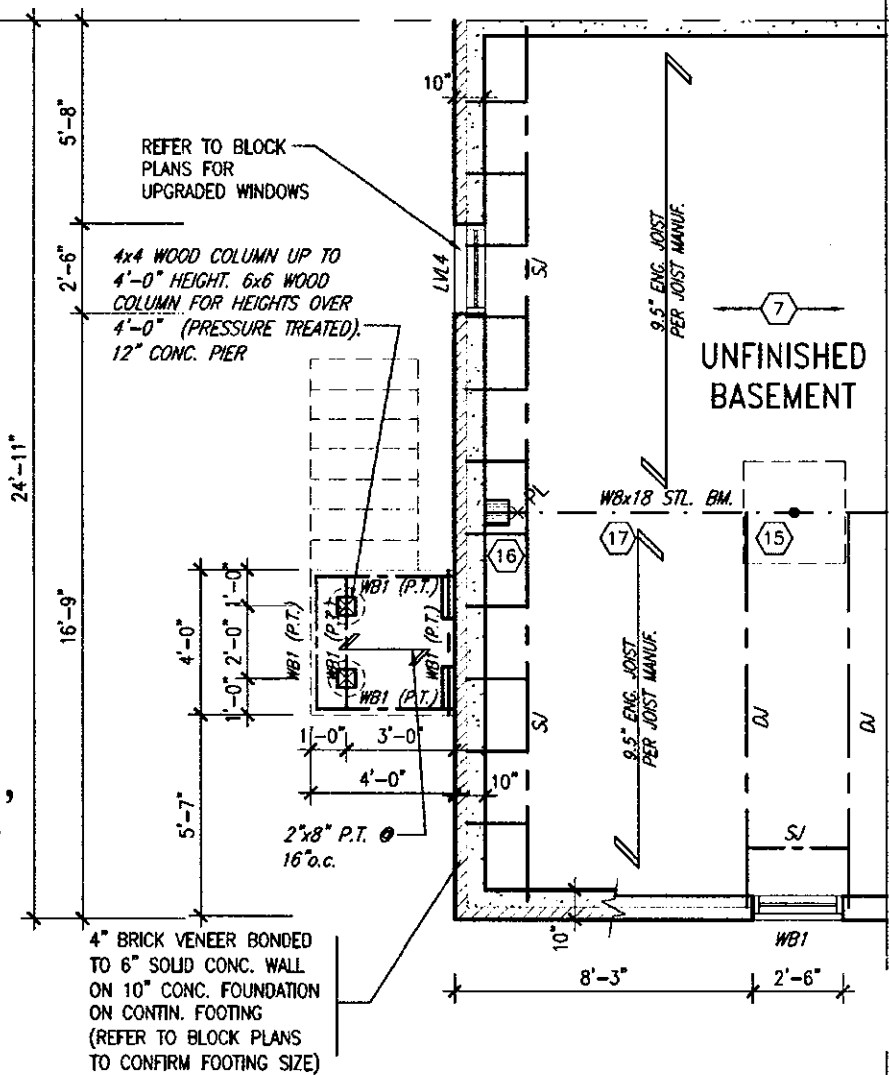


HIGHGROVE 5E

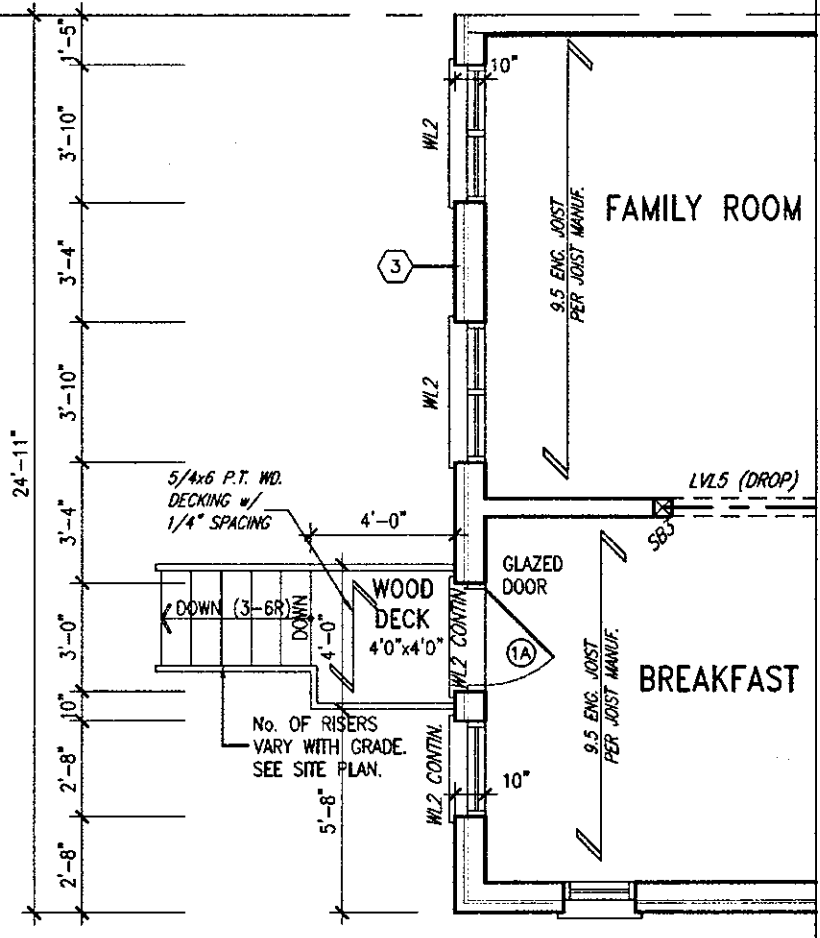
project name: RUSSELL GARDENS PH.2 municipality: WATERDOWN, ON. project no: 16036  
date: MARCH 2017 PART. PLANS-EL. 3A- DECK CONDITION  
drawn by: WT checked by: GW scale: 3/16" = 1'-0" file name: 16036-HIGHGROVE SE-NEW  
drawing no: A9c



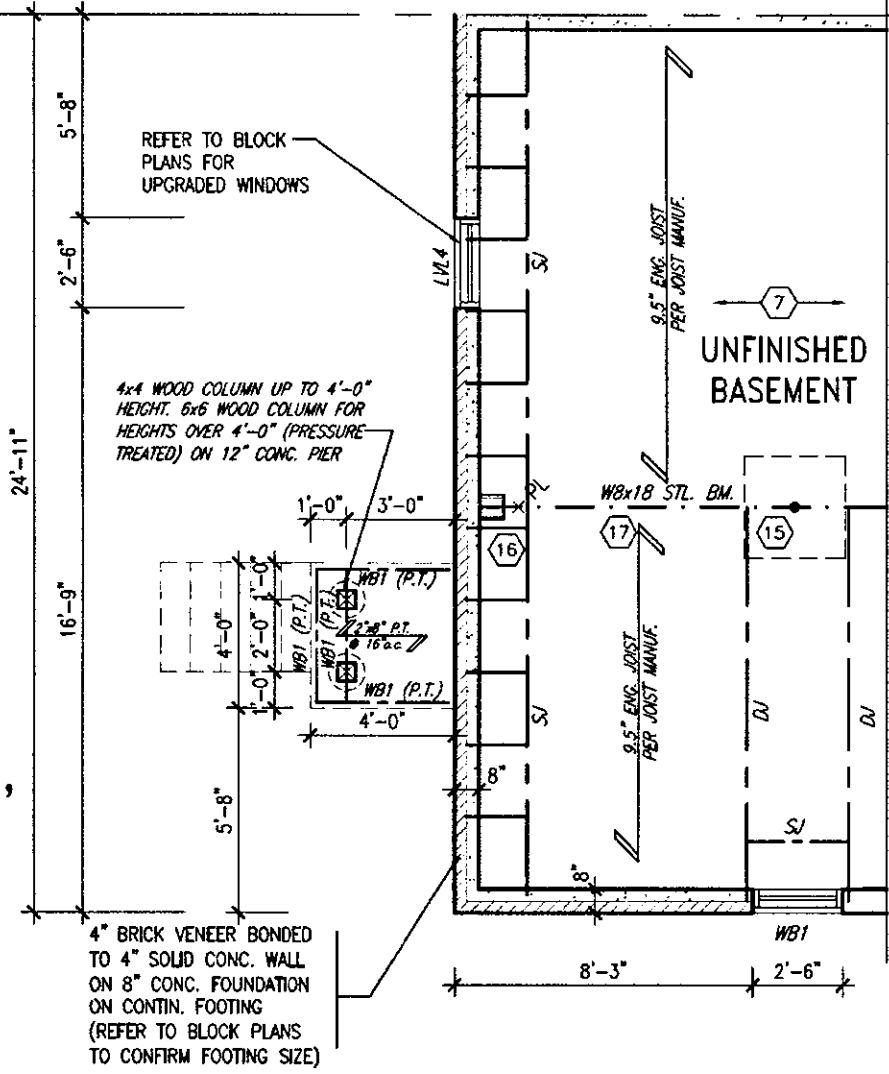
PART. GROUND FLOOR  
PLAN- ELEV. '3A'  
W.O.D CONDITION  
(8R OR MORE)



PART. BASEMENT  
PLAN - ELEV. '3A'  
W.O.D CONDITION  
(8R OR MORE)



PART. GROUND FLOOR  
PLAN - ELEV. '3A'  
W.O.D CONDITION  
(4R TO 7R MAX.)



