

1796 SF.

PAD FOOTINGS
120 KPa, NATIVE SOIL
 F1 = 42"x42"x18" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD
90 KPa, ENGINEERED FILL SOIL
 F1 = 48"x48"x20" CONCRETE PAD
 F2 = 40"x40"x16" CONCRETE PAD
 F3 = 34"x34"x14" CONCRETE PAD
 F4 = 28"x28"x12" CONCRETE PAD
 F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
 L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
 L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
 L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
 L5 = 6" x 4" x 7/16" L (152x102x11.0L)
 L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

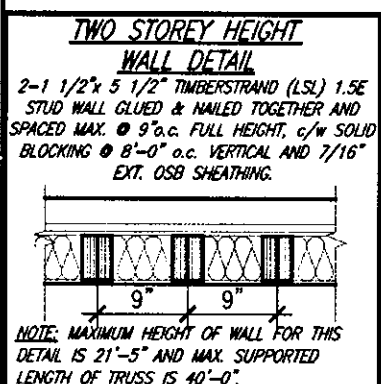
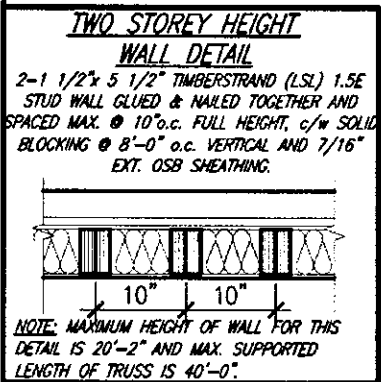
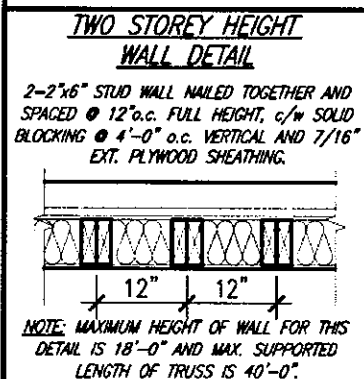
NOS.	WIDTH	HEIGHT, 8' TO 9' CEILING	HEIGHT, 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



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UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
HIGHGROVE 2, ELEVATION 1	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	442.11 S.F.	116.35 S.F.	26.32 %
LEFT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
REAR	442.11 S.F.	123.08 S.F.	27.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2659.18 S.F.	239.43 S.F.	9.00 %
TOTAL SQ. M.	247.04 S.M.	22.24 S.M.	9.00 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
HIGHGROVE 2, ELEVATION 2	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	442.11 S.F.	116.84 S.F.	26.43 %
LEFT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
REAR	442.11 S.F.	123.08 S.F.	27.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2659.18 S.F.	239.92 S.F.	9.02 %
TOTAL SQ. M.	247.04 S.M.	22.29 S.M.	9.02 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
HIGHGROVE 2, ELEVATION 3	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	442.11 S.F.	113.42 S.F.	25.65 %
LEFT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	887.48 S.F.	0.00 S.F.	0.00 %
REAR	442.11 S.F.	123.08 S.F.	27.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2659.18 S.F.	236.50 S.F.	8.89 %
TOTAL SQ. M.	247.04 S.M.	21.97 S.M.	8.89 %

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	848 SF	
SECOND FLOOR AREA	945 SF	
TOTAL FLOOR AREA	1793 SF	(166.58 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	3 SF	
ADD TOTAL OPEN AREAS	+3 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1796 SF	(166.85 m2)
GROUND FLOOR COVERAGE	848 SF	
GARAGE COVERAGE/AREA	311 SF	
PORCH COVERAGE/AREA	96 SF	
COVERAGE W/ PORCH	1255 SF	(116.60 m2)
COVERAGE W/O PORCH	1159 SF	(107.67 m2)

AREA CALCULATIONS		ELEV '2'
GROUND FLOOR AREA	848 SF	
SECOND FLOOR AREA	945 SF	
TOTAL FLOOR AREA	1793 SF	(166.58 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	3 SF	
ADD TOTAL OPEN AREAS	+3 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1796 SF	(166.85 m2)
GROUND FLOOR COVERAGE	848 SF	
GARAGE COVERAGE/AREA	311 SF	
PORCH COVERAGE/AREA	104 SF	
COVERAGE W/ PORCH	1263 SF	(117.33 m2)
COVERAGE W/O PORCH	1159 SF	(107.67 m2)

AREA CALCULATIONS		ELEV '3'
GROUND FLOOR AREA	848 SF	
SECOND FLOOR AREA	945 SF	
TOTAL FLOOR AREA	1793 SF	(166.58 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	3 SF	
ADD TOTAL OPEN AREAS	+3 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1796 SF	(166.85 m2)
GROUND FLOOR COVERAGE	848 SF	
GARAGE COVERAGE/AREA	311 SF	
PORCH COVERAGE/AREA	96 SF	
COVERAGE W/ PORCH	1255 SF	(116.60 m2)
COVERAGE W/O PORCH	1159 SF	(107.67 m2)

OCT 04 2017

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
 FOR STRUCTURE ONLY

9					
8					
7					
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink	24488
5	ISSUED FOR PRICING.	AUG. 23/17	GW		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 name: Richard Vink
 registration information: 24488
 VA3 Design Inc. 42658

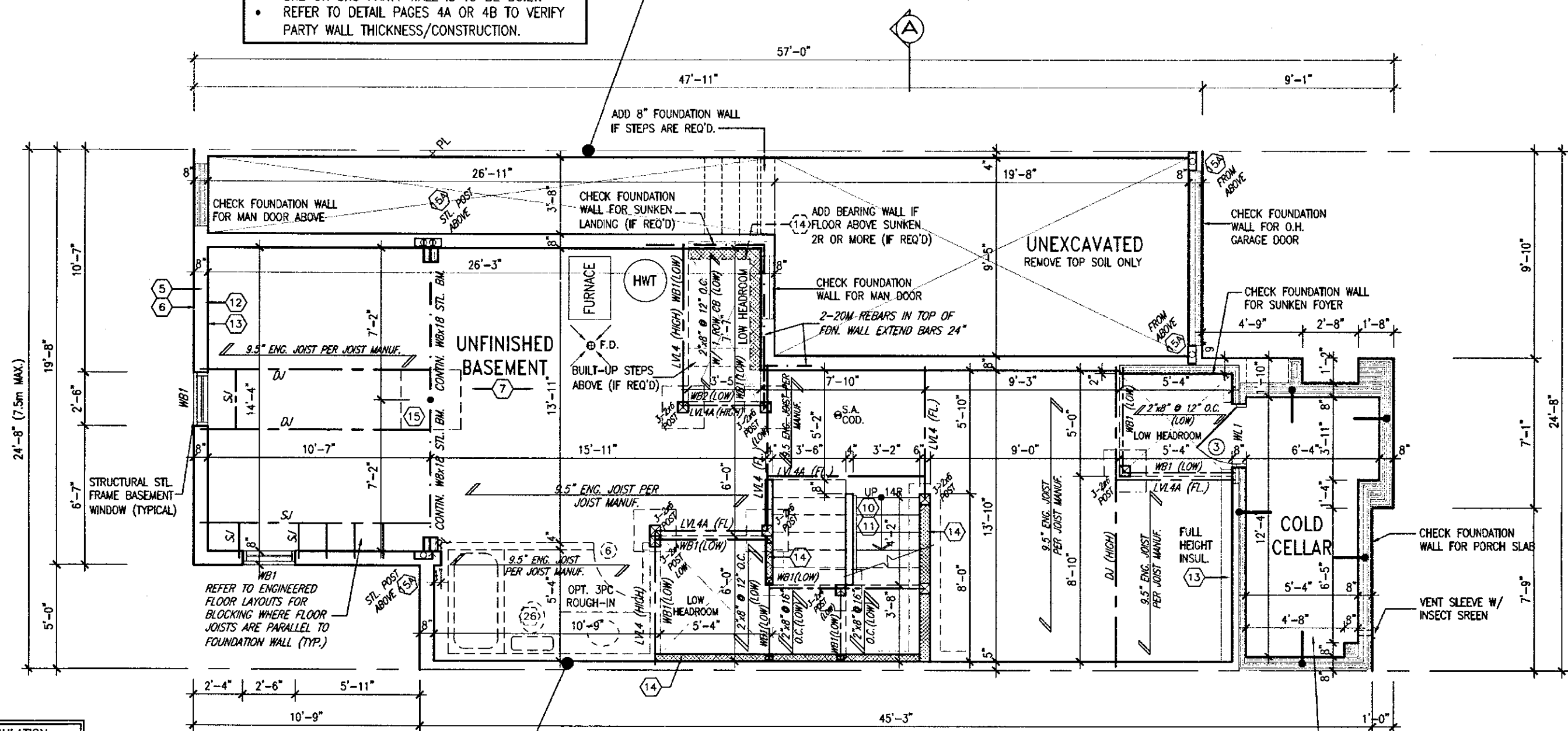
VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 T: 416.630.2255 F: 416.630.4782
 va3design.com

Greenpark.
 project name: RUSSELL GARDENS PH.2
 municipality: WATERDOWN, ON.
 date: APRIL 2017
 checked by: 3/16" = 1'-0"

HIGHGROVE 2
 project no: 16036
 drawing no: A0
 TYPICAL NOTES AND AREAS
 16036-HIGHGROVE 2

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.

- 2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
- 2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
- EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

BASEMENT PLAN - ELEV. 1

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

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APR 17 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REVISED.	APR. 13/18	GW		qualification information
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW		
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW		signature <i>R Vink</i> 244
5	ISSUED FOR PRICING.	AUG. 23/17	GW		name
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		registration information
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		VAS Design Inc. 428
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the proper use of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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va3design.com

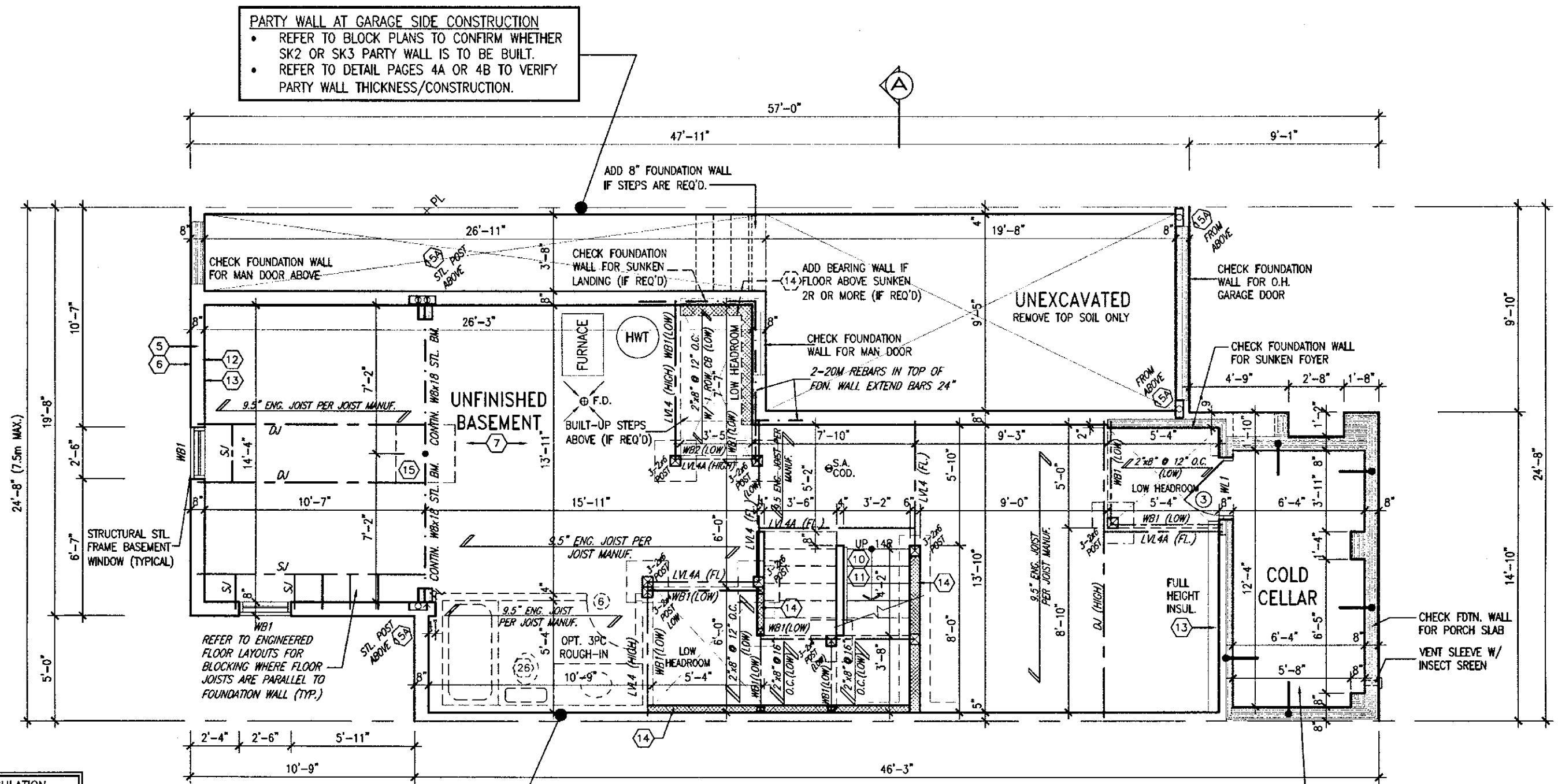
Greenpark.

project name	municipality	
RUSSELL GARDENS PH.2	WATERDOWN, ON.	
date	BASEMENT PLAN	
APRIL 2017		
drawn by	checked by	scale
		3/16" = 1'-0"

HIGHGROVE 2	
-	
project no. 16036	
LAN - ELEV. 1	drawing no.
file name 16036-HIGHGROVE 2	A1
date - April 12, 2018 - 8:25 AM	

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1796 SF.

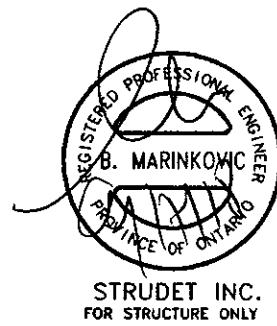


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APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'



3	REVISED.	APR. 13/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
3	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
2	PRELIMINARY REVIEW.	APR. 12/17	GW
1	description	date	by

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qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658

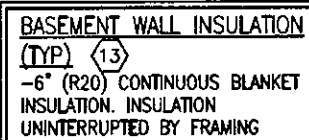
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va3design.com

Greenpark.		HIGHGROVE 2	
project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.	project no. 16036	drawing no. A1a
date APRIL 2017		BASEMENT PLAN - ELEV. 2	
drawn by	checked by	scale 3/16" = 1'-0"	file name 16036-HIGHGROVE 2
<small>16036 - HIGHGROVE 2 (RUSSELL GARDENS PH.2) - WATERDOWN, ON. - 16036-HIGHGROVE 2.dwg - Titled - Apr 17 2018 - 8:26 AM</small>			

PARTY WALL AT GARAGE SIDE CONSTRUCTION

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- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.

- 2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
- 2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
- EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

BASEMENT PLAN - ELEV. 3

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
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APR 17 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

HIGHGROVE 2



Greenpark.

project name	project no.
RUSSELL GARDENS PH.2	160336
municipality	
WATERDOWN, ON.	
date	drawing no.
APRIL 2017	A1b
BASEMENT PLAN - ELEV. 3	
drawn by	file name
checked by	160336-HIGHGROVE 2
scale	
3/16" = 1'-0"	

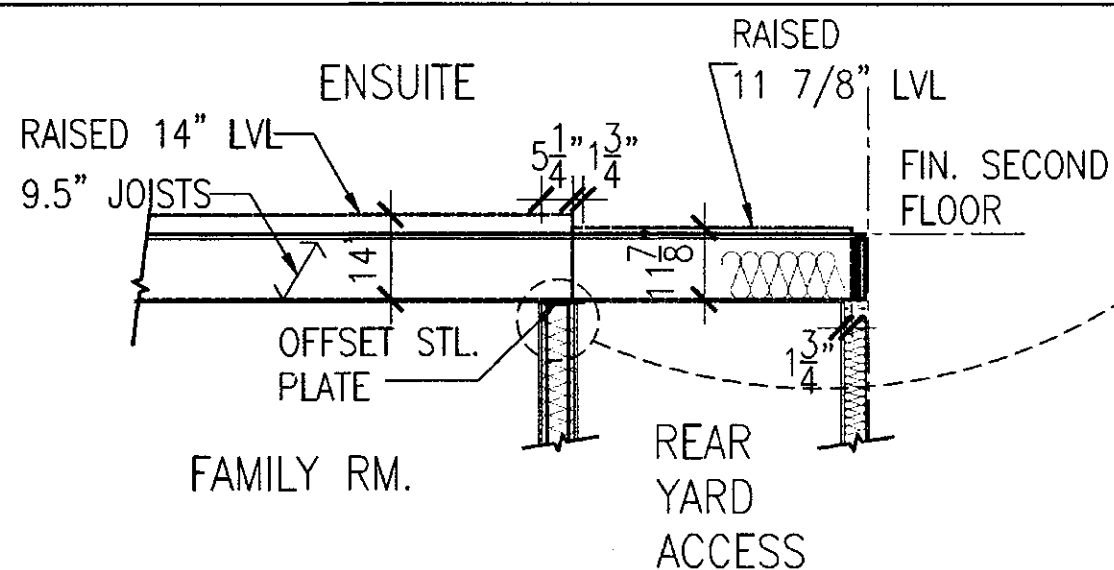
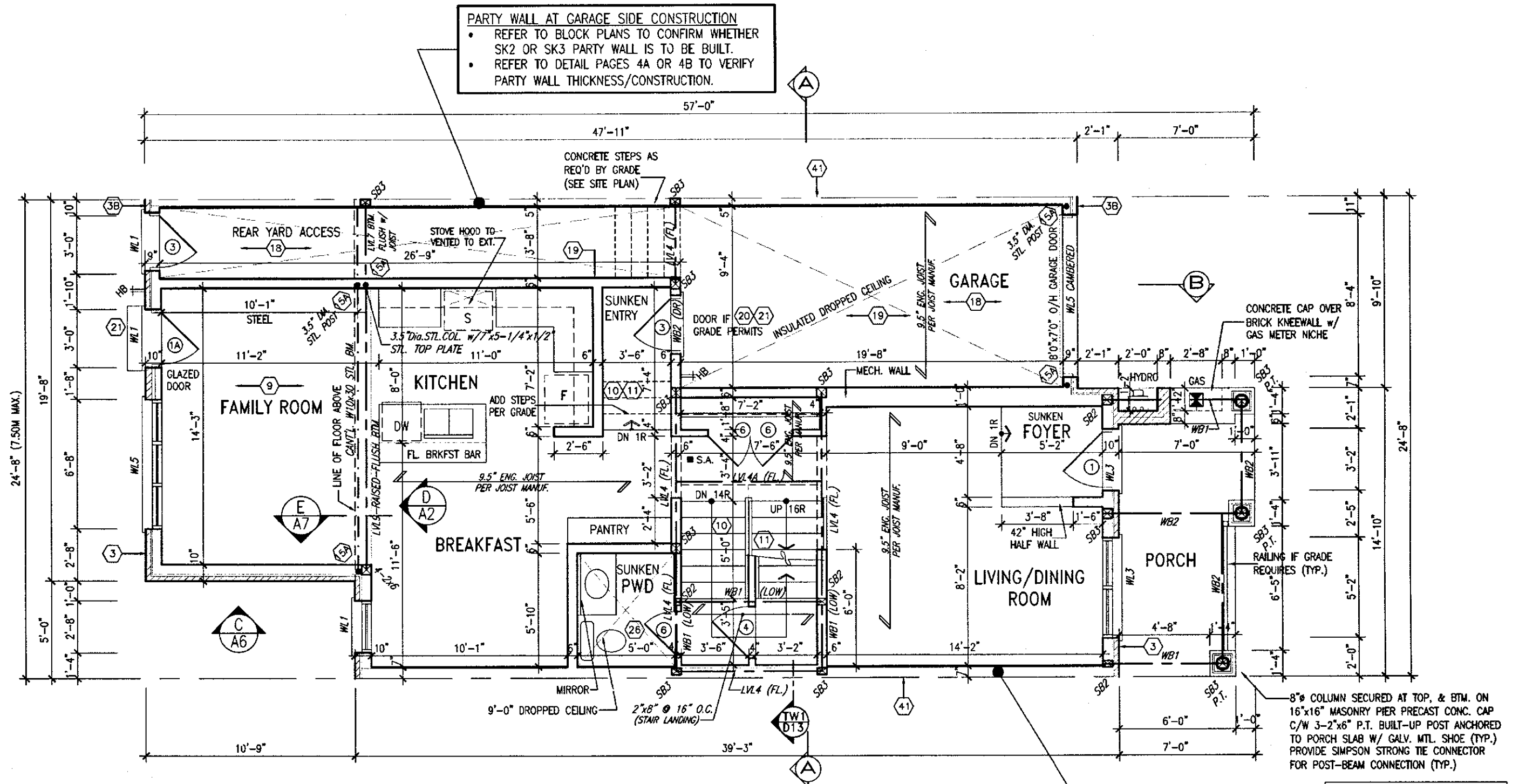
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
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8	REVISED.	APR. 13/18	GW			
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW		qualification information	
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW		Richard Vink	244
5	ISSUED FOR PRICING.	AUG. 23/17	GW		name signature	
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		registration information Y&J Design Inc.	428
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW			
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.	
1	PRELIMINARY REVIEW.	APR. 12/17	GW			
no	description	date	by			

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1796 SF.



