

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.f.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

ML1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0) + 2-2"x8" SPR. No.2
ML2 = 4"x3-1/2"x5/16" (100x90x8.0) + 2-2"x8" SPR. No.2
ML3 = 5"x3-1/2"x5/16" (125x90x8.0) + 2-2"x10" SPR. No.2
ML4 = 6"x3-1/2"x3/8" (150x90x10.0) + 2-2"x12" SPR. No.2
ML5 = 6"x4"x3/8" (150x100x10.0) + 2-2"x12" SPR. No.2
ML6 = 5"x3-1/2"x5/16" (125x90x8.0) + 2-2"x12" SPR. No.2
ML7 = 5"x3-1/2"x5/16" (125x90x8.0) + 3-2"x10" SPR. No.2
ML8 = 5"x3-1/2"x5/16" (125x90x8.0) + 3-2"x12" SPR. No.2
ML9 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

MB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
MB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
MB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
MB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
MB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
MB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
MB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
MB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
MB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)
LVL11 = 3-1 3/4" x 16" (3-45x406)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0)
L2 = 4"x3-1/2"x5/16" (100x90x8.0)
L3 = 5"x3-1/2"x5/16" (125x90x8.0)
L4 = 6"x3-1/2"x3/8" (150x90x10.0)
L5 = 6"x4"x3/8" (150x100x10.0)
L6 = 7"x4"x3/8" (175x100x10.0)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

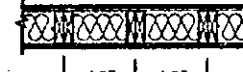
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 1/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSJ) USE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 1/16" EXT. OSB SHEATHING.



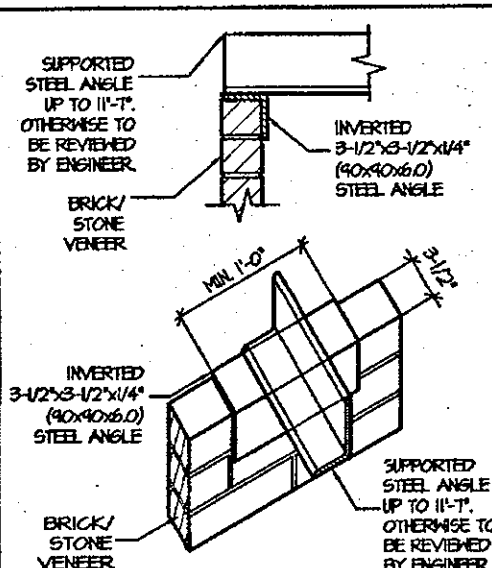
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

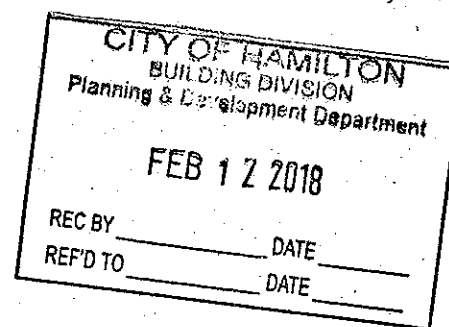
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.16 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



INVERTED STEEL ANGLE DETAIL

AREA CALCULATIONS		ELEV. 1
GROUND FLOOR AREA	=	1256 Sq. Ft.
SECOND FLOOR AREA	=	1602 Sq. Ft.
TOTAL FLOOR AREA	=	2858 Sq. Ft.
	=	265.52 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	12 Sq. Ft.
ADD TOTAL OPEN AREAS	=	12 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2870 Sq. Ft.
	=	266.63 Sq. M.
GROUND FLOOR COVERAGE	=	1256 Sq. Ft.
GARAGE COVERAGE / AREA	=	408 Sq. Ft.
PORCH COVERAGE / AREA	=	111 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1775 Sq. Ft.
	=	164.90 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1664 Sq. Ft.
	=	154.54 Sq. M.

AREA CALCULATIONS		ELEV. 2
GROUND FLOOR AREA	=	1256 Sq. Ft.
SECOND FLOOR AREA	=	1602 Sq. Ft.
TOTAL FLOOR AREA	=	2858 Sq. Ft.
	=	265.52 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	12 Sq. Ft.
ADD TOTAL OPEN AREAS	=	12 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2870 Sq. Ft.
	=	266.63 Sq. M.
GROUND FLOOR COVERAGE	=	1256 Sq. Ft.
GARAGE COVERAGE / AREA	=	408 Sq. Ft.
PORCH COVERAGE / AREA	=	111 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1775 Sq. Ft.
	=	164.90 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1664 Sq. Ft.
	=	154.54 Sq. M.



AREA CALCULATIONS		ELEV. 3
GROUND FLOOR AREA	=	1240 Sq. Ft.
SECOND FLOOR AREA	=	1522 Sq. Ft.
TOTAL FLOOR AREA	=	2762 Sq. Ft.
	=	256.60 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	0 Sq. Ft.
ADD TOTAL OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2762 Sq. Ft.
	=	256.60 Sq. M.
GROUND FLOOR COVERAGE	=	1240 Sq. Ft.
GARAGE COVERAGE / AREA	=	414 Sq. Ft.
PORCH COVERAGE / AREA	=	84 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1738 Sq. Ft.
	=	161.47 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1654 Sq. Ft.
	=	153.66 Sq. M.

ROSEWOOD 3		ELEV. 1	COMPLIANCE PACKAGE "A1"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	168.28	11.38	117.80	10.94	5.33 %
LEFT SIDE	1040.08	101.21	0.00	0.00	0.00 %
RIGHT SIDE	495.61	42.50	40.32	3.75	4.05 %
REAR	135.54	68.33	140.98	13.10	11.17 %
TOTAL	3584.51	333.48	244.10	21.74	8.33 %

ROSEWOOD 3		ELEV. 2	COMPLIANCE PACKAGE "A1"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	161.22	11.28	126.23	11.73	16.45 %
LEFT SIDE	1040.08	101.21	0.00	0.00	0.00 %
RIGHT SIDE	1113.33	103.43	40.32	3.75	3.62 %
REAR	135.54	68.33	141.00	13.10	11.17 %
TOTAL	3706.17	344.31	307.55	28.51	8.30 %

ROSEWOOD 3		ELEV. 3	COMPLIANCE PACKAGE "A1"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	174.44	11.45	125.25	11.64	16.25 %
LEFT SIDE	1040.08	101.21	0.00	0.00	0.00 %
RIGHT SIDE	1001.00	93.00	40.33	3.75	4.03 %
REAR	135.54	68.33	141.00	13.10	11.17 %
TOTAL	3601.11	334.55	307.18	28.54	8.53 %

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and all applicable regulations and requirements
including zoning provisions and any provisions
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building code or permit matter or that any
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Milton.

CITY OF HAMILTON
Building Division

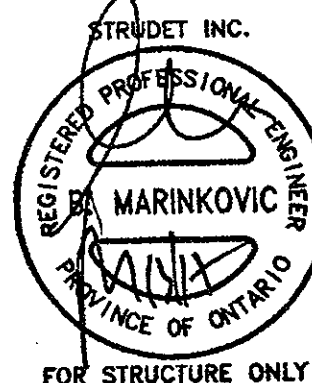
Permit No. 18-104043

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Room Clerk APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE



ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME
RUSSEL GARDEN - II

5.	
4.	
3.	
2.	ISSUED FOR PERMIT JUNE 2017
1.	ISSUED FOR REVIEW FEB 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4096
F (905) 660-0746

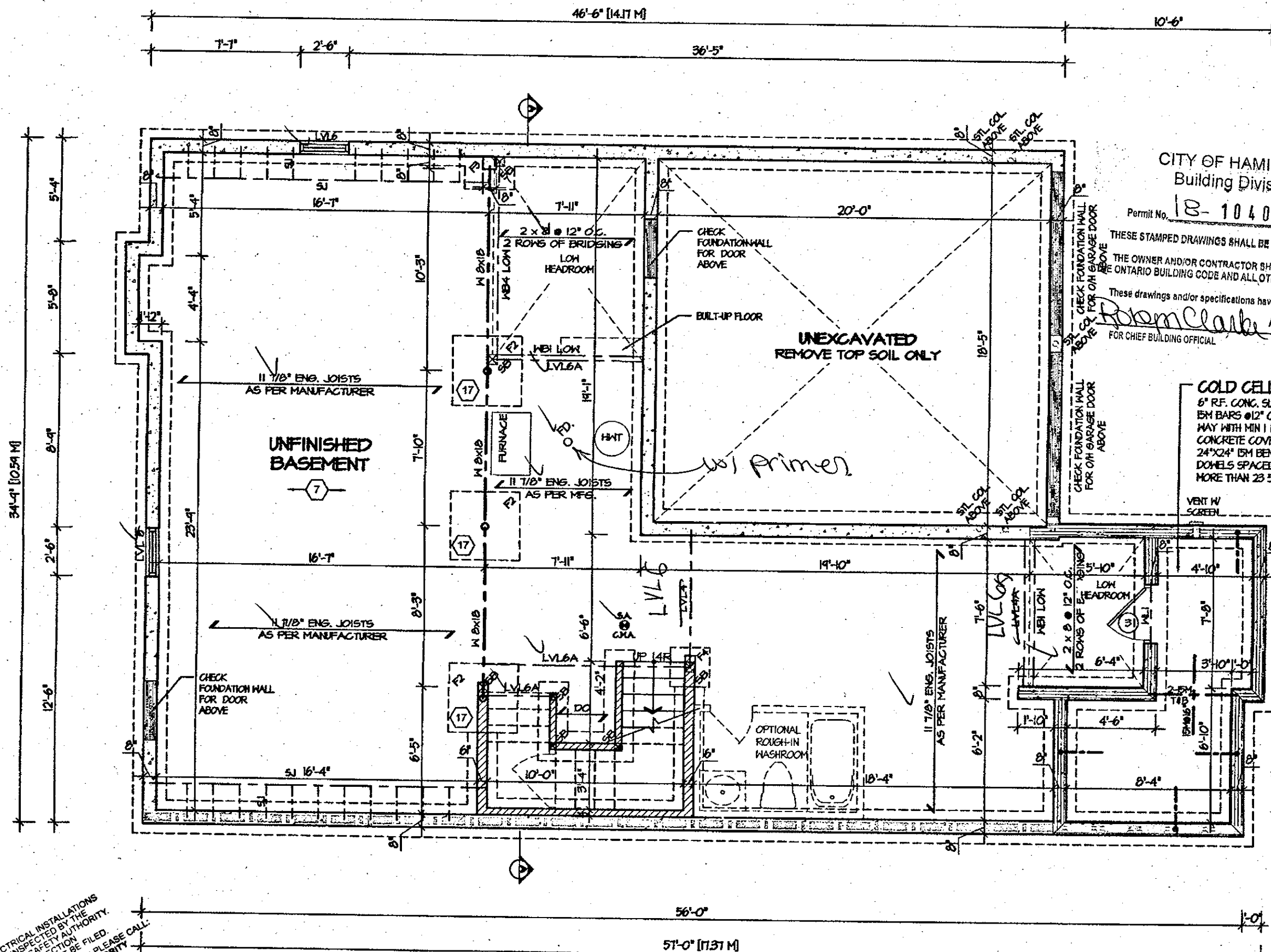
REGION
DESIGN
INC.

SHEET TITLE
AREA CHARTS

SCALE 3/16"=1'-0"
DATE JUNE 2017

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA 2887
PAGE No. 0
PROJECT 03-13-05



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 18-104043

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Robert Clark APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE

COLD CELLAR
6" RE. CONC. SLAB WITH
15M BARS @ 12" O.C. EACH
WAY WITH MIN 1 1/4"
CONCRETE COVER AND
24"x24" 15M BENT
DOUELS SPACED NOT
MORE THAN 23 5/8" O.C.



FOR STRUCTURE ONLY

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house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW
AND APPROVAL

CITY OF HAMILTON

Signed _____
Date NOV 20 2017
John G. Williams, L.L.B., J.D.

BASEMENT PLAN ELEV. I

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR
SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGINGS FOR SPANS OF 5'-1", 2 ROWS
FOR SPANS GREATER THAN 1'

REDUCED SIDE YARD CONDITION
(SEE NOTE ON SIDE ELEVATION)

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED
AND NAILED ON THIS FLOOR.

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-454-SAFE (372-7235)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.pluginsafely.ca

REVISIONS	
5.	
4.	
3.	
2. ISSUED FOR PERMIT	JUNE 2017
1. ISSUED FOR REVIEW	FEB 2017

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design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**BASEMENT PLAN
ELEV. 1**

SCALE 3/16"=1'-0"
DATE JUNE 2017

BY B.K.
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
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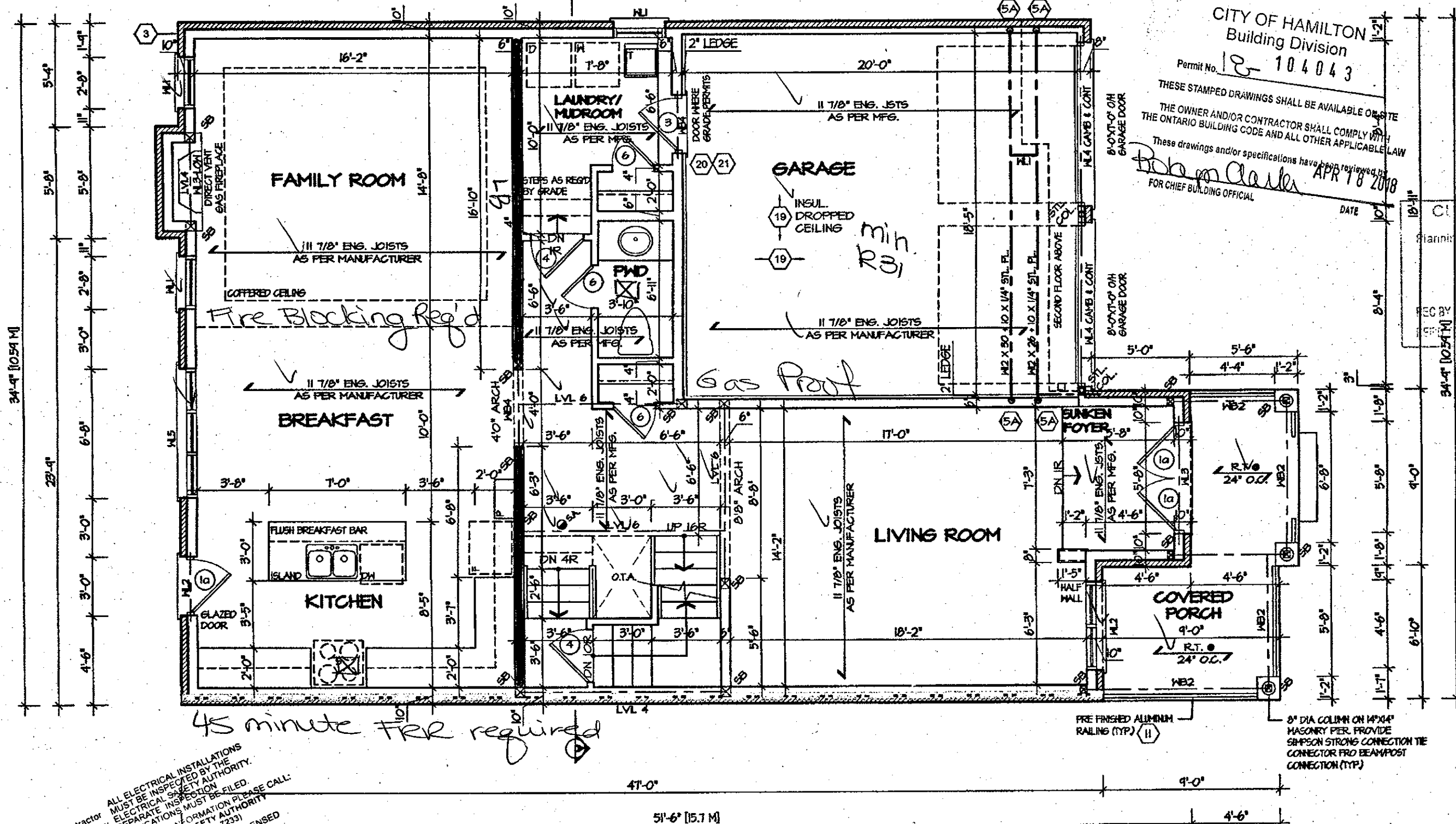
AREA 2887
PAGE No. 1

PROJECT 03-13-05

Greenpark.

