

1594 SF.

PAD FOOTINGS

120 KPa. NATIVE SOIL 90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
L5 = 6" x 4" x 7/16" L (152x102x11.0L)
L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8' TO 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOORS
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

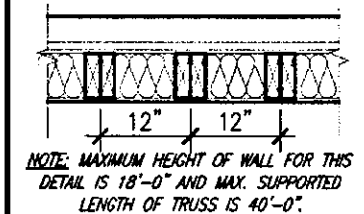
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

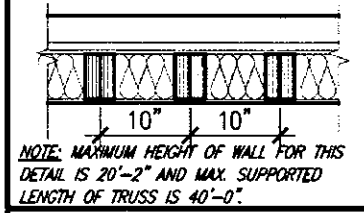
TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



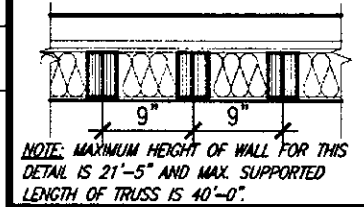
TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 1, ELEVATION 1		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	441.22 S.F.	94.20 S.F.	21.35 %
LEFT SIDE	838.18 S.F.	3.33 S.F.	0.40 %
RIGHT SIDE	838.18 S.F.	0.00 S.F.	0.00 %
REAR	441.22 S.F.	112.09 S.F.	25.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	2558.80 S.F.	209.62 S.F.	8.19 %
TOTAL SQ. M.	237.72 S.M.	19.47 S.M.	8.19 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 1, ELEVATION 2		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	441.22 S.F.	82.60 S.F.	18.72 %
LEFT SIDE	838.18 S.F.	3.33 S.F.	0.40 %
RIGHT SIDE	838.18 S.F.	0.00 S.F.	0.00 %
REAR	441.22 S.F.	112.09 S.F.	25.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	2558.80 S.F.	198.02 S.F.	7.74 %
TOTAL SQ. M.	237.72 S.M.	18.40 S.M.	7.74 %

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	770 SF	
SECOND FLOOR AREA	824 SF	
TOTAL FLOOR AREA	1594 SF	(148.08 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	+XX SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1594 SF	(148.08 m2)
GROUND FLOOR COVERAGE	770 SF	
GARAGE COVERAGE/AREA	296 SF	
PORCH COVERAGE/AREA	89 SF	
COVERAGE W/ PORCH	1155 SF	(107.30 m2)
COVERAGE W/O PORCH	1066 SF	(99.03 m2)

AREA CALCULATIONS		ELEV '2'
GROUND FLOOR AREA	770 SF	
SECOND FLOOR AREA	824 SF	
TOTAL FLOOR AREA	1594 SF	(148.08 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	+XX SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1594 SF	(148.08 m2)
GROUND FLOOR COVERAGE	770 SF	
GARAGE COVERAGE/AREA	296 SF	
PORCH COVERAGE/AREA	89 SF	
COVERAGE W/ PORCH	1155 SF	(107.30 m2)
COVERAGE W/O PORCH	1066 SF	(99.03 m2)

OCT 04 2017

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'



9					
8					
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW		
6	ISSUED FOR PRICING.	AUG. 23/17	GW		
5	STUCCO REPLACED.	JUL. 05/17	GW		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW	APR. 12/17	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
registration information
VA3 Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH2
municipality
WATERDOWN, ON.
date
APRIL 2017
checked by
scale
3/16" = 1'-0"

HIGHGROVE 1
project no.
16036
drawing no.
A0
TYPICAL NOTES AND AREAS
16036-HIGHGROVE 1
16036-HIGHGROVE 1.dwg - Nov - Sep 25 2017 - 5:05 PM

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.

- 2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
- 2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
- EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION

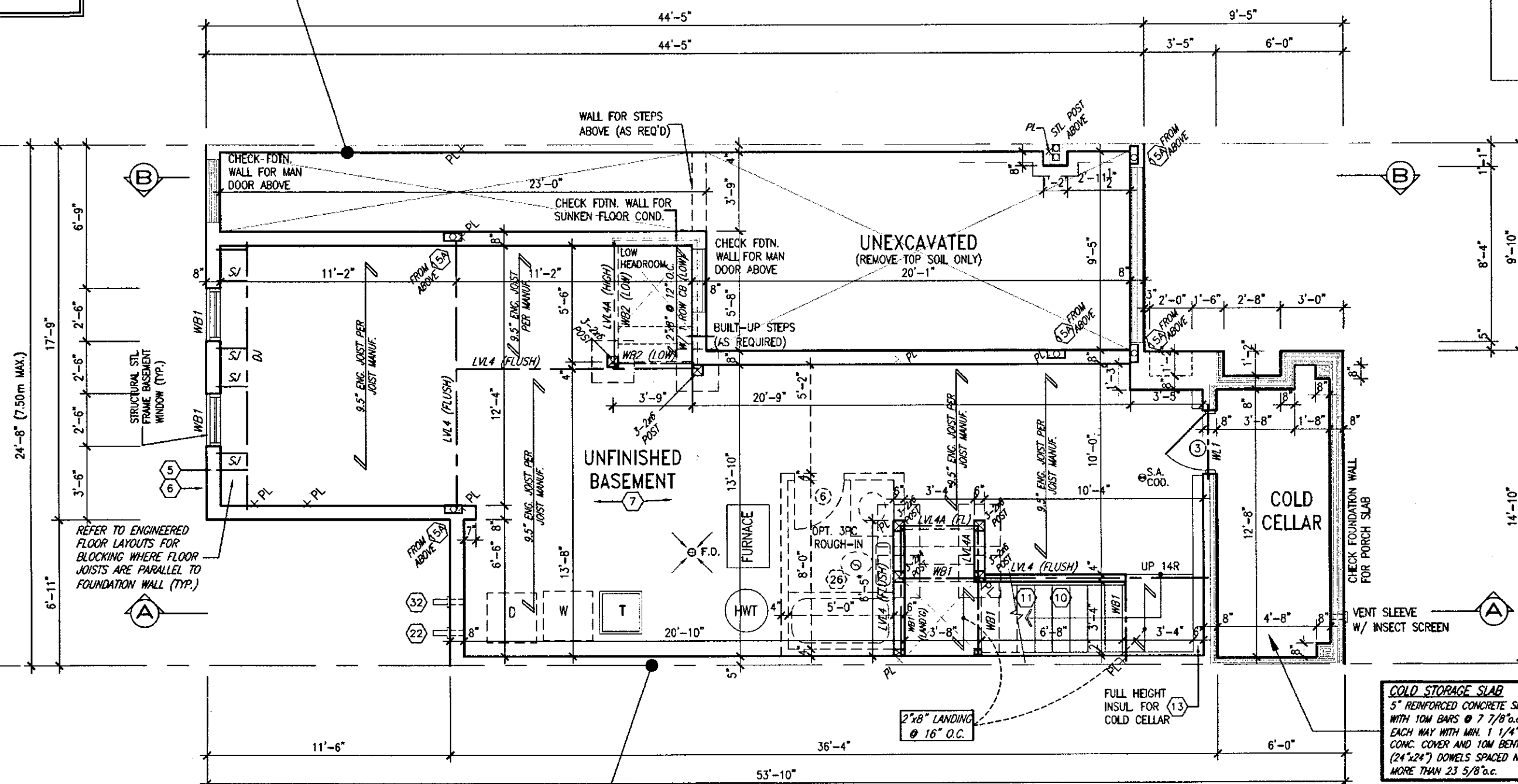
- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

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BASEMENT PLAN - ELEV. 1

APR 17 2018



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8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW		
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	qualification information	
6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink	2445
5	STUCCO REPLACED.	JUL. 05/17	GW	name	08/18
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information	signature
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	VAS Design Inc.	4265
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW	APR. 12/17	GW		
0	description	date	by		

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VAG
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255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.2255
vag3design.com

Greenpark

HIGHGROVE 1

project name	Municipality	project no.
RUSSELL GARDENS PH2	WATERDOWN, ON.	16036
date APRIL 2017	BASEMENT PLAN - ELEV. 1	
drawing by	checked by	scale
		3/15" = 1'-0"
file name		
16036-HIGHGROVE 1		

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BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