D
A2

WOOD BEAMS OVER FAMILY RM.

Not to Scale

9.					
8.	REVISED.	APR. 13/18	GW		
7.	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW		
6.	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW		
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no.	description	date	by		

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qualification information

Richard Vink

signature

24488

BCN| | | | | | |
| --- | --- | --- | --- | --- | --- |
| name | registration information | VA3 Design Inc. | 42658 | | |

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VA3
DESIGN

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1.416.630.2255 | 416.630.4782
va3design.com

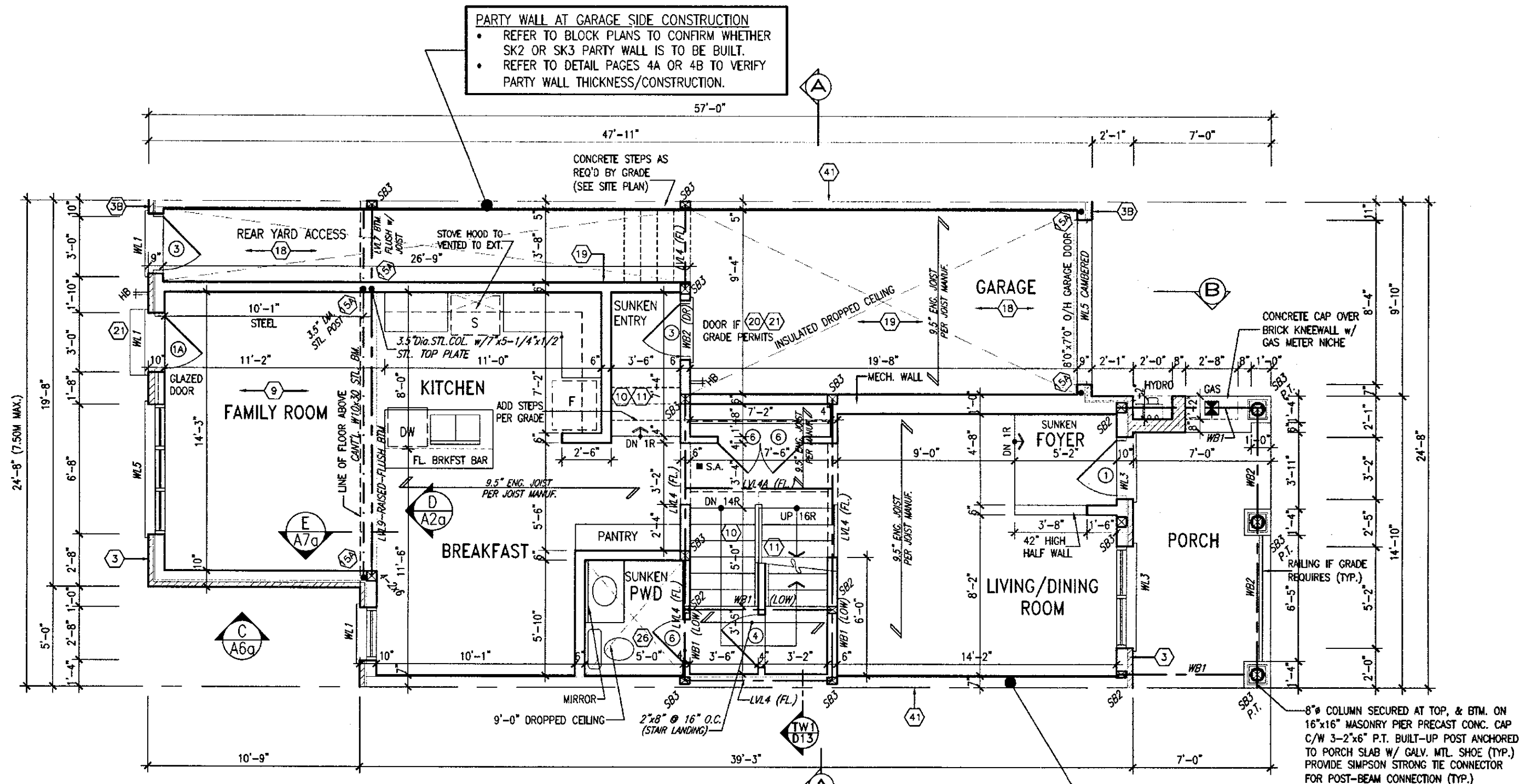


APR 17 2018

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

project name	RUSSELL GARDENS PH.2	municipality	WATERDOWN, ON.	project no.	16036
date	APRIL 2017	checked by		scale	3/16" = 1'-0"
drawn by		scale		16036-HIGHGROVE 2	
file name					
drawing no.					A2

1796 SF.



GROUND FLOOR PLAN - ELEV. 2

PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

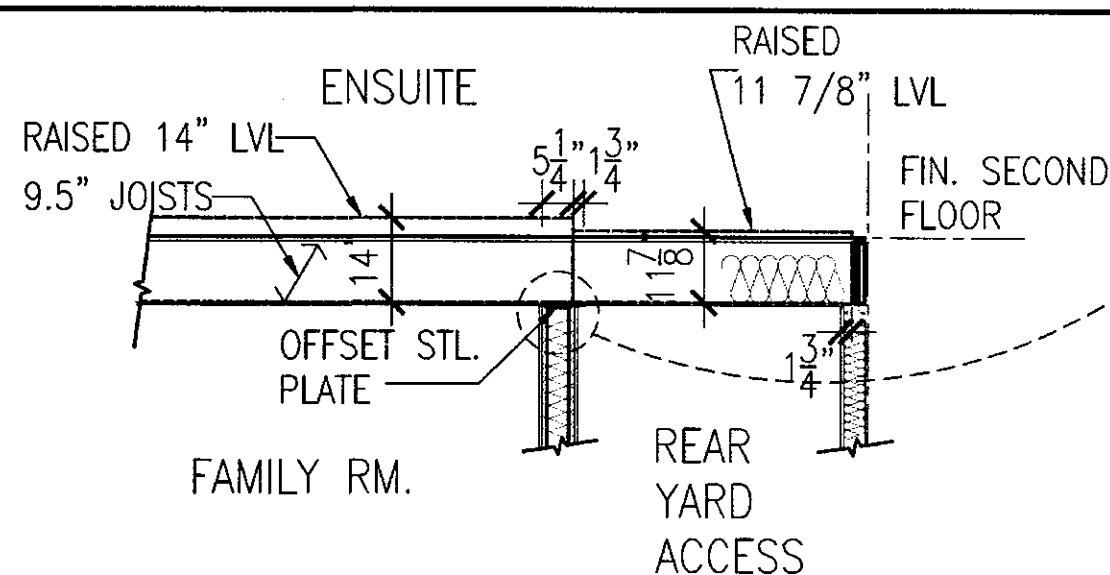


STRUDET INC.
FOR STRUCTURE ONLY

APR 17 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'



WOOD BEAMS OVER FAMILY RM.
Not to Scale

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS
UNLESS OTHERWISE NOTED

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REVISED.	APR. 13/18	GW		
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW		
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW		qualification information
5	ISSUED FOR PRICING.	AUG. 23/17	GW		name <i>R Vink</i> 244
4	REVISED AS PER CLIENT COMMENTS.	AUG. 23/17	WT		signature 426
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		registration information VA3 Design Inc.
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		

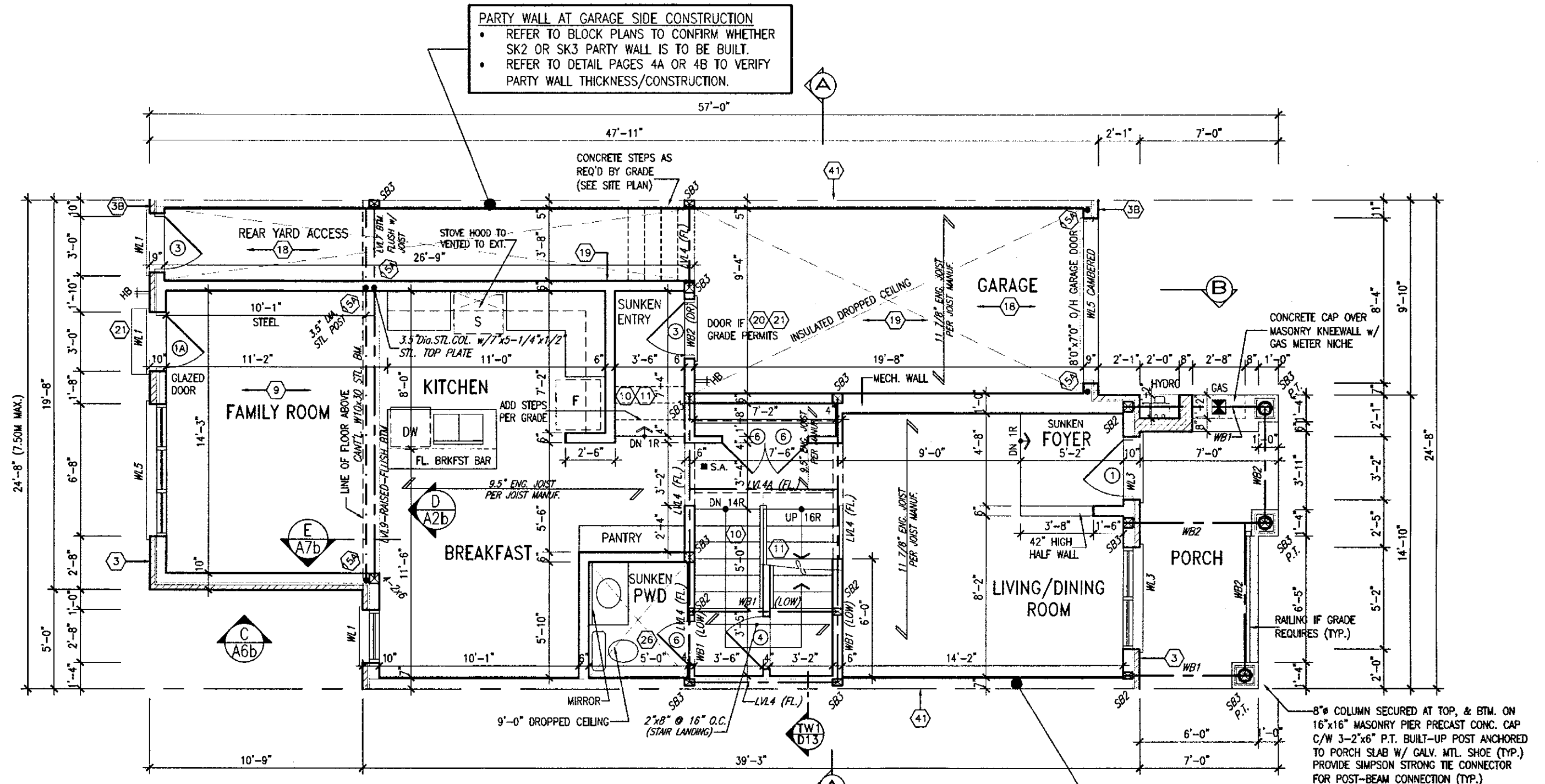


HIGHGROVE 2

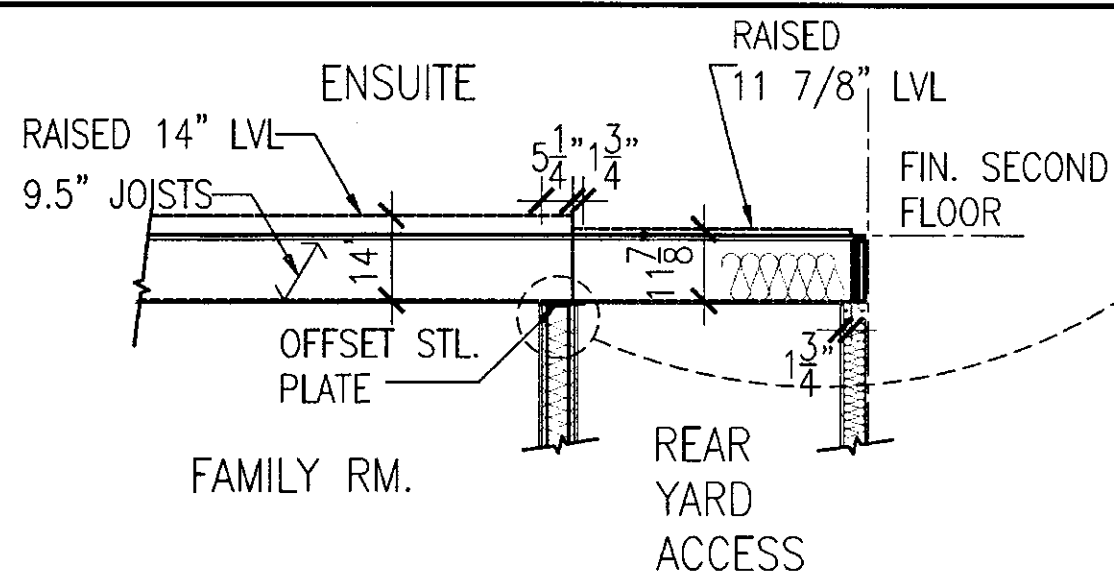
project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.	project no. 16036
date APRIL 2017		drawing no. A2a
checked by -		scale 3/16" = 1'-0"
drawn by -		file name 16036-HIGHGROVE 2

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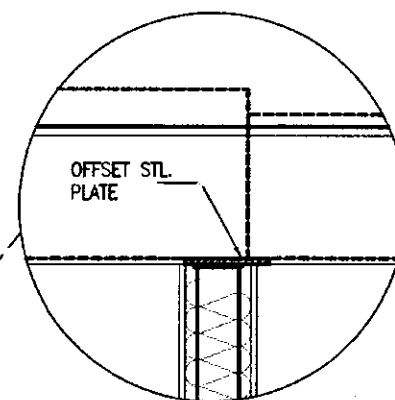
1796 SF.



GROUND FLOOR PLAN - ELEV. 3



WOOD BEAMS OVER FAMILY RM.
Not to Scale



PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS
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APR 17 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

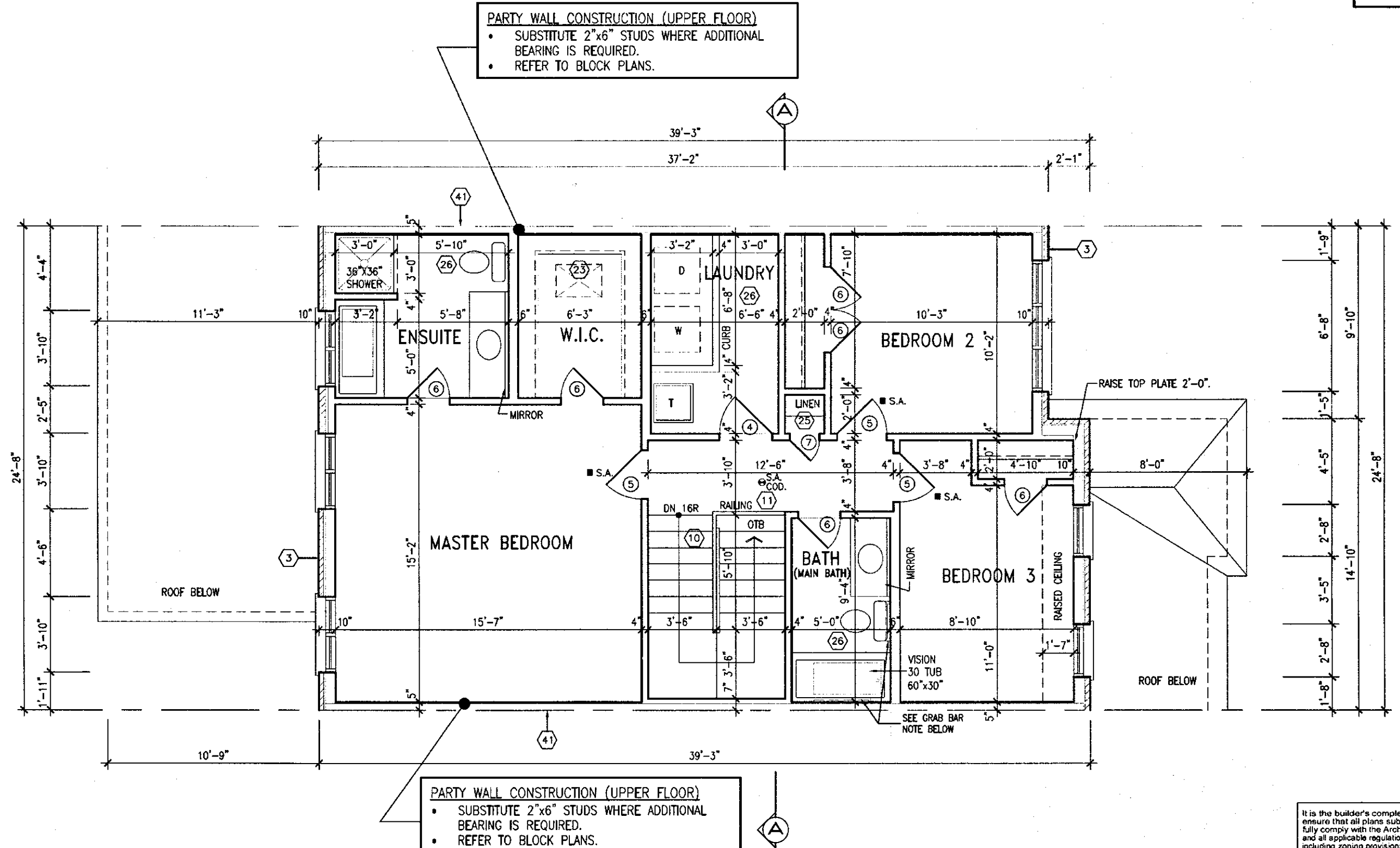
9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REVISED.	APR. 13/18	GW	qualification information
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW	signature
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	name
5	ISSUED FOR PRICING.	AUG. 23/17	GW	registration information
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	VAS Design Inc.
3	CHANGED JOST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	
1	PRELIMINARY REVIEW.	APR. 12/17	GW	
NO.	description	date	BY	

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255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.		
project name	municipality	
RUSSELL GARDENS PH.2	WATERDOWN, ON.	
date	GROUND FLOOR PLAN	
APRIL 2017		
drawn by	checked by	scale
		3/16" = 1'-0"

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1796 SF.



SECOND FLOOR PLAN - ELEV. 1

NOTE: ROOF FRAMING
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NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).