PART. BASEMENT  
PLAN - ELEV. '3A'  
W.O.D CONDITION  
(4R TO 7R MAX.)

18				9	REVISED.	APR. 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488  
name registration information BCN  
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

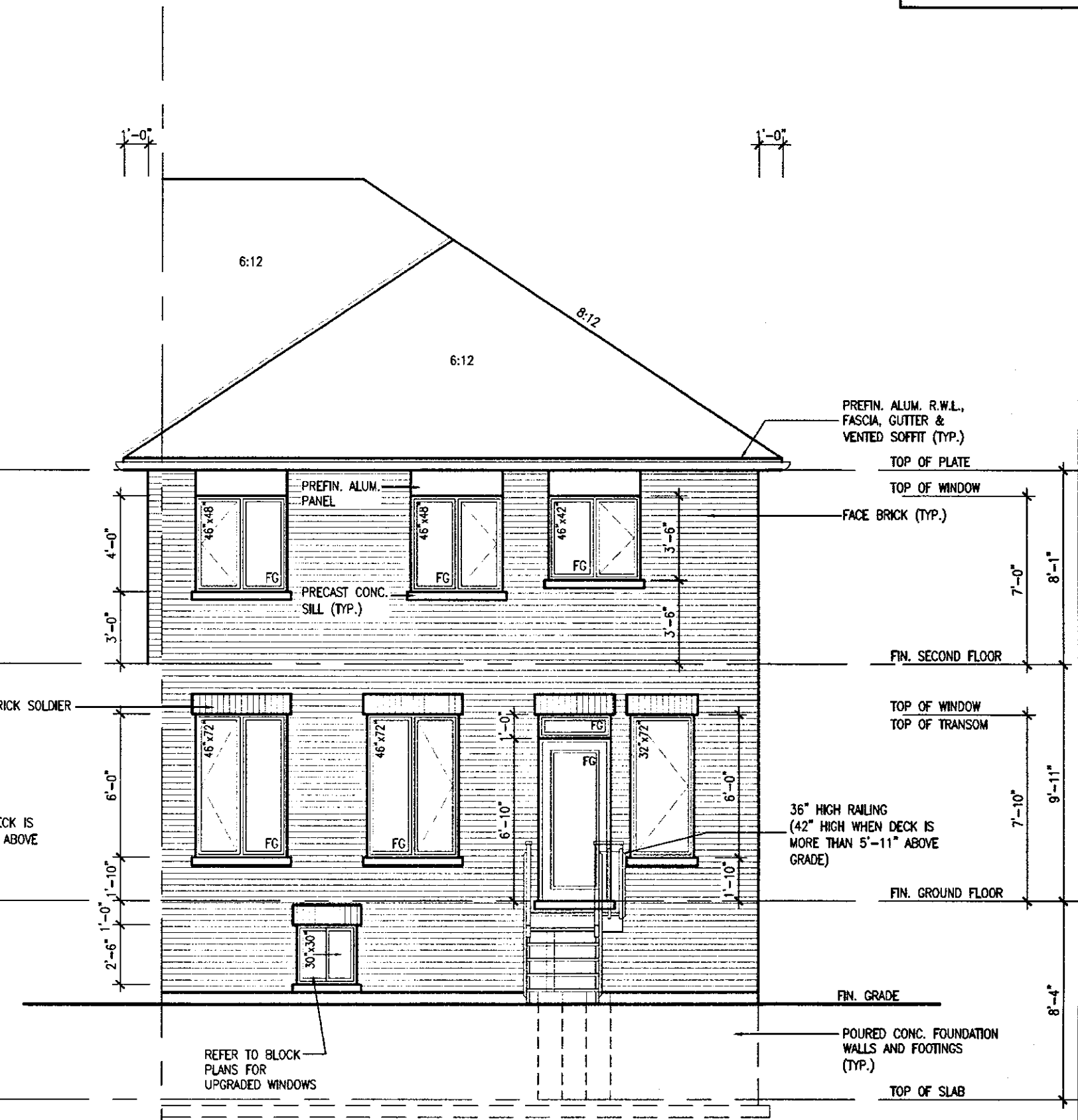
**VA3 DESIGN**  
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t 416.630.2255 f 416.630.4782  
va3design.com

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2264 SF.



REAR ELEVATION '1'/'2'/'3'  
DECK CONDITION (8R OR MORE)



REAR ELEVATION '1'/'2'/'3'  
DECK CONDITION (4R TO 7R MAX.)

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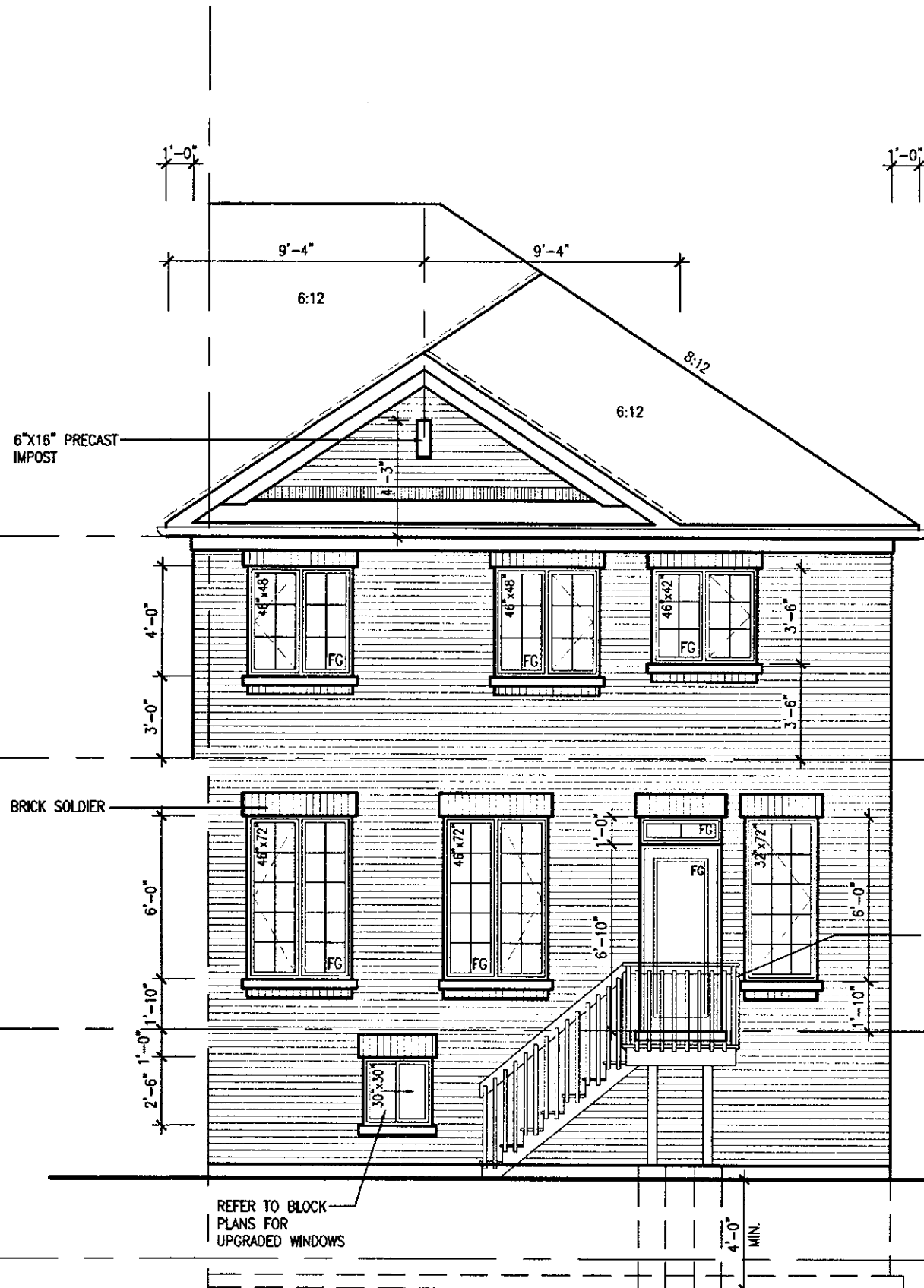
APR 17 2018