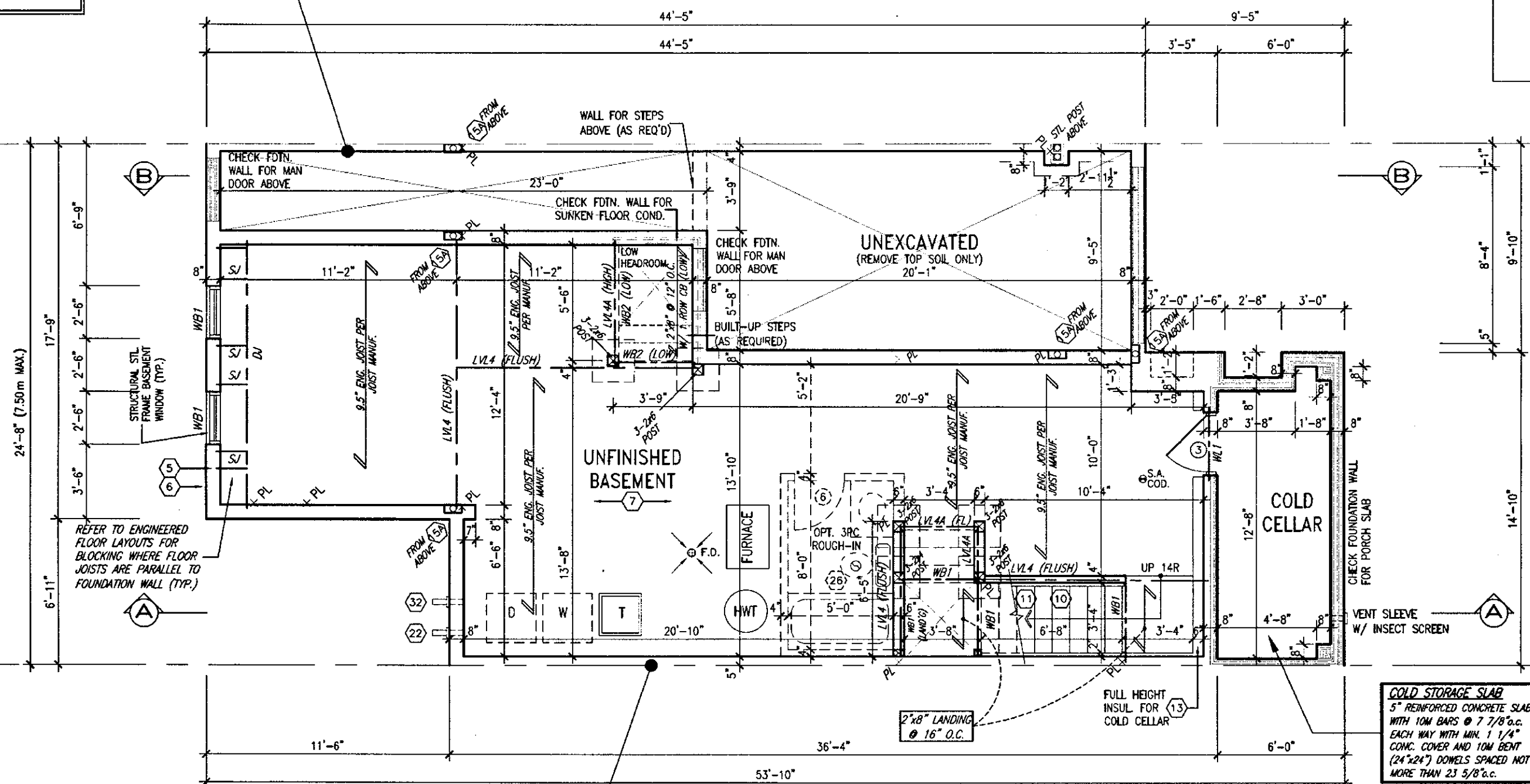
**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER
SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4A OR 4B TO VERIFY
PARTY WALL THICKNESS/CONSTRUCTION.

1594 SF.

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HAMILTON



PARTY WALL AT HOUSE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER
SK1 OR SK3 PARTY WALL IS TO BE BUILT.
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BASEMENT PLAN - ELEV. 2

APR 17 2018

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'



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8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW	qualification information
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink 24488
6	ISSUED FOR PRICING.	AUG. 23/17	GW	signature
5	STUCCO REPLACED.	JUL. 05/17	GW	registration information
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	VAS Design Inc. 47658
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	
1	PRELIMINARY REVIEW	APR. 12/17	GW	
no.	description	date	by	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
vasdesign.com

Greenpark.

HIGHGROVE 1

project name	RUSSELL GARDENS PH2	municipality	WATERDOWN, ON.	project no.	16036
date	APRIL 2017	checked by	3/16" = 1'-0"	drawing no.	A1a
drawn by		scale		file name	16036-HIGHGROVE 1
					16036-HIGHGROVE 1.dwg - Tue - Apr 17 2018 - 6:00 AM

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1594 SF.

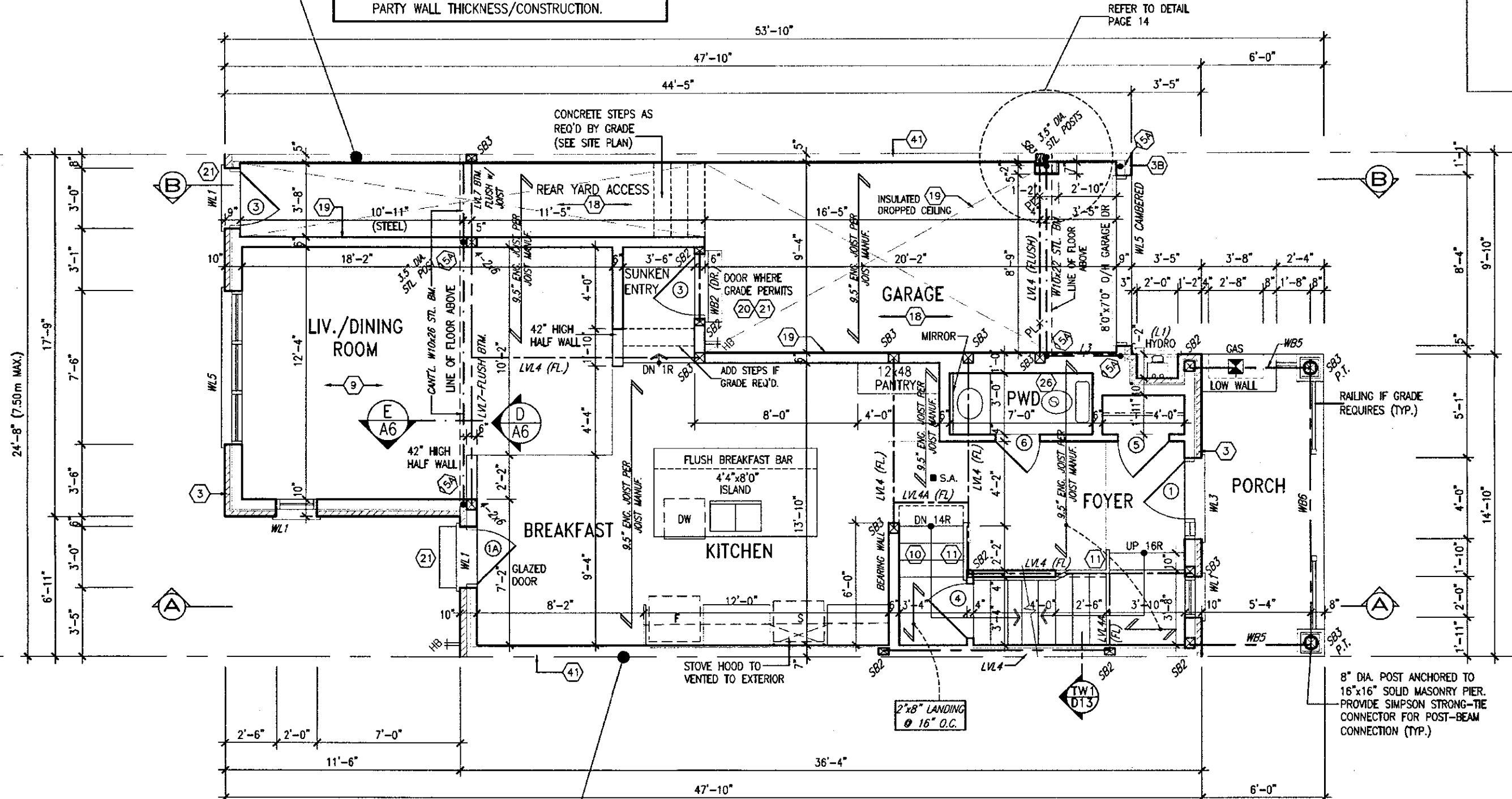
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PARTY WALL AT GARAGE SIDE CONSTRUCTION

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- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO DETAIL PAGE 14



PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
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NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN - ELEV. 1

APR 17 2018

HIGHGROVE-1 COMPLIANCE PACKAGE 'A1'



9 REVISED.	APR. 13/18	GW
8 REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
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2 REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1 PRELIMINARY REVIEW	APR. 12/17	GW
no. description	date	by

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qualification information
Richard Vink
signature
24488
BCN
registration information
VAD Design Inc.
42658

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VAD DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vadesign.com

Greenpark.
project name
RUSSELL GARDENS PH2
municipality
WATERDOWN, ON.
project no.
16036
date
APRIL 2017
drawn by
checked by
scale
3/16" = 1'-0"

HIGHGROVE 1
drawing no.
A2
file name
16036-HIGHGROVE 1
date
Apr 13 2018 - 3:06 PM