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FEB 09 2018

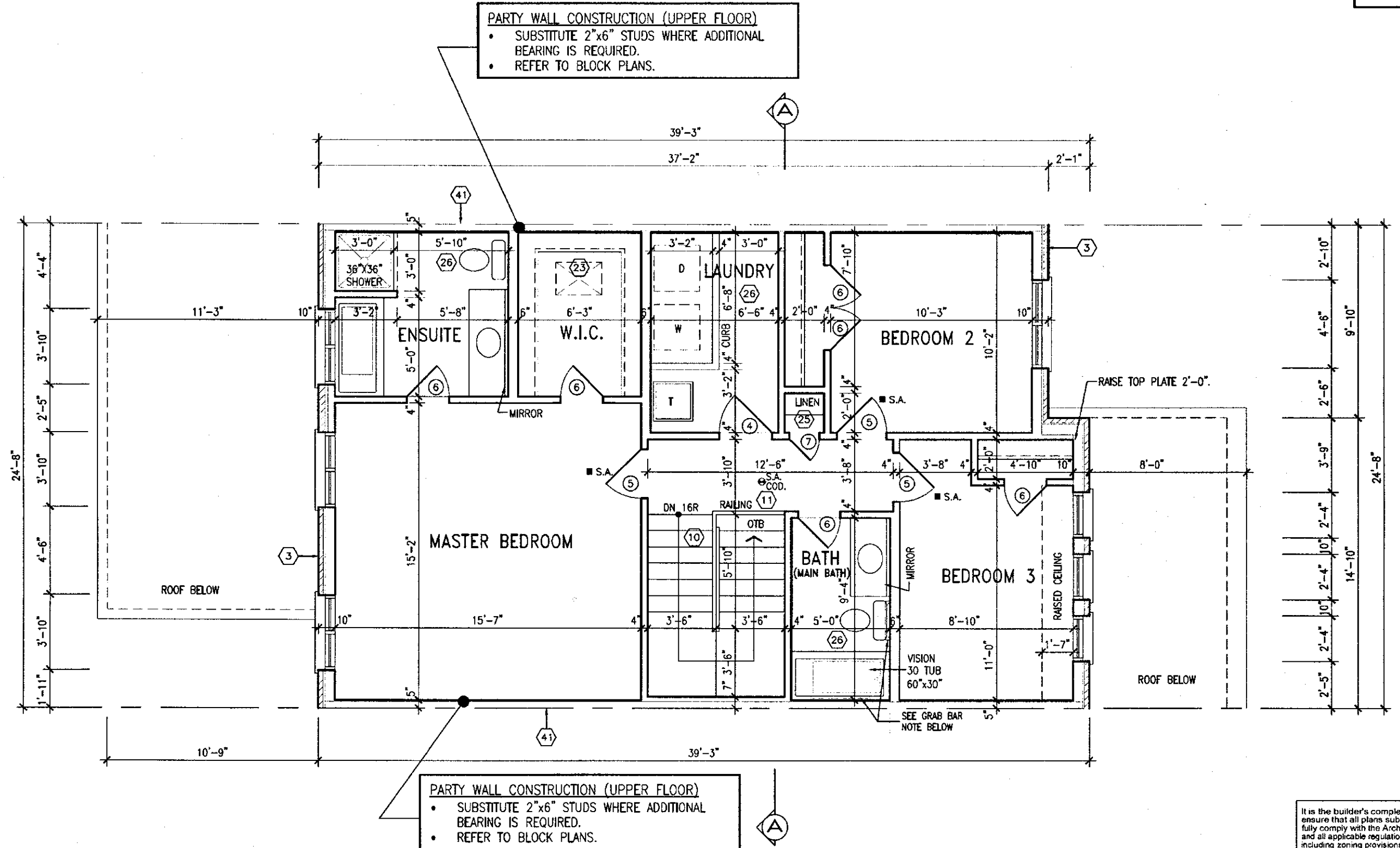
HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.									HIGHGROVE 2		
8															
7	REV. PER CITY COMMENTS, REISSUED.	FEB. 08/18	GW	qualification information			signature			project name			project no.		
6	REVISED FOR PERMIT.	SEP. 22/17	GW	Richard Vink			24488			RUSSELL GARDENS PH.2			16036		
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name			BCN			municipality					
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information			42658			WATERDOWN, ON.					
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	VA3 Design Inc.						date			SECOND FLOOR PLAN - ELEV. 1		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t: 416.630.2255 f: 416.630.4782 va3design.com			checked by			file name		
1	PRELIMINARY REVIEW.	APR. 12/17	GW							scale			16036-HIGHGROVE 2		
no.	description	date	by							3/16" = 1'-0"			drawing no.		
													A3		

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1796 SF.



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NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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FEB 09 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
5	ISSUED FOR PRICING.	AUG. 23/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name
registration information
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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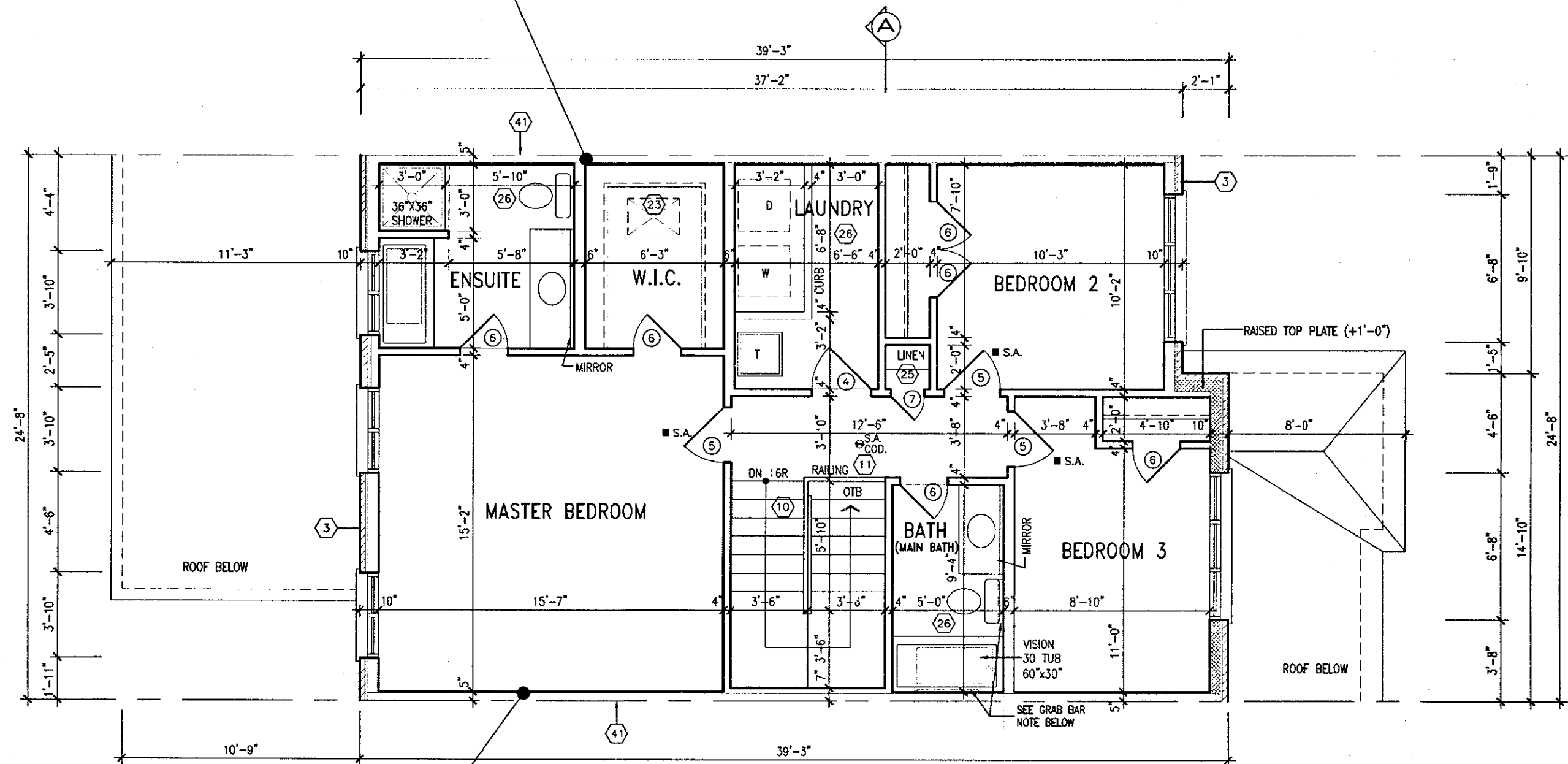
Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
checked by
scale
3/16" = 1'-0"

HIGHGROVE 2
project no.
16036
drawing no.
A3a

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PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.



PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.

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NOTED.

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

FEB 09 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					
7	REV. PER CITY COMMENTS, REISSUED.	FEB. 08/18	GW		qualification information
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink	244
5	ISSUED FOR PRICING.	AUG. 23/17	GW	none	
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information	
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	VAS3 Design Inc.	426
2	REVISED PER CITY COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		



HIGHGROVE 2

project name	municipality	project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	16036
date	SECOND FLOOR PLAN - ELEV. 3	
APRIL 2017		
drawn by	checked by	scale
-		3/16" = 1'-0"
file name	16036-HIGHGROVE 2	
16036 - RUSSELL GARDENS PH.2 16036-HIGHGROVE 2-16036-HIGHGROVE 2.dwg - Thu - Feb 2 2018 - 12:31 PM		

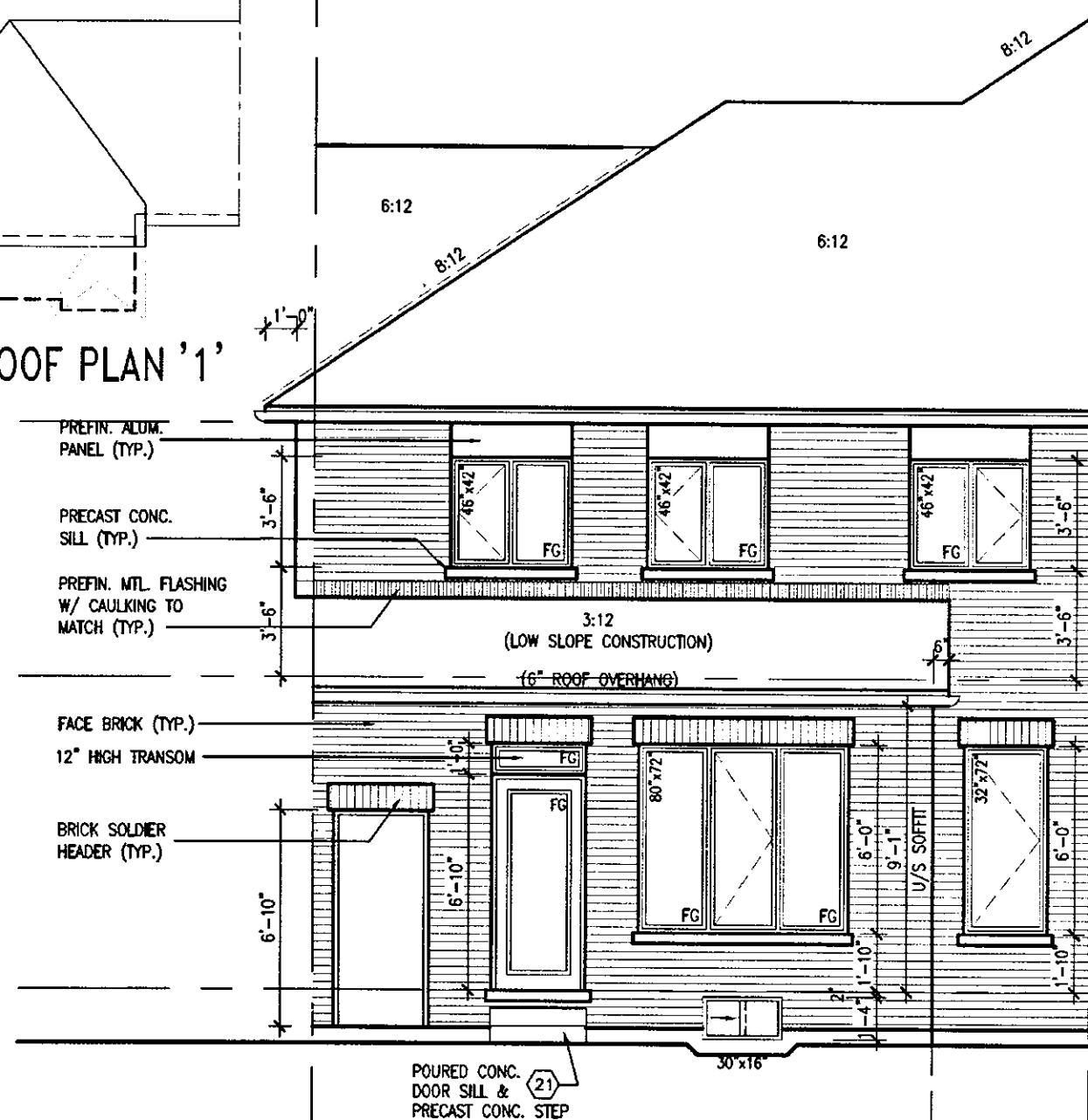
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1796 SF.

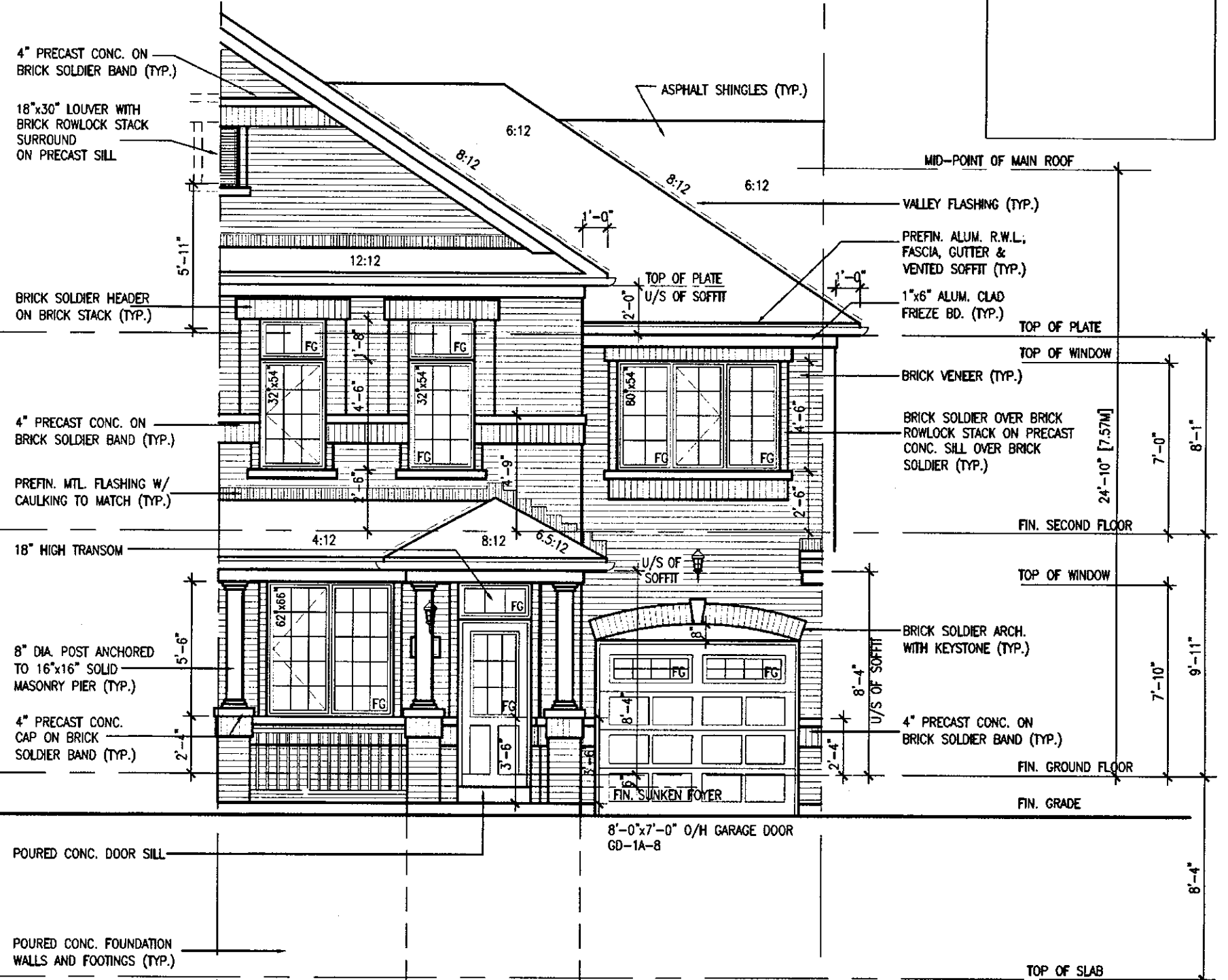
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ROOF PLAN '1'



REAR ELEVATION
ELEV. 1



FRONT ELEVATION
ELEV. 1

OCT 04 2017

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

1	PRELIMINARY REVIEW	APR. 12/17	GW	
2	REVISED PER CLIENT COMMENTS	APR. 27/17	GW	
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	
4	REVISED AS PER CLIENT COMMENTS	JUN. 21/17	WT	
5	ISSUED FOR PRICING	AUG. 23/17	GW	
6	REVISED, ISSUED FOR PERMIT	SEP. 22/17	GW	
7				
8				
9				

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	RUSSELL GARDENS PH.2	municipality	WATERDOWN, ON.	project no.	16036
date	APRIL 2017	checked by		scale	3/16" = 1'-0"
drawn by		scale		16036-HIGHGROVE 2	
FILED	H:\ARCHITECTURE\2017\16036\GREENPARK\HIGHGROVE-2\16036-HIGHGROVE 2.dwg - Tue - Sep 26 2017 - 8:21 AM				

HIGHGROVE 2

FRONT & REAR ELEVATION '1'

drawing no.

A4

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3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8						qualification information	
7							
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink	2448-		
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name	DC		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information			
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	VAS Design Inc.	4265-		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW				
1	PRELIMINARY REVIEW.	APR. 12/17	GW				
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. This drawing is not to be scaled.			