PROJECT NAME
RUSSEL GARDEN - II





Electrical Contractor
Registration Agency
of the
Electrical
Safety
Authority

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MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (373-7235)
PLUG IN SAFELY: HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.pluginsafely.ca

FIRST FLOOR PLAN ELEV. 1

CITY OF HAMILTON
Building Division
Permit No. **18-104043**

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
Robert Clark APR 18 2018
FOR CHIEF BUILDING OFFICIAL

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018

REC BY: _____ DATE: _____
REV BY: _____ DATE: _____



FOR STRUCTURE ONLY

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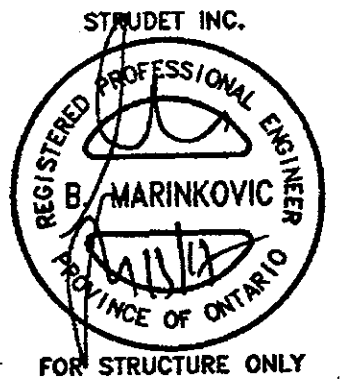
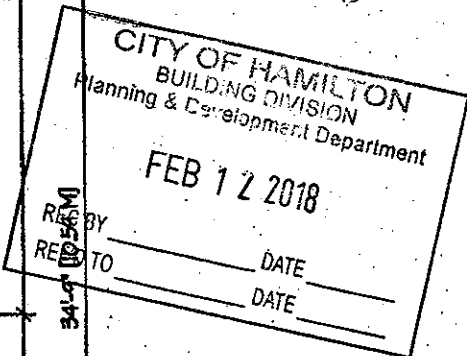
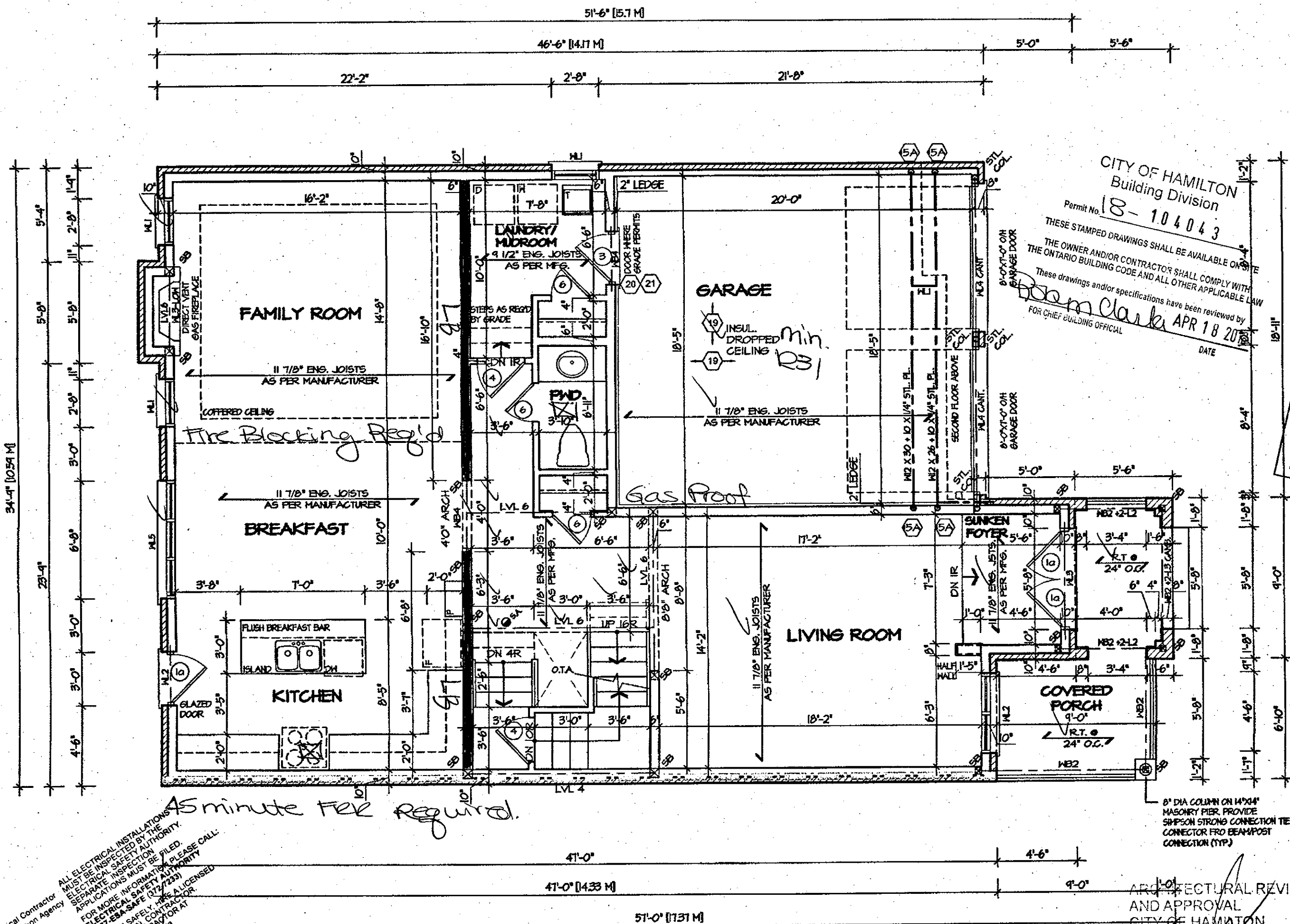
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whitton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated **NOV 20 2017**
John G. Williams Limited, Architect

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

JUL 14 2017

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746		SHEET TITLE FIRST FLOOR PLAN ELEV. 1	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark.			
4.						SCALE 3/16"=1'-0"	BY B.K.		AREA 2887	PAGE No. 2	PROJECT NAME RUSSEL GARDEN - II
3.						DATE JUNE 2017	TYPE		PROJECT 03-13-05		
2.	ISSUED FOR PERMIT	JUNE 2017									
1.	ISSUED FOR REVIEW	FEB 2017									
REVISIONS		VIKAS GAJJAR NAME 28770 BCIN									
		SIGNATURE									



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FIRST FLOOR PLAN ELEV. 2

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSEL GARDEN - II

REVISIONS	
5.	
4.	
3.	
2.	ISSUED FOR PERMIT JUNE 2017
1.	ISSUED FOR REVIEW FEB 2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
 NAME SIGNATURE
28770
 BCIN

REGION DESIGN INC.
 8700 DUFFERIN ST.
 CONCORD, ONTARIO
 L4K 4S6
 P (416) 736-4096
 F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
FIRST FLOOR PLAN ELEV. 2

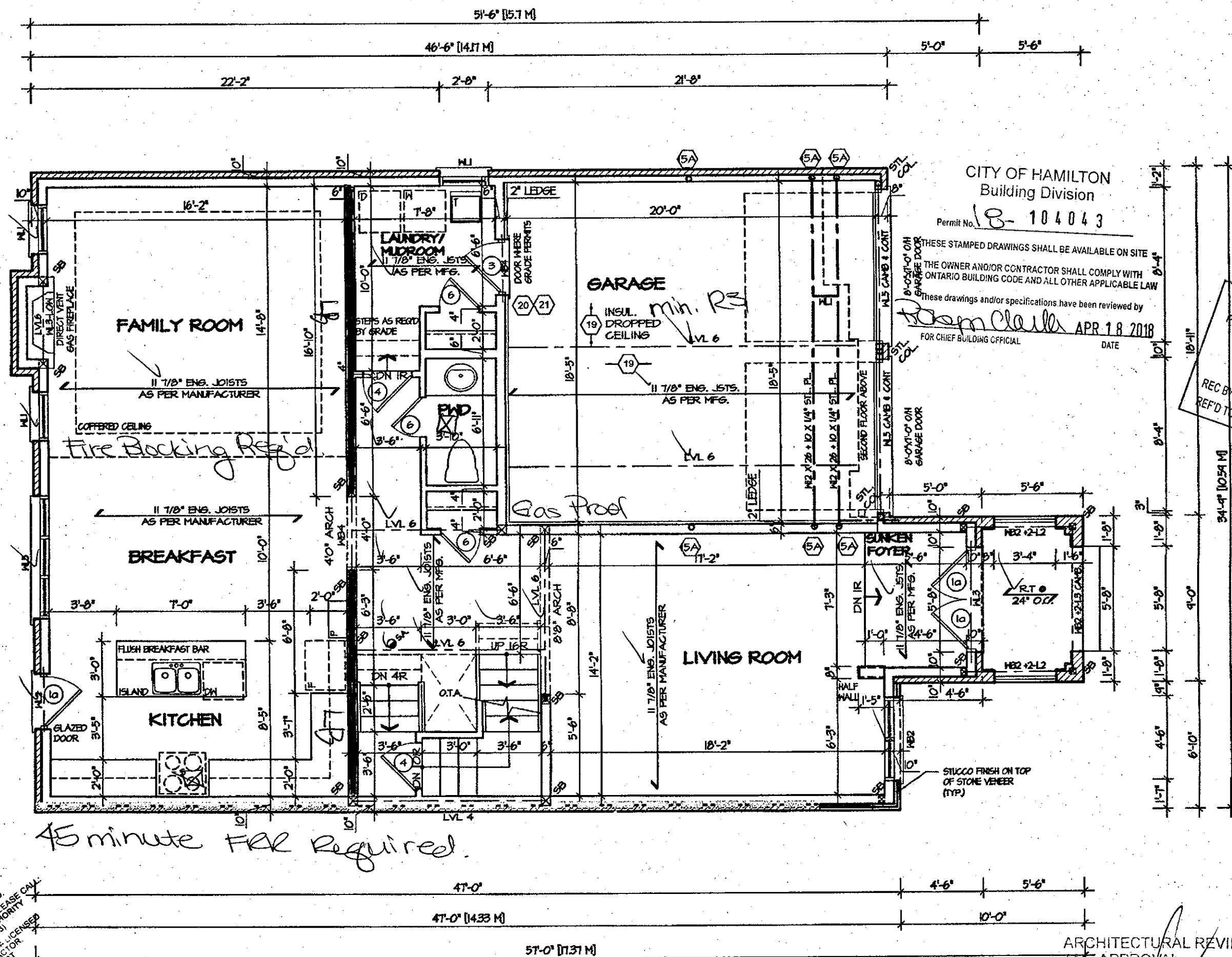
SCALE **3/16"=1'-0"**
 DATE **JUNE 2017**

BY **B.K.**
 TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA **2887**
 PROJECT **03-13-05**

PAGE NO.
2-2



45 minute FRP Required

CITY OF HAMILTON
Building Division
Permit No. 18-104043
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
Don Clark APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY
REF'D TO
DATE
DATE

STROUD INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Hamilton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

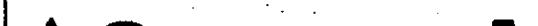
FIRST FLOOR PLAN ELEV. 3

JUL 14 2017

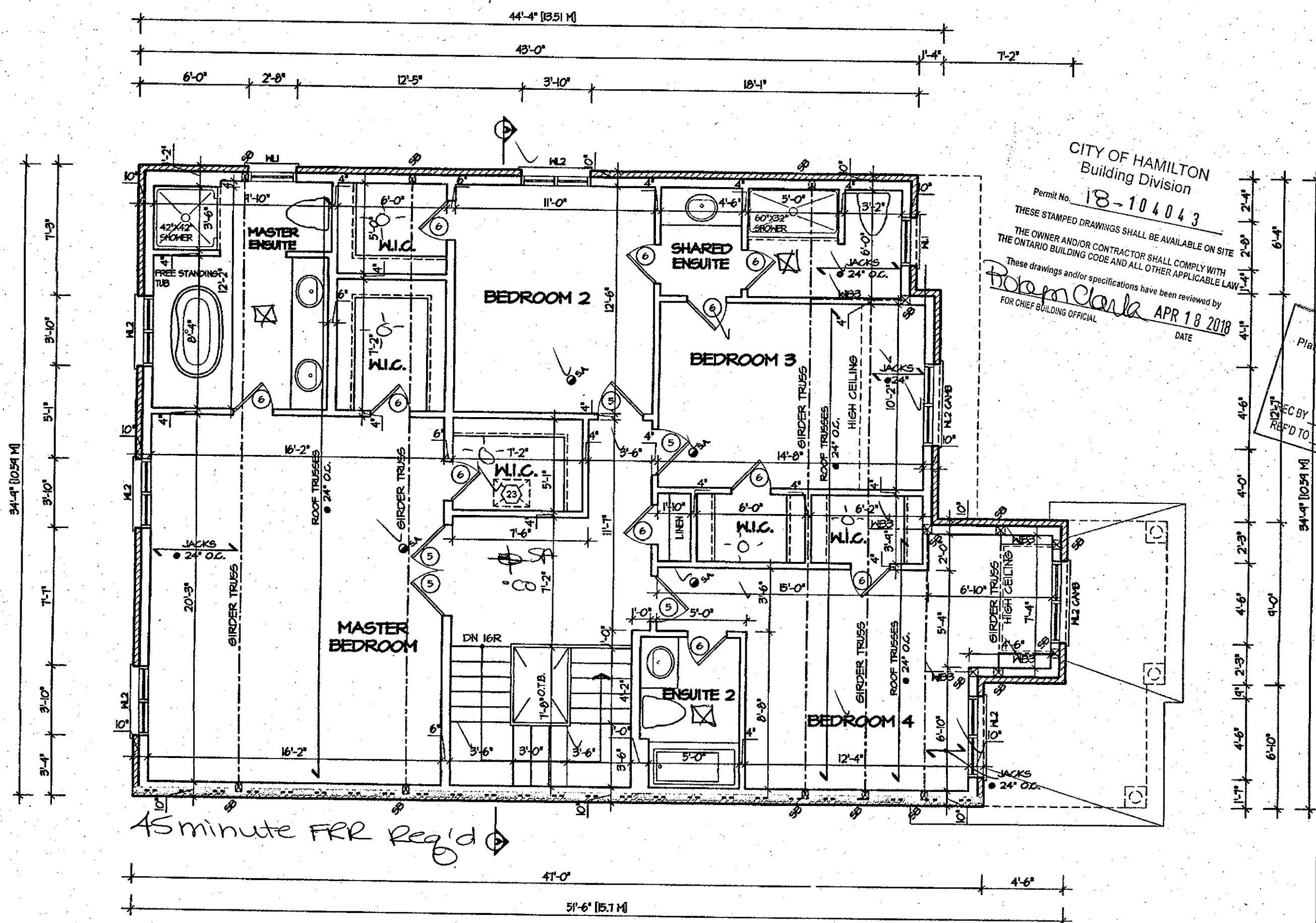
ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