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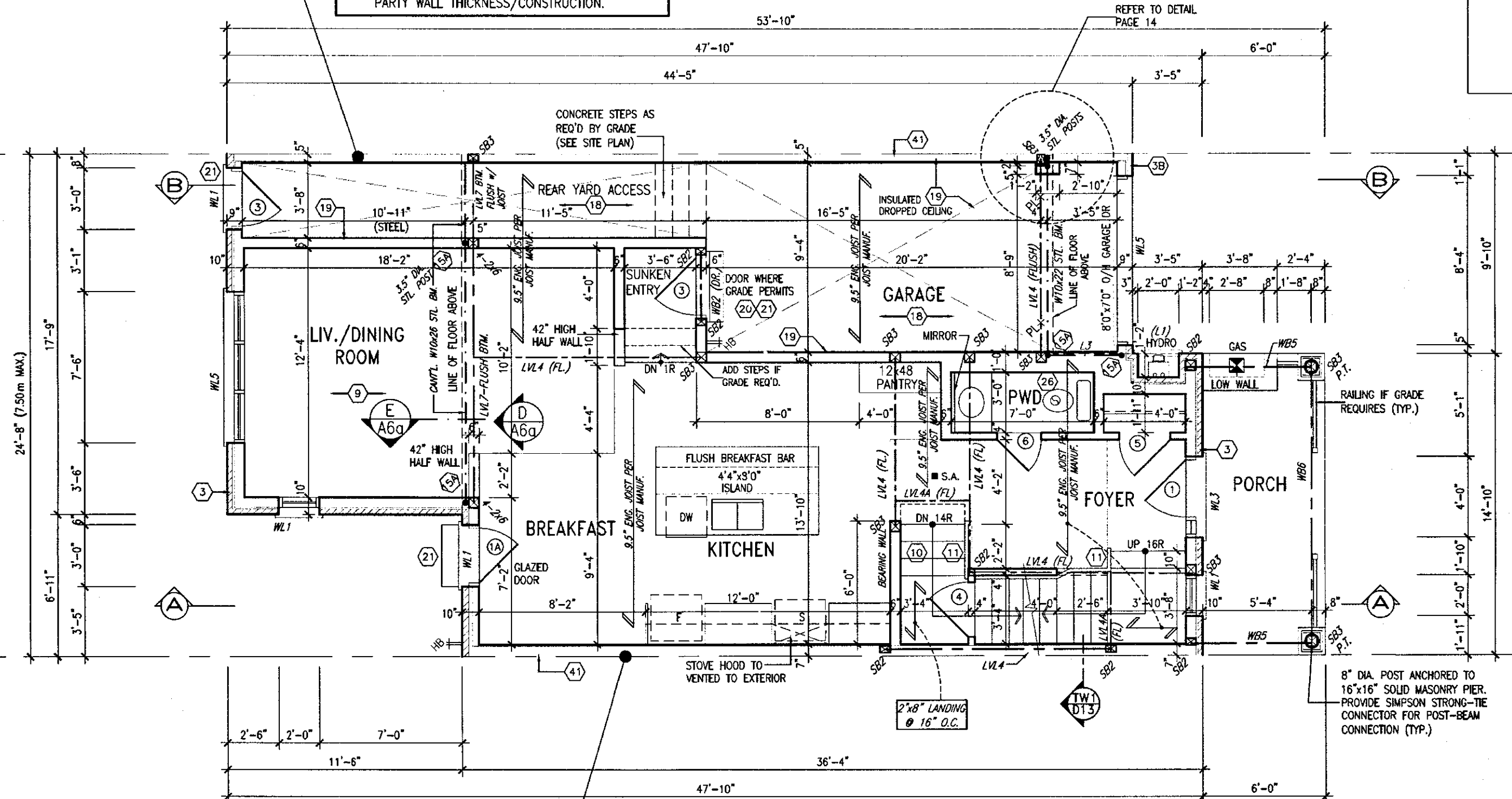
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PARTY WALL AT GARAGE SIDE CONSTRUCTION

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PARTY WALL AT HOUSE SIDE CONSTRUCTION

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GROUND FLOOR PLAN - ELEV. 2

APR 17 2018

HIGHGROVE-1 COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

3	REVISED.	APR. 13/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
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name
signature
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VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
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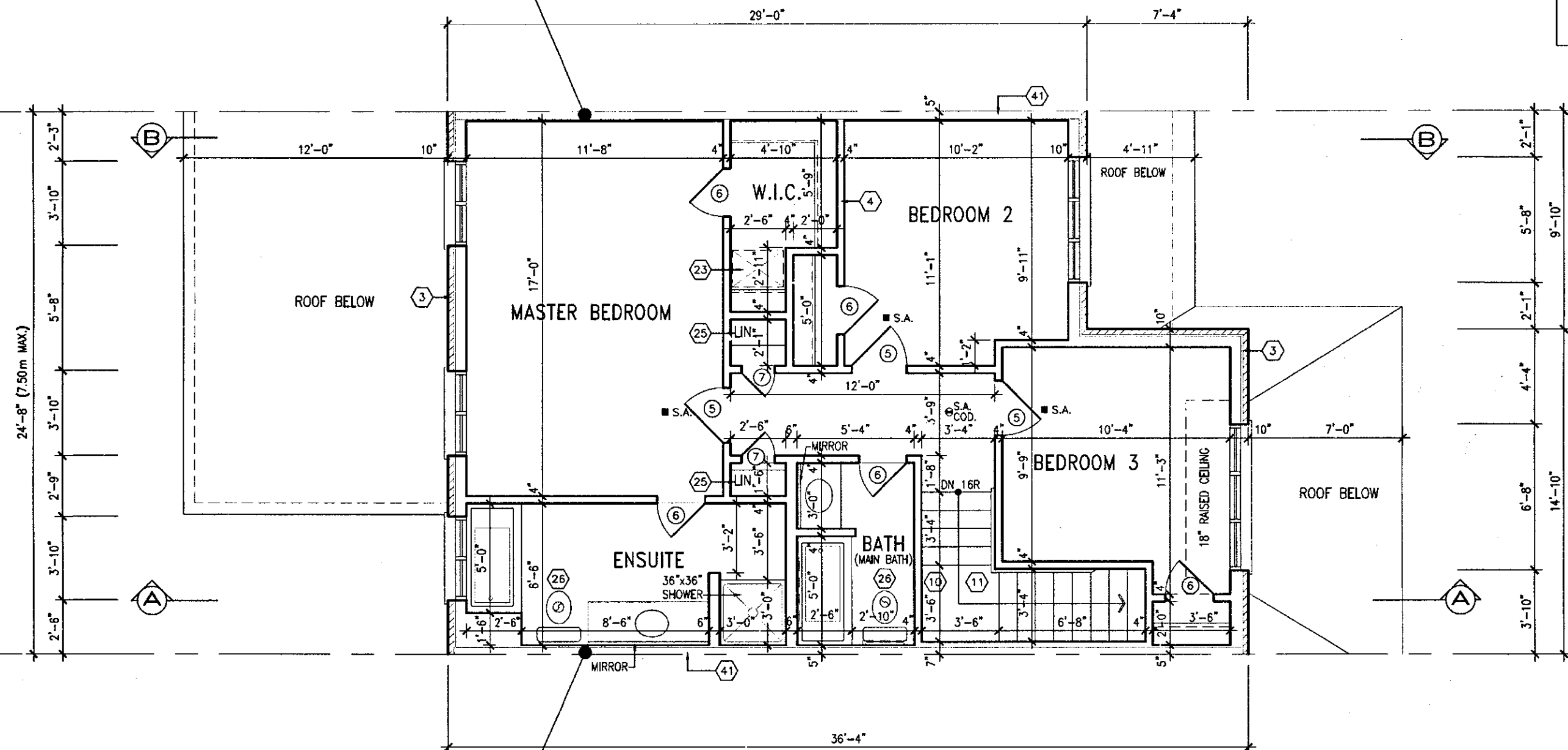
Greenpark.
project name
RUSSELL GARDENS PH2
date
APRIL 2017
checked by
scale
3/16" = 1'-0"

HIGHGROVE 1
project no.
16036
drawing no.
A2a
file name
16036-HIGHGROVE 1
date
Apr 13 2018 - 3:06 PM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.



PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.