VA3
DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

HIGHGROVE 2

project name	municipality	project no.
RUSSELL GARDENS PH.2	WATERDOWN, ON.	16036
date APRIL 2017		drawing no.
FRONT & REAR ELEVATION '3'		A4b
drawn by	checked by	scale
-	3/16" = 1'-0"	file name
		16036-HIGHGROVE 2

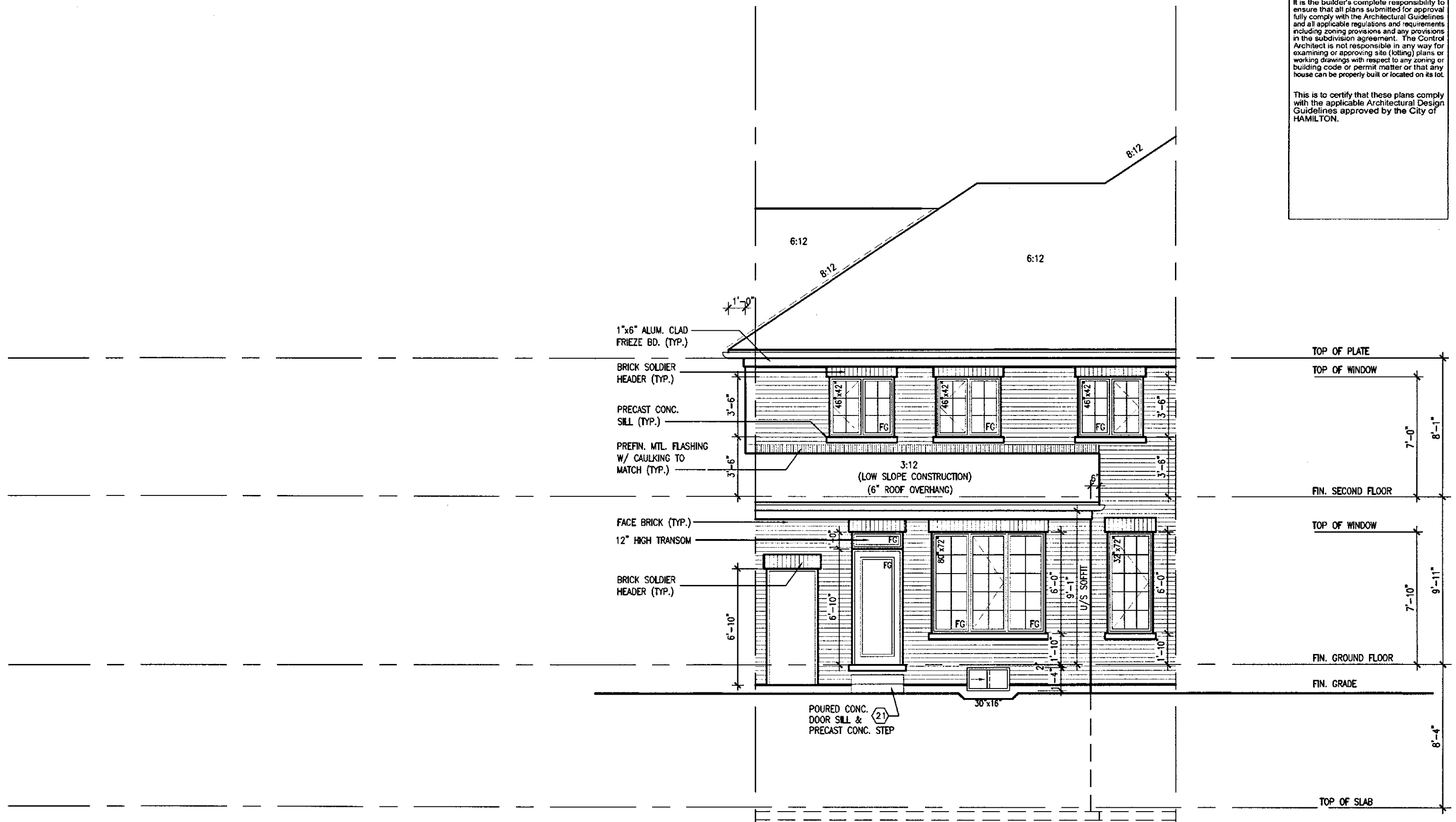
A4b

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1796 SF.

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UPGRADED REAR ELEVATION
ELEV. 1

OCT 04 2017

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink 24488
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name signature BCN
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information 42658
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	VA3 Design Inc.
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	

VA3
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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2

date
APRIL 2017

checked by
3/16" = 1'-0"

scale
3/16" = 1'-0"

HIGHGROVE 2

project no.
16036

drawing no.
A5

file name
16036-HIGHGROVE 2

date
APRIL 2017

checked by
3/16" = 1'-0"

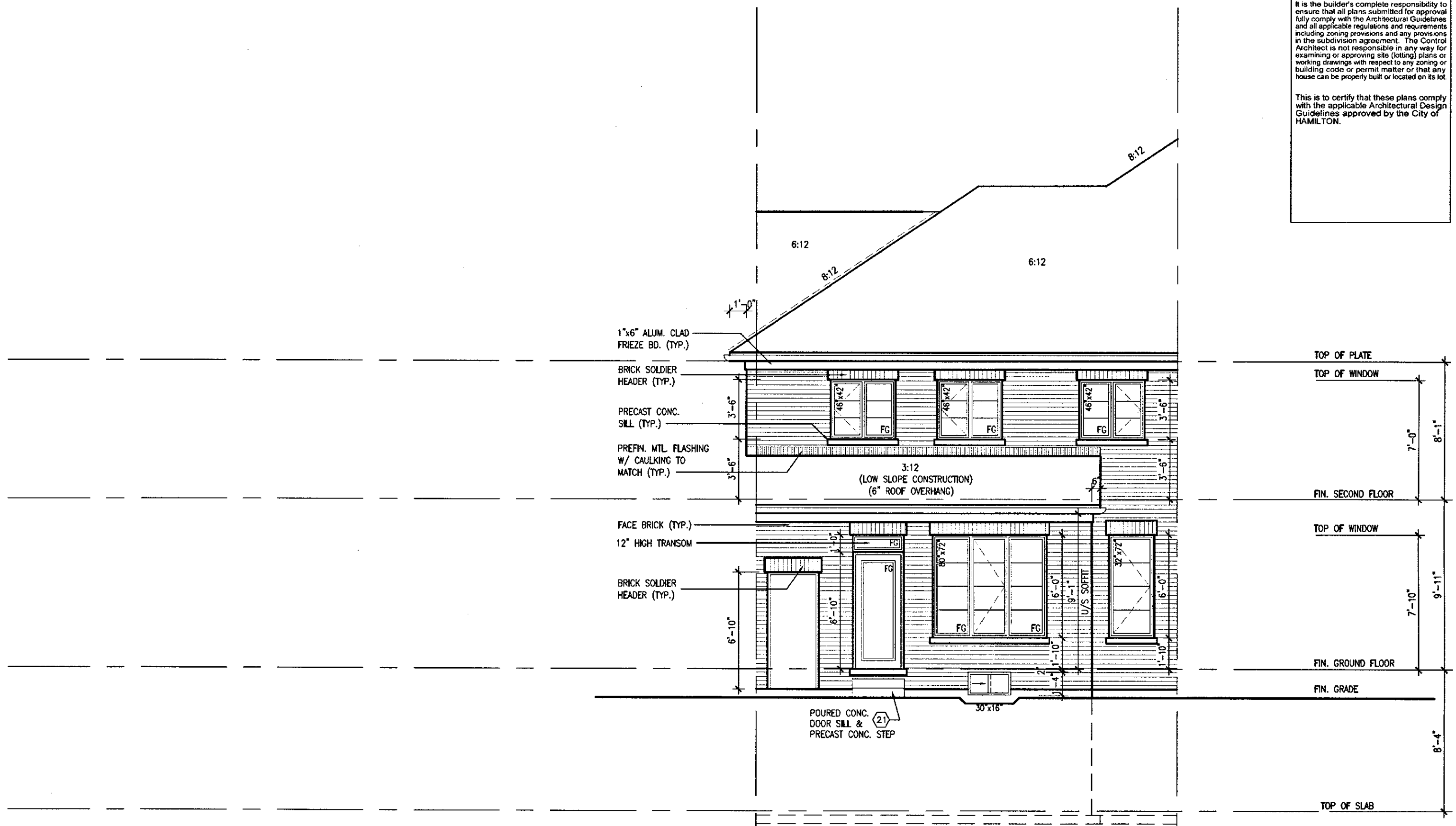
scale
3/16" = 1'-0"

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1796 SF.

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UPGRADED REAR ELEVATION
ELEV. 2

OCT 04 2017

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink 24488
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name 80K
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information 42658
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN. 12/17	GW	VA3 Design Inc.
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	

VA3
DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name **RUSSELL GARDENS PH.2** municipality **WATERDOWN, ON.**

HIGHGROVE 2

project no. **16036**

date **APRIL 2017** checked by **3/16" = 1'-0"** scale **16036-HIGHGROVE 2.dwg** drawing no. **16036-HIGHGROVE 2**

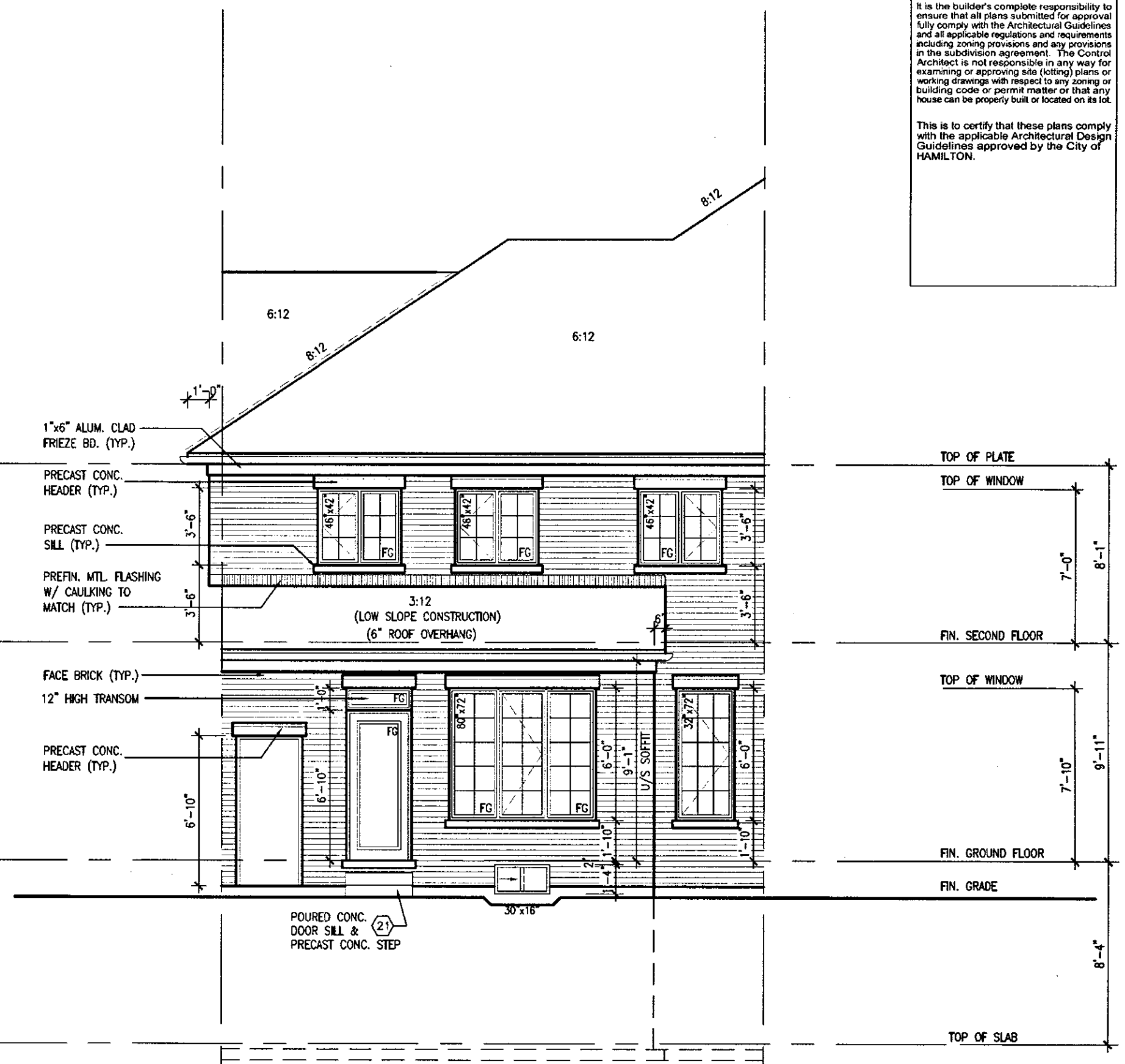
A5a

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1796 SF.

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UPGRADED REAR ELEVATION
ELEV. 3

OCT 0 4 2017

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink 24488
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name signature BCK
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information 42658
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	VA3 Design Inc.
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	
1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name **RUSSELL GARDENS PH.2** municipality **WATERDOWN, ON.**

date **APRIL 2017** checked by **3/16" = 1'-0"** scale **16036-HIGHGROVE 2**

drawing no. **A5b**

HIGHGROVE 2

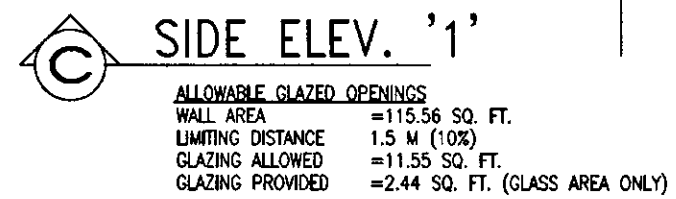
project no. **16036**

drawing no. **A5b**

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



FEB 15 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.	HIGHGROVE 2	project no. 16036
8	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	qualification information					
9	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink <i>R Vink</i> 24483 signature BCC					
10	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	name registration information VA3 Design Inc. 42658					
11	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.	HIGHGROVE 2	project no. 16036
12	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW						
13	PRELIMINARY REVIEW.	APR 25/17	GW						
14	description	date	by						

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SECTION A-A ELEV. 2

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW		qualification information
6	REVISED. ISSUED FOR PERMIT	SEP. 22/17	GW		Richard Vink 244
5	ISSUED FOR PRICING.	AUG. 23/17	GW		name  244
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		registration information
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		VAS Design Inc. 428
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the proper use of the Designer which must be returned at the completion of the project. Drawings are not to be scaled.
1	PRELIMINARY REVIEW.	APR 25/17	GW		
no.	description		date		

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[illegible]

HIGHGROVE 2

SECTION A-A ELEV 2

file name
16036-HIGHGROVE 2
A6a

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ALLOWABLE GLAZED OPENINGS

WALL AREA	=115.56 SQ. FT.
LIMITING DISTANCE	1.5 M (10%)
GLAZING ALLOWED	=11.55 SQ. FT.
GLAZING PROVIDED	=2.44 SQ. FT. (GLASS AREA ONLY)



FEB 15 2018

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'



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8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/16	GW	qualification information			
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink 24488 signature			
6	ISSUED FOR PRICING.	AUG. 23/17	GW	name BCH			
5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information VA3 Design Inc. 42658			
4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
3	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW				
2	PRELIMINARY REVIEW.	APR 25/17	GW				
1	description	date	by				

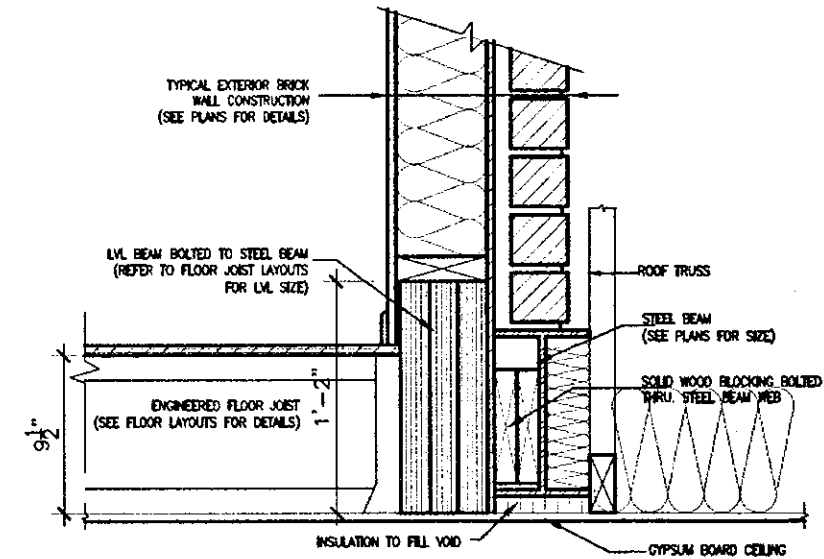
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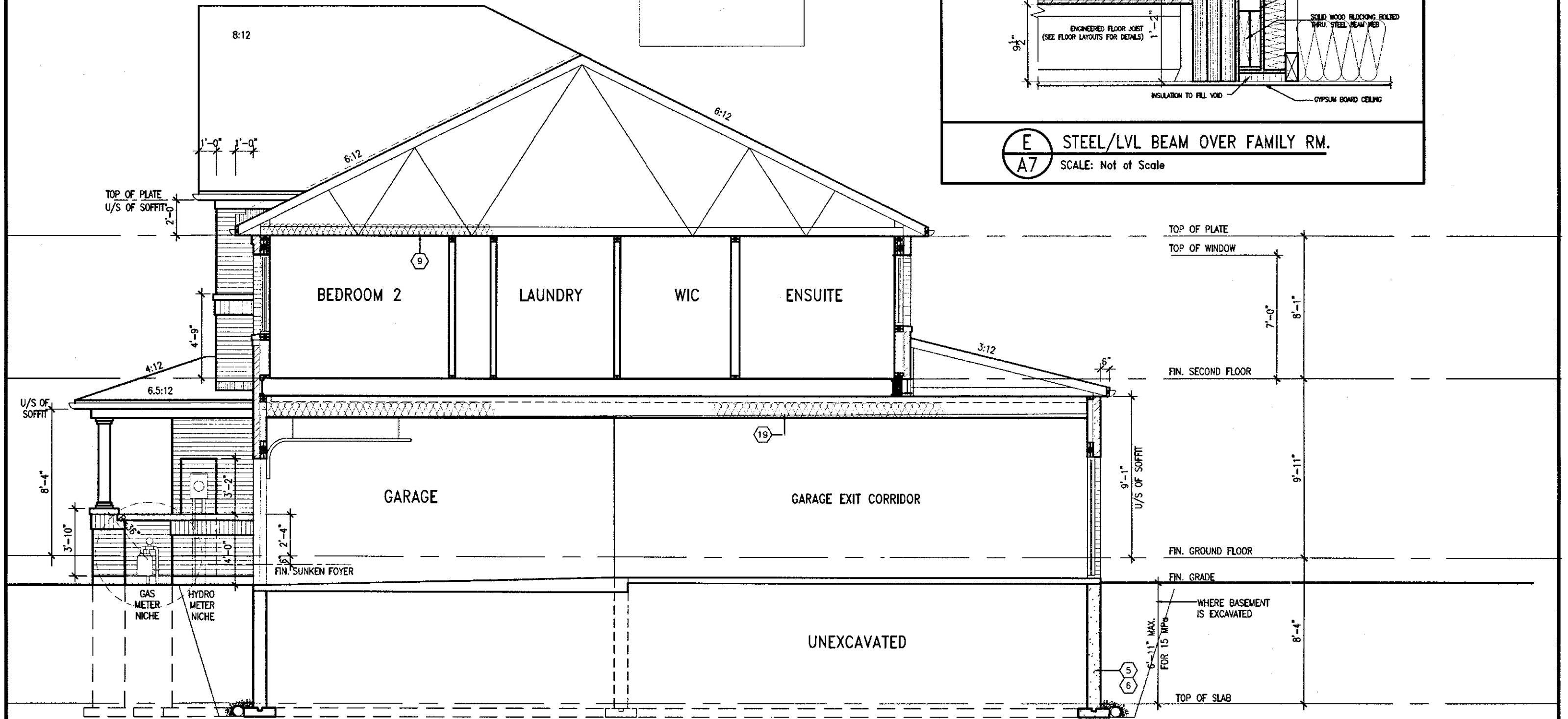
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HIGHGROVE 2- BEAMS OVER FAMILY ROOM

1796 SF.



E STEEL/LVL BEAM OVER FAMILY RM.
A7 SCALE: Not of Scale



SECTION B-B
ELEV. 1



3	REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW	qualification information
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink
5	ISSUED FOR PRICING.	AUG. 23/17	GW	signature
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	BCN
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	24488
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	registration information
1	PRELIMINARY REVIEW.	APR. 12/17	GW	VAS Design Inc.
no.	description	date	by	42658

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
checked by
scale
3/16" = 1'-0"