Electrical contractor
Registration Agency
All electrical installations
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE APPLICATION MUST BE FILED
FOR MOP, N.O.M., ON, PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7231)
PLUG IN SAFE, Y. HIR, A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.pluginSAFE.ca

INDICATES REDUCED SIDE YARD CONDITION

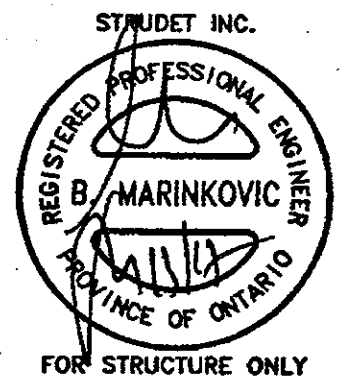
5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME 28770 SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4086 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE FIRST FLOOR PLAN ELEV. 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSEL GARDEN - II
4.						SCALE 3/16"=1'-0"	BY B.K.	AREA 2887	PAGE No. 2-3	
3.						DATE JUNE 2017	TYPE	PROJECT 03-13-05		
2.	ISSUED FOR PERMIT	JUNE 2017								
1.	ISSUED FOR REVIEW	FEB 2017								
REVISIONS										

Greenpark



CITY OF HAMILTON
Building Division
Permit No. 18-104043
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
Robert Clark APR 18 2018
FOR CHIEF BUILDING OFFICIAL

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
DATE
DATE



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Mississauga.

SECOND FLOOR PLAN ELEV. 1



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY - HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugsafely.ca

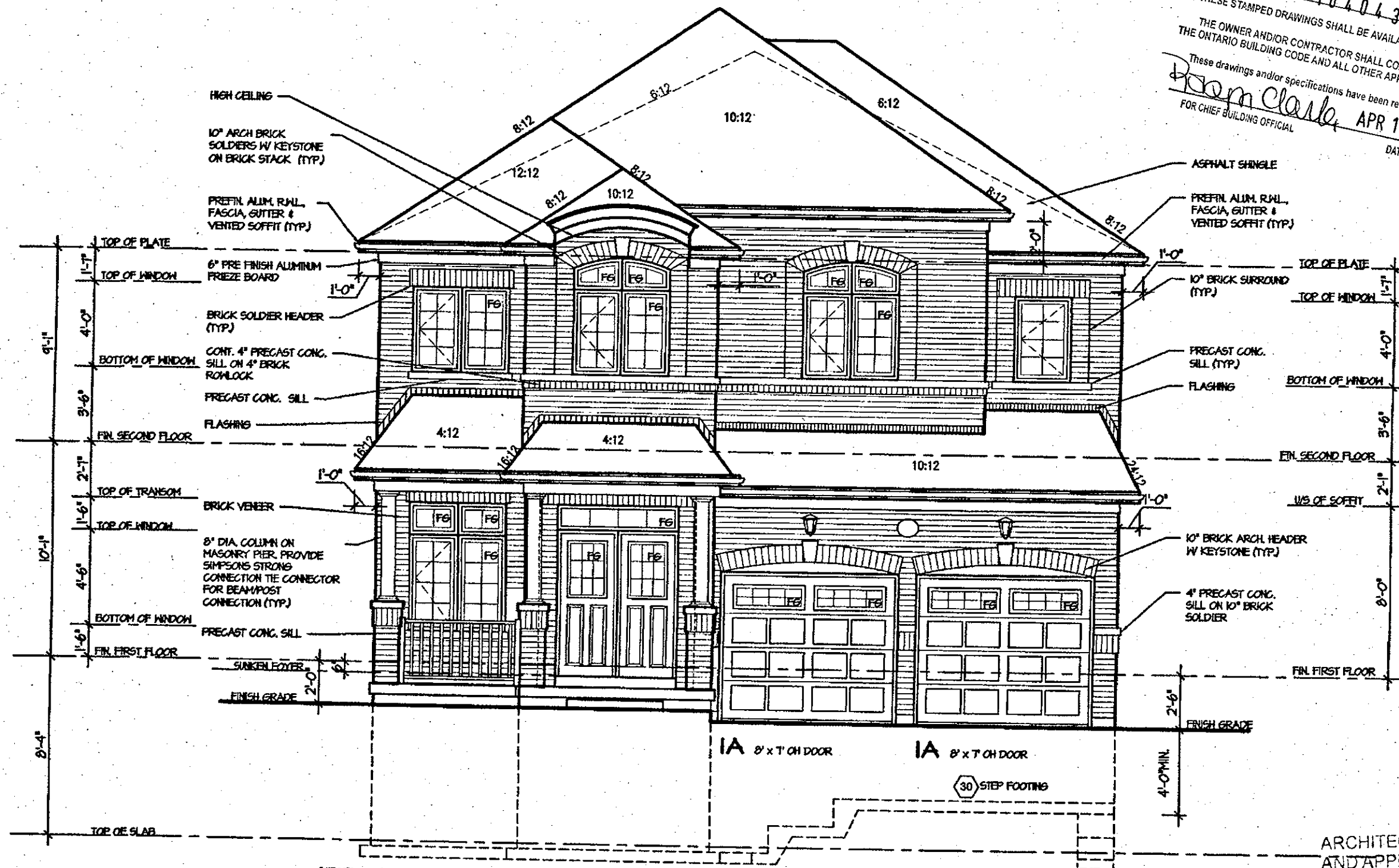
ARCHITECTURAL REVIEW AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

Reinforcing in main bath required for future grab bars

		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		REGION DESIGN INC.	SHEET TITLE SECOND FLOOR PLAN ELEV. 1		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		Greenpark.	
		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code					SCALE 3/16"=1'-0"	BY B.K.	AREA 2887	PAGE No. 3		PROJECT NAME RUSSEL GARDEN - II
		VIKAS GAJJAR NAME SIGNATURE BCIN		28770			DATE JUNE 2017	TYPE	PROJECT 03-13-05			
REVISIONS												
5.												
4.												
3.												
2.	ISSUED FOR PERMIT	JUNE 2017										
1.	ISSUED FOR REVIEW	FEB 2017										

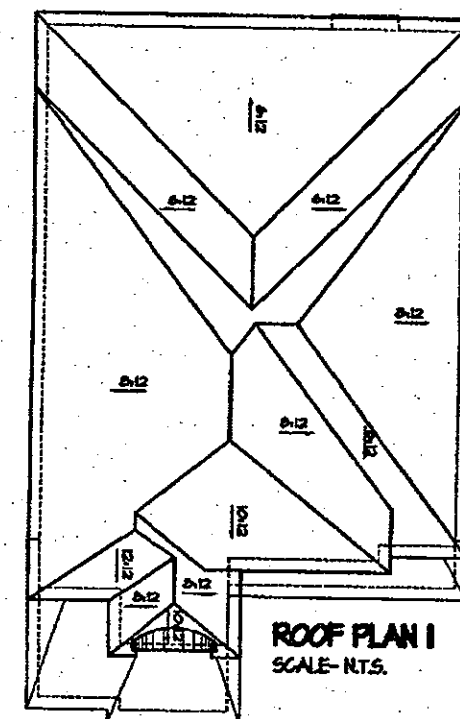
ROSEWOOD 3
COMPLIANCE PACKAGE "A1"





FRONT ELEVATION I
LD calcs okay

CITY OF HAMILTON
Building Division
Permit No. **B 104043**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
Don Clark APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REC BY **FEB 12 2018**
REF'D TO _____ DATE _____

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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed **NOV 20 2017**
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

5.	
4.	
3.	
2.	ISSUED FOR PERMIT JUNE 2017
1.	ISSUED FOR REVIEW FEB 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**FRONT ELEVATION
ELEV. 1**
SCALE 3/16"=1'-0"
DATE JUNE 2017
BY B.K.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2887
PAGE No. 4
PROJECT 03-13-05

Greenpark.
PROJECT NAME
RUSSEL GARDEN - II



CITY OF HAMILTON
Building Division

Permit No. 18-104043

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Bromclark APR 18 2018
FOR CHIEF BUILDING OFFICIAL

DATE

ASPHALT SHINGLE

MAR 14 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND ADMINISTRATION

APPROVED BY: _____
DATE: Mar 08, 2018

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

MAR 05 2018

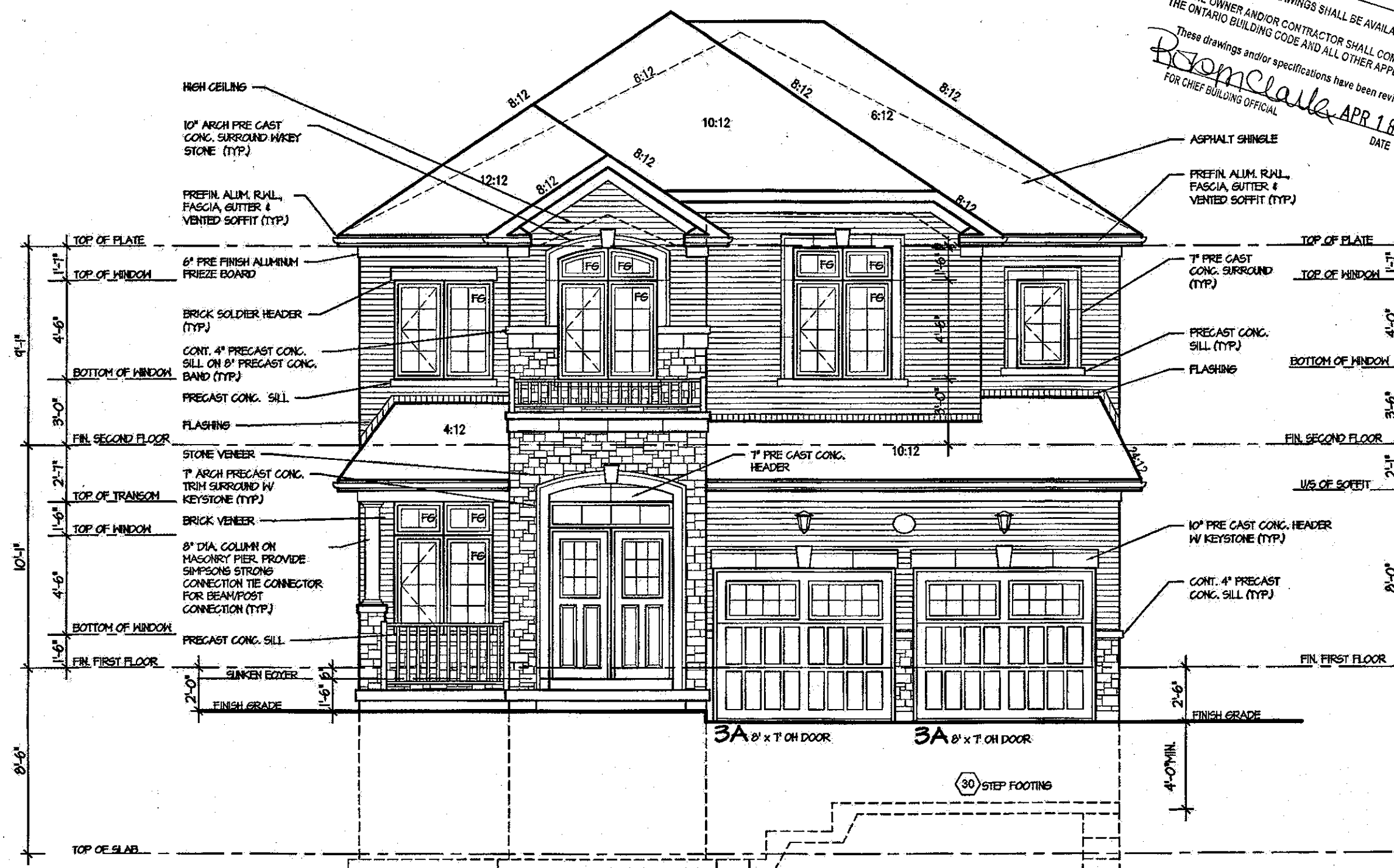
ROSEWOOD 3

COMPLIANCE PACKAGE "A1"



Greenpark™

PROJECT NAME
RUSSEL GARDEN - II



FRONT ELEVATION 2

LD calcs: Okay

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

**R
D
I** REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JUNE 2017

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER
PRINTS ARE NOT TO BE SCALED.