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

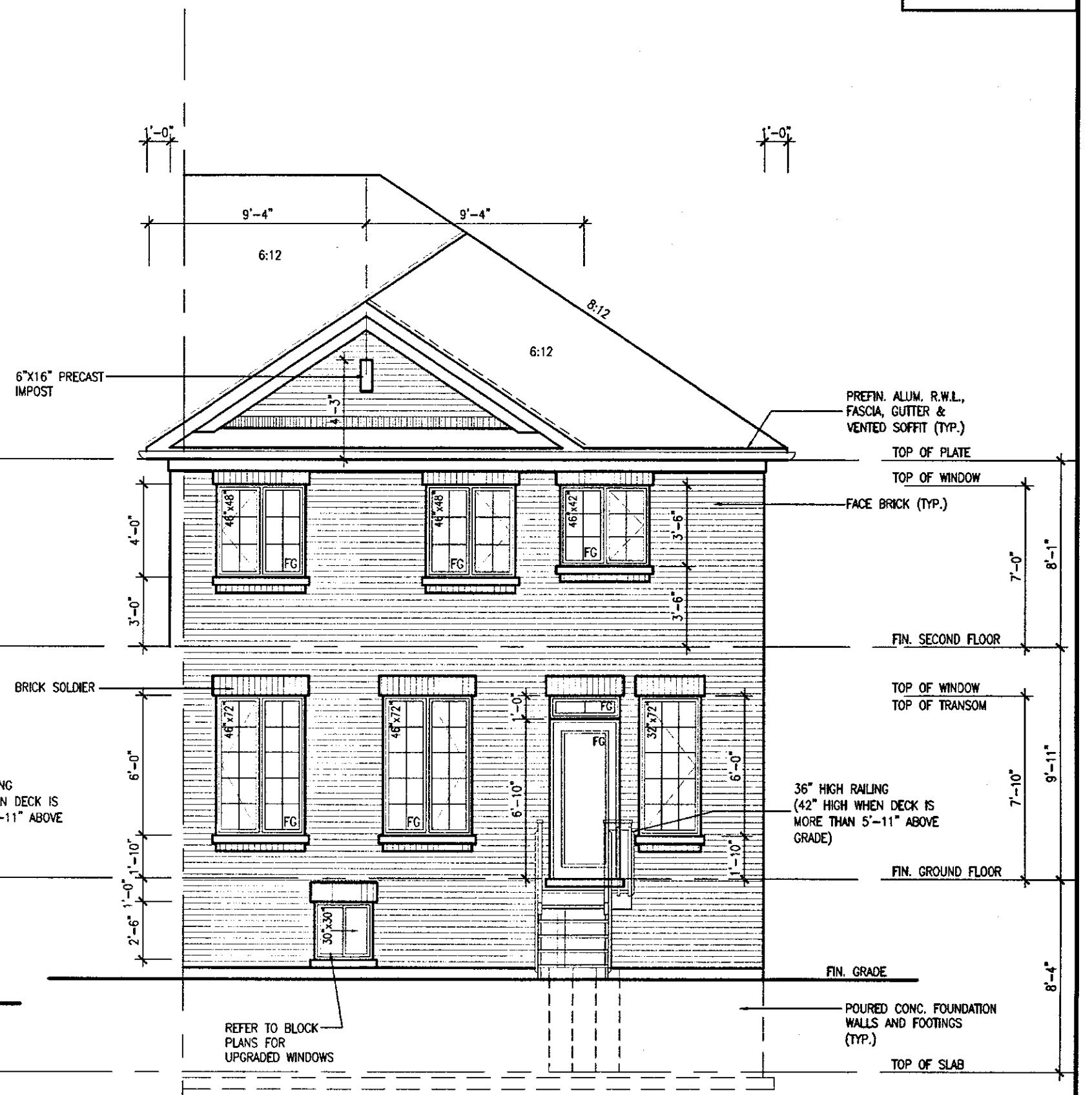
<p>18. REVISED. APR. 16/18 GW</p> <p>17. REV. PER CITY COMMENTS. REISSUED. FEB. 06/18 GW</p> <p>16. REVISED. ISSUED FOR PERMIT. SEP. 28/17 GW</p> <p>15. ISSUED FOR PRICING. AUG. 23/17 GW</p> <p>14. STUCCO REPLACED. JUL. 05/17 GW</p> <p>13. REVISED AS PER CLIENT COMMENTS. JUN. 21/17 WT</p> <p>12. CHANGED JOIST DEPTH/ FLOOR HEIGHTS. JUN. 14/17 GW</p> <p>11. REVISED PER CLIENT COMMENTS. APR. 28/17 GW</p> <p>10. PRELIMINARY REVIEW. APR. 12/17 GW</p>	<p>9. REVISED. APR. 16/18 GW</p> <p>8. REV. PER CITY COMMENTS. REISSUED. FEB. 06/18 GW</p> <p>7. REVISED. ISSUED FOR PERMIT. SEP. 28/17 GW</p> <p>6. ISSUED FOR PRICING. AUG. 23/17 GW</p> <p>5. STUCCO REPLACED. JUL. 05/17 GW</p> <p>4. REVISED AS PER CLIENT COMMENTS. JUN. 21/17 WT</p> <p>3. CHANGED JOIST DEPTH/ FLOOR HEIGHTS. JUN. 14/17 GW</p> <p>2. REVISED PER CLIENT COMMENTS. APR. 28/17 GW</p> <p>1. PRELIMINARY REVIEW. APR. 12/17 GW</p>	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488 BCN</p> <p>signature</p> <p>VA3 Design Inc. 42658</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	<p><b>VA3 DESIGN</b></p> <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<p><b>Greenpark.</b></p> <p>project name: RUSSELL GARDENS PH.2 municipality: WATERDOWN, ON.</p> <p>date: MARCH 2017</p> <p>drawn by: WT checked by: GW</p> <p>scale: 3/16" = 1'-0"</p> <p>file name: 16036-HIGHGROVE 5E-NEW</p>	<p><b>HIGHGROVE 5E</b></p> <p>project no. 16036</p> <p>drawing no. <b>A10</b></p>
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2264 SF.



UPGRADED REAR ELEVATION '1'  
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '1'  
DECK CONDITION (4R TO 7R MAX.)

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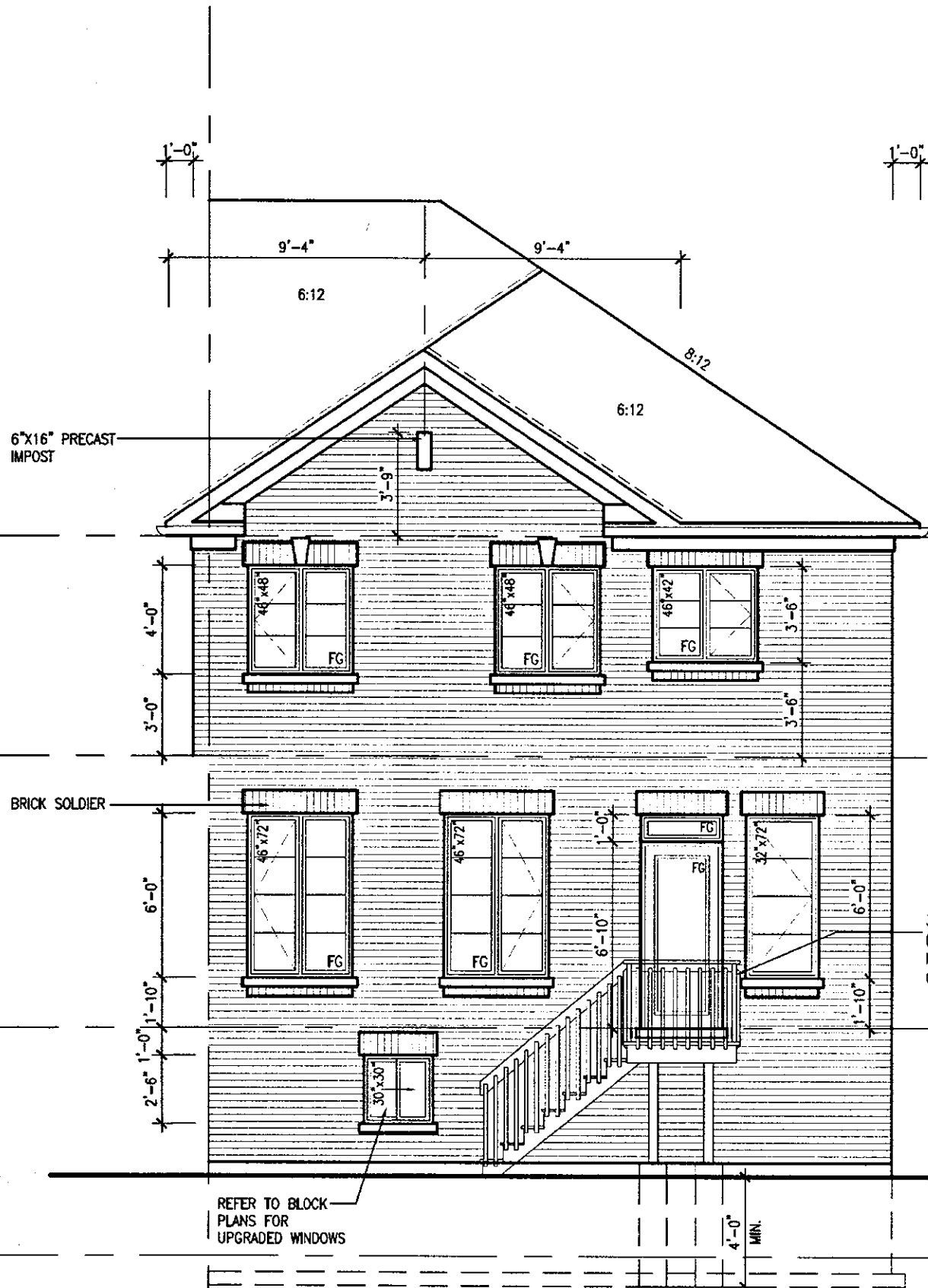
APR 17 2018