HIGHGROVE 2
project no.
16036
SECTION B-B ELEV. 1
drawing no.
A7

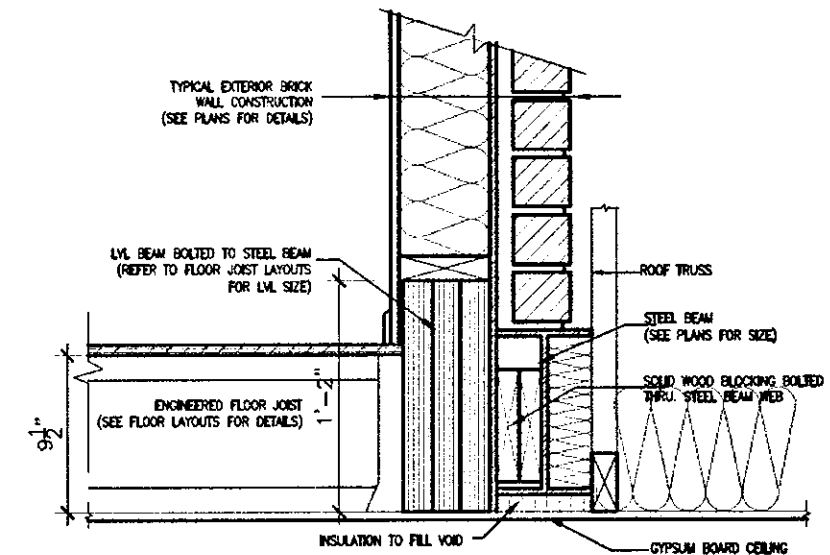
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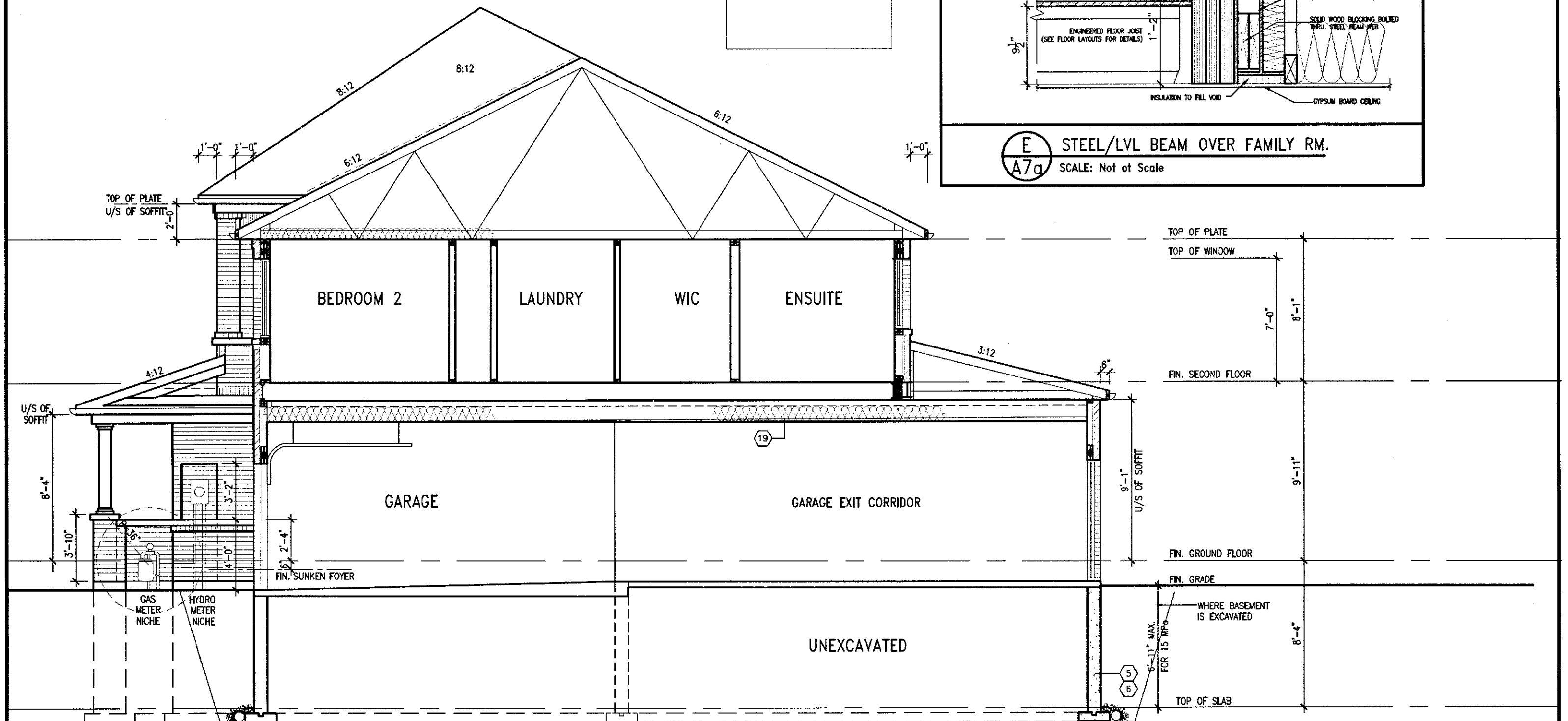
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

HIGHGROVE 2- BEAMS OVER FAMILY ROOM

1796 SF.



E STEEL/LVL BEAM OVER FAMILY RM.
A7a SCALE: Not at Scale



SECTION B-B
ELEV. 2

APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'



9					
8	REVISED.	APR. 13/18	GW		
7	REV. PER CITY COMMENTS, REISSUED.	FEB. 08/18	GW		
6	REVISED. ISSUED FOR PERMIT.	S.P. 22/17	GW		
5	ISSUED FOR PRICING.	AUG. 23/17	GW		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCN
name
registration information
VA3 Design Inc.
42658



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name
RUSSELL GARDENS PH.2
date
APRIL 2017
checked by
scale
3/16" = 1'-0"

HIGHGROVE 2

SECTION B-B ELEV. 2

project no.
16036

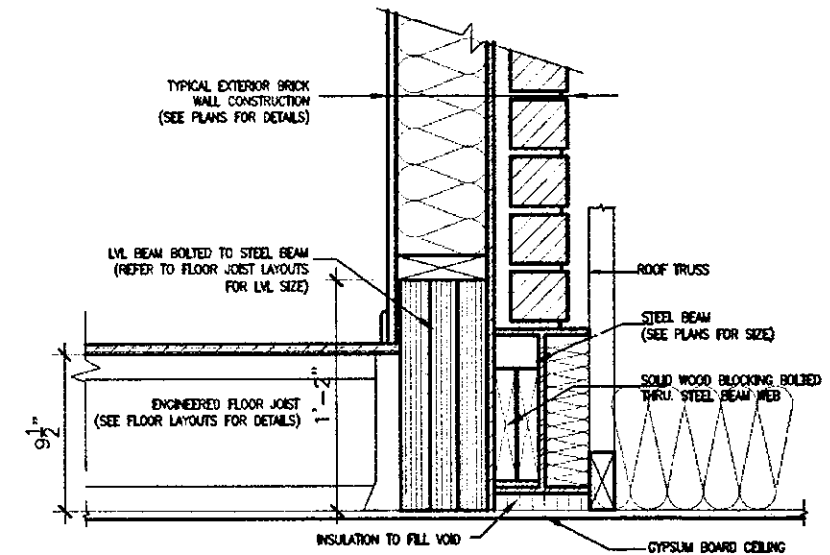
drawing no.
A7a

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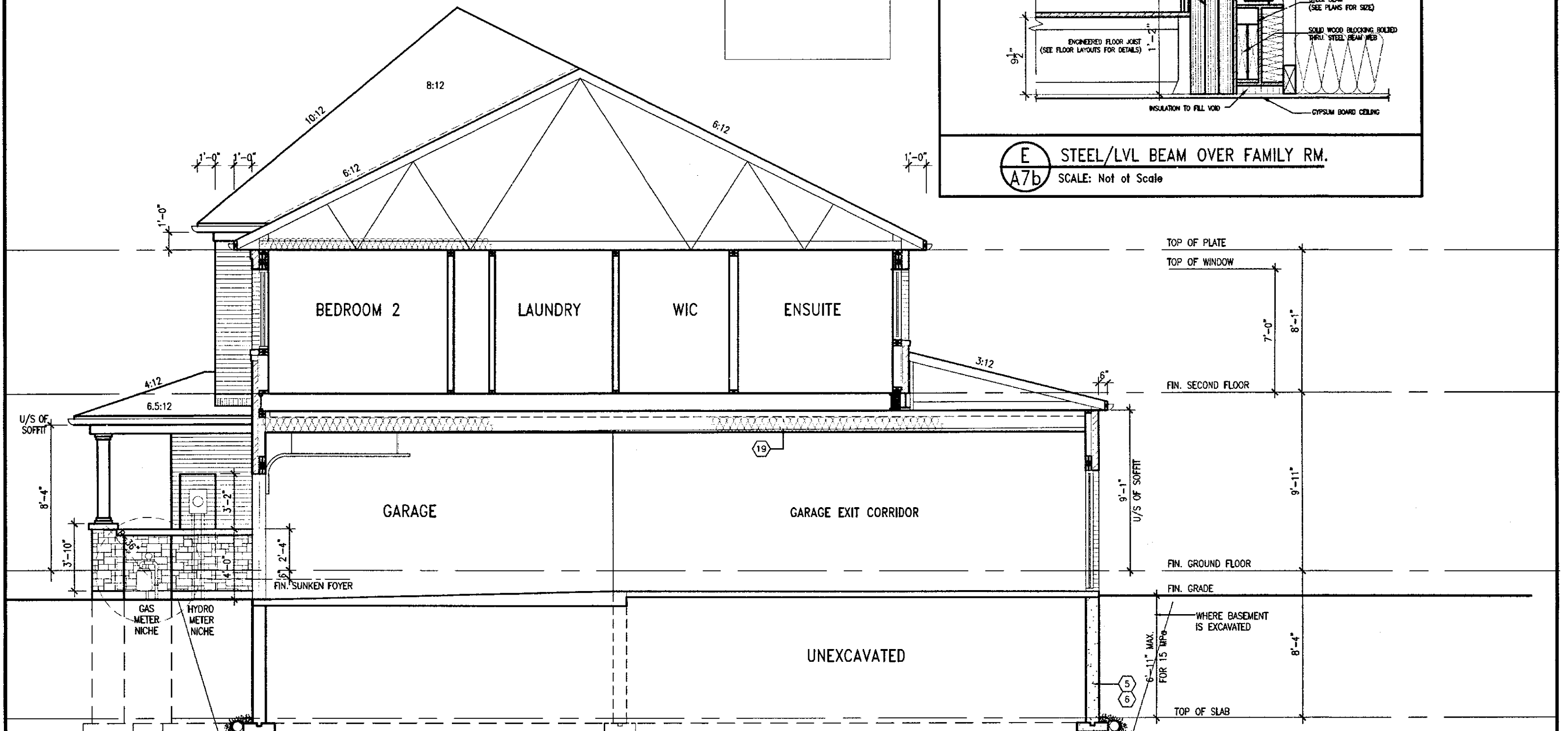
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

HIGHGROVE 2- BEAMS OVER FAMILY ROOM

1796 SF.



E STEEL/LVL BEAM OVER FAMILY RM.
A7b SCALE: Not of Scale



SECTION B-B
ELEV. 3

APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'



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3				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REVISED.	APR. 13/18	GW	qualification information
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW	Richard Vink 24488
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	signature
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN. 12/17	GW	VAS Design Inc. 42658
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	



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vasdesign.com



project name	RUSSELL GARDENS PH.2	municipality	WATERDOWN, ON.	project no.	16036
date	APRIL 2017	checked by	scale	SECTION B-B ELEV. 3	drawing no.
drawn by			3/16" = 1'-0"	16036-HIGHGROVE 2	A7b

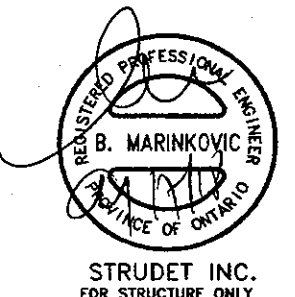
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1796 SF.

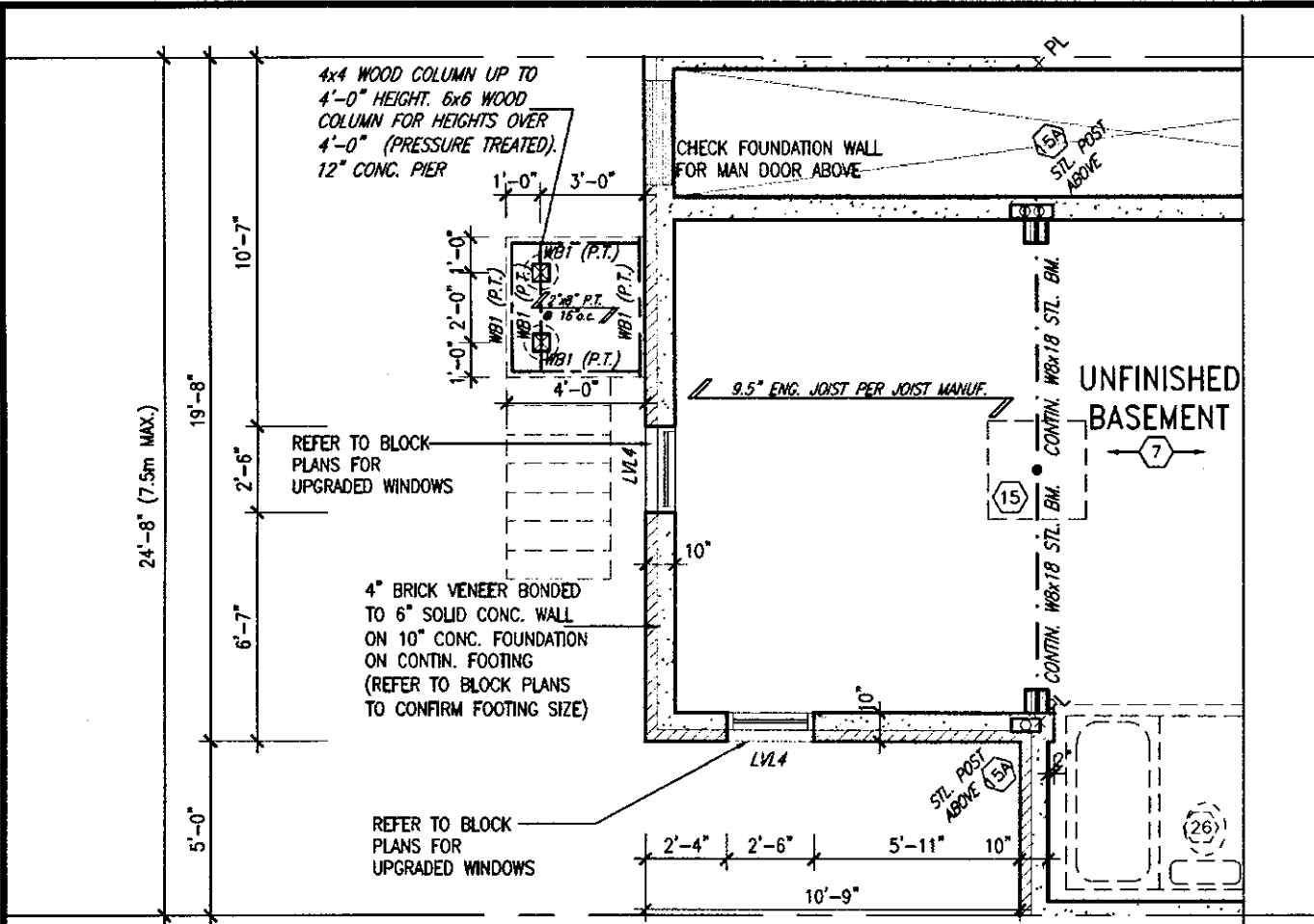
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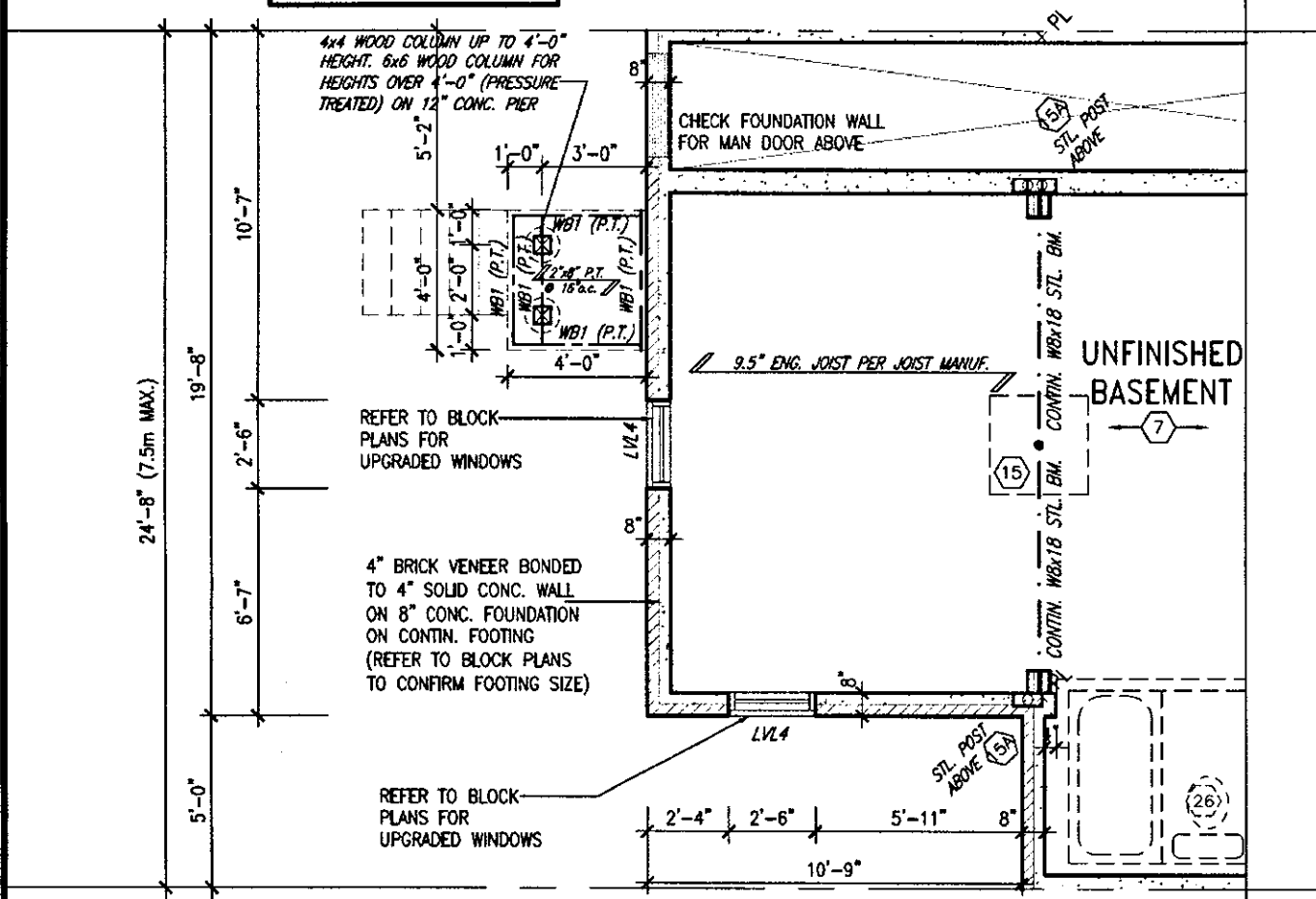
WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.