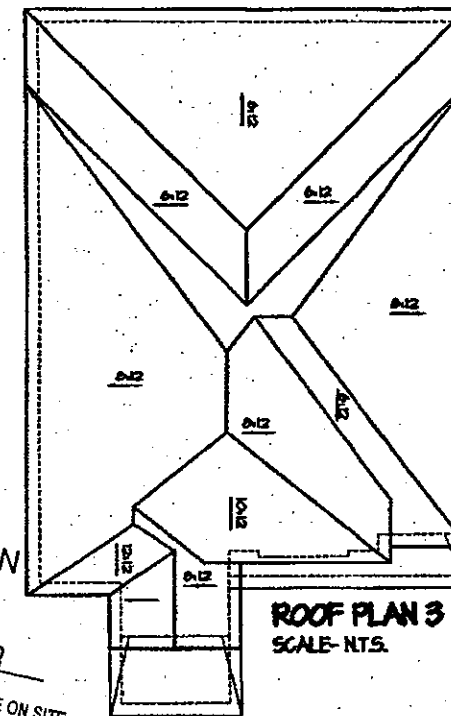
AREA	2887
PROJECT	03-13-05

4-2

REVISIONS

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	JUNE 2017
1.	ISSUED FOR REVIEW	FEB 2017
REVISIONS		

14045 DM M-100 IECTS DI JESSE I GARDEN II STANDARD DI ANSIBOSEWOOD 2/4 E. BEO - BOKACAN BOSEWOOD 2/4 E. MASTER NAO



CITY OF HAMILTON
Building Division

Permit No. **18-104043**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Barbara Clark APR 18 2018
DATE

PREFIN. ALUM. RAIL,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

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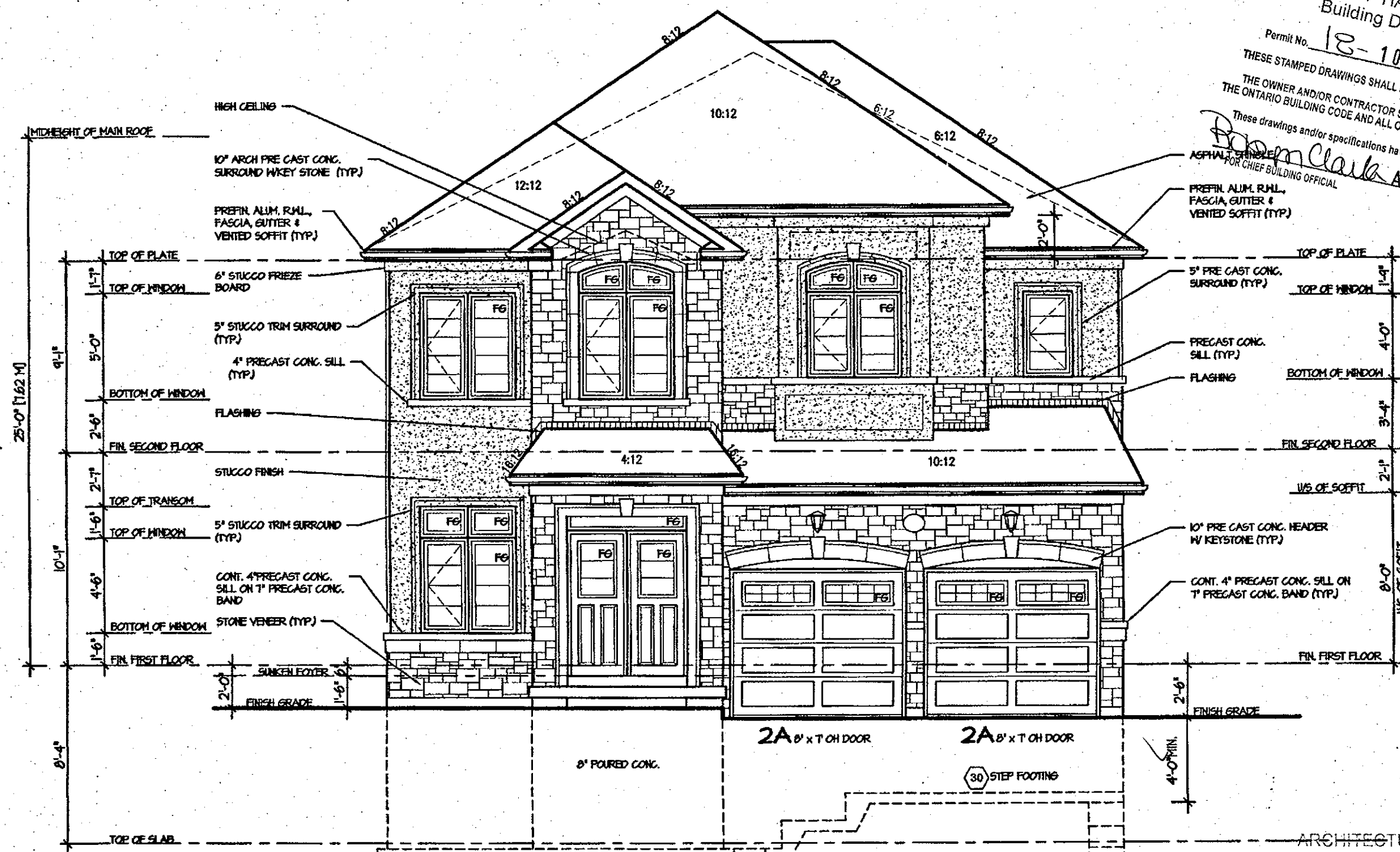
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON

Signed _____
Dated **NOV 20 2017**
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"



FRONT ELEVATION 3

LD calcs okay

5.	
4.	
3.	
2.	ISSUED FOR PERMIT JUNE 2017
1.	ISSUED FOR REVIEW FEB 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR *[Signature]* 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4096
F (905) 880-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**FRONT ELEVATION
ELEV. 3**

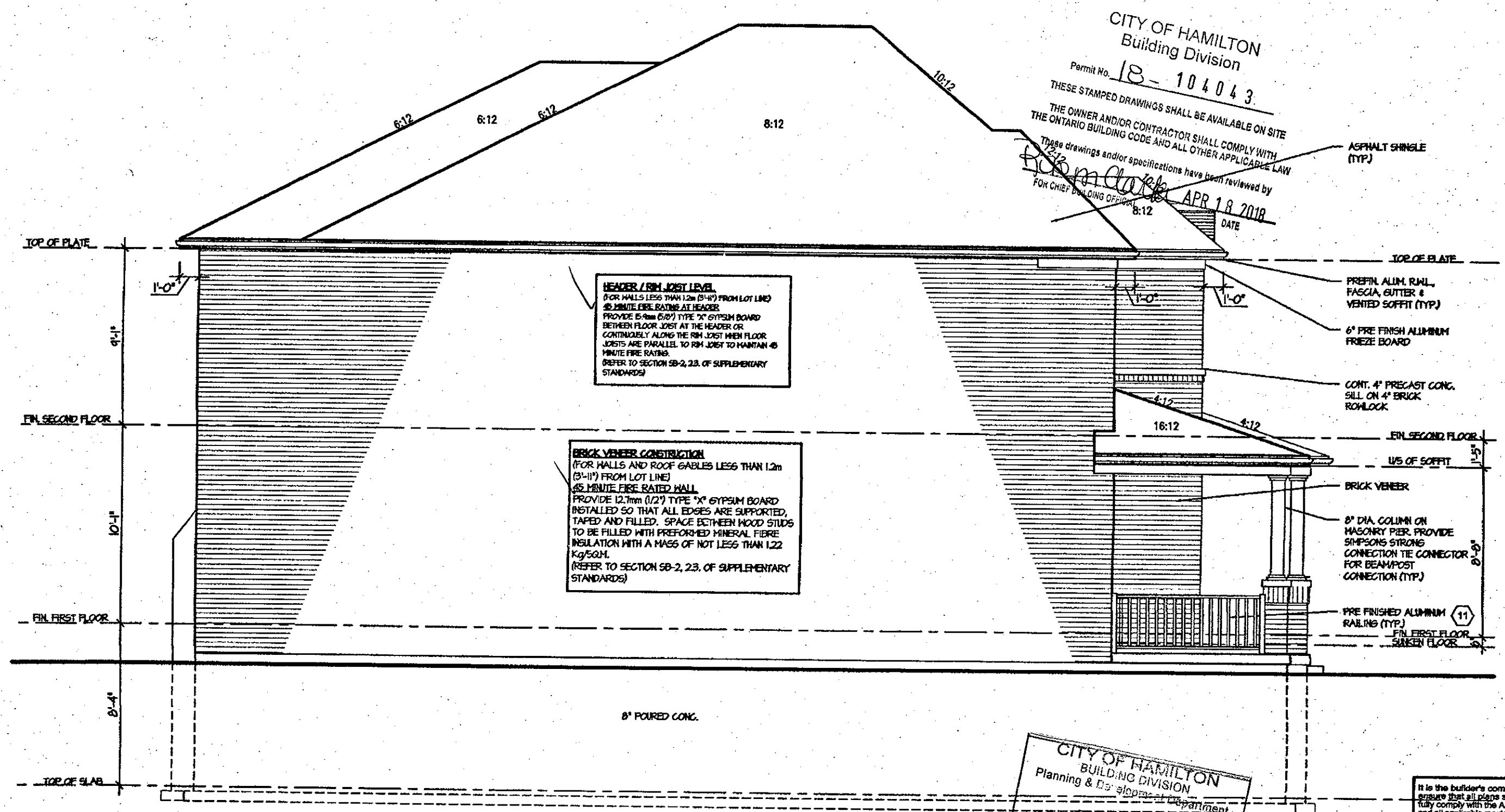
SCALE 3/16"=1'-0"
DATE JUNE 2017
BY B.K.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2887
PROJECT 03-13-05
PAGE No. 4-3

Greenpark.

PROJECT NAME
RUSSEL GARDEN - II



CITY OF HAMILTON
Building Division
Permit No. **18-104043**
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
John G. Williams
FOR CHIEF BUILDING OFFICIAL
DATE **APR 18 2018**

HEADER / RM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADERS
PROVIDE 5/8" (16mm) TYPE "X" GYPSUM BOARD
BETWEEN FLOOR JOIST AT THE HEADER OR
CONTINUOUSLY ALONG THE RM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RM JOIST TO MAINTAIN 45
MINUTE FIRE RATING.
(REFER TO SECTION SB-2, 23, OF SUPPLEMENTARY
STANDARDS)

BRICK VENEER CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m
(3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD
INSTALLED SO THAT ALL EDGES ARE SUPPORTED,
TAPED AND FILLED. SPACE BETWEEN WOOD STUDS
TO BE FILLED WITH PREFORMED MINERAL FIBRE
INSULATION WITH A MASS OF NOT LESS THAN 1.22
Kg/SQM.
(REFER TO SECTION SB-2, 23, OF SUPPLEMENTARY
STANDARDS)

ASPHALT SHINGLE
(TYP)

PREFIN. ALUM. RAIL,
FASCIA, GUTTER &
VENTED SOFFIT (TYP)

6" PRE FINISH ALUMINUM
FRIEZE BOARD

CONT. 4" PRECAST CONC.
SILL ON 4" BRICK
ROWLOCK

FIN SECOND FLOOR

1/5" OF SOFFIT

BRICK VENEER

8" DIA. COLUMN ON
MASONRY PIER. PROVIDE
SIMPSON'S STRONG
CONNECTION TIE CONNECTOR
FOR BEAM/POST
CONNECTION (TYP)

PRE FINISHED ALUMINUM
RAILING (TYP)

FIN FIRST FLOOR
SUNKEN FLOOR

LEFT ELEVATION I

ALLOWABLE GLAZING			
WALL AREA	=	0	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 & 1/2 M SIDE YARD	=	0.00	Sq. Ft.
ACTUAL GLAZED AREA	=	0.0	Sq. Ft.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Design Department
FEB 12 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed *John G. Williams*
Dated **NOV 20 2017**
John G. Williams Limited, Architect

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JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJMER 28770 NAME SIGNATURE BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		LEFT ELEVATION ELVE. 1 SCALE 3/16"=1'-0" DATE JUNE 2017 BY B.K. TYPE _____ AREA 2887 PROJECT 03-13-05 PAGE NO. 5		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. Greenpark. PROJECT NAME RUSSEL GARDEN - II	
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CITY OF HAMILTON
Building Division

Permit No. 18-104043

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These drawings and/or specifications have been reviewed by
Edmund Hall APR 18 2018
FOR CHIEF BUILDING OFFICER

DATE
8-12

ASPHALT SHINGLE
(TYP)

PREFIN. ALUM. RAIL,
FASCIA, GUTTER &
VENTED SOFFIT (TYP)

6" PRE-FINISH ALUMINUM
FRIEZE BOARD

CONT. 4" PRECAST CONC.
SILL ON 8" PRECAST CONC.
BAND (TYP)

18" HIGH DECORATIVE
PRE-FINISH ALUMINUM
RAILING (TYP)

STONE VENEER (TYP)

8" DIA. COLUMN ON
MASONRY PIER. PROVIDE
SIMPSON STRONG
CONNECTION TIE CONNECTOR
FOR BEAMPOST
CONNECTION (TYP)

PRE-FINISH ALUMINUM
RAILING (TYP)

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fully comply with the Architectural Guidelines
and all applicable regulations and requirements
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Hamilton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

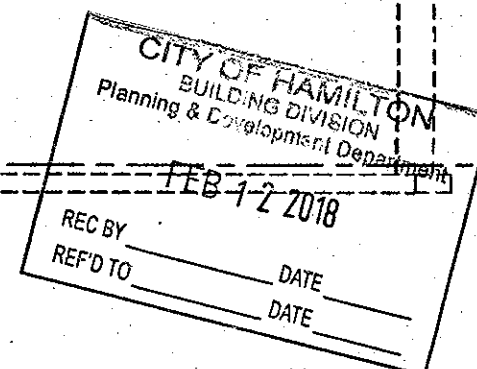
JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

LEFT ELEVATION 2

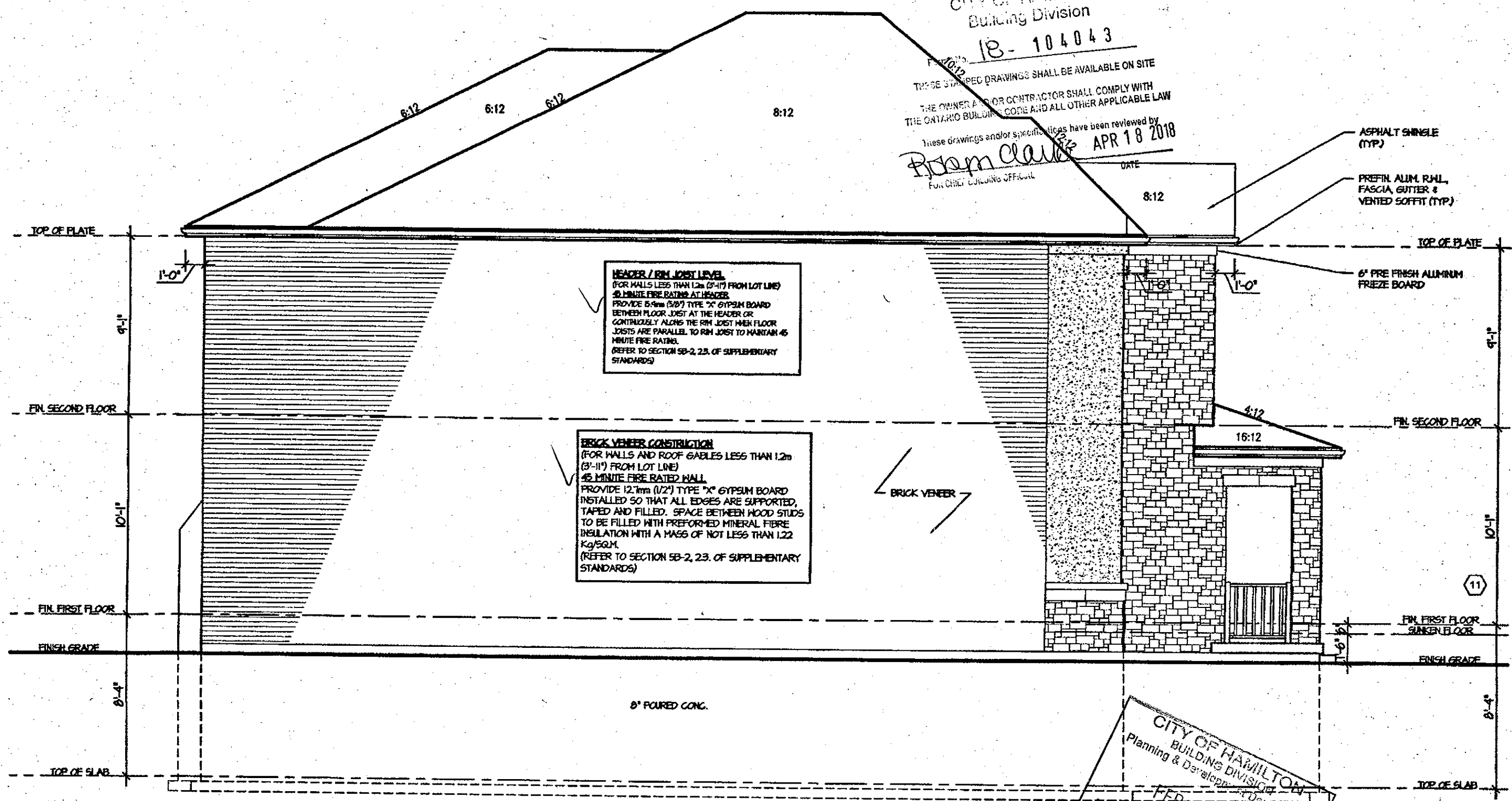
ALLOWABLE GLAZING

WALL AREA	=	0	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% L2 M SIDE YARD	=	0.00	Sq. Ft.
ACTUAL GLAZED AREA	=	0.0	Sq. Ft.