# HIGHGROVE 5E COMPLIANCE PACKAGE A1

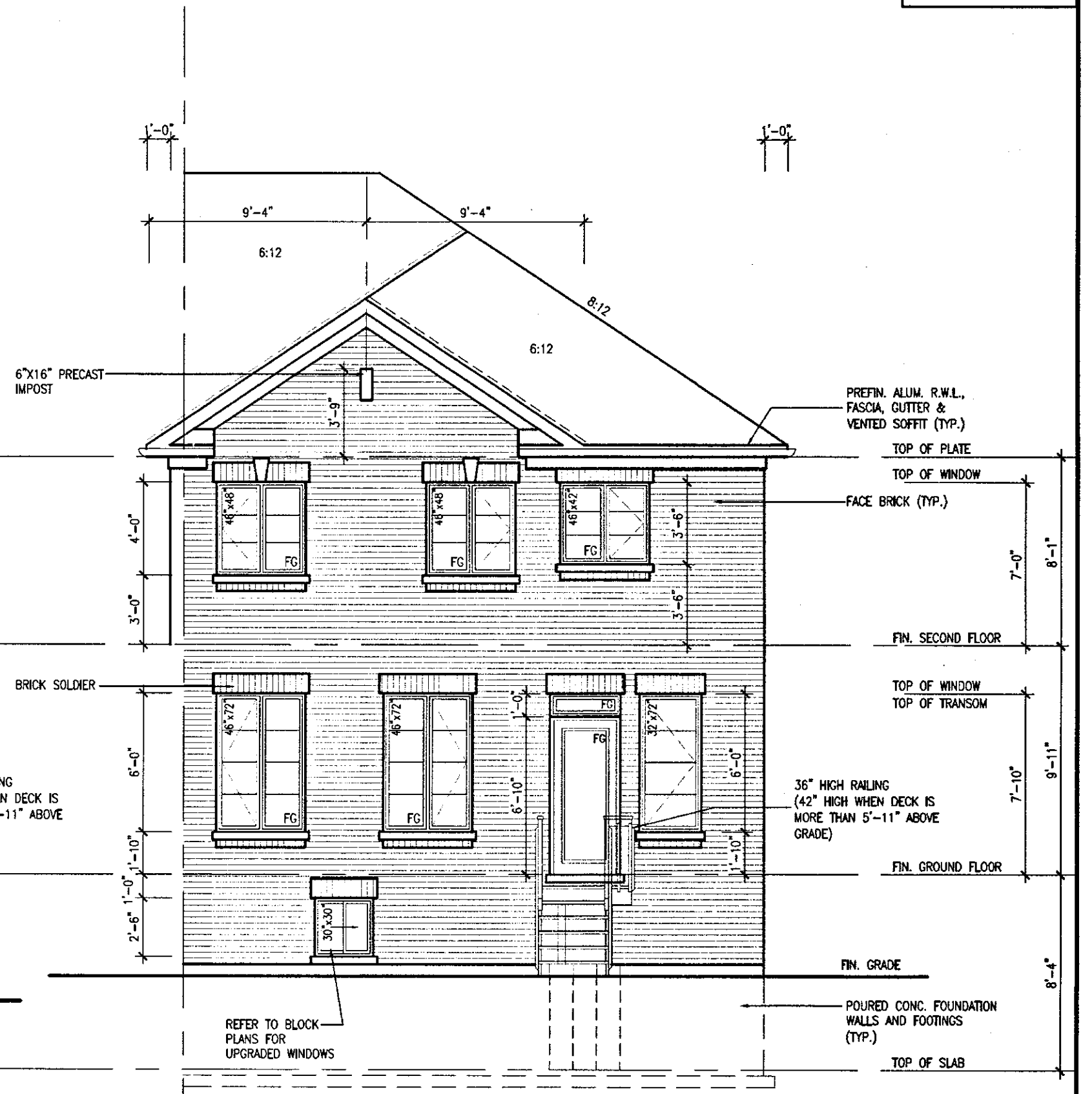
<p>18. REVISED.</p> <p>17. REV. PER CITY COMMENTS. REISSUED.</p> <p>16. REVISED. ISSUED FOR PERMIT.</p> <p>15. ISSUED FOR PRICING.</p> <p>14. STUCCO REPLACED.</p> <p>13. REVISED AS PER CLIENT COMMENTS.</p> <p>12. CHANGED JOIST DEPTH/ FLOOR HEIGHTS</p> <p>11. REVISED PER CLIENT COMMENTS.</p> <p>10. PRELIMINARY REVIEW.</p>	<p>9. REVISED.</p> <p>8. REV. PER CITY COMMENTS. REISSUED.</p> <p>7. REVISED. ISSUED FOR PERMIT.</p> <p>6. ISSUED FOR PRICING.</p> <p>5. STUCCO REPLACED.</p> <p>4. REVISED AS PER CLIENT COMMENTS.</p> <p>3. CHANGED JOIST DEPTH/ FLOOR HEIGHTS</p> <p>2. REVISED PER CLIENT COMMENTS.</p> <p>1. PRELIMINARY REVIEW.</p>	<p>APR. 16/18 GW</p> <p>FEB. 05/18 GW</p> <p>SEP. 28/17 GW</p> <p>AUG. 23/17 GW</p> <p>JUL. 05/17 GW</p> <p>JUN. 21/17 WT</p> <p>JUN. 14/17 GW</p> <p>APR. 28/17 GW</p> <p>APR. 12/17 GW</p>	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488 BCN</p> <p>name registration information</p> <p>VAS Design Inc. 42658</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	<p><b>VAS DESIGN</b></p> <p>255 Consumers Rd Suite 120</p> <p>Toronto ON M2J 1R4</p> <p>t 416.630.2255 f 416.630.4782</p> <p>vasdesign.com</p>	<p><b>Greenpark.</b></p> <p>Project name</p> <p>RUSSELL GARDENS PH.2 WATERDOWN, ON.</p> <p>date</p> <p>MARCH 2017</p> <p>drawn by</p> <p>WT</p> <p>checked by</p> <p>GW</p> <p>scale</p> <p>3/16" = 1'-0"</p> <p>UPGRADED REAR ELEV. '1'- DECK CONDITION</p> <p>16036-HIGHGROVE 5E-NEW</p>	<p>HIGHGROVE 5E</p> <p>project no.</p> <p>16036</p> <p>drawing no.</p> <p>A11</p>
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2264 SF.



UPGRADED REAR ELEVATION '2'  
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '2'  
DECK CONDITION (4R TO 7R MAX.)

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18		9	REVISED.	APR. 16/18	GW
17		8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW
16		7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
15		6	ISSUED FOR PRICING.	AUG. 23/17	GW
14		5	STUCCO REPLACED.	JUL. 05/17	GW
13		4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11		2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10		1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488 BCN  
signature  
name registration information  
VA3 Design Inc. 42658

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH.2  
municipality  
WATERDOWN, ON.  
date  
MARCH 2017  
drawn by  
WT  
checked by  
GW  
scale  
3/16" = 1'-0"  
file name  
16036-HIGHGROVE 5E-NEW  
drawing no.  
A11a