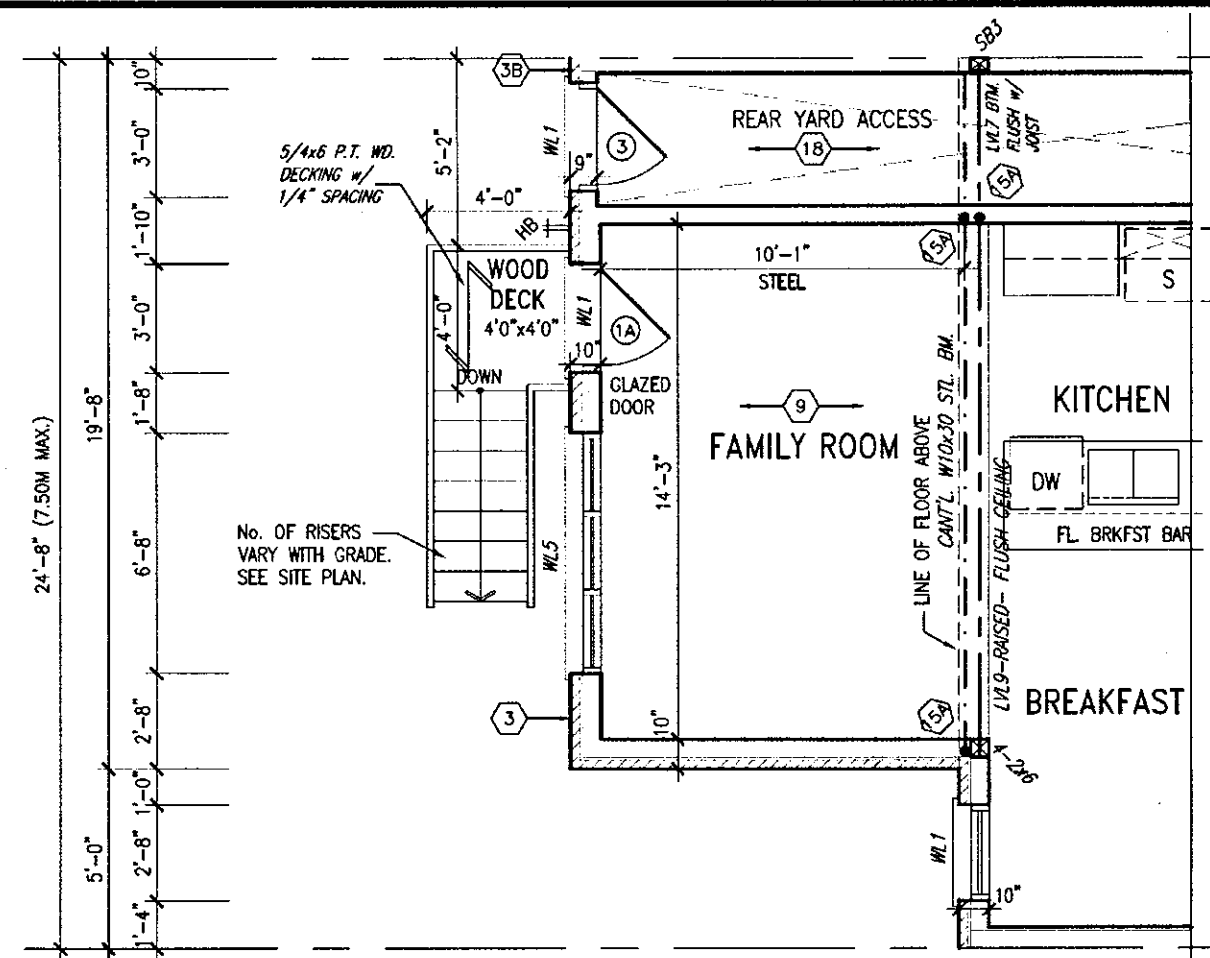
APR 17 2018



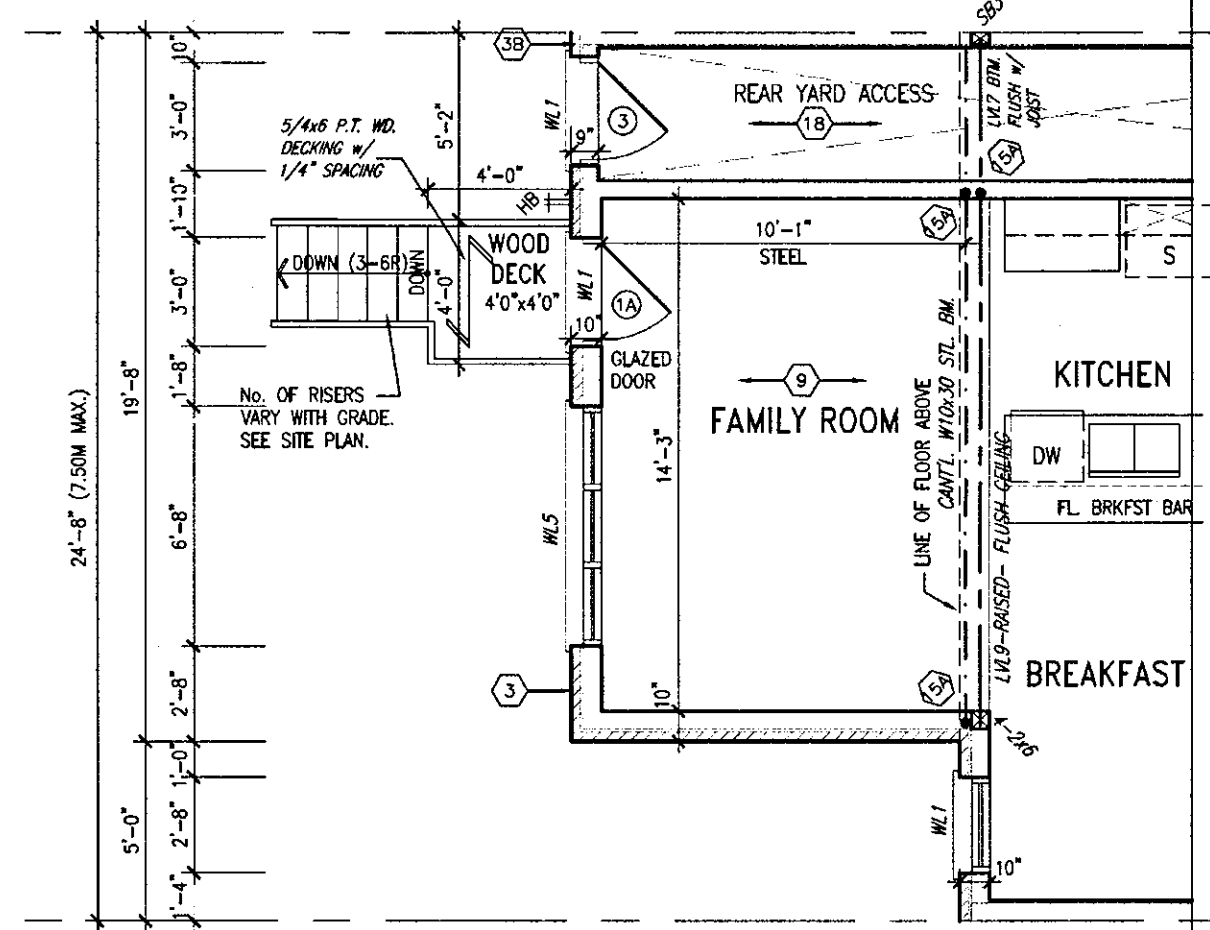
PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)



PART. BASEMENT PLAN W.O.D
CONDITION (4R TO 7R MAX.)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN W.O.D
CONDITION (4R TO 7R MAX.)

HIGHGROVE-2
COMPLIANCE PACKAGE 'A1'

9	REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW	qualification information
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink
6	ISSUED FOR PRICING.	AUG. 23/17	GW	name
5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information
4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	VAS Design Inc.
3	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	signature
2	PRELIMINARY REVIEW.	APR. 12/17	GW	signature
1	description	date	by	signature

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vasdesign.com

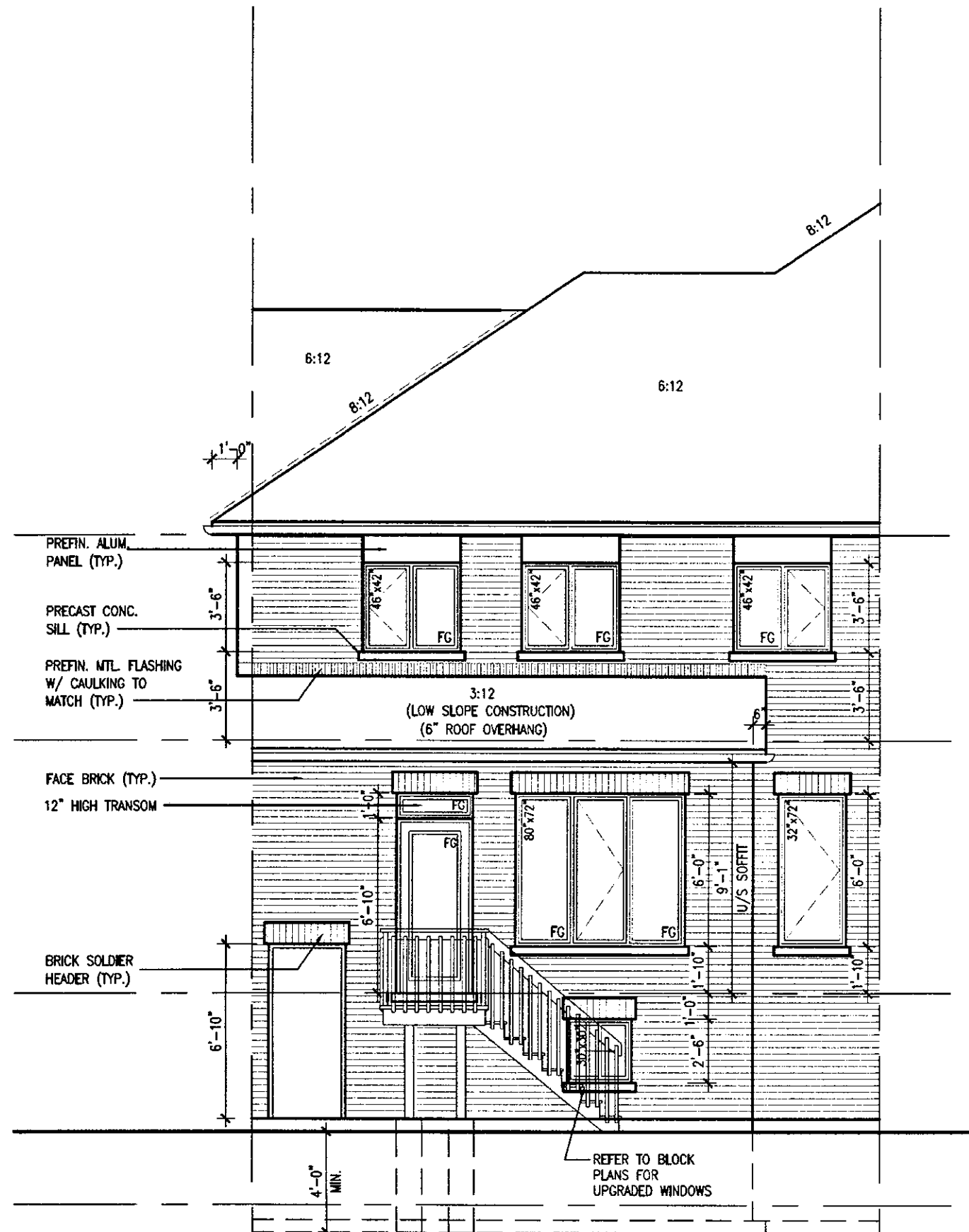
Greenpark.	HIGHGROVE 2
project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.
date APRIL 2017	project no. 16036
drawn by checked by scale 3/16" = 1'-0"	drawing no. A8
PART. PLANS- DECK CONDITION	
16036-HIGHGROVE 2	

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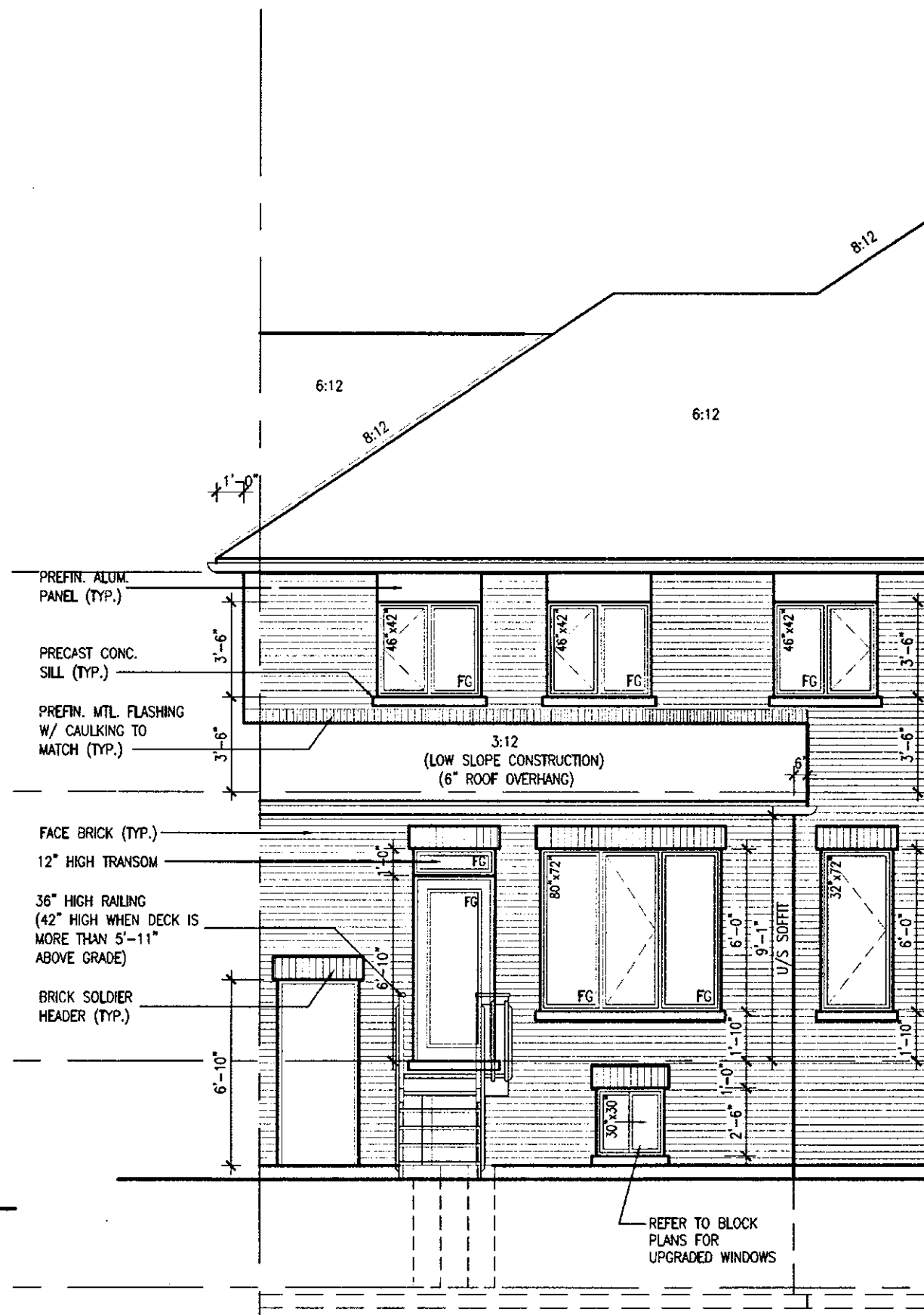
1796 SF.

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REAR ELEVATION-ELEV. 1/2/3
DECK CONDITION
(8R OR MORE)



REAR ELEVATION-ELEV. 1/2/3
DECK CONDITION
(4R TO 7R MAX)

APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

9	REVISED.	APR. 13/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
4	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
3	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
2	PRELIMINARY REVIEW.	APR. 12/17	GW
1	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
signature
24488
BCR
42658
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
Project name
RUSSELL GARDENS PH.2
Municipality
WATERDOWN, ON.
date
APRIL 2017
drawn by
checked by
scale
3/16" = 1'-0"

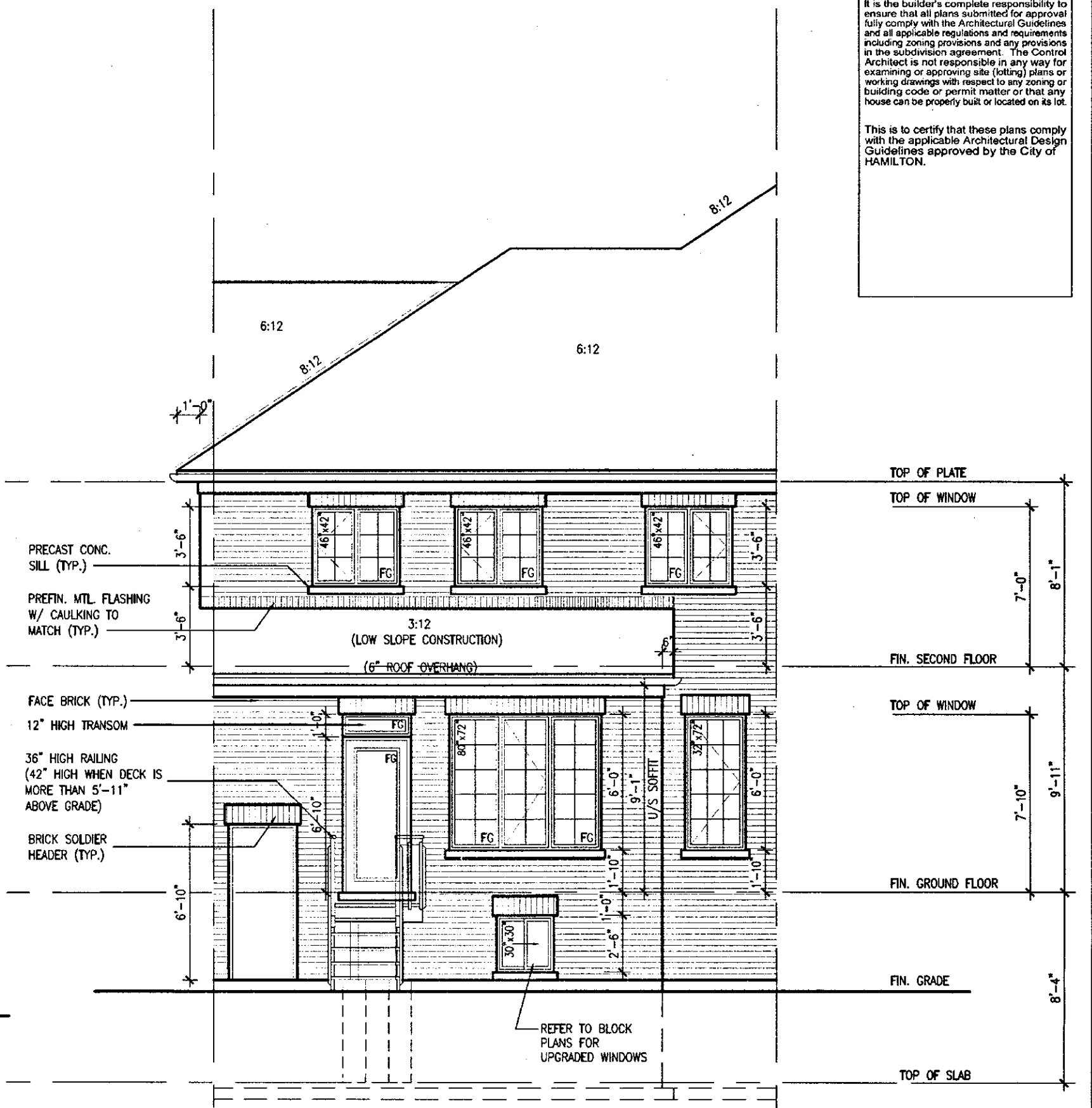
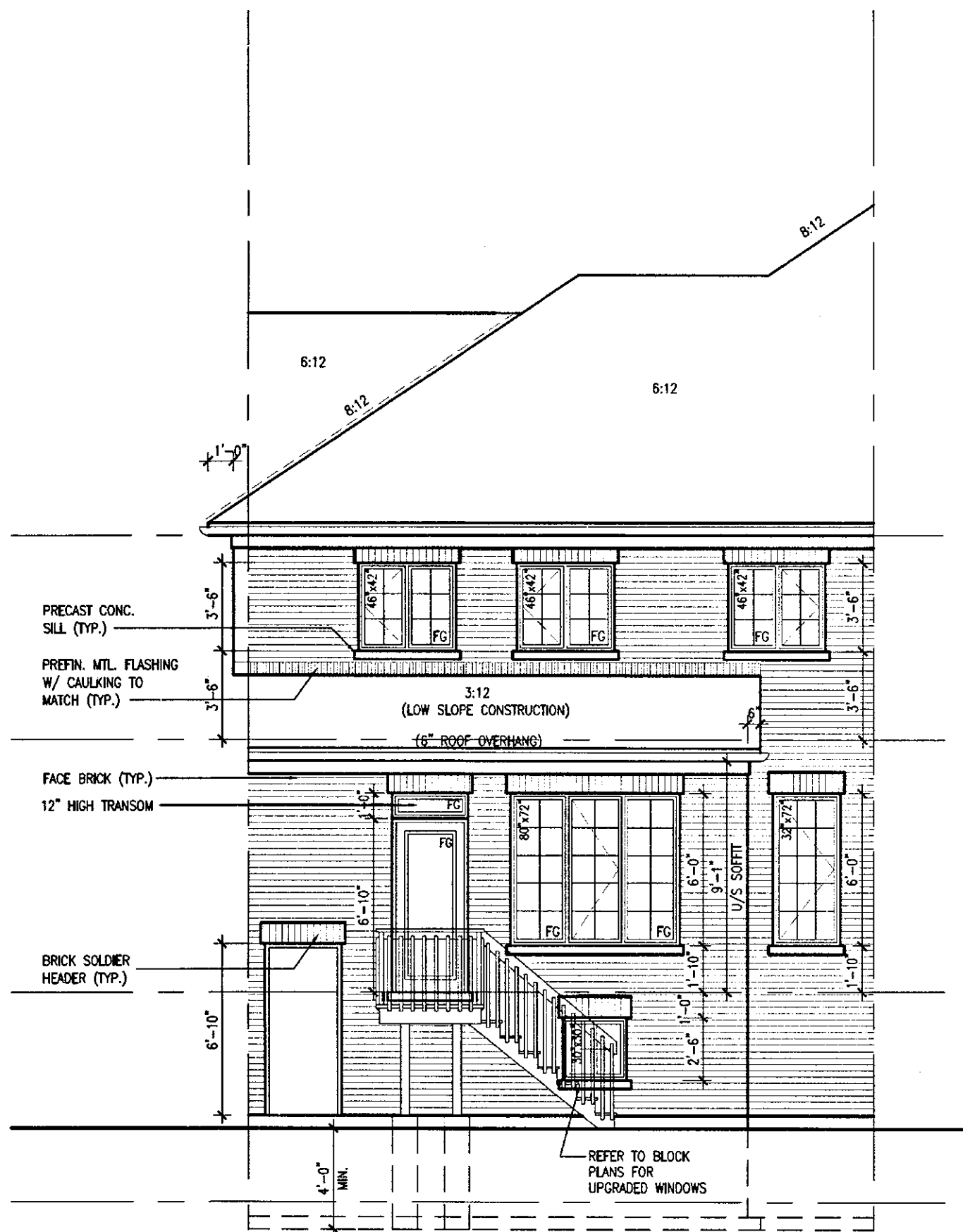
HIGHGROVE 2
Project no.
16036
drawing no.
A9

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1796 SF.