FEB 09 2018

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW		
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW		qualification information
6	ISSUED FOR PRICING.	AUG. 23/17	GW		Richard Vink
5	STUCCO REPLACED.	JUL. 05/17	GW		name
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		registration information
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW		VAS3 Design Inc.
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		
1	PRELIMINARY REVIEW	APR. 12/17	GW		
0	description	date	by		

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Greenpark.

project name	municipality	
RUSSELL GARDENS PH2	WATERDOWN, ON.	
date	SECOND FLOOR P	
APRIL 2017		
drawn by	checked by	scale
		3/16" = 1'-0"

HIGHGROVE 1

ject no.
6036

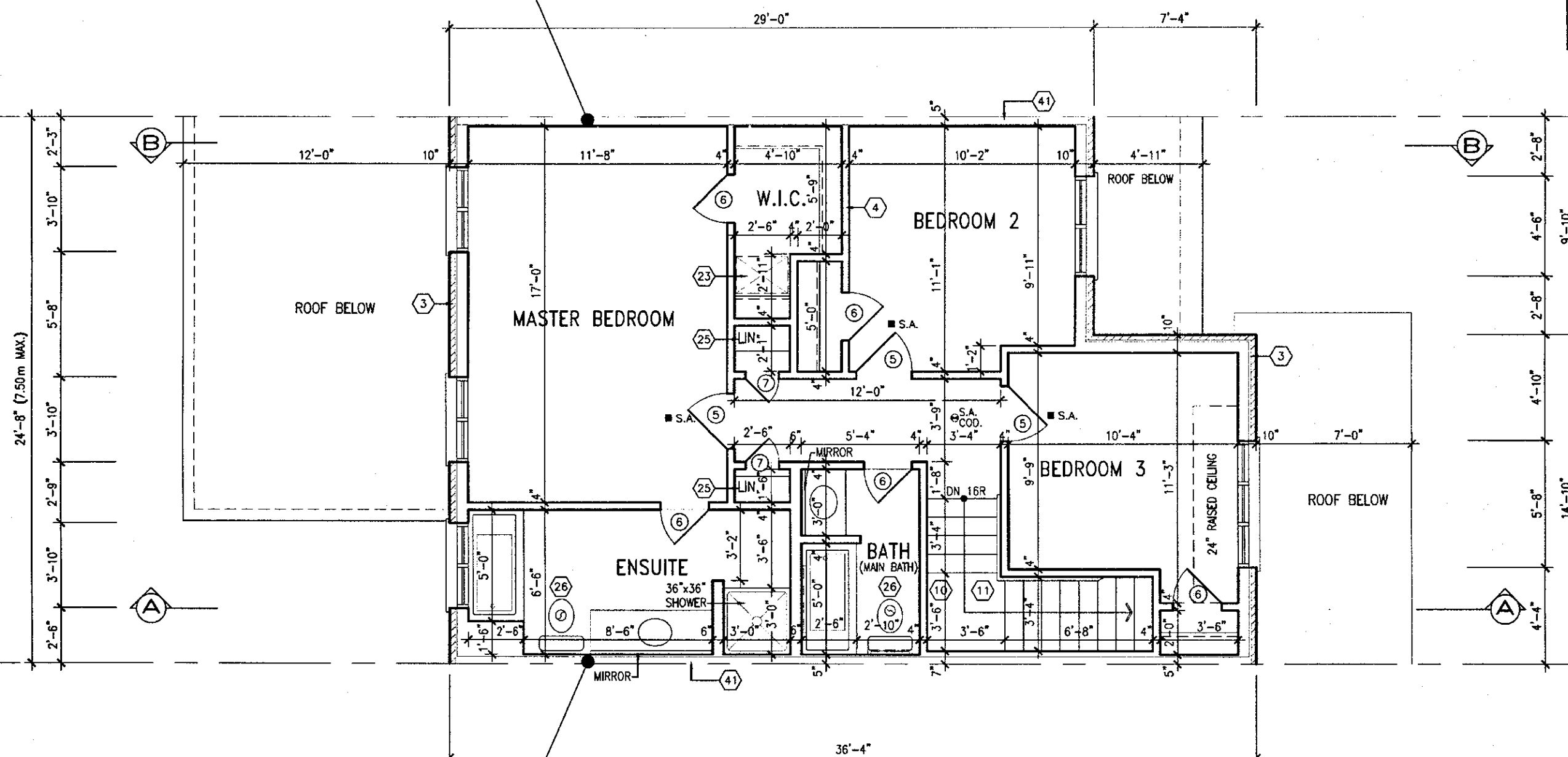
Drawing no.

A3

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- REFER TO BLOCK PLANS.



- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.

FEB 09 2018

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
8	REV. PER CLIENT COMMENTS, REISSUED.	FEB 08/18	GW	
7	REVISED, ISSUED FOR PERMIT.	SEP 22/17	GW	qualification information
6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink <i>R Vink</i> 244
5	STUCCO REPLACED.	JUL 05/17	GW	name signature 428
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information VA3 Design Inc.
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	
1	PRELIMINARY REVIEW	APR. 12/17	GW	
no	description	date	by	

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va3design.com

Greenpark.

HIGHGROVE 1

project name RUSSELL GARDENS PH2	municipality WATERDOWN, ON.	project no. 16036
date APRIL 2017		drawing no. A3a
SECOND FLOOR PLAN - ELEV. 2		
drawn by 3/16" = 1'-0"	checked by 16036-HIGHGROVE 1	file name 16036-HIGHGROVE 1

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MID-POINT C

PREFIN. ALUM.
PANEL (TYP.)

4" PRECAST —
CONC. SILL (TYP.)

BRICK SOLDIER
HEADER (TYP.)

FRONT ELEVATION
ELEV. 1

OCT 04 2017

HIGHGROVE-1

COMPLIANCE PACKAGE 'A1'

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
8							
7	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW		qualification information		
6	ISSUED FOR PRICING.	AUG. 23/17	GW		Richard Vink	244	
5	STUCCO REPLACED.	JUL 05/17	GW		same	B	
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		registration information	signature	
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		VAS Design Inc.	426	
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW				
1	PRELIMINARY REVIEW	APR. 12/17	GW				
no.	description				dote by		



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project name	municipality
RUSSELL GARDENS PH2	WATERDOWN, ON

[illegible]

HIGHGROVE 1

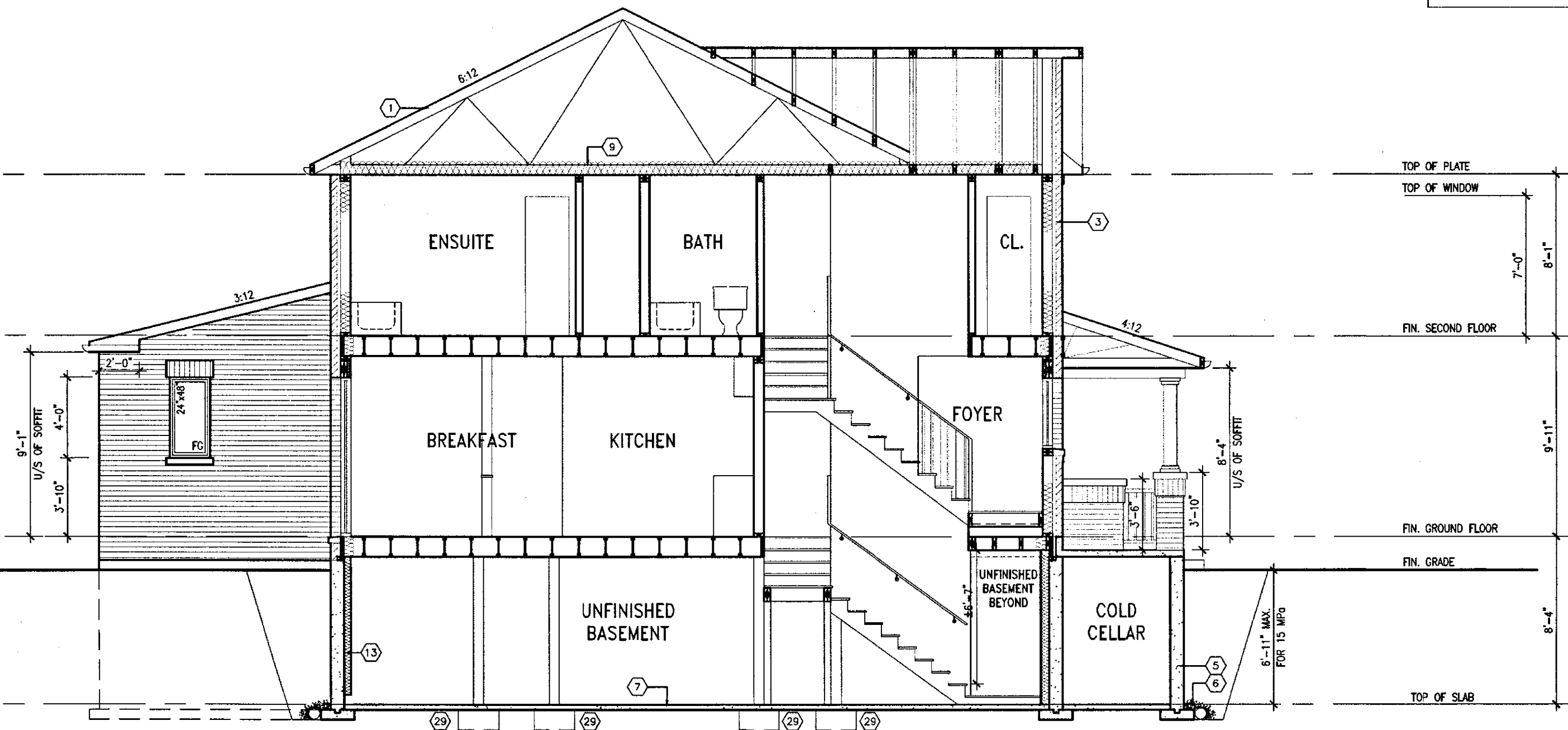
project no
16038

A4

1594 SF.

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WALL AREA	123.00 SQ. FT.
LIMITING DISTANCE	2.7 M (25%)
GLAZING ALLOWED	30.75 SQ. FT.
GLAZING PROVIDED	6.56 SQ. FT.