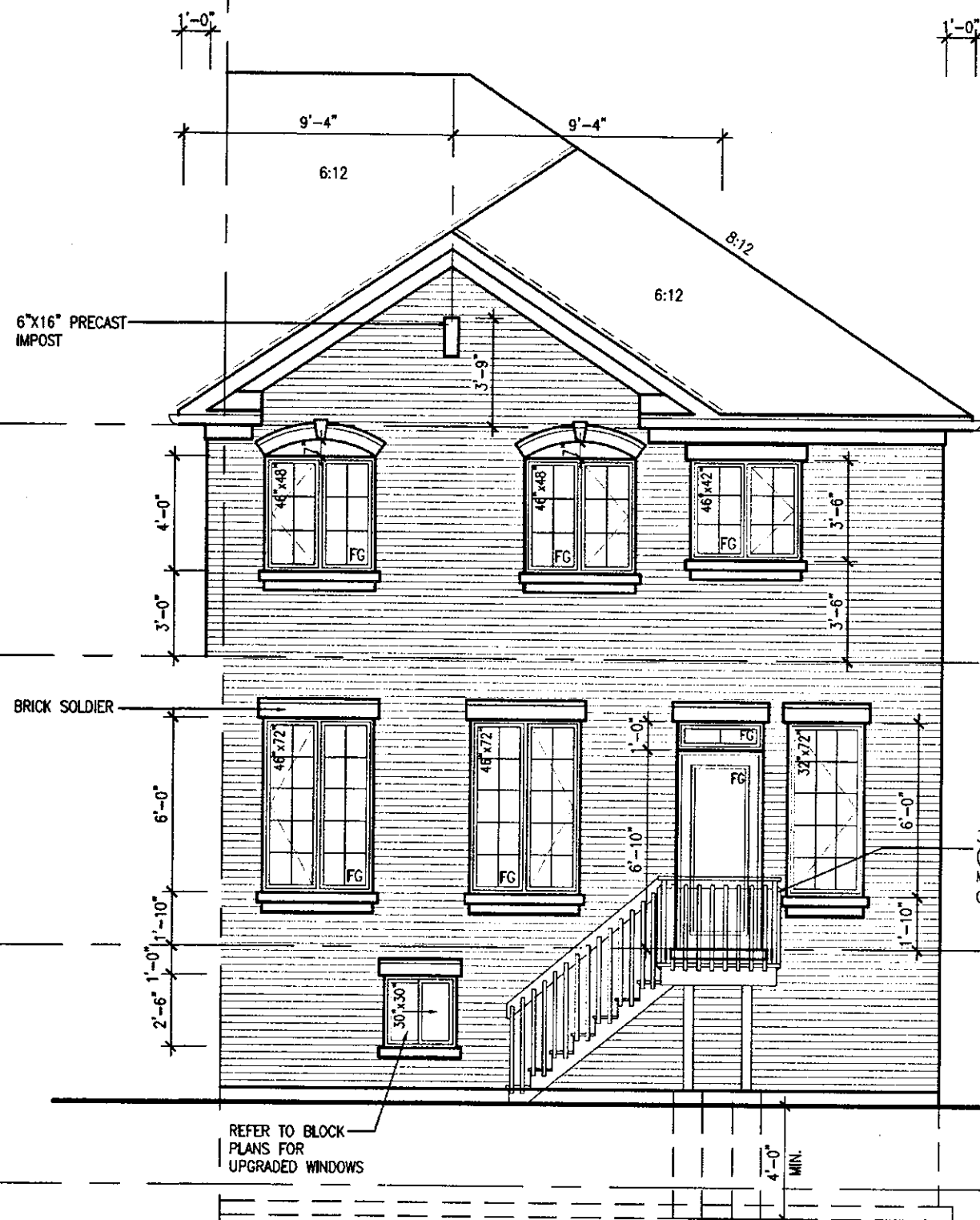
**HIGHGROVE 5E**  
project no.  
16036

APR 17 2018

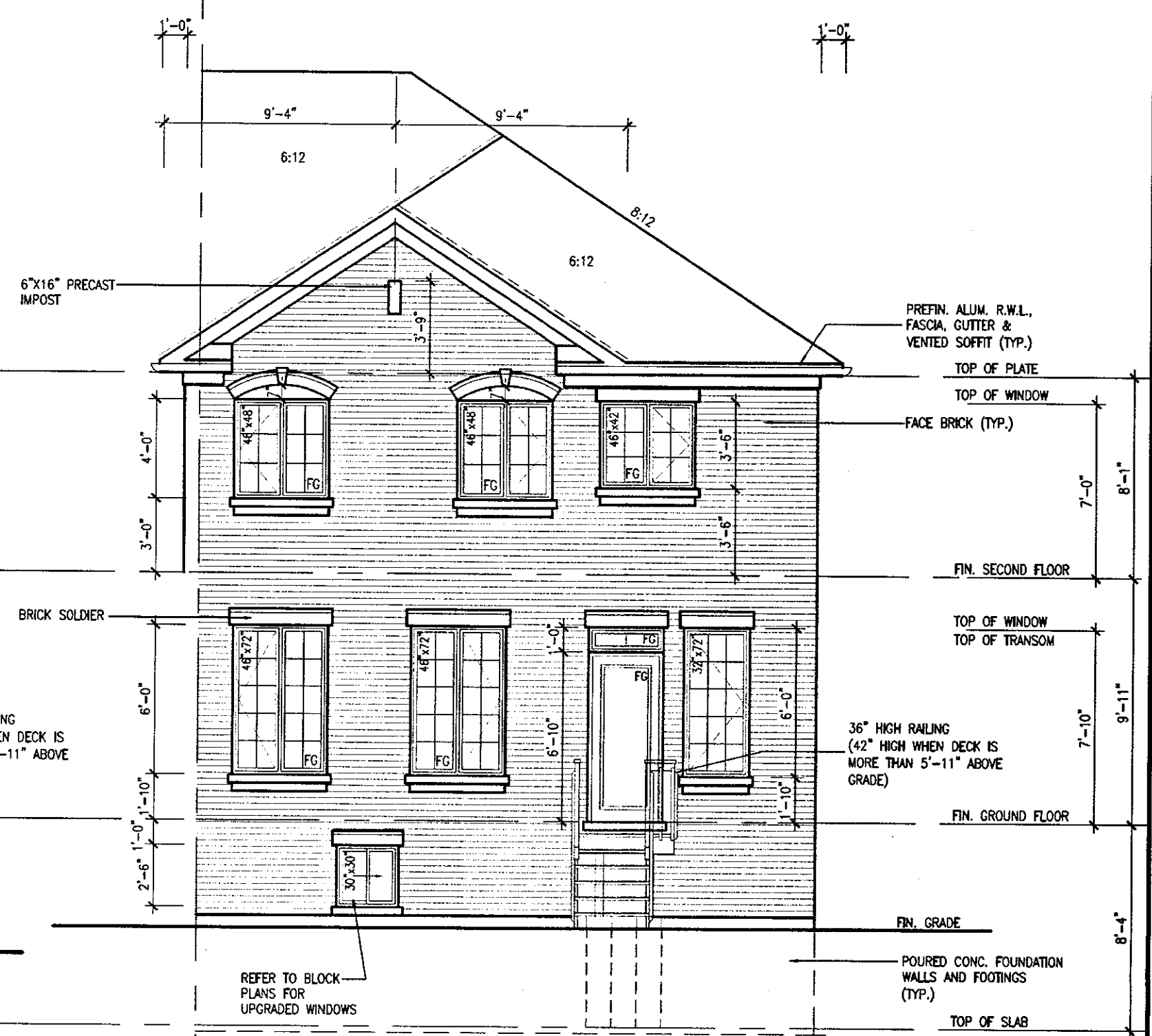
**HIGHGROVE 5E**  
COMPLIANCE PACKAGE A1

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2264 SF.



UPGRADED REAR ELEVATION '3'  
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '3'  
DECK CONDITION (4R TO 7R MAX.)

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APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

## HIGHGROVE 5E

project name	municipality	project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	16036

date <b>MARCH 2017</b>	UPGRADED REAR ELEV. '3'- DECK CONDITION		drawing no.
drawn by <b>WT</b>	checked by <b>GW</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16036-HIGHGROVE SE-NEW</b>

**A11b**

18				9	REVISED.	APR. 16/18	GW	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Richard Vink</div> <div>name</div> <div>signature</div> <div>registration information</div> <div>VAS Design Inc.</div> <div>2448</div> <div>BC</div> <div>4265</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.</div>
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 26/17	GW	
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW	
14				5	STUCCO REPLACED.	JUL. 05/17	GW	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by	



**VAB**  
**DESIGN**

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
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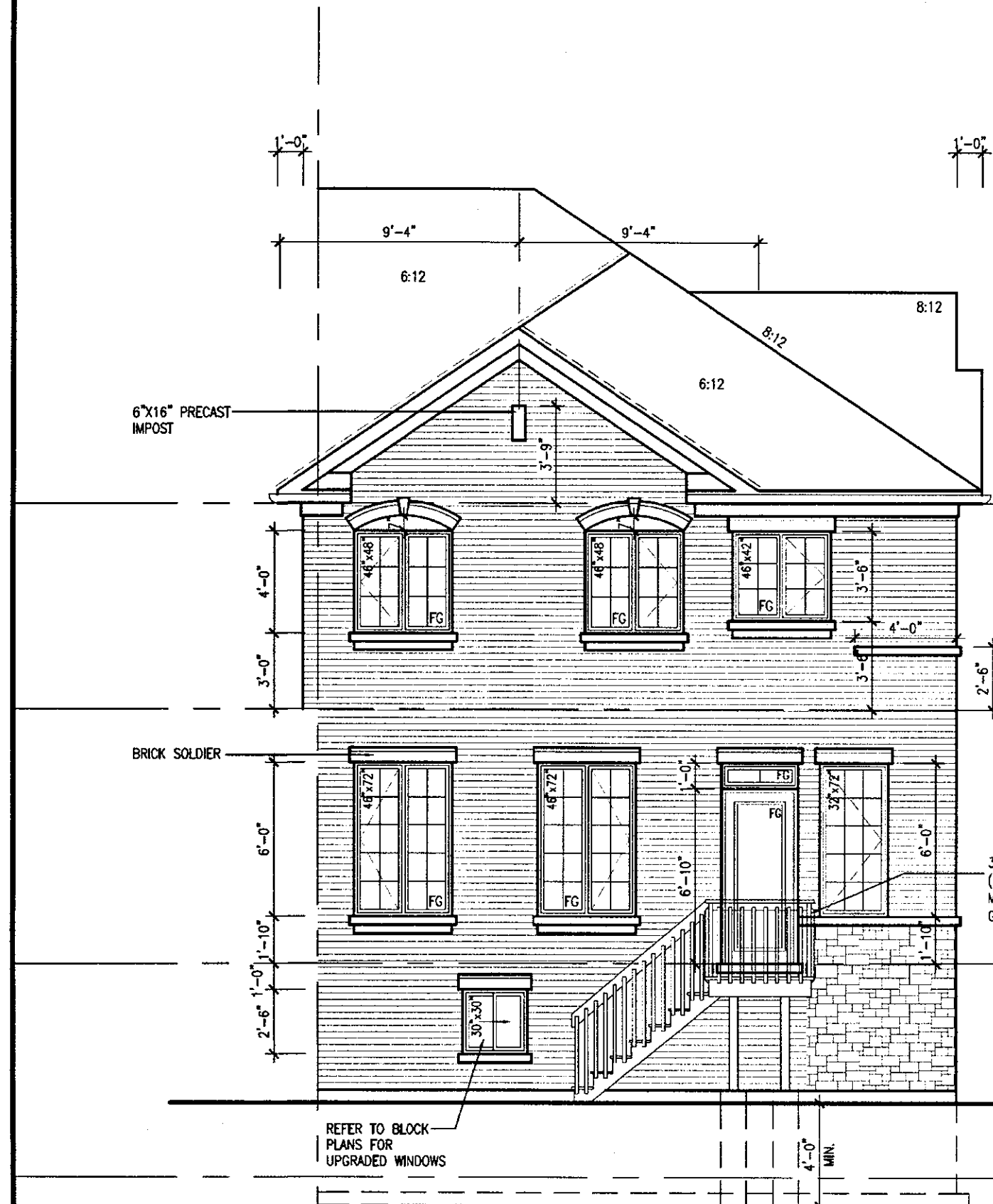
**Greenpark.**

project name	municipality	project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	16036