5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE LEFT ELEVATION ELEV. 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		Greenpark.	PROJECT NAME RUSSEL GARDEN - II
4.					SCALE 3/16"=1'-0"	BY B.K.	AREA 2887	PAGE No. 5-2		
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-05			
2. ISSUED FOR PERMIT		JUNE 2017	VIKAS GAJJAR NAME		28770 BCIN					
1. ISSUED FOR REVIEW		JUL 2016	SIGNATURE							
REVISIONS										

CITY OF HAMILTON
Building Division
18-104043
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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These drawings and/or specifications have been reviewed by
Adam Clark APR 18 2018
FOR CHIEF BUILDING OFFICIAL



LEFT ELEVATION 3

ALLOWABLE GLAZING		
WALL AREA	=	0 Sq. Ft.
ALLOWABLE GLAZED AREA @ 1% 12 M SIDE YARD	=	0.00 Sq. Ft.
ACTUAL GLAZED AREA	=	0.00 Sq. Ft.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REC BY
REF'D TO
FEB 12 2018
DATE
DATE

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

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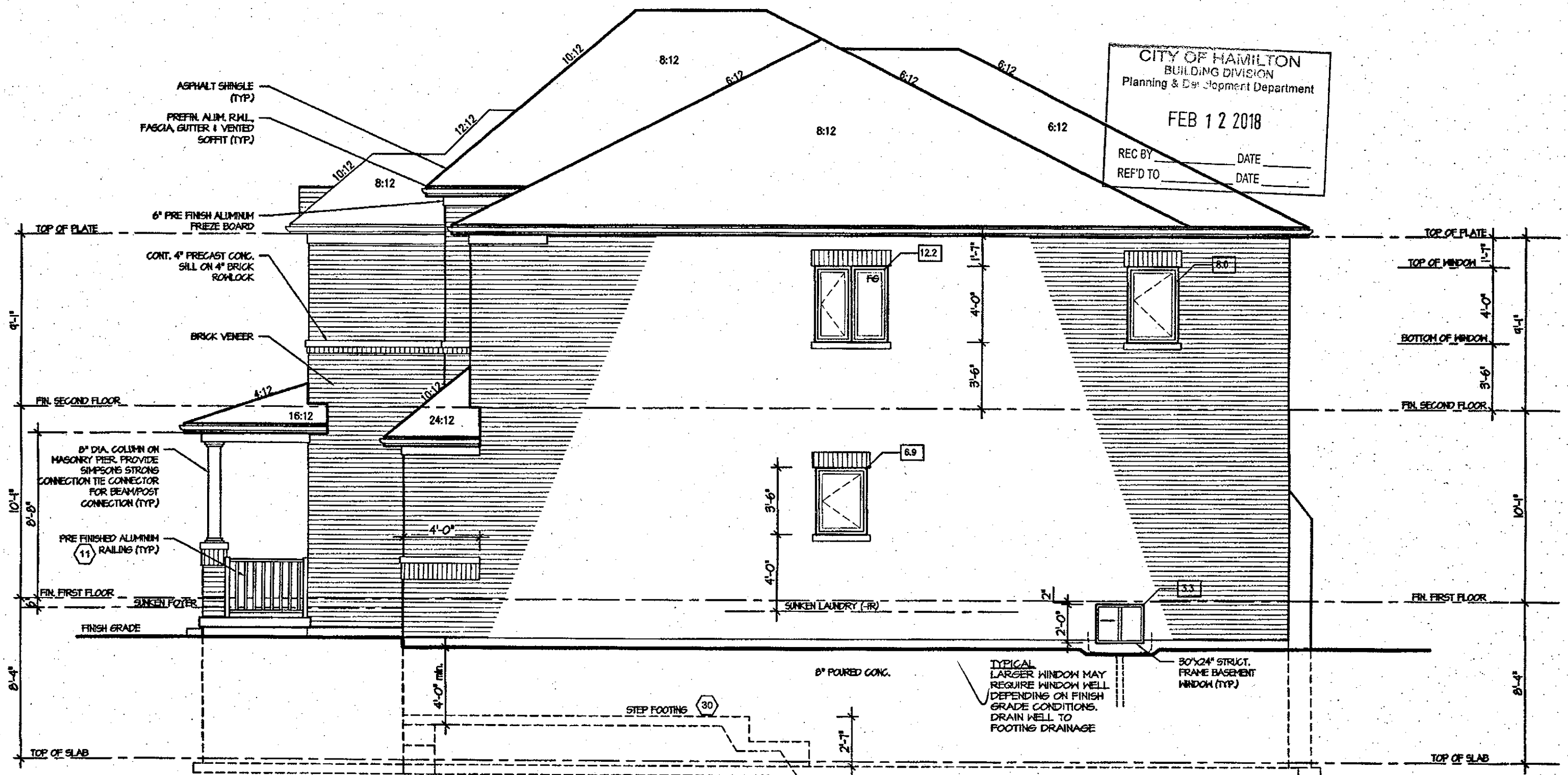
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JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	SHEET TITLE LEFT ELEVATION ELEV. 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2887	PAGE No. 5-3	PROJECT 03-13-05	PROJECT NAME RUSSEL GARDEN - II
4.										
3.										
2. ISSUED FOR PERMIT	JUNE 2017									
1. ISSUED FOR REVIEW	FEB 2017		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code							
REVISIONS			VIKAS GAJJAR NAME	<i>[Signature]</i> SIGNATURE	28770 BCIN					

Greenpark.



RIGHT ELEVATION 1

CITY OF HAMILTON
Building Division

Permit No. **18-104043**

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Donna Clout **APR 18 2018**
FOR CHIEF BUILDING OFFICIAL DATE

ALLOWABLE GLAZING

WALL AREA	=	95	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 & 1/2 M SIDE YARD	=	69.65	Sq. Ft.
ACTUAL GLAZED AREA	=	30.4	Sq. Ft.

LD calc's okay

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed *[Signature]*
Dated **NOV 20 2017**
John G. Williams Limited, Architect

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

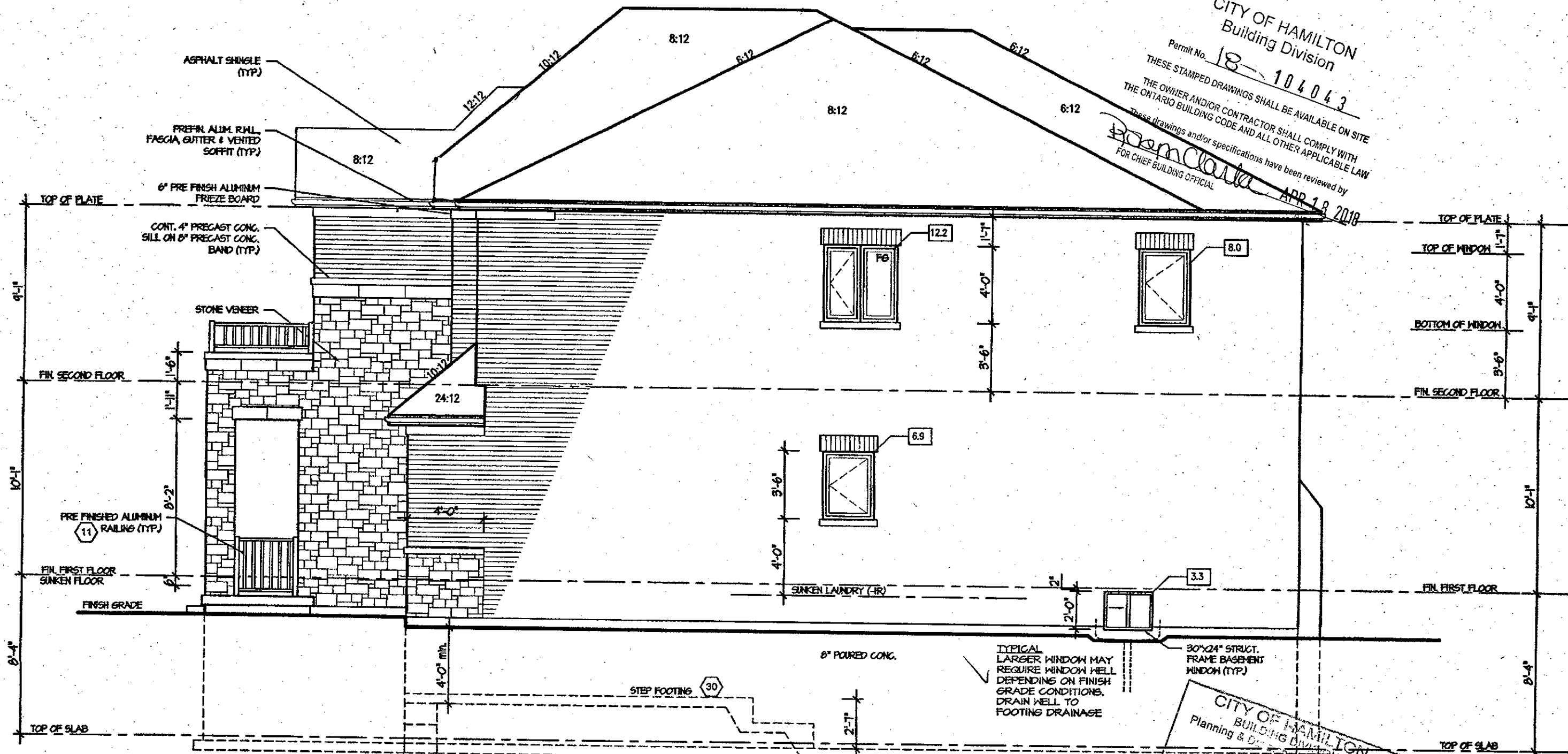
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Mississauga.

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4098 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE RIGHT ELEVATION ELEV. 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PROJECT NAME RUSSEL GARDEN - II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	AREA 2887	
3.		VIKAS GAJJAR NAME			BY B.K.	PAGE NO. 6	
2.	ISSUED FOR PERMIT	JUNE 2017			DATE JUNE 2017	PROJECT 03-13-05	
1.	ISSUED FOR REVIEW	FEB 2017					
REVISIONS							

CITY OF HAMILTON
Building Division
Permit No. 18-104043
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
APR 18 2018



RIGHT ELEVATION 2

ALLOWABLE GLAZING			
WALL AREA	=	1113	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1:12 SIDE YARD	=	71.41	Sq. Ft.
ACTUAL GLAZED AREA	=	30.4	Sq. Ft.

LD calcs okay

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY
REF'D TO
DATE

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Hamilton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. COONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE RIGHT ELEVATION ELEV. 2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2887 PAGE No. 6-2	PROJECT 03-13-05	PROJECT NAME RUSSEL GARDEN - II
4.									
3.									
2. ISSUED FOR PERMIT	JUNE 2017								
1. ISSUED FOR REVIEW	FEB 2017				SCALE 3/16"=1'-0"	BY B.K.			
REVISIONS					DATE JUNE 2017	TYPE			

Permit No. 18-104043

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
6/12 These drawings and/or specifications have been reviewed by
B. Brown APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE



FEB 12 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

WALL AREA	=	1001	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1% 12' H SIDE YARD	=	10.01	Sq. Ft.
ACTUAL GLAZED AREA	=	30.4	Sq. Ft.