SECTION A-A
ELEV. 1

FEB 15 2018

HIGHGROVE-1 COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
9			
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL. 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	PRELIMINARY REVIEW	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
signature
name
registration information
VAS Design Inc.
24488
BCN
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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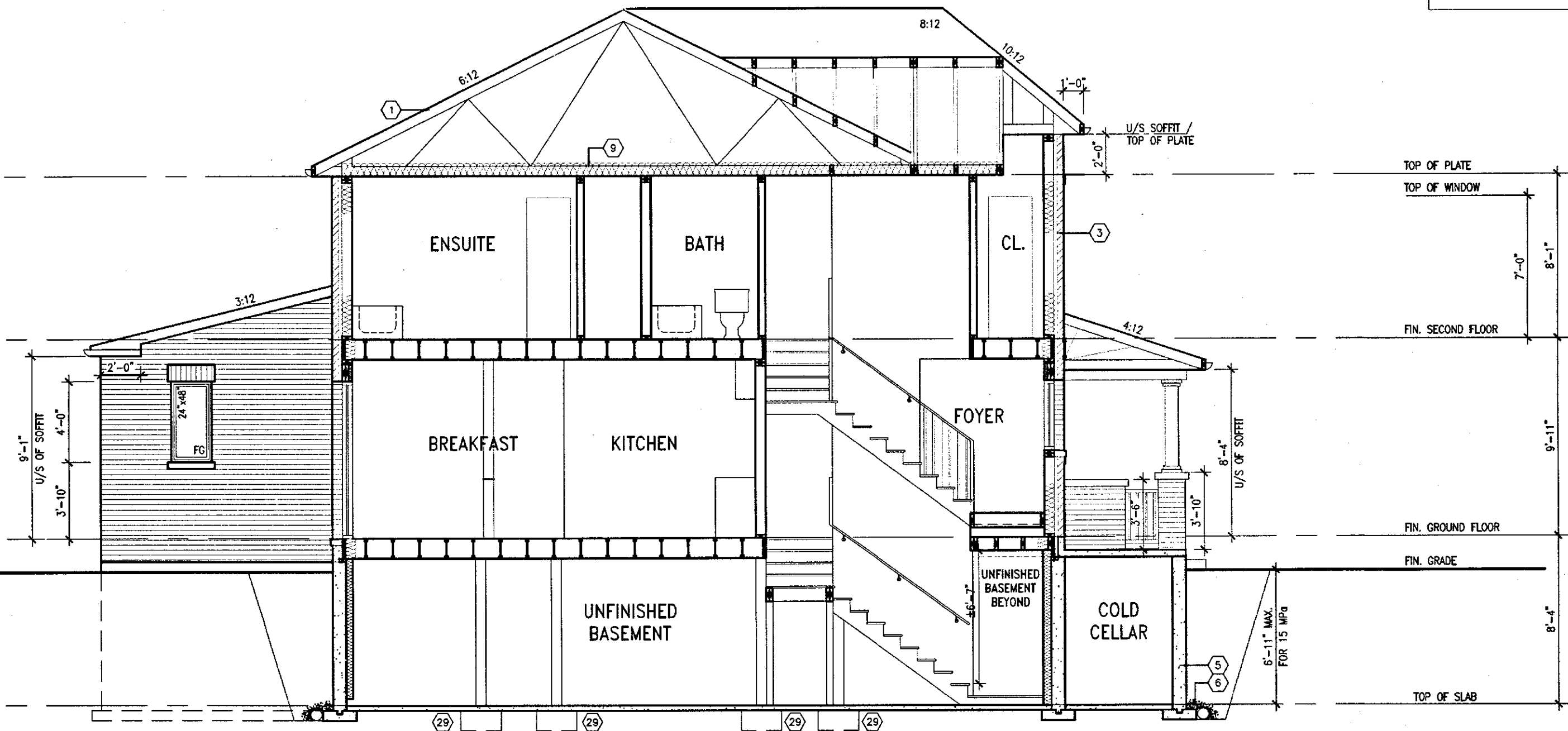
Greenpark.
project name
RUSSELL GARDENS PH2
municipality
WATERDOWN, ON.
date
APRIL 2017
drawn by
checked by
scale
3/16" = 1'-0"

HIGHGROVE 1
project no.
16036
drawing no.
A5
SECTION A-A, ELEV. 1
file name
16036-HIGHGROVE 1
date
FEB 15 2018 - 2:22 PM

1594 SF.

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SECTION A-A
ELEV. 2

FEB 15 2018

HIGHGROVE-1 COMPLIANCE PACKAGE 'A1'



STRUDET INC.
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9	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL. 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	PRELIMINARY REVIEW	APR. 12/17	GW
no	description	date	by

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qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658