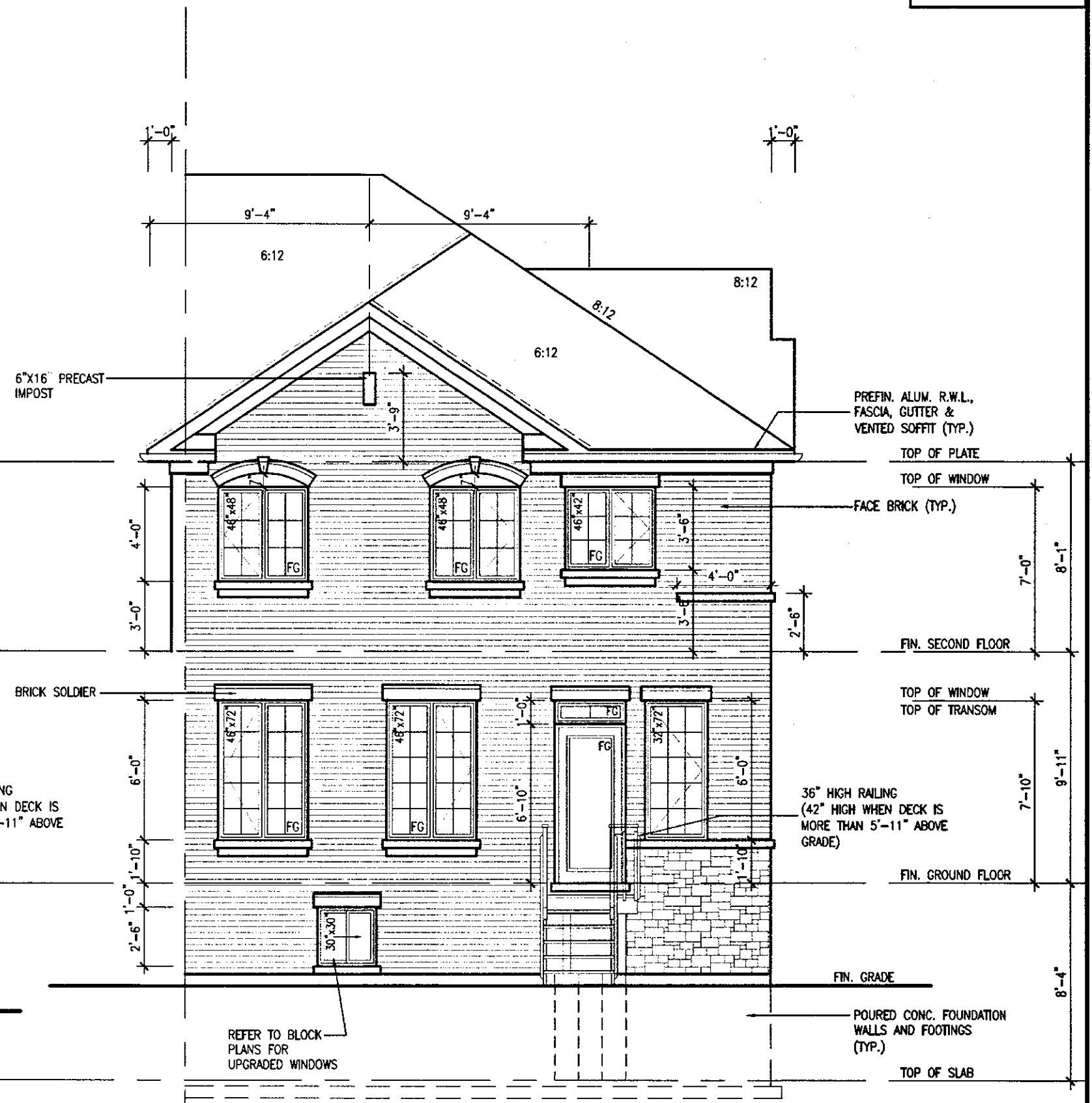
date <b>MARCH 2017</b>	UPGRADED REAR ELEV. '3'- DECK CONDITION		drawing no.
drawn by <b>WT</b>	checked by <b>GW</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16036-HIGHGROVE SE-NEW</b>

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2264 SF.



UPGRADED REAR ELEVATION '3A'  
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '3A'  
DECK CONDITION (4R TO 7R MAX.)

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APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

18				9	REVISED.	APR. 16/18	G	
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	G	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	G	
15				6	ISSUED FOR PRICING.	AUG. 23/17	G	
14				5	STUCCO REPLACED.	JUL 05/17	G	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	W	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	G	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	G	
10				1	PRELIMINARY REVIEW.	APR. 12/17	G	
no.	description		date	by	no.	description	date	by

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qualification information

Richard Vink 244

name registration information signature


V&S Design Inc. 428

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Drawings and specifications are instruments of service and the proper use of the Designer which must be returned at the completion of the work.

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255 Consumers Rd Suite 120  
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t 416.630.2255 f 416.630.478  
va3design.com

 <b>Greenpark.</b>	
Project name	Municipality
<b>USSELL GARDENS PH.2</b>	<b>WATERDOWN, ON.</b>
<b>UPGRADED REAR ELEV. '3A' - D</b>	
Issued	Scale
<b>MARCH 2017</b>	<b>3/16" = 1'-0"</b>
Drawn by	Checked by
<b>GW</b>	<b>GW</b>
16030	16030

**HIGHGROVE 5E**

project no.  
**16036**

**CK CONDITION**

file name  
**HIGHGROVE 5E-NEW**

- Apr 16 2018 - 11:27 AM

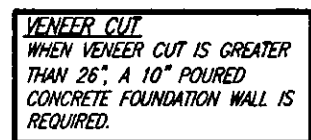
drawing no.  
**A11c**

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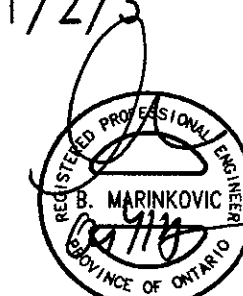
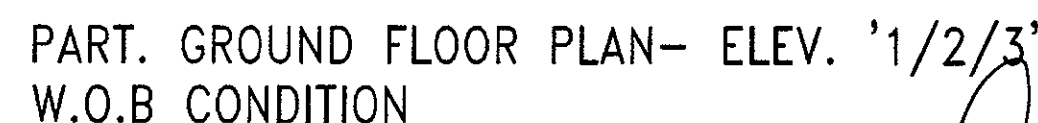
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



PART. BASEMENT PLAN - ELEV. '1 1/2/3'  
W.O.B. CONDITION

LOOK-OUT WOOD DECK DETAILS  
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2) FOR  
ADDITIONAL WOOD DECK INFORMATION.