LD calcs okay

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed _____
Dated NOV 20 2017
John G. Williams Limited, Architect

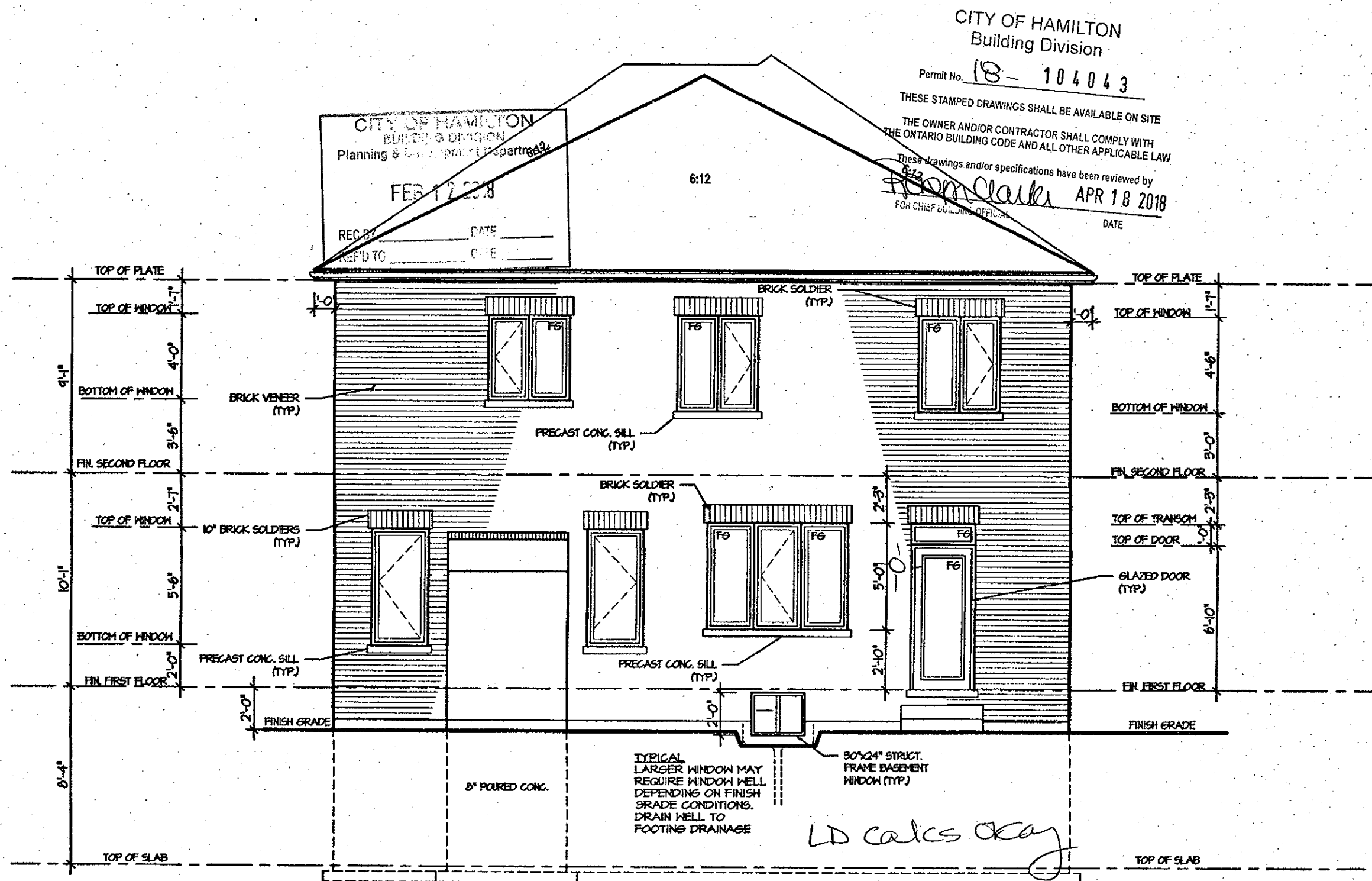
JUL 14 2017

ROSEWOOD 3

COMPLIANCE PACKAGE "A1"

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4.					RIGHT ELEVATION					PAGE No. 6-3			
3.					ELEV. 3								
2.	ISSUED FOR PERMIT				JUNE 2017	SCALE	3/16"=1'-0"	BY			B.K.	AREA	2887
1.	ISSUED FOR REVIEW				FEB 2017	DATE	JUNE 2017	TYPE				PROJECT	03-13-05
REVISIONS									PROJECT NAME	RUSSEL GARDEN - II			

PROJECT NAME
RUSSEL GARDEN - II



REAR ELEVATION 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

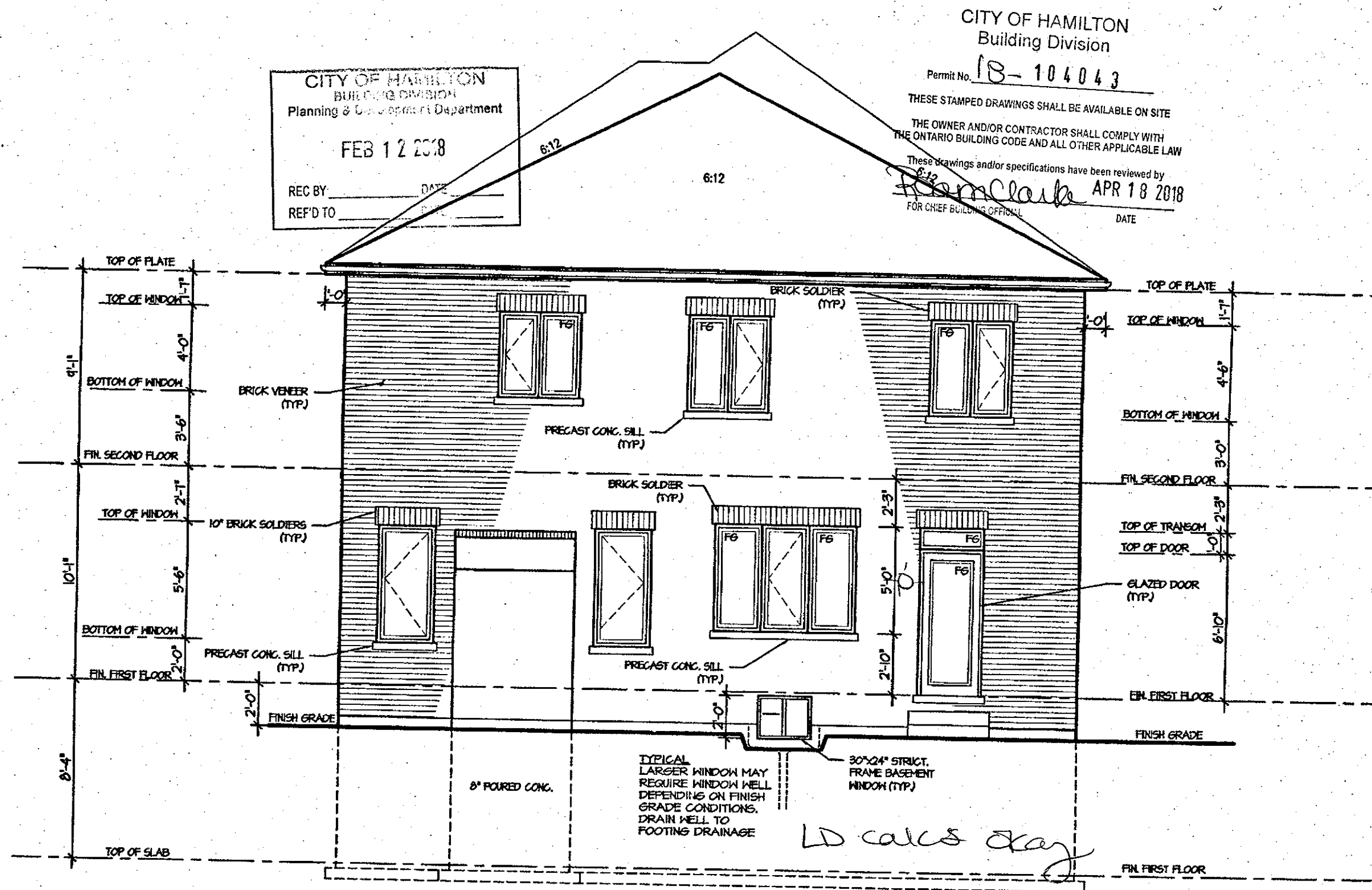
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed *[Signature]*
Dated **NOV 20 2017**
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION ELEV. 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		Greenpark. PROJECT NAME RUSSEL GARDEN - II
4.					SCALE 3/16"=1'-0"	BY B.K.	AREA 2887	PAGE No. 7-2	
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-05		
2.	ISSUED FOR PERMIT	JUNE 2017							
1.	ISSUED FOR REVIEW	FEB 2017							
REVISIONS									



REAR ELEVATION 3

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed _____
Dated **NOV 20 2017**
John G. Williams Limited, Architect

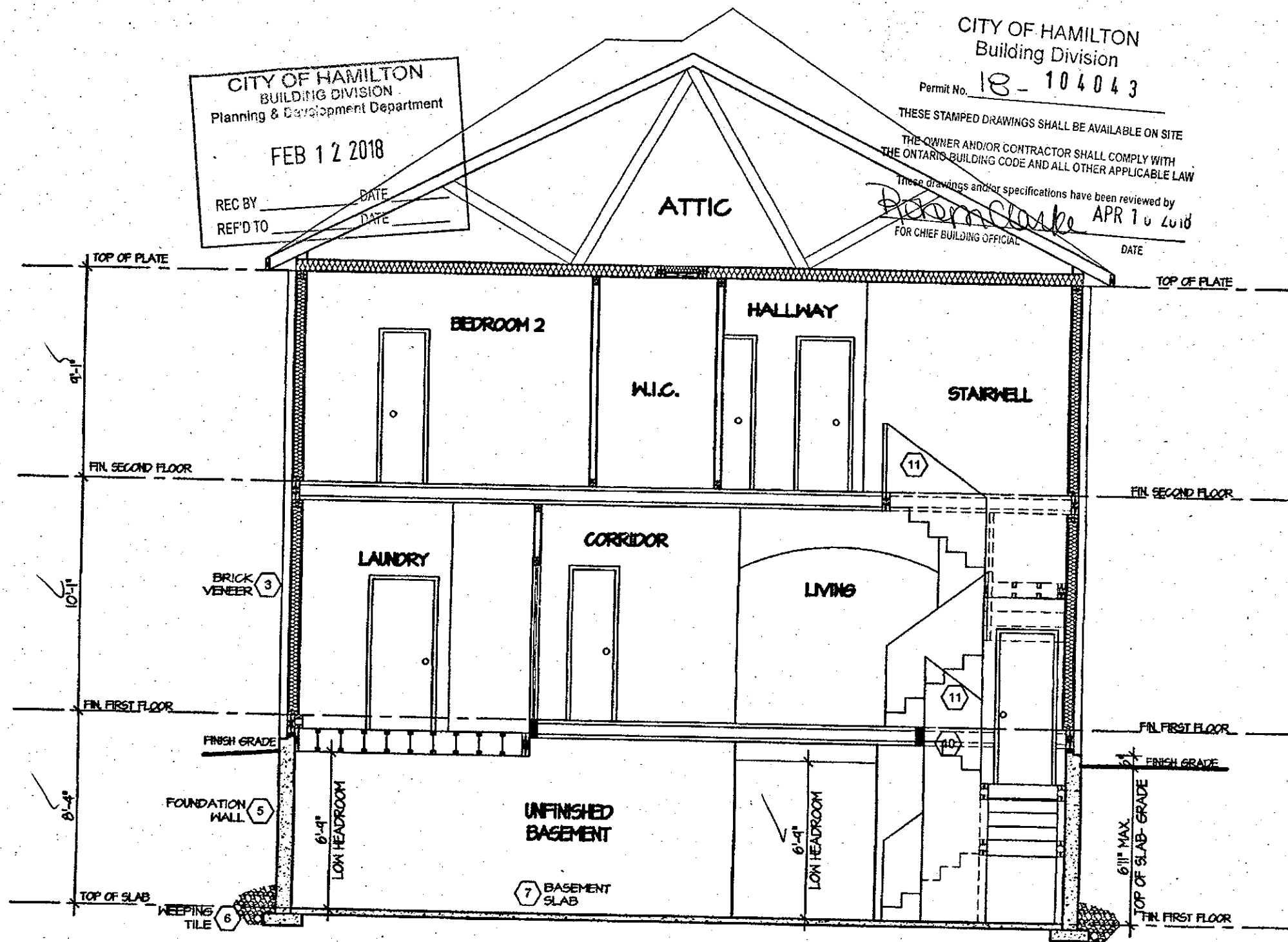
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

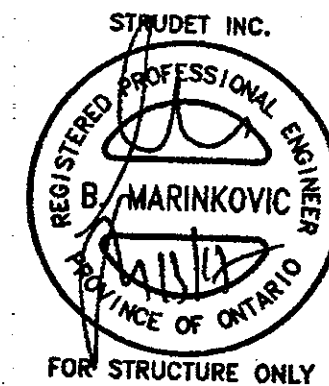
5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		REGION DESIGN INC. SHEET TITLE REAR ELEVATION ELEV. 3 SCALE 3/16"=1'-0" DATE JUNE 2017 BY B.K. TYPE _____		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2887 PAGE NO. 7-3 PROJECT 03-13-05		Greenpark. PROJECT NAME RUSSEL GARDEN - II	
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SECTION "AA"

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 18-104043
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] APR 10 2018
FOR CHIEF BUILDING OFFICIAL DATE _____