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APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

9	REVISED	APR. 13/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
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5	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
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3	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
2	PRELIMINARY REVIEW.	APR. 12/17	GW
1	description	date	by

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Richard Vink 24488 BCR
signature
name registration information
VA3 Design Inc. 42658

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Greenpark.
Project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
checked by
scale
3/16" = 1'-0"

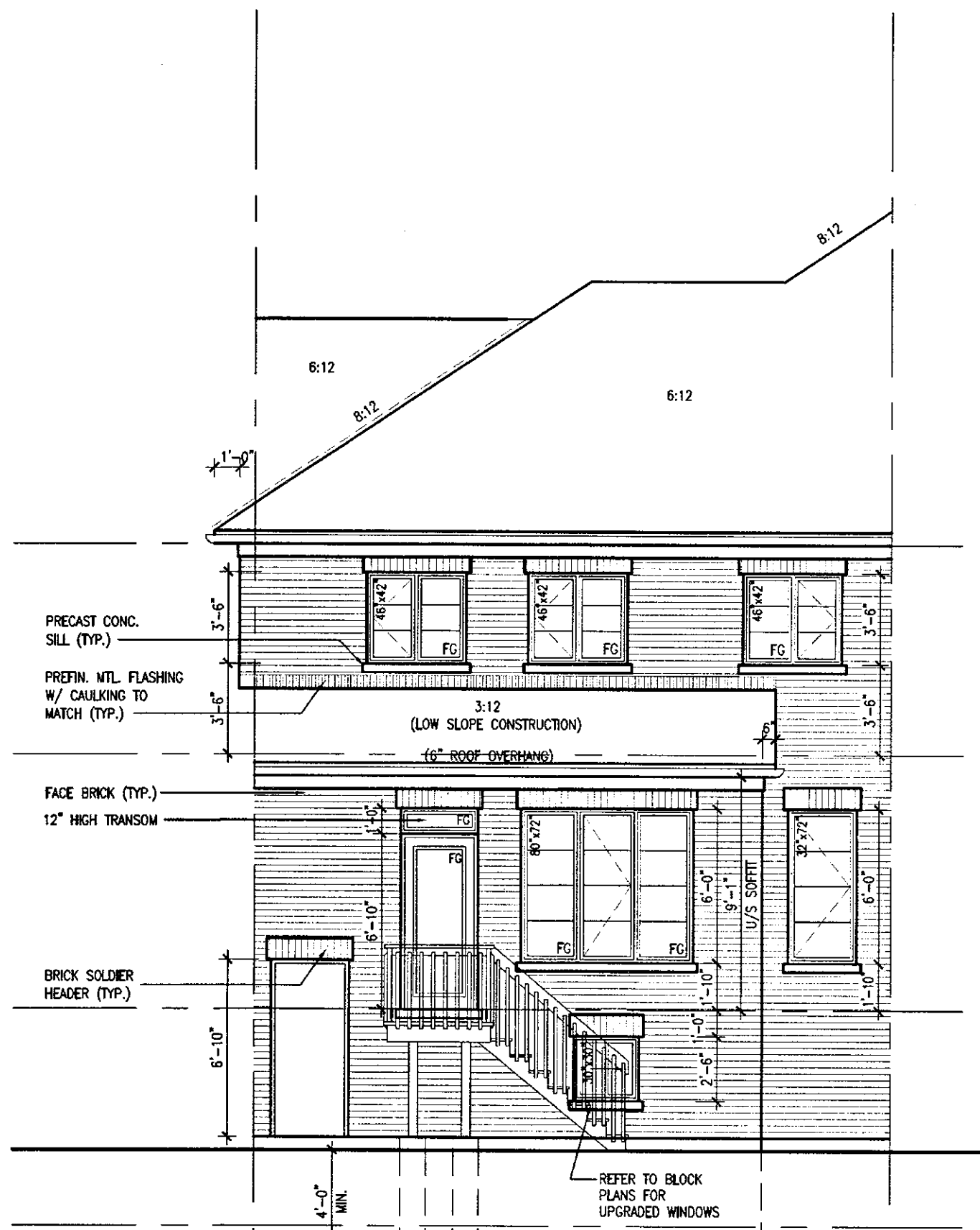
HIGHGROVE 2
project no.
16036
drawing no.
A10
file name
16036-HIGHGROVE 2

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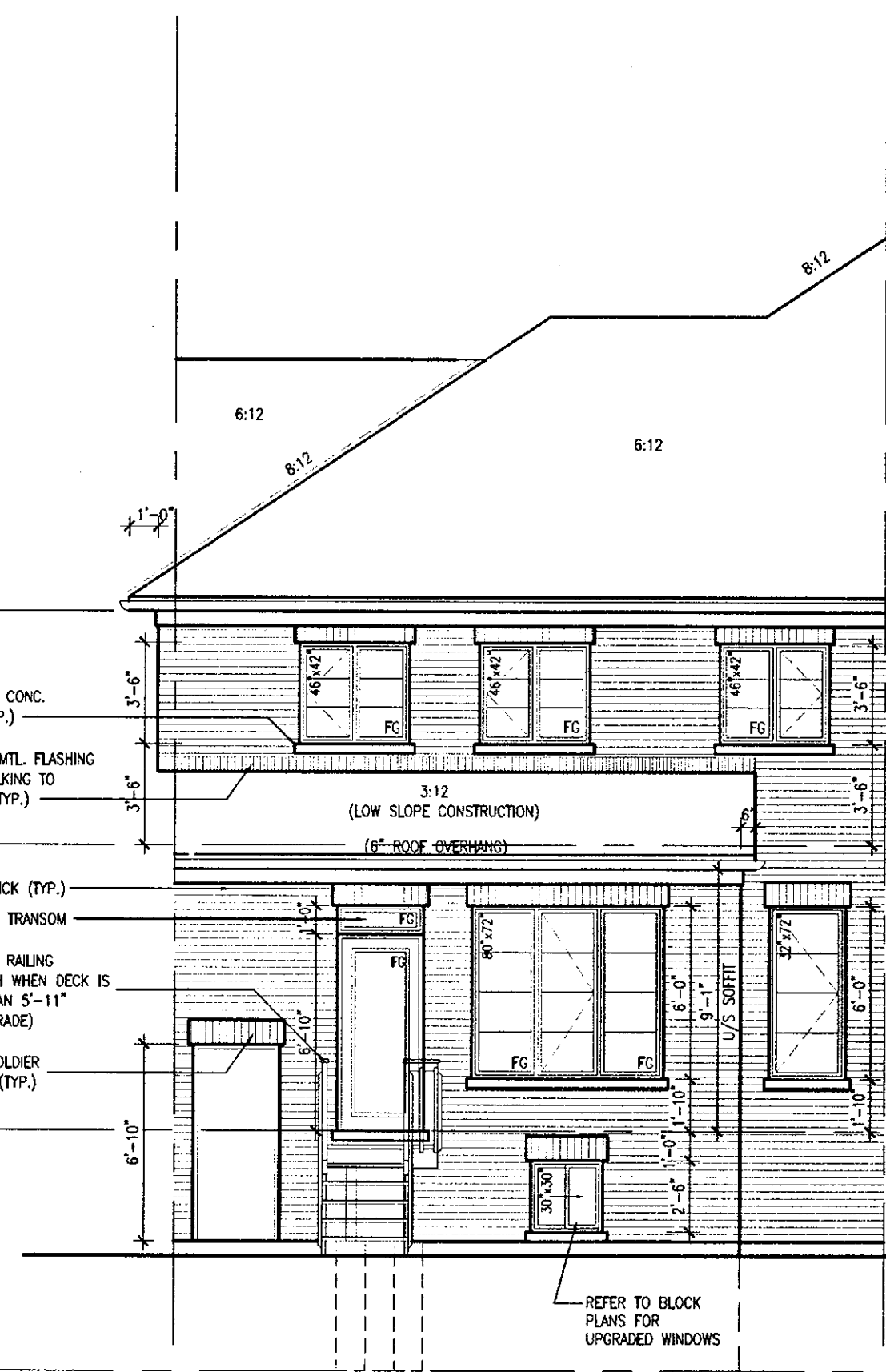
1796 SF.

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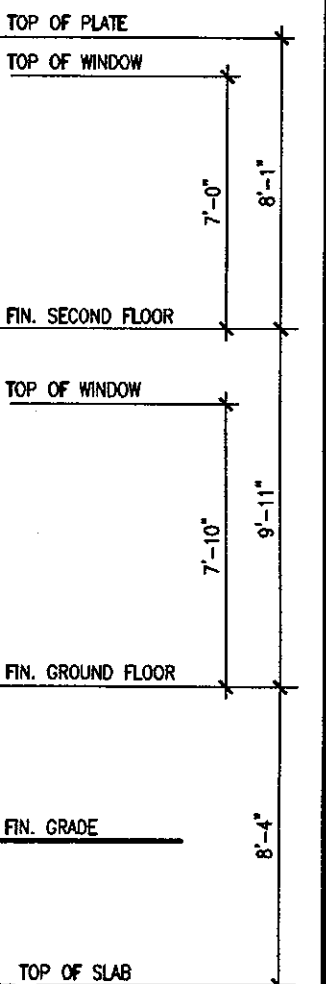
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



UPGRADED REAR ELEVATION-ELEV. 2
DECK CONDITION
(8R OR MORE)



UPGRADED REAR ELEVATION-ELEV. 2
DECK CONDITION
(4R TO 7R MAX)



APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

9					
8	REVISED.	APR. 13/18	GW		
7	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW		
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW		
5	ISSUED FOR PRICING.	AUG. 23/17	GW		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
name
registration information
VA3 Design Inc.
24488
BCN
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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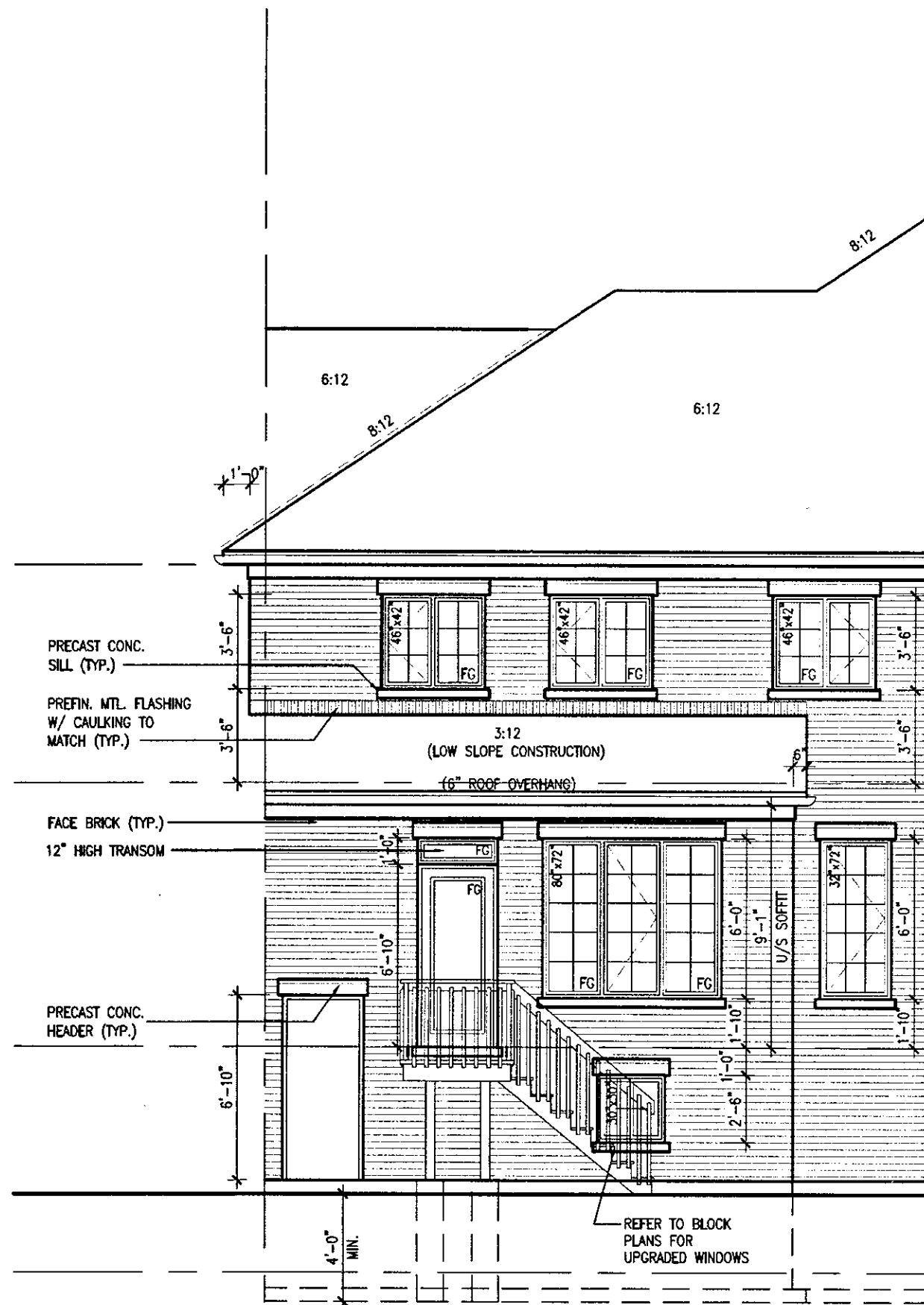
Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
drawn by
checked by
scale
3/16" = 1'-0"

HIGHGROVE 2
project no.
16036
drawing no.
A10a
file name
16036-HIGHGROVE 2

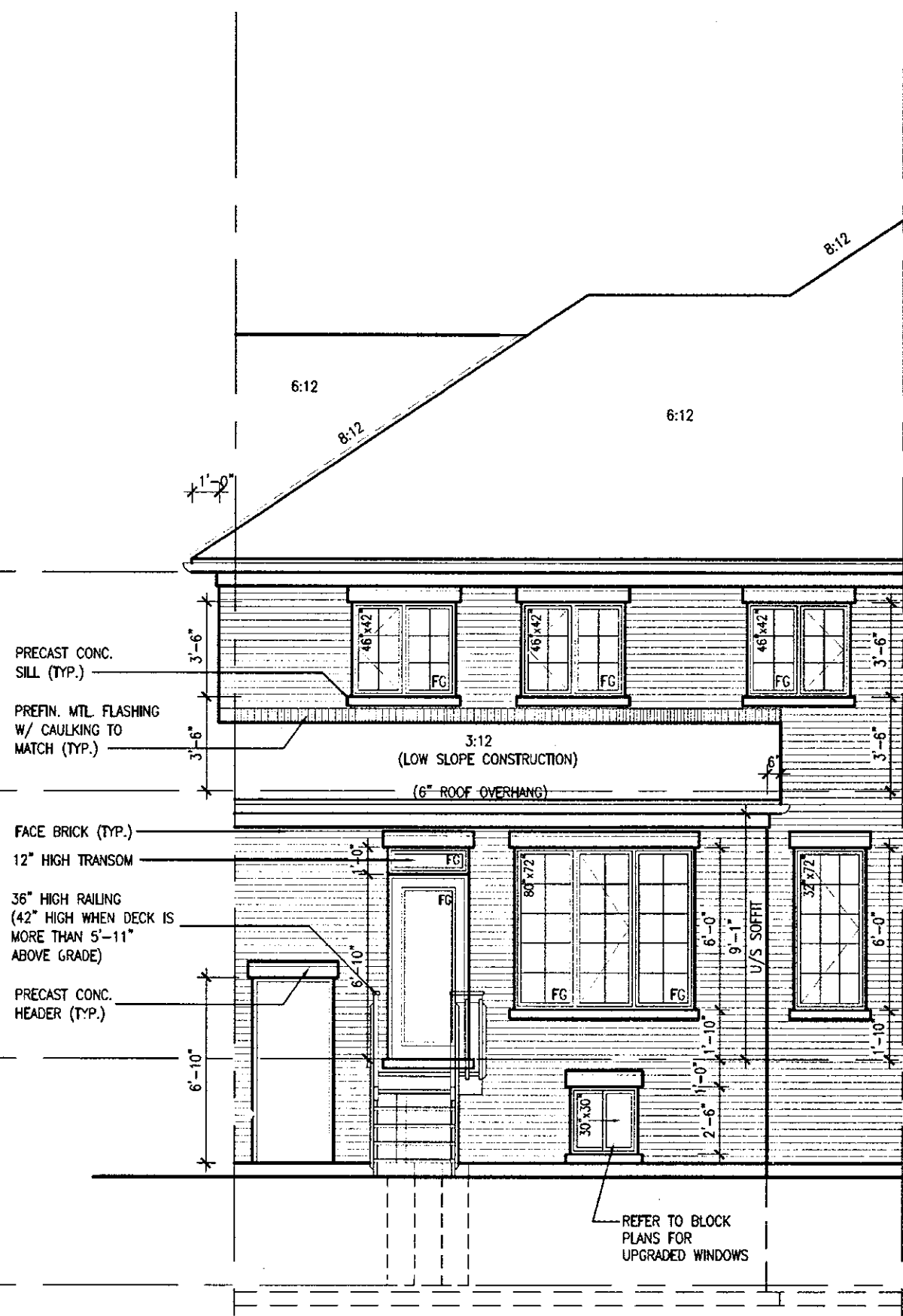
1796 SF.