STRUDET INC.  
FOR STRUCTURE ONLY

OCT 04 2017

# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

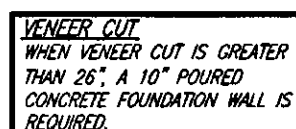
[illegible]

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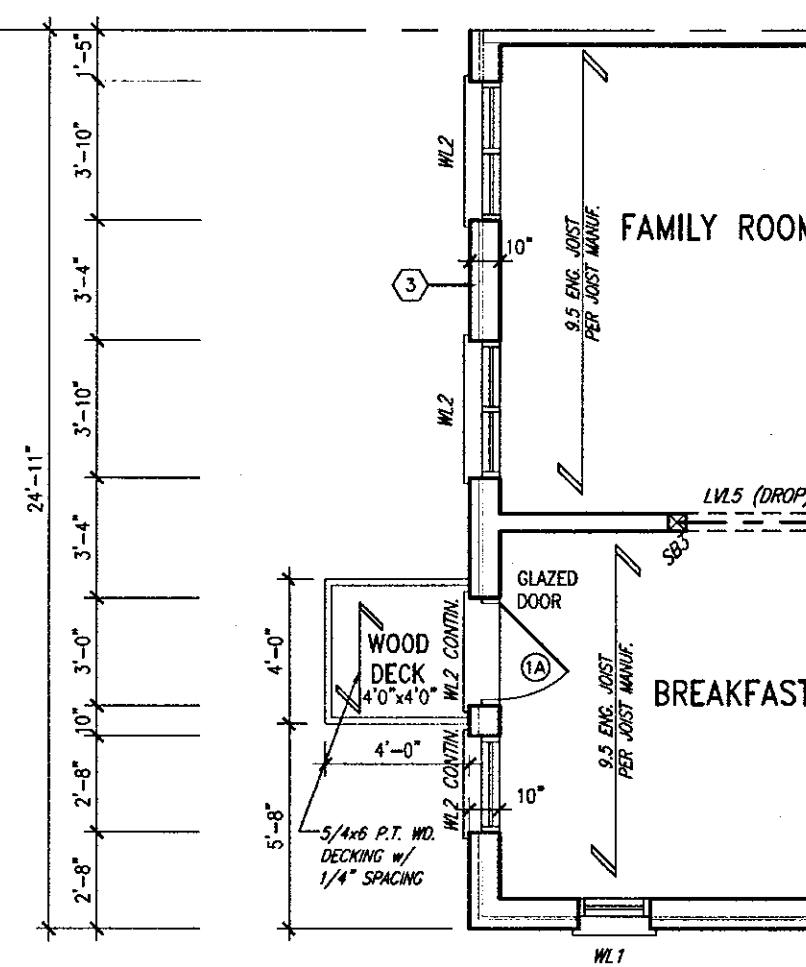
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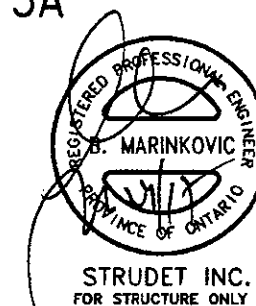


PART. BASEMENT PLAN - ELEV. '3A'  
W.O.B. CONDITION

LOOK-OUT WOOD DECK DETAILS  
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2) FOR  
ADDITIONAL WOOD DECK INFORMATION.



PART. GROUND FLOOR PLAN- ELEV. '3A'  
W.O.B CONDITION



NOV 24 2017

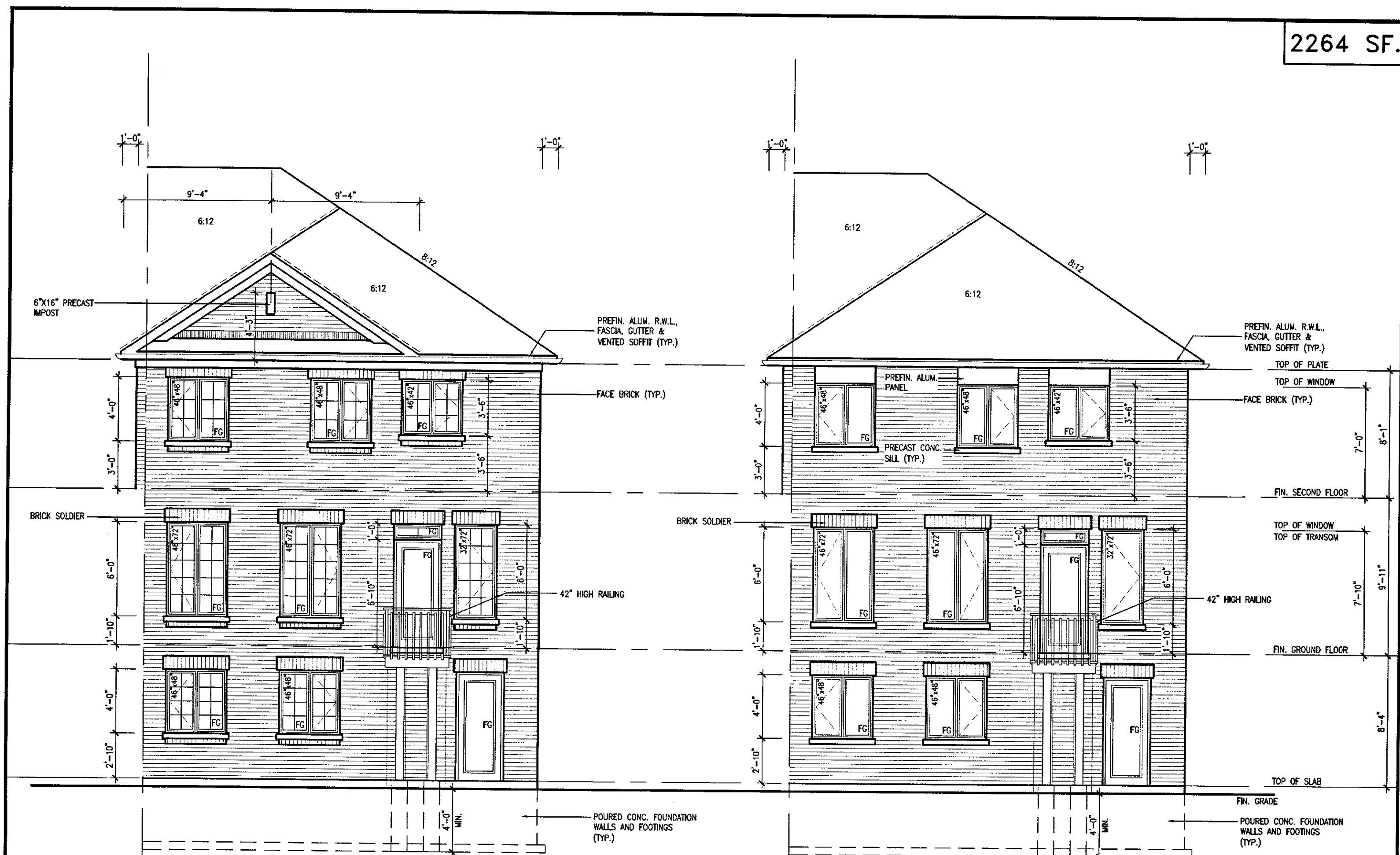
# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

[illegible]

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2264 SF.



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UPGRADED REAR ELEVATION '1'  
WOB CONDITION

REAR ELEVATION '1/2/3'  
WOB CONDITION

OCT 04 2017

# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

18		-	-	9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	-	8	-	-	qualification information.
16		-	-	7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17 GW	 signature BC
15		-	-	6	ISSUED FOR PRICING.	AUG. 23/17 GW	
14		-	-	5	STUCCO REPLACED.	JUL. 05/17 GW	
13		-	-	4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17 WT	
12		-	-	3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN. 14/17 GW	
11		-	-	2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW	V&S Design Inc. 4265
10		-	-	1	PRELIMINARY REVIEW.	APR. 12/17 GW	
no.	description		date	by no.	description	date	by



**VA3**  
**DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

project name	municipality
<b>RUSSELL GARDENS PH.2</b>	<b>WATERDOWN, ON.</b>

date MARCH 2017 UPGRADED REAR FL '1' & STD REAR '1/2/3' - WOR COND

drawn by \_\_\_\_\_ checked by \_\_\_\_\_ scale \_\_\_\_\_ file name \_\_\_\_\_

WT	GW	3/16" = 1'-0"	16036-HIGHGROVE SE
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## HIGHGROVE 5E

project no.  
16036

drawing no.

417

A13

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Architectural elevation drawing of a two-story house. The drawing includes the following details:

- Roof:** Gabled roof with a 6:12 pitch. The horizontal run is 9'-4" on each side of the ridge. The roof is labeled with "6:12" and "8:12".
- Exterior Walls:** The main walls are labeled "FACE BRICK (TYP.)". The roofline is labeled "PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)".
- Windows:**
  - Second Floor: Three windows, each labeled "46' x 48'" and "FG".
  - First Floor: Four windows, each labeled "46' x 72'" and "FG".
- Entrance:** A central entrance with a door labeled "FG" and a "42" HIGH RAILING".
- Floors and Levels:**
  - "TOP OF PLATE"
  - "TOP OF WINDOW"
  - "FACE BRICK (TYP.)"
  - "FIN. SECOND FLOOR"
  - "TOP OF WINDOW TOP OF TRANSOM"
  - "FIN. GROUND FLOOR"
  - "TOP OF SLAB"
  - "FIN. GRADE"
- Dimensions:**
  - Overall height: 8'-1" (from top of window to top of slab).
  - Overall width: 16'-8" (from left edge to right edge).
  - Window height: 3'-6" (from top of window to top of transom).
  - Window width: 4'-0" (from left edge to right edge).
  - Door height: 6'-10" (from top of door to top of transom).
  - Door width: 3'-6" (from left edge to right edge).
  - Foundation: "POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)".

OCT 04 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2L 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>
17			8				
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17 GW		
15			6	ISSUED FOR PRICING.	AUG. 23/17 GW	Richard Vink 24488	
14			5	STUCCO REPLACED.	JUL 05/17 GW	signature BCN	
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT	registration information VA3 Design Inc. 42658	
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW		
10			1	PRELIMINARY REVIEW.	APR. 12/17 GW		
no.	description	date	by	no.	description	date	by

VA3

DESIGN

255 Consumers Rd Suite 120  
Toronto ON M2L 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

Greenpark.

project name

RUSSELL GARDENS PH.2

municipality

WATERDOWN, ON.

project

16036-HIGHGROVE SE

date

MARCH 2017

checked by

scale

GW

3/16" = 1'-0"

drawing no.