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

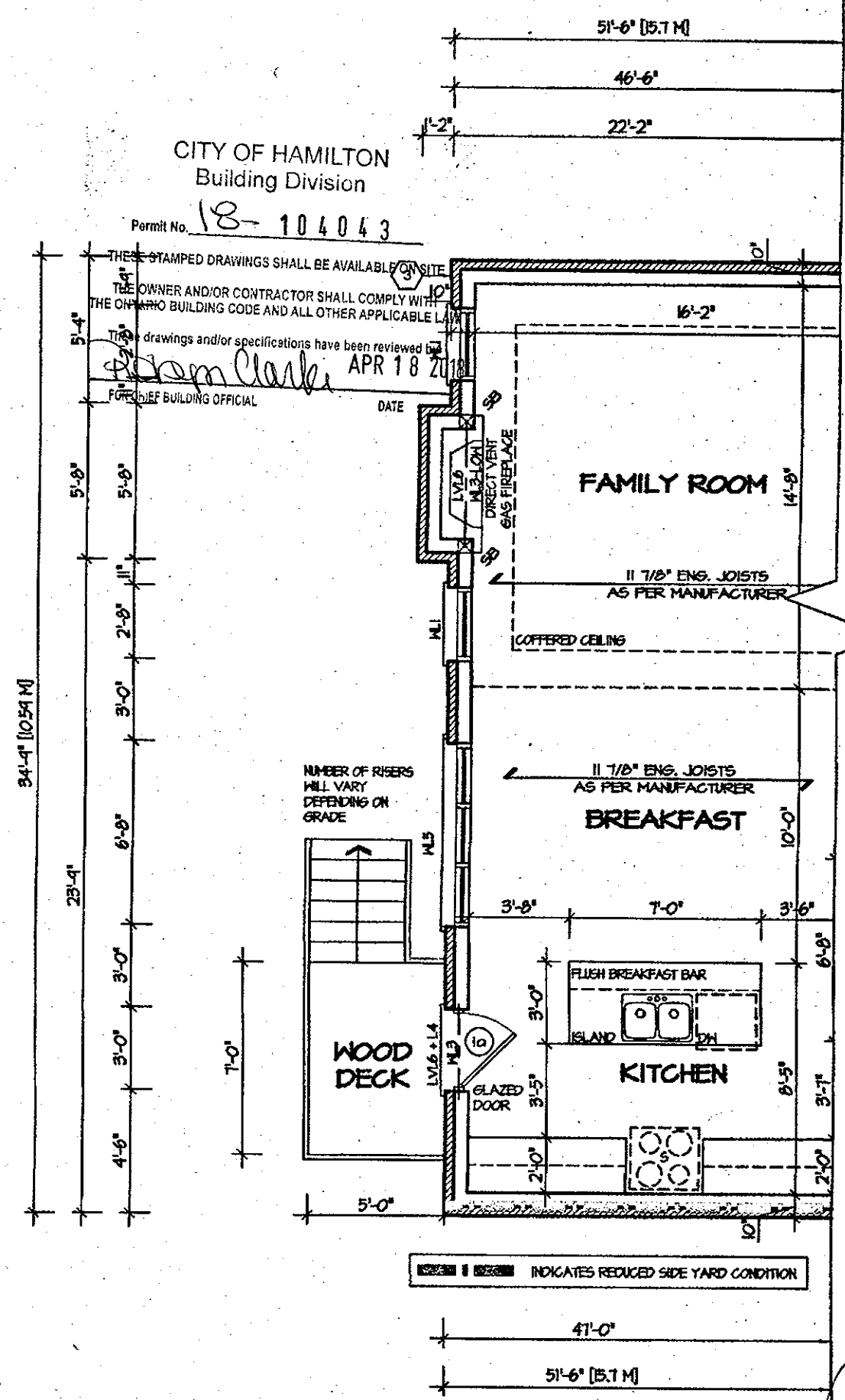
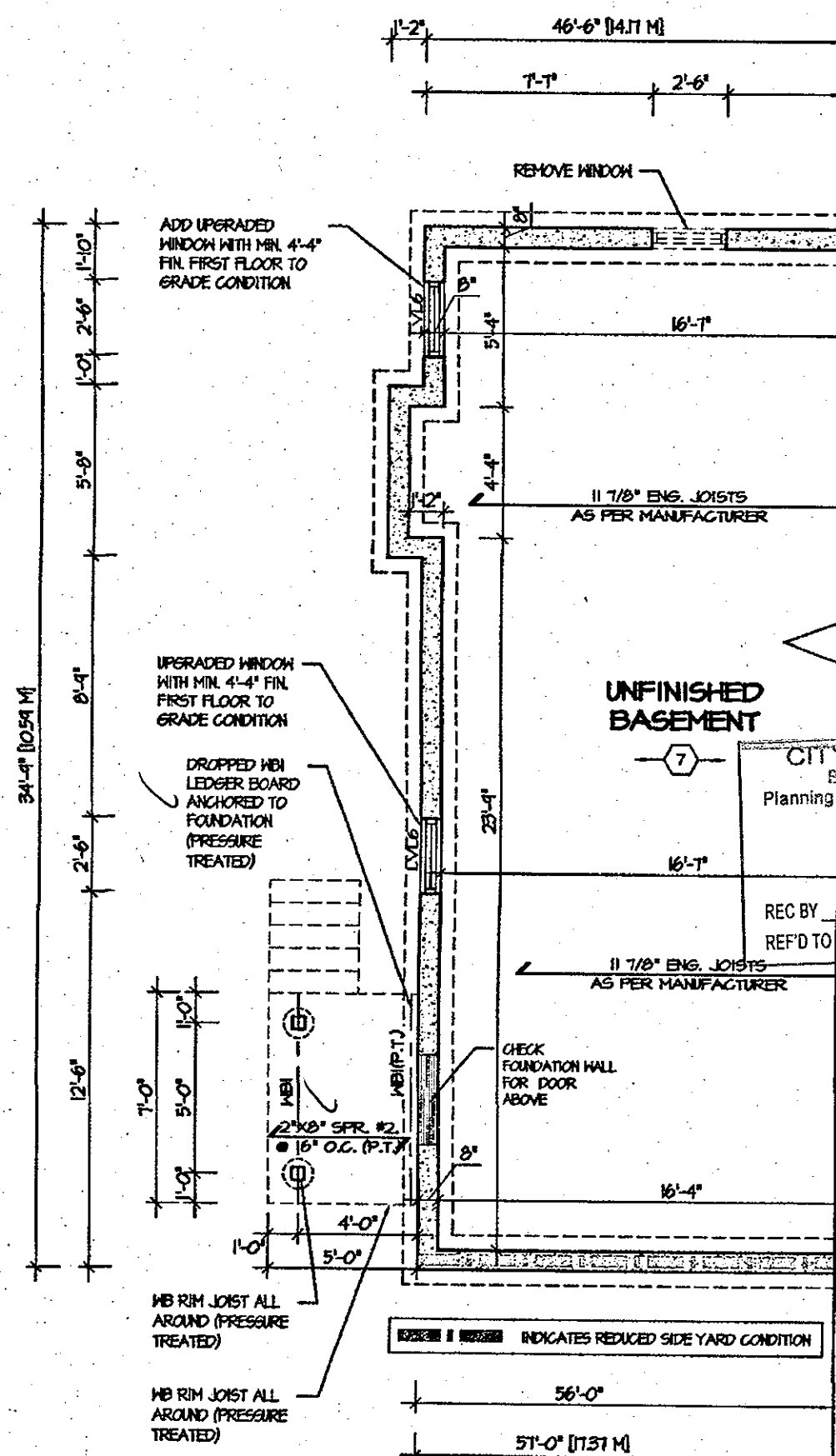
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Mississauga.

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017		REVISIONS		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 680-0748		REGION DESIGN INC.		SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" DATE JUNE 2017		BY B.K. TYPE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2887 PROJECT 03-13-05		PAGE No. 8		PROJECT NAME RUSSEL GARDEN - II	
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Greenpark.



CITY OF HAMILTON
Building Division

Permit No. 18-104043

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CHICAGO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
William Clark APR 18 2011
FOURTH DEPT. BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of WILLOW.

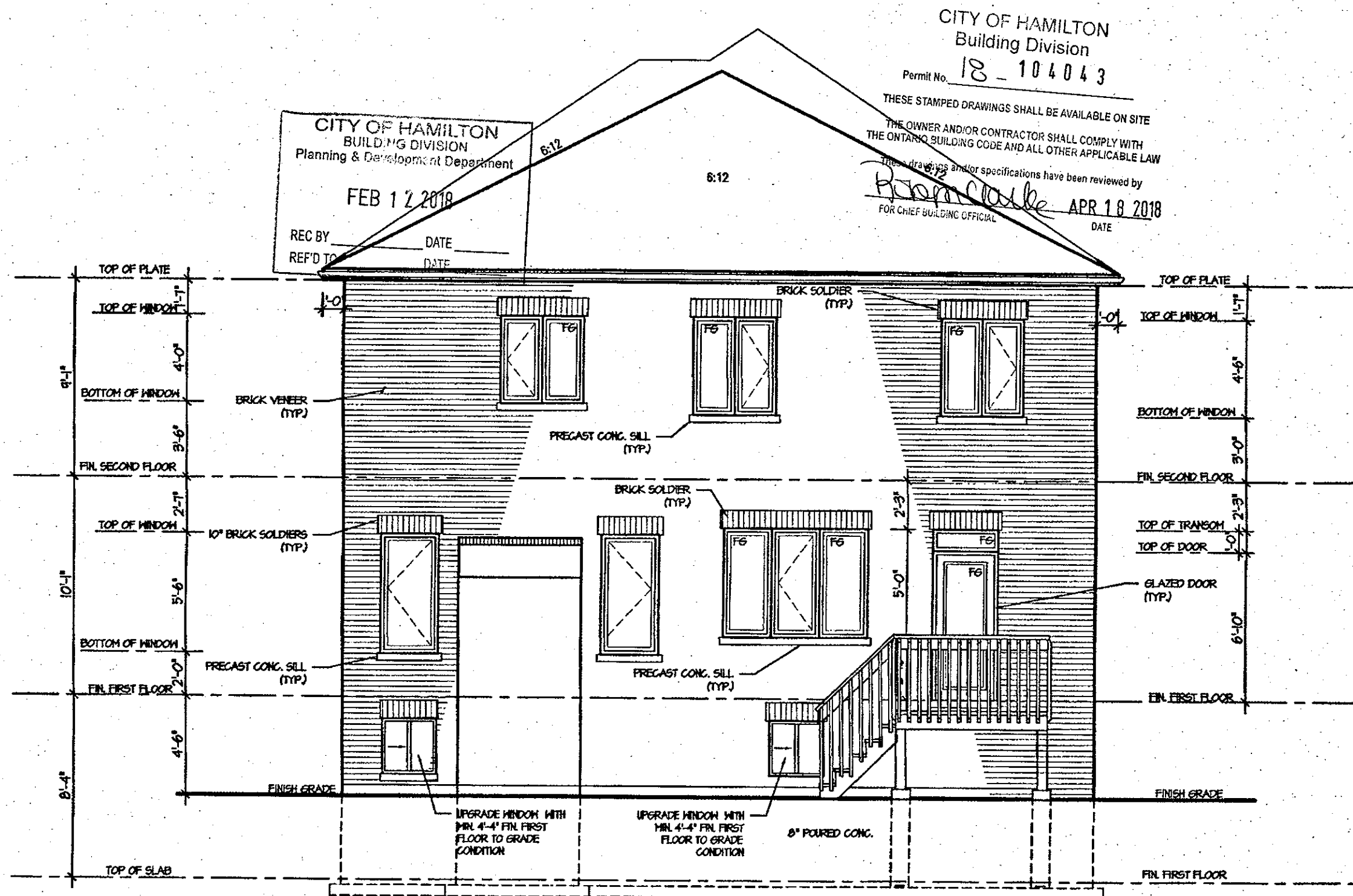
ARCHITECTURAL REVIEW
AND APPROVAL
FOR PLAN
CITY OF HAMILTON
Signed: _____
Dated: NOV 20 2017
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 3

COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 735-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE DECK PLAN ELEV. 1, 2, 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSEL GARDEN - II	
4.					SCALE 3/16"=1'-0"	BY B.K.	AREA 2887	PAGE No. 9		
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-05			
2. ISSUED FOR PERMIT					JUNE 2017					
1. ISSUED FOR REVIEW					FEB 2017					
REVISIONS										



REAR ELEVATION 1,2 & 3
FOR DECK CONDITION

CITY OF HAMILTON
Building Division
Permit No. 18-104043

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
John G. Williams APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

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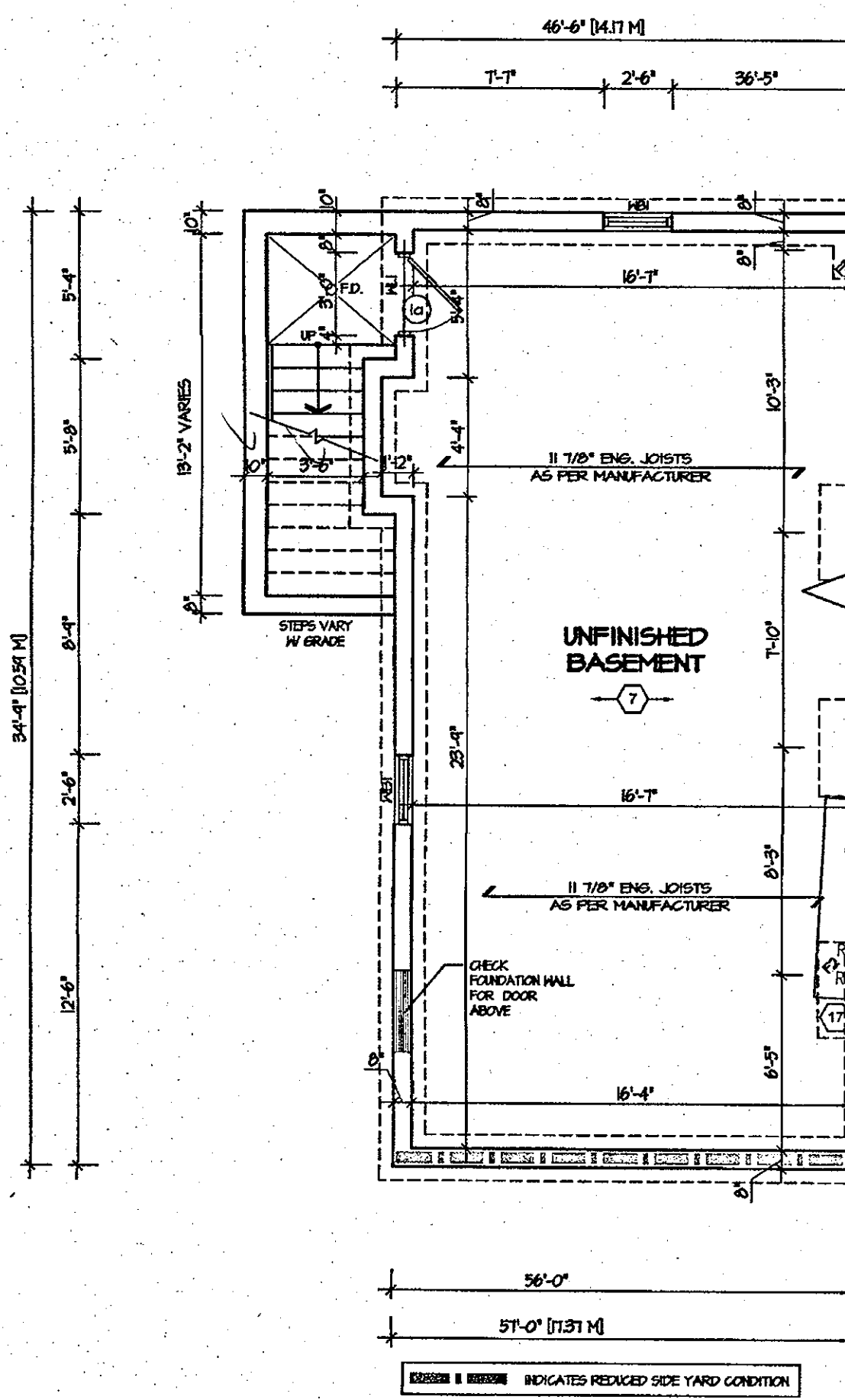
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Mississauga.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed *John G. Williams*
Dated NOV 20 2017
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