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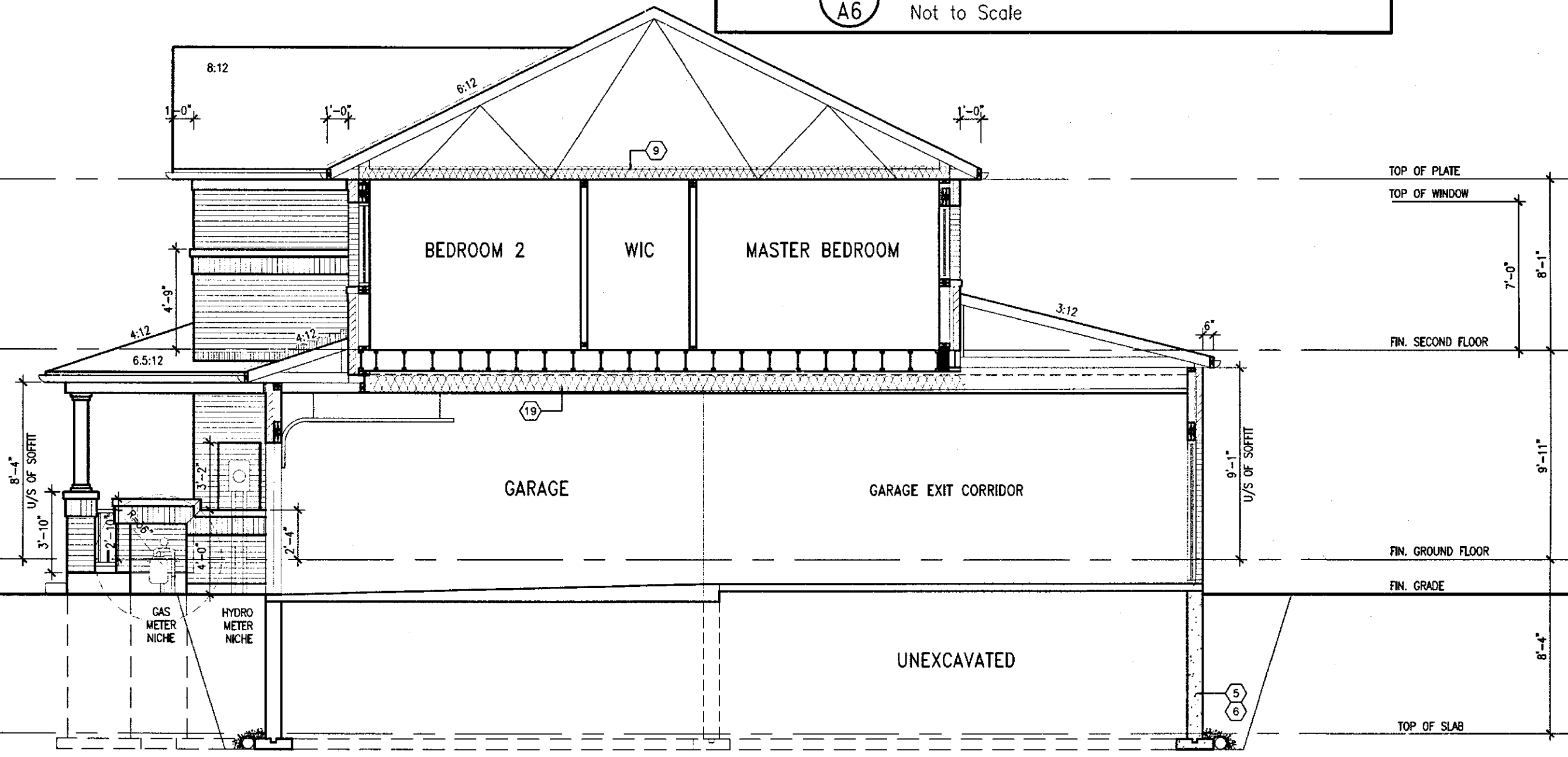
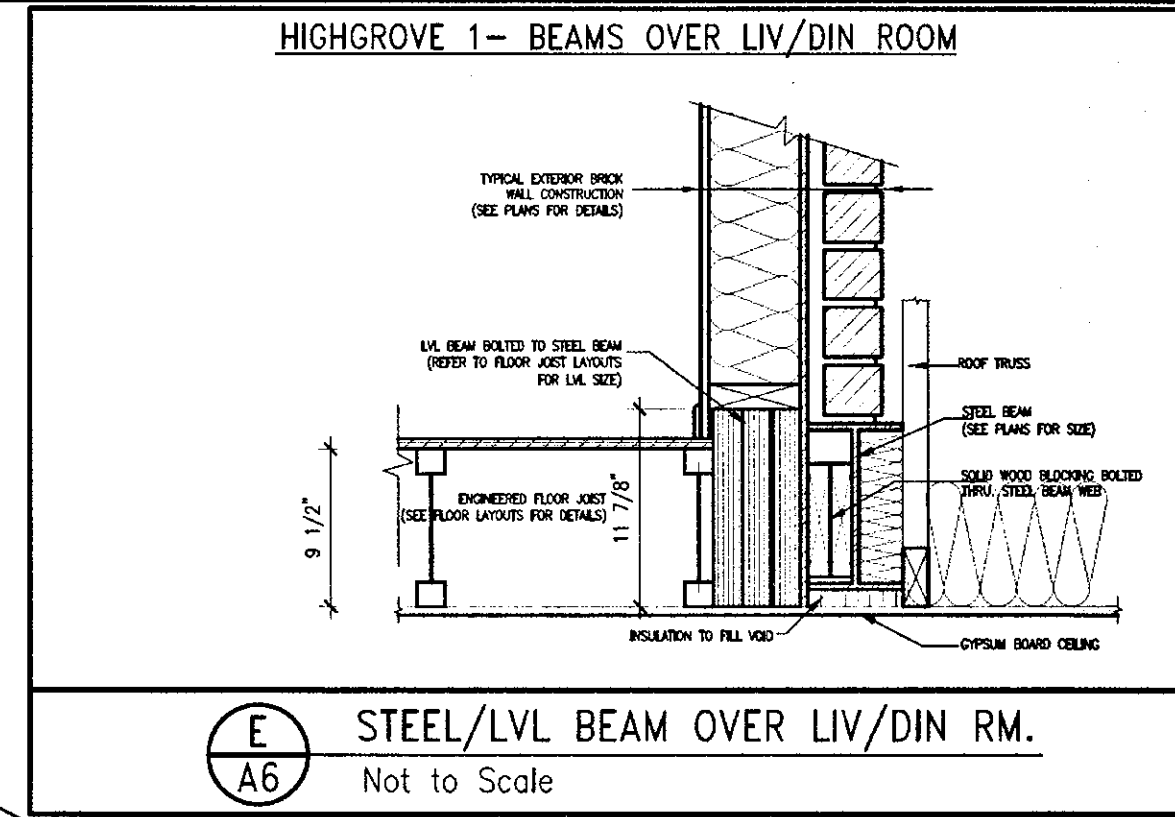
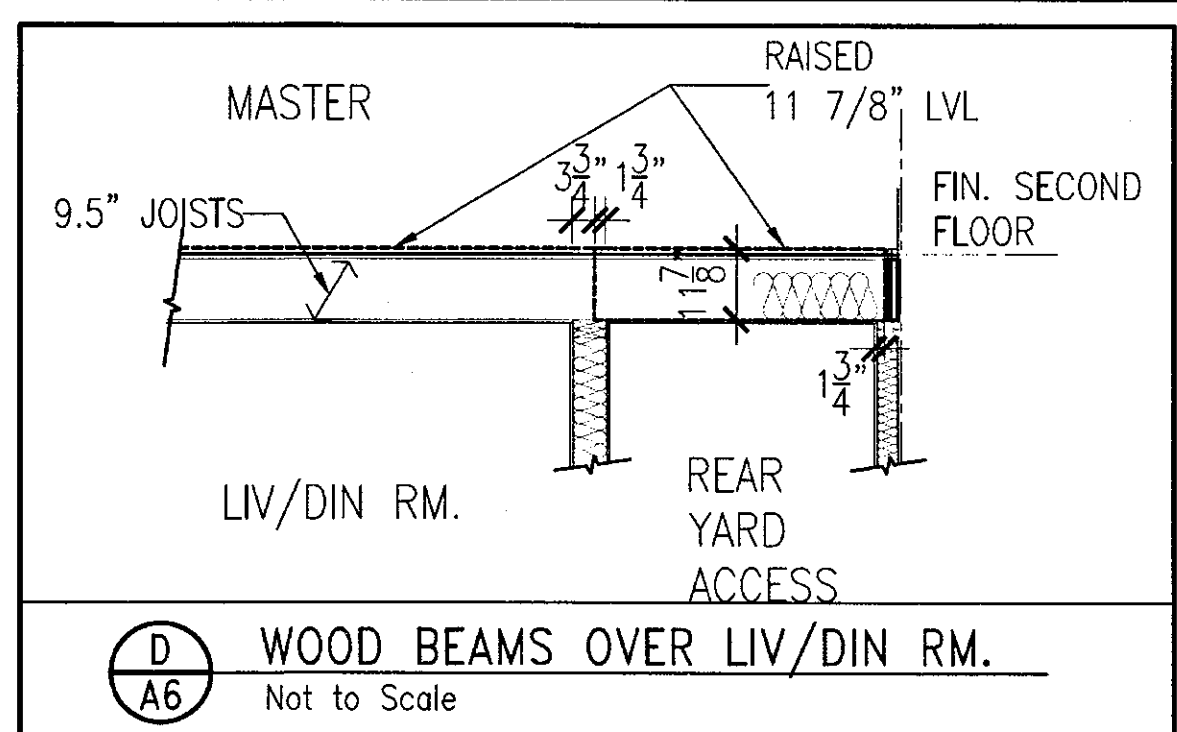
Greenpark.
Project name
RUSSELL GARDENS PH2
date
APRIL 2017
drawn by
checked by
scale
3/16" = 1'-0"

HIGHGROVE 1
project no.
16036
drawing no.
A5a
SECTION A-A, ELEV. 2
16036-HIGHGROVE 1
DATE: 16036-HIGHGROVE 1-16036-HIGHGROVE 1.dwg - Thu - Feb 15 2018 - 2:22 PM

1594 SF.

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SECTION B-B
ELEV. 1



3	REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW	qualification information
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink
6	ISSUED FOR PRICING.	AUG. 23/17	GW	signature
5	STUCCO REPLACED.	JUL. 05/17	GW	24488
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	BCN
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	42658
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	VA3 Design Inc.
1	PRELIMINARY REVIEW	APR. 12/17	GW	
no.	description	date	by	