16036-HIGHGROVE SE

13

16036-HIGHGROVE SE

DATE

MARCH 2017

SCALE

3/16" = 1'-0"

PROJECT

RUSSELL GARDENS PH.2

MUNICIPALITY

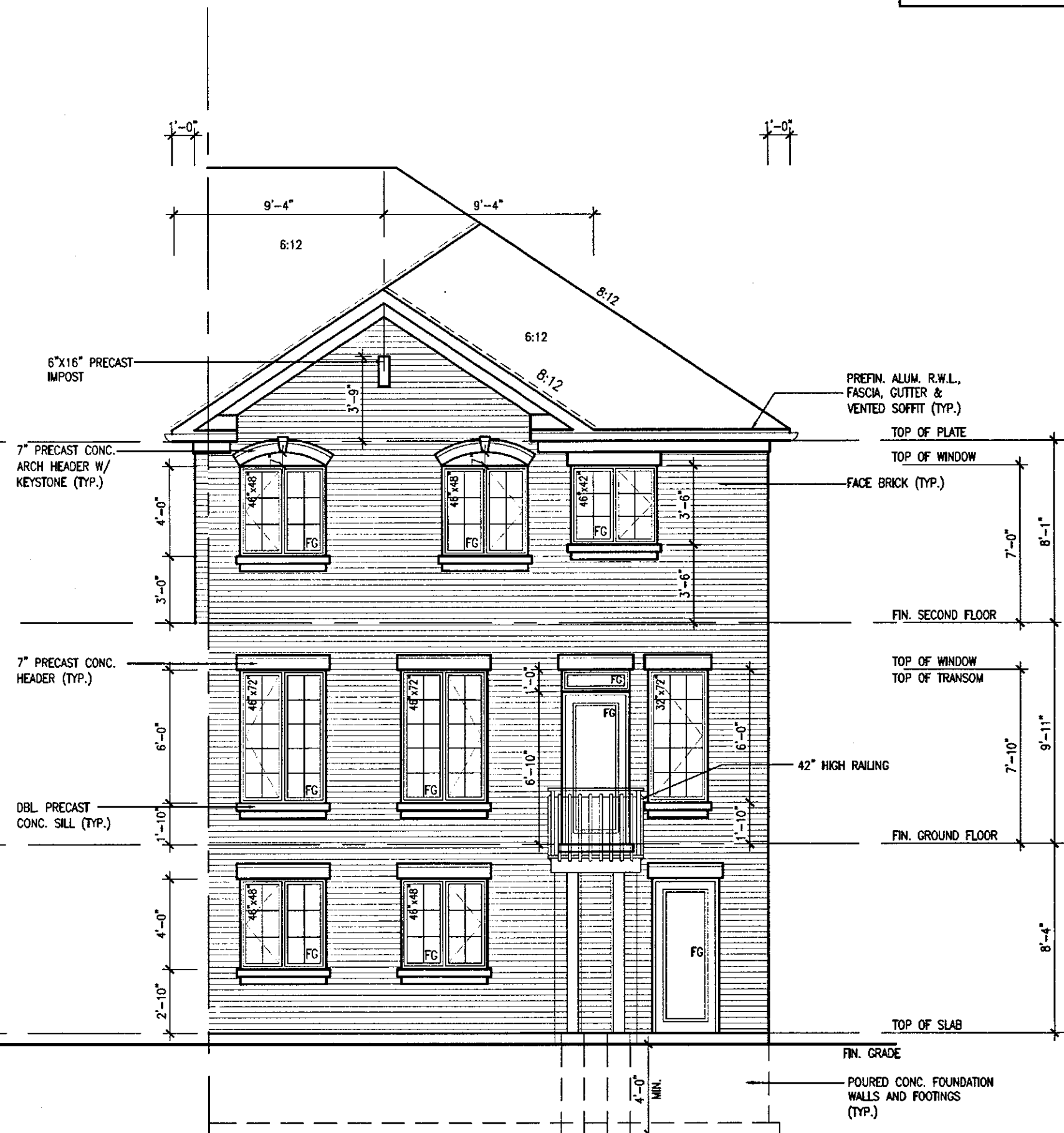
WATERDOWN, ON.

PROJECT

16036-HIGHGROVE SE

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2264 SF.



UPGRADED REAR ELEVATION '3'  
WOB CONDITION

OCT 04 2017

# HIGHGROVE 5E

COMPLIANCE PACKAGE A1

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18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17			8			qualification information	
16			7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW	
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	
14			5	STUCCO REPLACED.	JUL. 05/17	GW	
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by

**VA3 DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

Project name: RUSSELL GARDENS PH.2 Municipality: WATERDOWN, ON.

Date: MARCH 2017 checked by: GW scale: 3/16" = 1'-0"

File name: 18036-HIGHGROVE 5E.dwg - Fr - Sep 29 2017 - 1:35 PM

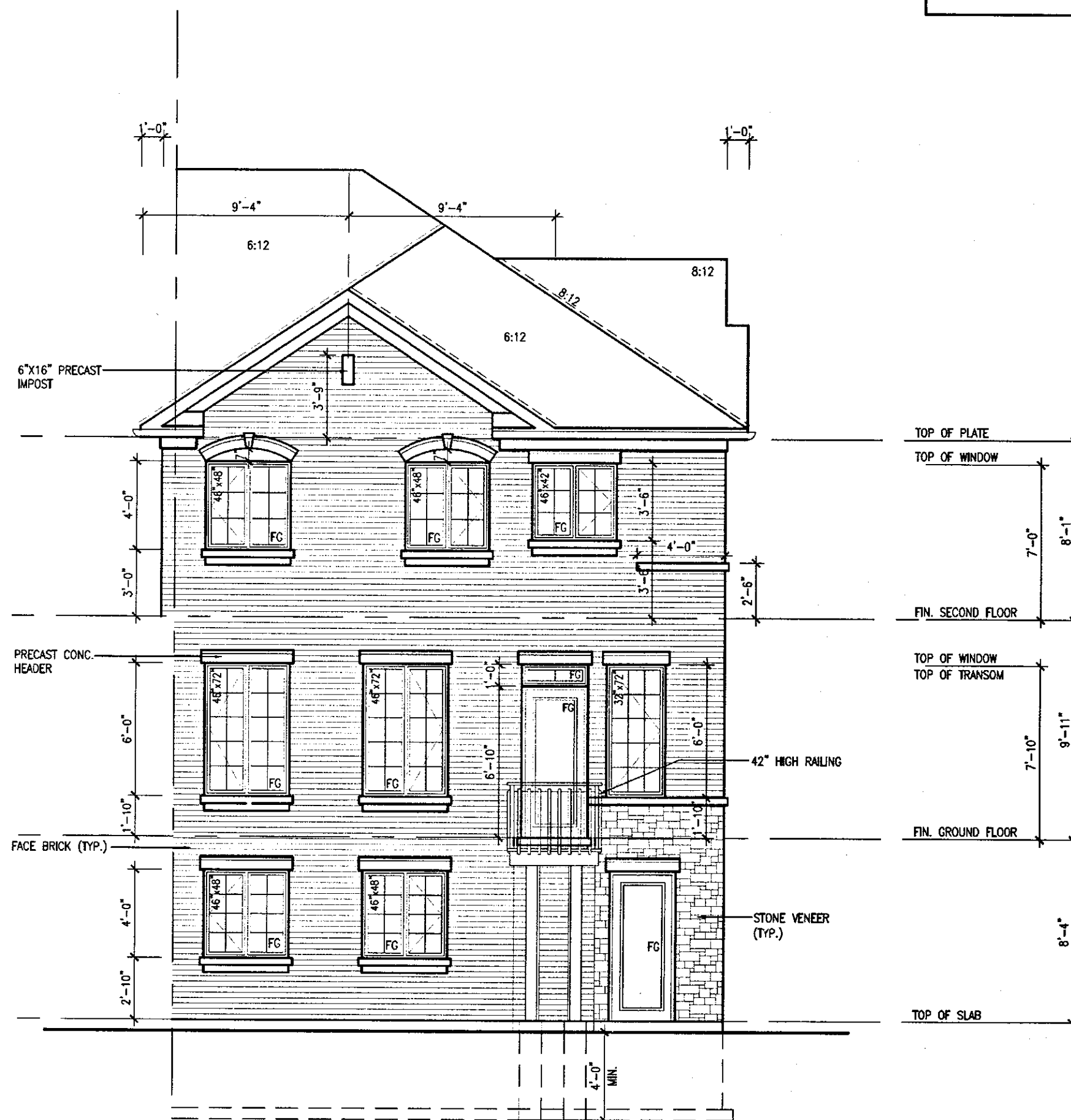
**HIGHGROVE 5E**

Project no. 16036

Drawing no. **A13b**

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2264 SF.



UPGRADED REAR ELEVATION '3A'  
WOB CONDITION

NOV 24 2017

# HIGHGROVE 5E

## COMPLIANCE PACKAGE A1

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