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UPGRADED REAR ELEVATION-ELEV. 3
DECK CONDITION
(8R OR MORE)



UPGRADED REAR ELEVATION-ELEV. 3
DECK CONDITION
(4R TO 7R MAX)

APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

9					
8	REVISED.	APR. 13/18	GW		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7	REV. PER CITY COMMENTS. REISSUED.	FEB 08/18	GW		qualification information
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW		Richard Vink 24488
5	ISSUED FOR PRICING.	AUG. 23/17	GW		name registration information
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		VA3 Design Inc. 42658
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		

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va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
APRIL 2017
checked by
3/16" = 1'-0"
scale
16036-HIGHGROVE 2

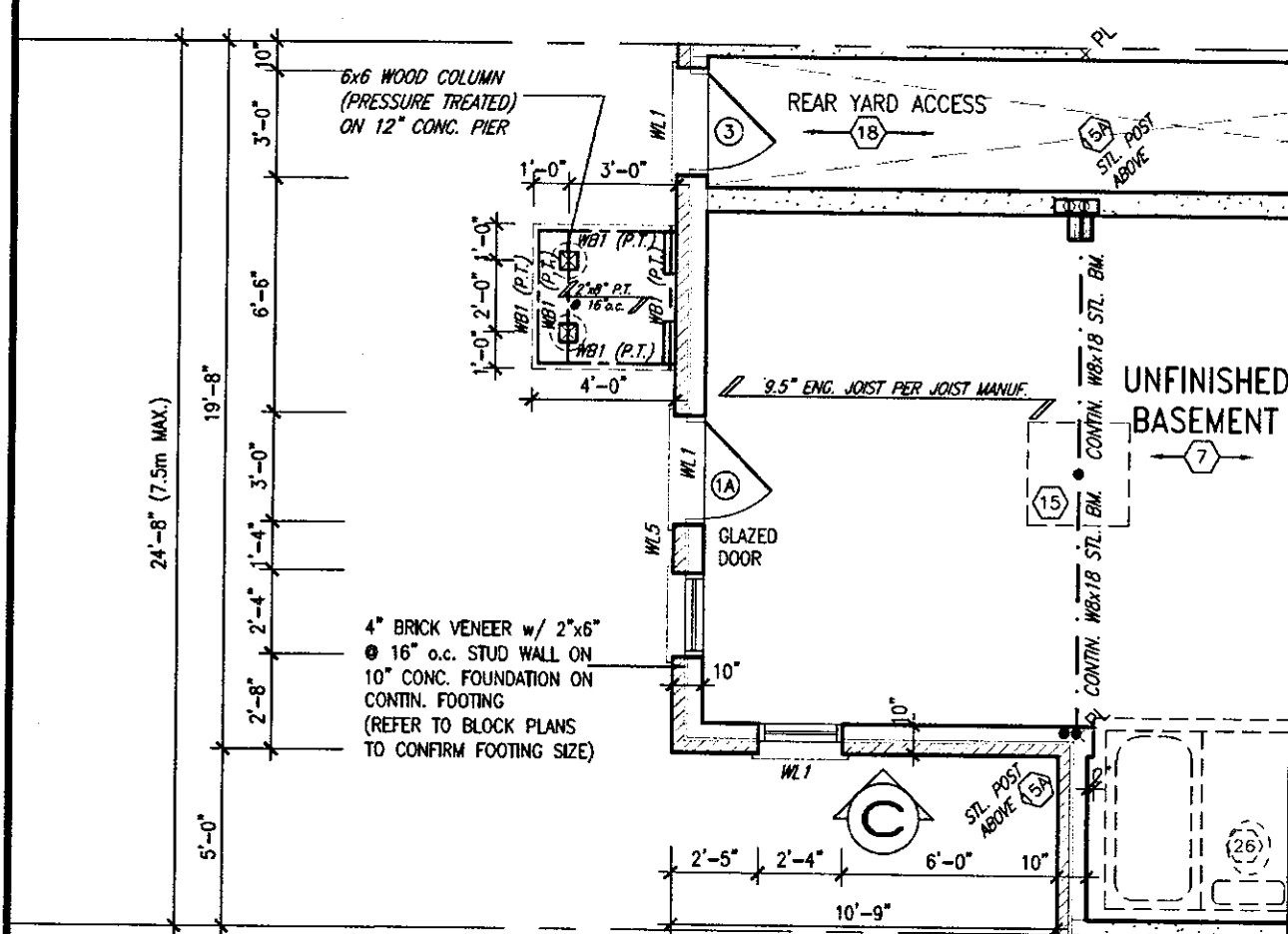
HIGHGROVE 2
project no.
16036
drawing no.
A10b

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1796 SF.

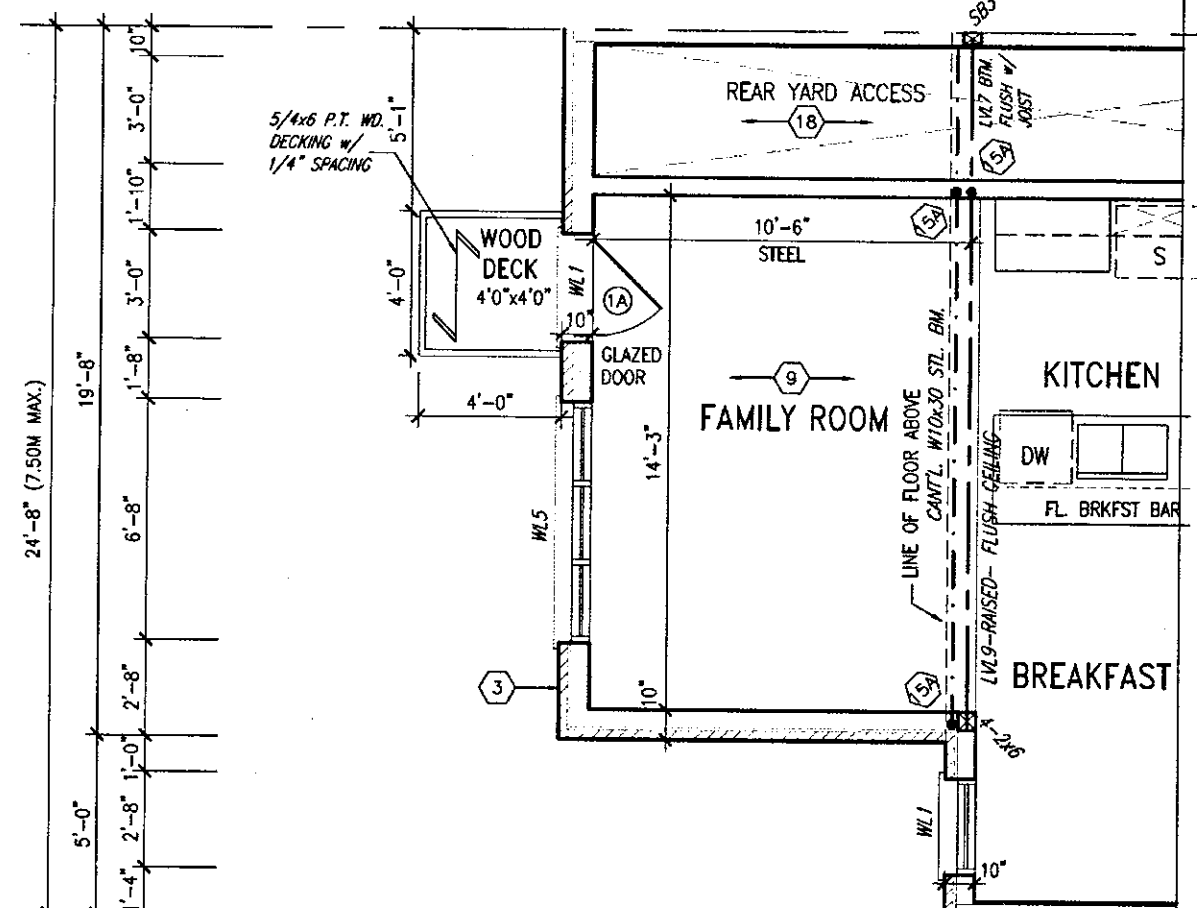
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VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

PART. BASEMENT PLAN
W.O.B CONDITION



LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2)
FOR ADDITIONAL WOOD DECK INFORMATION.

PART. GROUND FLOOR PLAN
W.O.B CONDITION



APR 17 2018

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

<p>9. REVISED. APR. 13/18 GW</p> <p>7. REV. PER CITY COMMENTS. REISSUED. FEB. 08/18 GW</p> <p>6. REVISED. ISSUED FOR PERMIT. SEP. 22/17 GW</p> <p>5. ISSUED FOR PRICING. AUG. 23/17 GW</p> <p>4. REVISED AS PER CLIENT COMMENTS. JUN. 21/17 WT</p> <p>3. CHANGED JOIST DEPTH/ FLOOR HEIGHTS. JUN. 12/17 GW</p> <p>2. REVISED PER CLIENT COMMENTS. APR. 27/17 GW</p> <p>1. PRELIMINARY REVIEW. APR. 12/17 GW</p> <p>no. description date by</p>	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488</p> <p>name BCU</p> <p>registration information</p> <p>VAS Design Inc. 42658</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	<p>VAS DESIGN</p> <p>255 Consumers Rd Suite 120</p> <p>Toronto ON M2J 1R4</p> <p>t 416.630.2255 f 416.630.4782</p> <p>vasdesign.com</p>	<p>Greenpark.</p> <p>project name</p> <p>RUSSELL GARDENS PH.2 WATERDOWN, ON.</p> <p>date</p> <p>APRIL 2017</p> <p>drawn by</p> <p>checked by</p> <p>scale</p> <p>3/16" = 1'-0"</p>	<p>HIGHGROVE 2</p> <p>project no.</p> <p>16036</p> <p>drawing no.</p> <p>A11</p>
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Architectural drawings of a building facade, including a side elevation and a front elevation.

Side Elevation:

- Roof pitch: 3:12
- Soffit: 9'-1" U/S
- Window height: 2'-10"
- Window width: 2'-8"
- Minimum clearance: 4'-0" MIN.

Front Elevation:

- Roof pitch: 6:12, 8:12
- Roof overhang: 6" (LOW SLOPE CONSTRUCTION)
- Materials: PREFIN. ALUM. PANEL (TYP.), PRECAST CONC. SILL (TYP.), PREFIN. MTL. FLASHING W/ CAULKING TO MATCH (TYP.), FACE BRICK (TYP.), 12" HIGH TRANSOM
- Window dimensions: 46"x42", 60"x72", 32"x72", 28"x48"
- Door dimensions: 6'-10", 6'-10", 6'-10"
- Soffit: 9'-1" U/S
- Ground floor height: 6'-10"
- Second floor height: 6'-10"
- Roof height: 6'-10"

Vertical Dimensions (Right Side):

- TOP OF PLATE
- TOP OF WINDOW
- FIN. SECOND FLOOR
- TOP OF WINDOW
- FIN. GROUND FLOOR
- TOP OF WINDOW
- TOP OF DOOR
- TOP OF SLAB

Horizontal Dimensions (Right Side):

- 7'-0"
- 8'-1"
- 7'-10"
- 9'-11"
- 6'-10"
- 8'-4"

Text Box (Top Right):

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Text Box (Bottom Right):


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

WALL AREA	192.60 SQ. FT.
LIMITING DISTANCE	1.5 M (8.0%)
GLAZING ALLOWED	15.40 SQ. FT.
GLAZING PROVIDED	7.81 SQ. FT.

OCT 04 2017

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

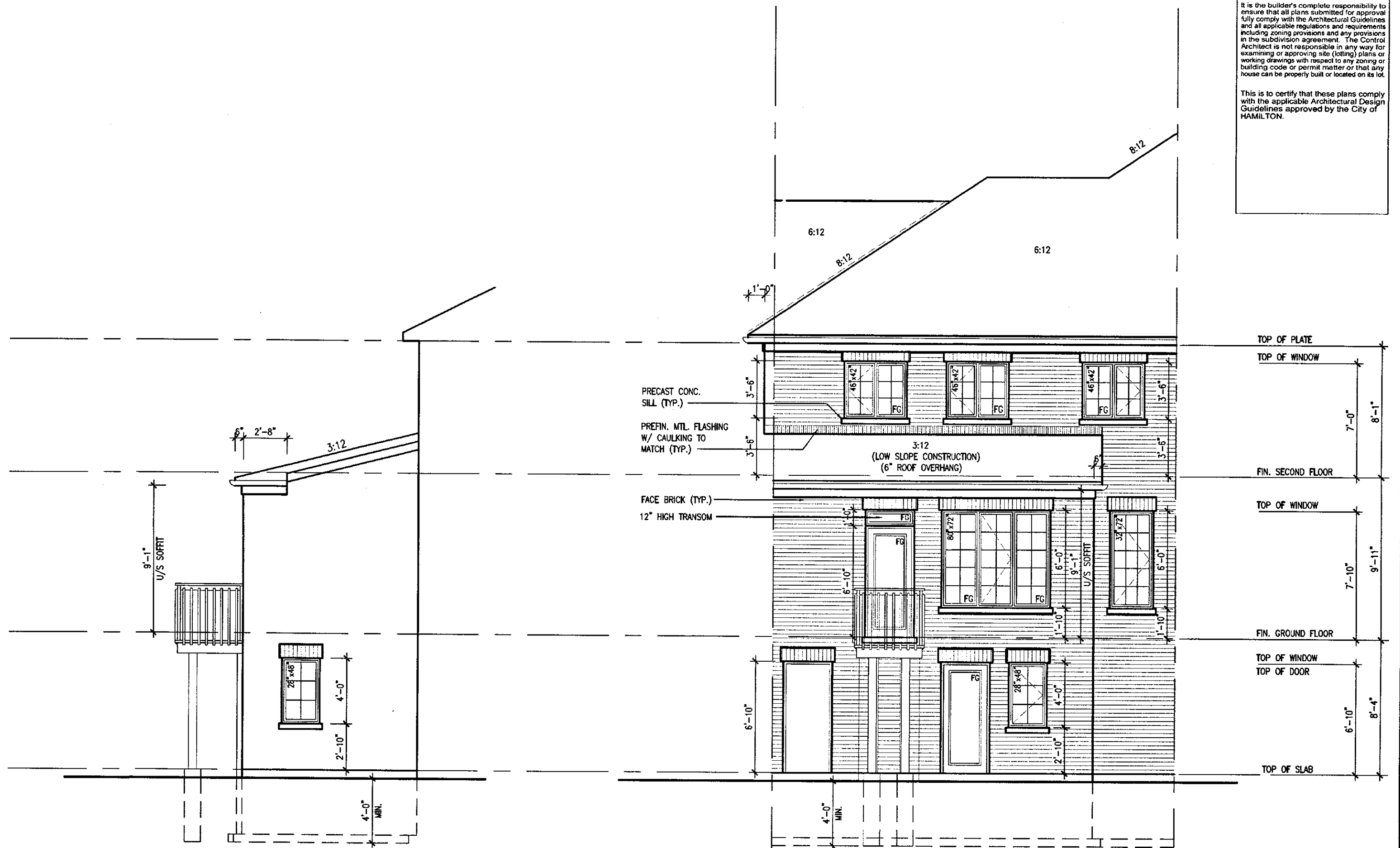
9				<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div><div><div>VA3</div><div>DESIGN</div></div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	<div><div></div><div>HIGHGROVE 2</div><div>-</div></div> <div><div>project name</div><div>RUSSELL GARDENS PH.2</div><div>project no.</div><div>16036</div></div> <div><div>date</div><div>APRIL 2017</div><div>drawing no.</div><div>A12</div></div> <div><div>checked by</div><div>scale</div><div>3/16" = 1'-0"</div><div>file name</div><div>16036-HIGHGROVE 2</div></div> <div><div>sheet - REAR ELEVATION 1-1 WOB CONDITION</div><div>16036-HIGHGROVE 2.dwg - Tue - Sep 28 2017 - 8:21 AM</div></div>	
8						
7						
6	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW			<div>Richard Vink</div> <div>signature</div> <div>24488</div>
5	ISSUED FOR PRICING.	AUG. 23/17	GW			<div>name</div> <div>BCN</div>
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	<div>registration information</div> <div>VA3 Design Inc.</div> <div>42658</div>		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW			
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW			
1	PRELIMINARY REVIEW.	APR. 12/17	GW			
no.	description	date	by	<div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property owner/contractor must be returned at the completion of the work. Drawings are not to be signed.</div>		

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1796 SF.

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© SIDE ELEV.
W.O.B. CONDITION

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LIMITING DISTANCE	1.5 M (8.0%)
GLAZING ALLOWED	15.40 SQ. FT.
GLAZING PROVIDED	7.81 SQ. FT.

UPGRADED REAR ELEVATION-ELEV. 1
WOB CONDITION

OCT 04 2017

HIGHGROVE-2 COMPLIANCE PACKAGE 'A1'

9					
8					
7					
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW		
5	ISSUED FOR PRICING.	AUG. 23/17	GW		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by		

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qualification information
Richard Vink 24488
name
signature
registration information
BCN
VIA Design Inc. 42658

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VIA
DESIGN

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t 416.630.2255 f 416.630.4782
via3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.

HIGHGROVE 2

project no.
16036

date
APRIL 2017
checked by
scale
3/16" = 1'-0"

UPGRADED REAR ELEV. 1- WOB CONDITION

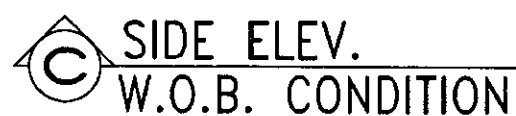
file name
16036-HIGHGROVE 2.dwg - Tue - Sep 26 2017 - 8:21 AM

drawing no.
A13

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LIMITING DISTANCE	1.5 M (8.0%)
GLAZING ALLOWED	15.40 SQ. FT.
GLAZING PROVIDED	7.81 SQ. FT.

UPGRADED REAR ELEVATION-ELEV. 2
WOB CONDITION

OCT 04 2017

HIGHGROVE-2


COMPLIANCE PACKAGE 'A1'

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 HIGHGROVE 2	
8				qualification information			project name RUSSELL GARDENS PH.2 municipality WATERDOWN, ON. project no. 16036
7							
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink  24488			
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name registration information VA3 Design Inc. 42658			
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT				
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.	date APRIL 2017 drawing by scale 3/16" = 1'-0" file name 16036-HIGHGROVE 2 path - H:\ARCHIVE\WORK\KAL-2017-0036\GREENPARK-HIGHGROVE-2\16036-HIGHGROVE 2.dwg - Tue - Sep 26 2017 - 8:21 AM A13a		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW				
1	PRELIMINARY REVIEW.	APR 12/17	GW				
no.	description	date	by				

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Architectural drawings of a two-story building, including a side elevation and a front elevation. The side elevation shows a gabled roof with a 3:12 pitch and a 6-inch roof overhang. The front elevation shows a two-story structure with a 6:12 roof pitch and a 6-inch roof overhang. The drawings include dimensions for windows, doors, and roof pitches. A note on the right states: "This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON."


 SIDE ELEV.
 W.O.B. CONDITION

WALL AREA	192.60 SQ. FT.
LIMITING DISTANCE	1.5 M (8.0%)
GLAZING ALLOWED	15.40 SQ. FT.
GLAZING PROVIDED	7.81 SQ. FT.

UPGRADED REAR ELEVATION—ELEV. 3
WOB CONDITION

HIGHGROVE-2

COMPLIANCE PACKAGE 'A1'

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8						qualification information
7						
6	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink	24488	
5	ISSUED FOR PRICING.	AUG. 23/17	GW	name registration information	BCIN	
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	signature	42658	
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	VAS Design Inc.		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
1	PRELIMINARY REVIEW.	APR. 12/17	GW			
no.	description	date	by			

VAS DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 / 416.630.4782
vo3design.com

Greenpark.

HIGHGROVE 2

project name: **RUSSELL GARDENS PH.2** municipality: **WATERDOWN, ON.** project no: **16036**

date: **APRIL 2017** description: **UPGRADED REAR ELEV. 3- WOB CONDITION** drawing no: **A13b**

drawn by: **3/16"** checked by: **1"-0"** scale: **16036-HIGHGROVE 2**

16036-HIGHGROVE 2.dwg - Tue - Sep 26 2017 - 821 AM

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