VA3 DESIGN

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APR 17 2018

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

Greenpark. HIGHGROVE 1

project name: RUSSELL GARDENS PH2 municipality: WATERDOWN, ON. project no. 16036

date: APRIL 2017 checked by: scale: 3/16" = 1'-0" SECTION B-B, ELEV. 1

drawing no. **A6**

16036-HIGHGROVE 1

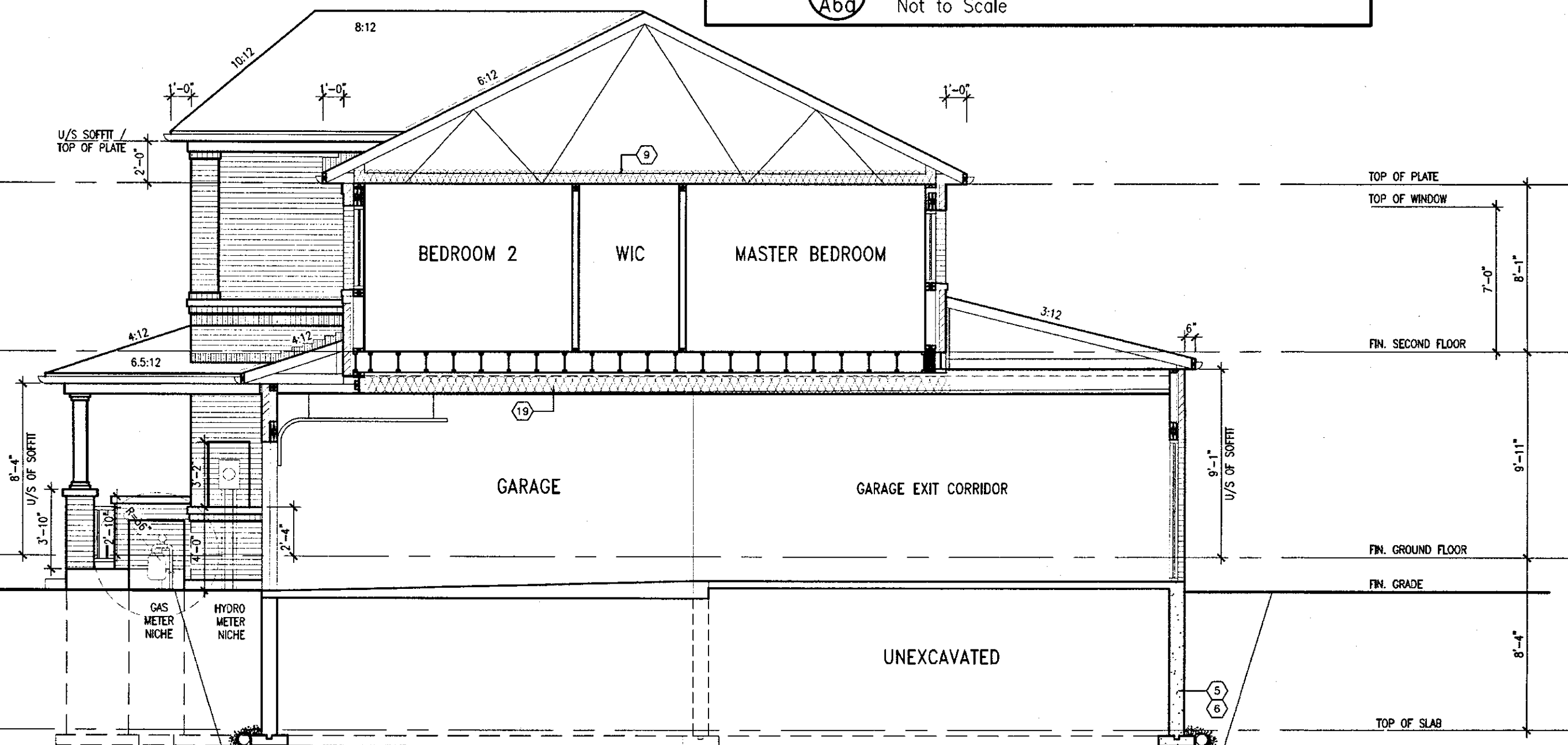
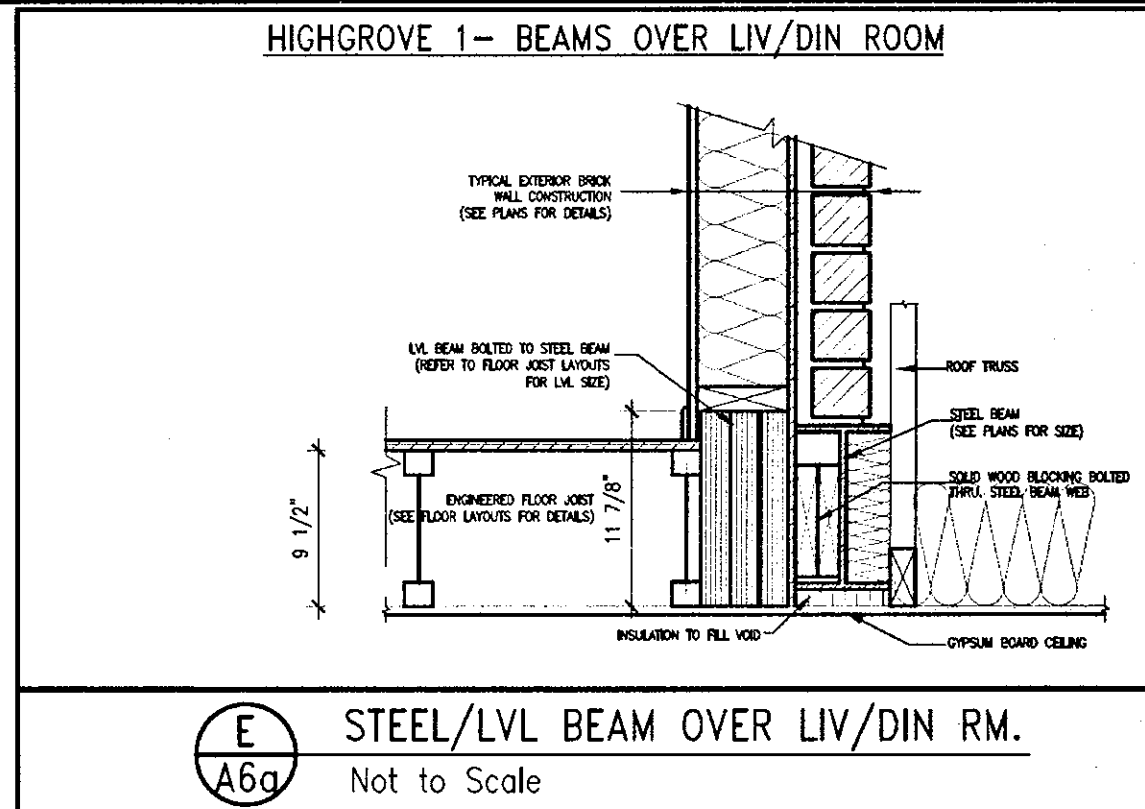
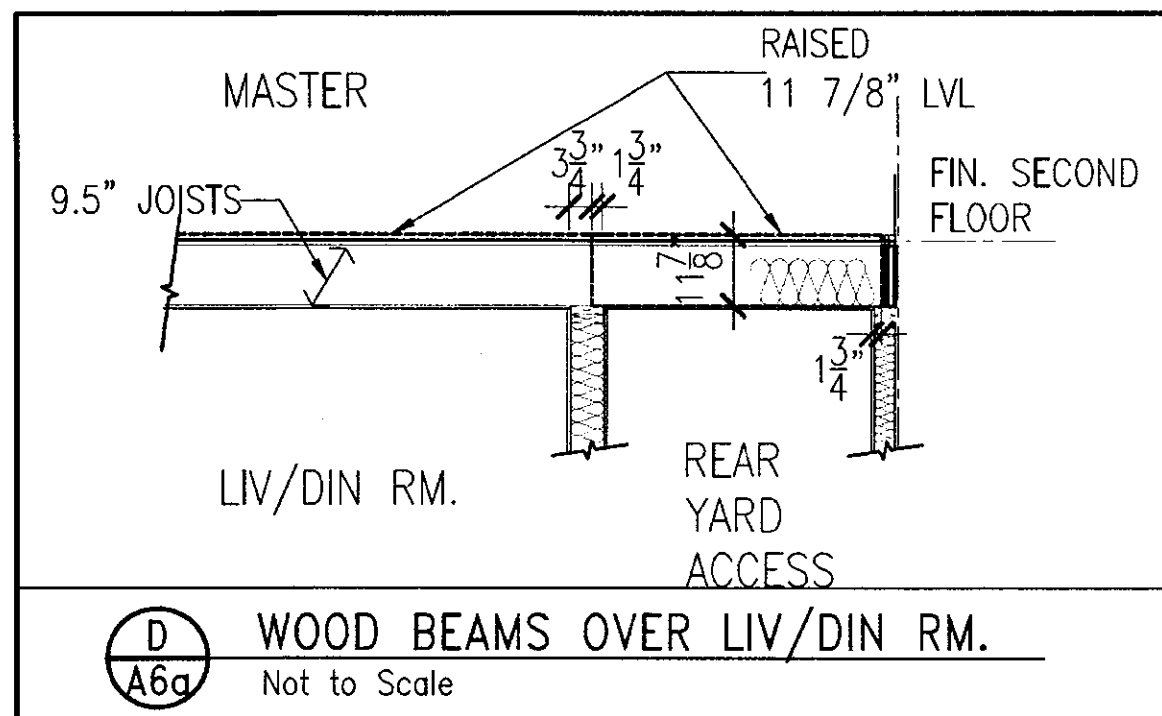
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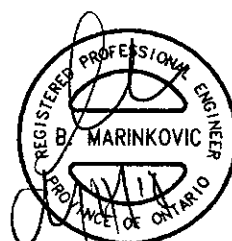
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



SECTION B-B
ELEV. 2

APR 17 2018

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

9. REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
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7. REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	Richard Vink
6. ISSUED FOR PRICING.	AUG. 23/17	GW	signature
5. STUCCO REPLACED.	JUL. 05/17	GW	24488
4. REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	BCN
3. CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	42658
2. REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	
1. PRELIMINARY REVIEW	APR. 12/17	GW	
no. description	date	by	



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t 416.630.2255 f 416.630.4782
va3design.com



project name
RUSSELL GARDENS PH2

municipality
WATERDOWN, ON.

HIGHGROVE 1

project no.
16036

date
APRIL 2017

checked by

scale
3/16" = 1'-0"

SECTION B-B, ELEV. 2

file name
16036-HIGHGROVE 1

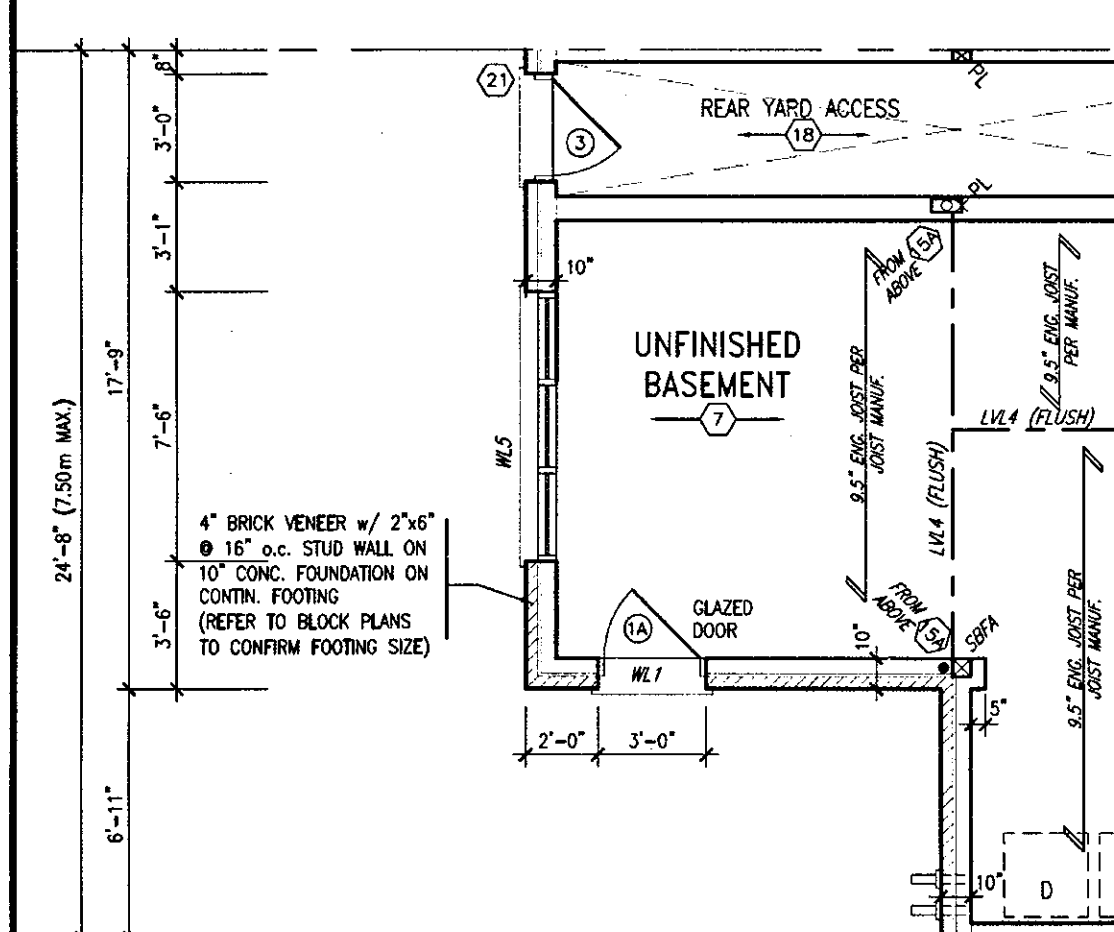
drawing no.
A6a

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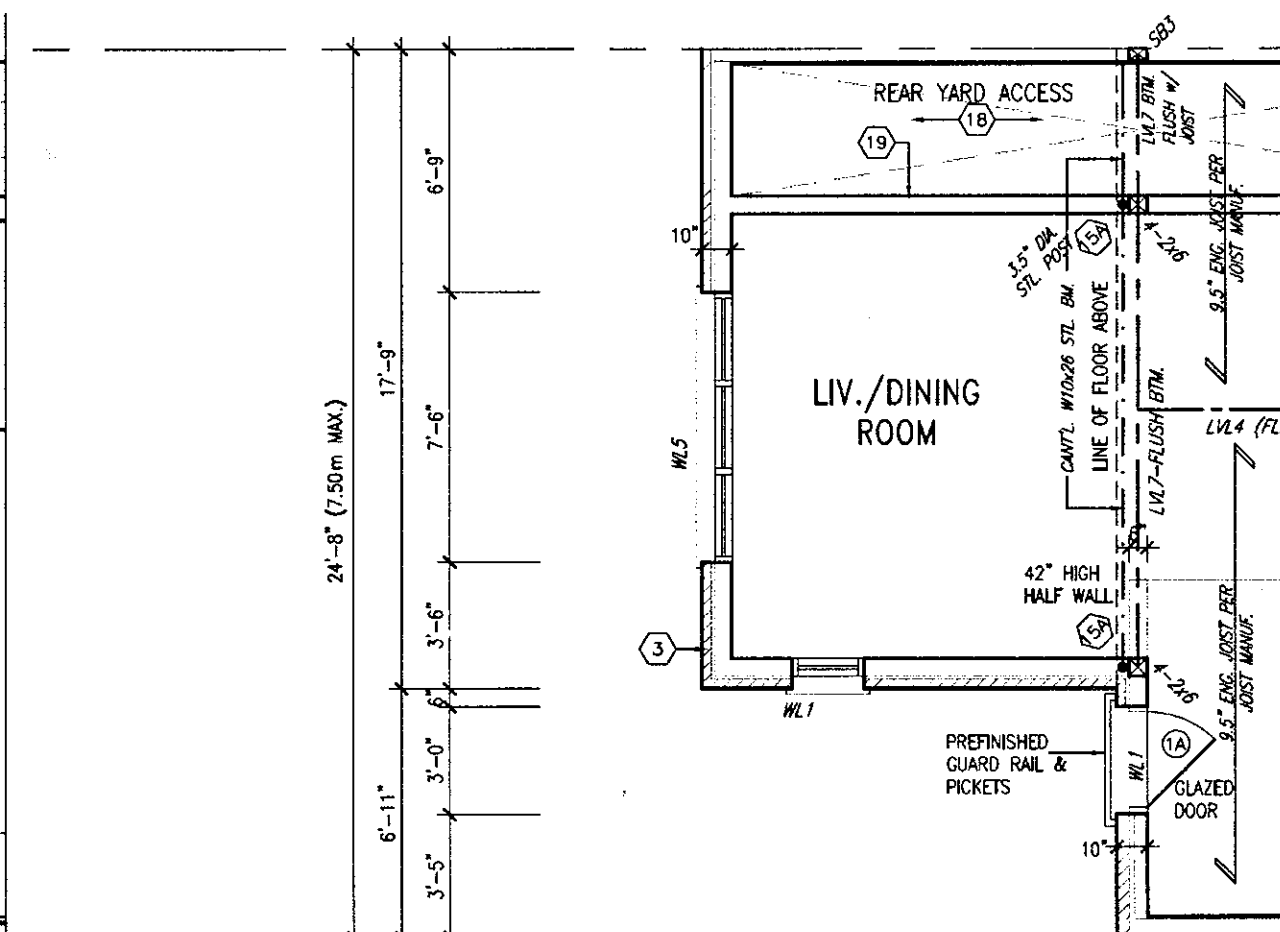
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

PART. BASEMENT PLAN
W.O.B CONDITION

LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2)
FOR ADDITIONAL WOOD DECK INFORMATION.



PART. GROUND FLOOR PLAN
W.O.B CONDITION

APR 17 2018

HIGHGROVE-1 COMPLIANCE PACKAGE 'A1'



3	REVISED.	APR. 13/18	GW
8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
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4	REVISED AS PER CLIENT COMMENTS	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	ISSUED FOR CLIENT REVIEW	APR. 25/17	GW
no.	description	date	by

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qualification information
Richard Vink
name
signature
BCN
42658

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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH2
municipality
WATERDOWN, ON.
date
APRIL 2017
checked by
scale
3/16" = 1'-0"

HIGHGROVE 1
project no.
16036
drawing no.
A7

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APR 17 2018

HIGHGROVE-1

COMPLIANCE PACKAGE 'A1'

9	REVISED.	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	REV. PER CLIENT COMMENTS. REISSUED.	FEB. 08/18	GW		
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW	qualification information	
6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink	2441
5	STUCCO REPLACED.	AUG. 05/17	GW	 signature	8
4	REVISED AS PER CLIENT COMMENTS.	JUL. 21/17	WT	name VAS Design Inc.	4263
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	
1	PRELIMINARY REVIEW	APR. 12/17	GW		
no.	description	date	by		



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t 416.630.2255 f 416.630.4782
vo3design.com


Greenpark.

project name	municipality
RUSSELL GARDENS PH2	WATERDOWN, ON.

HIGHGROVE 1

ject no.
036

owing no.

date	BEAR ELEVATION	WOB. CONDITION
------	----------------	----------------

APRIL 2017 REAR ELEVATION - WOB CONDITION

drawn by _____ checked by _____ scale $3/16" = 1'-0"$ file name 16036-HIGHGROVE 1

A8

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