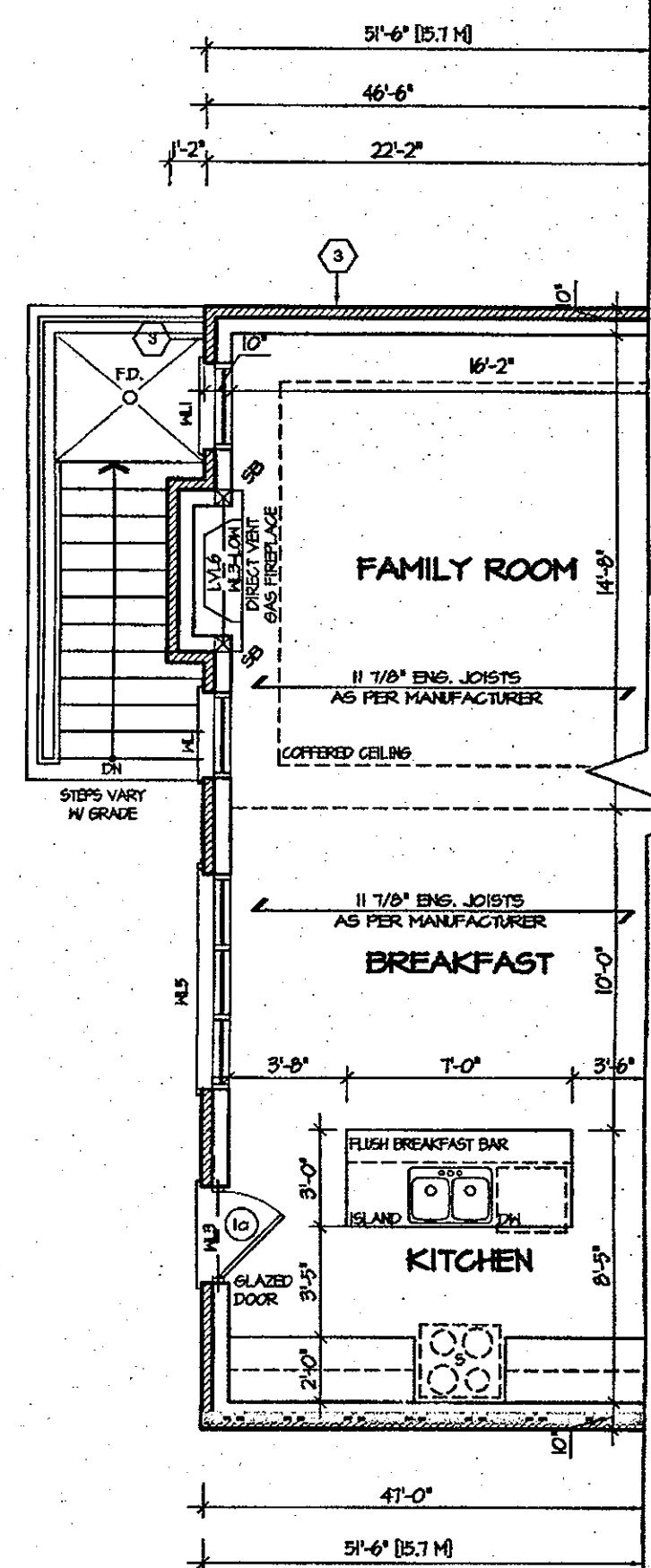
5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW JUL 2016 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR <i>[Signature]</i> 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4086 F (905) 860-0746 REGION DESIGN INC.	SHEET TITLE DECK ELEVATION 1,2 & 3 SCALE 3/16"=1'-0" BY B.K. AREA 2887 PAGE No. 9-2 DATE JUNE 2017 TYPE PROJECT 03-13-05	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	Greenpark. PROJECT NAME RUSSEL GARDEN - II
---	---	---	--	--	---



PARTIAL BASEMENT PLAN
FOR WALK-UP STAIR
CONDITION

CITY OF HAMILTON
Building Division
Permit No. 18-104043
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
Don Clarke APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____



PARTIAL FIRST FLOOR PLAN
FOR WALK-UP STAIR
CONDITION

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed _____
Dated NOV 23 2017
[Signature] Limited, Architect.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Hamilton.

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

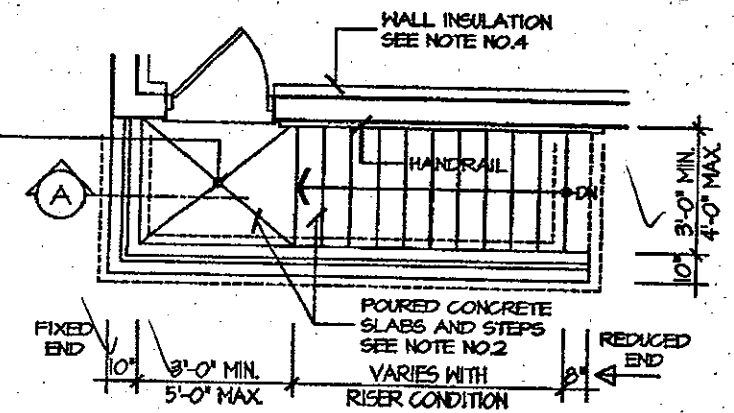
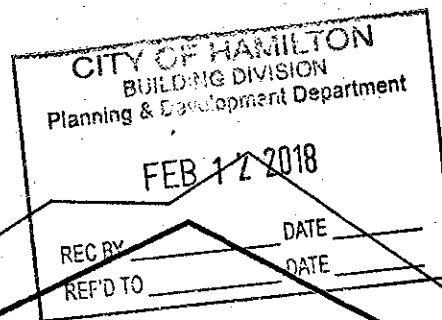
5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE WALK-UP PLANS SCALE 3/16"=1'-0" DATE JUNE 2017	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2887 PAGE No. 10	Greenpark. PROJECT NAME RUSSEL GARDEN - II
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CITY OF HAMILTON
Building Division

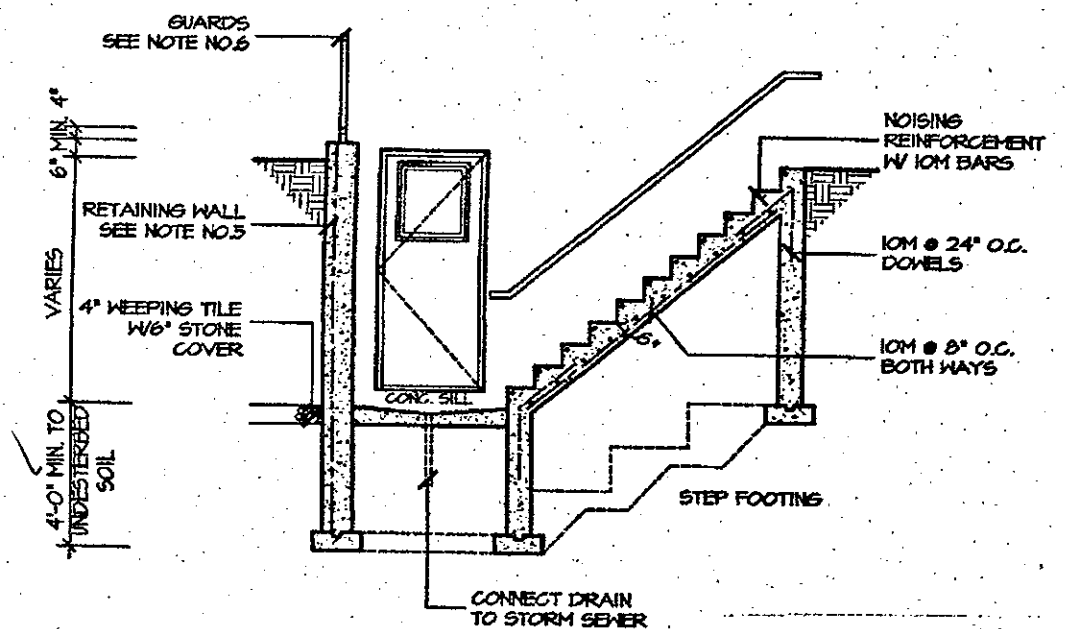
Permit No. **18-104043**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Adam Clarke APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE



PLAN



SECTION 'A'

GENERAL NOTES:

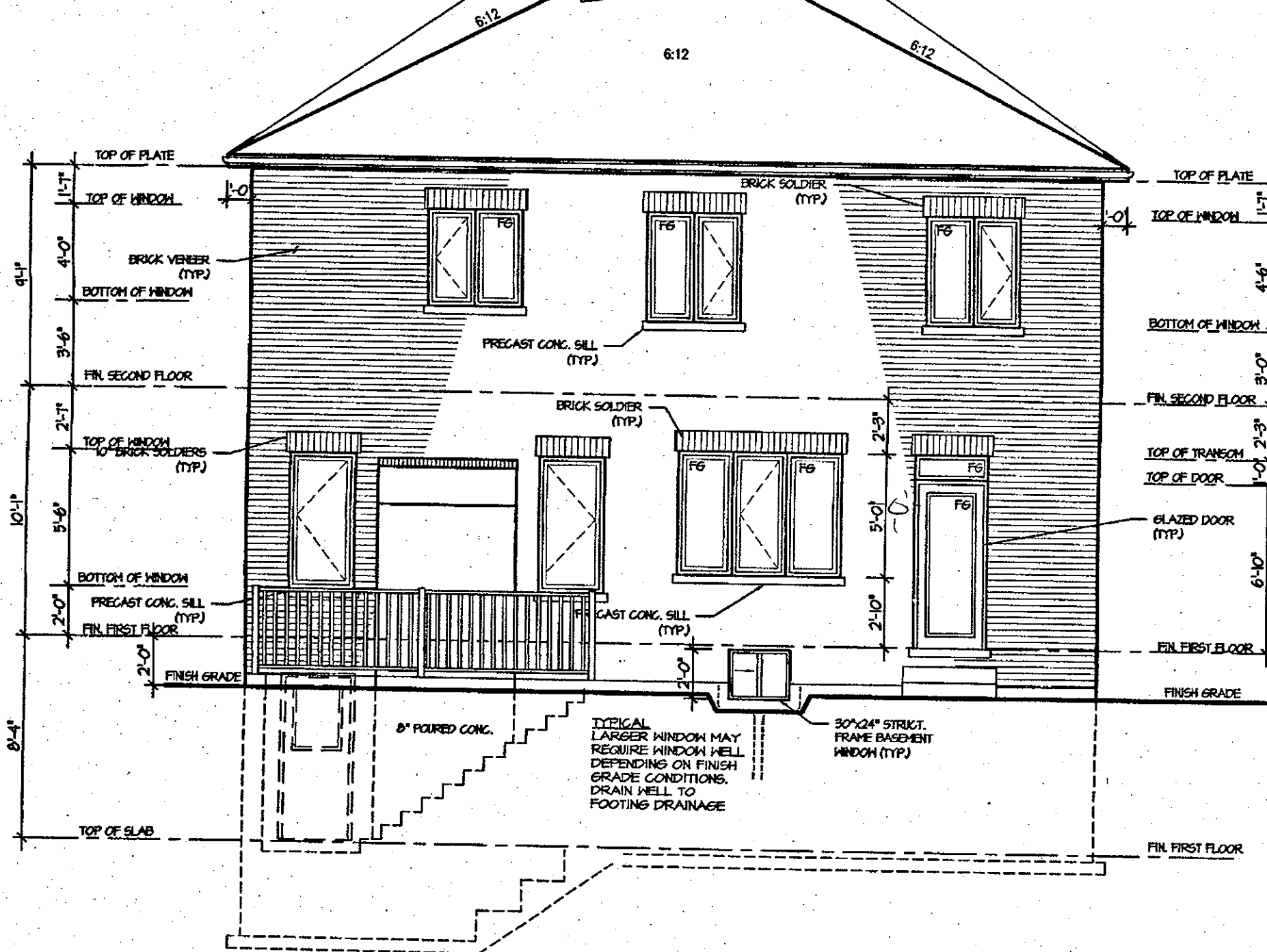
- FOOTING**
16"x6" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
- CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
4 1/4" TREAD MINIMUM
- INSULATION**
MINIMUM R12 INSULATION & VAPOUR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- RETAINING WALL**
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-1". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0".
- GUARDS**
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- LINTELS**
1-3 1/2"x3 1/2"x1/4" L + 2-2"x8" SFR.#1



FOR STRUCTURE ONLY

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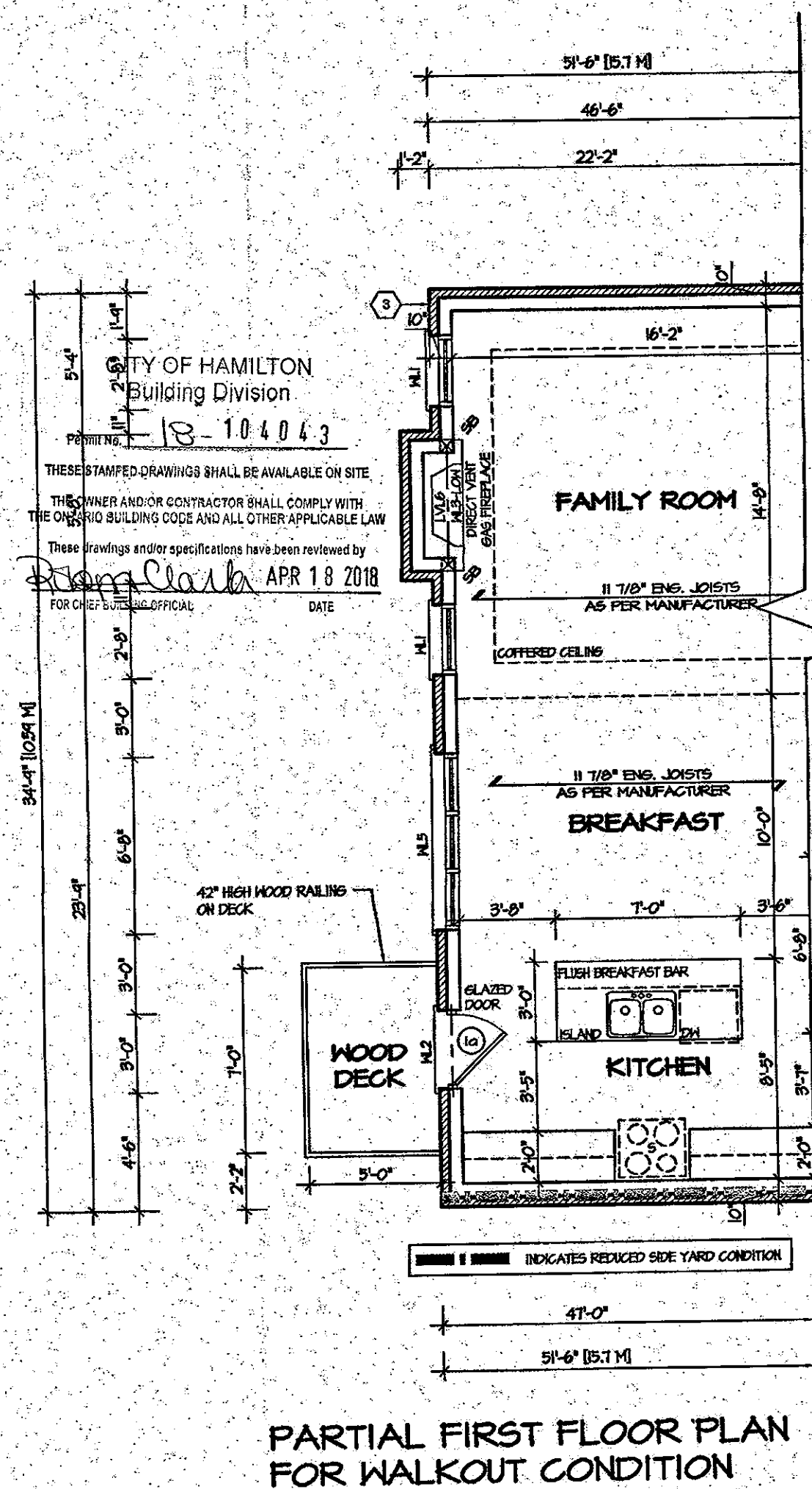
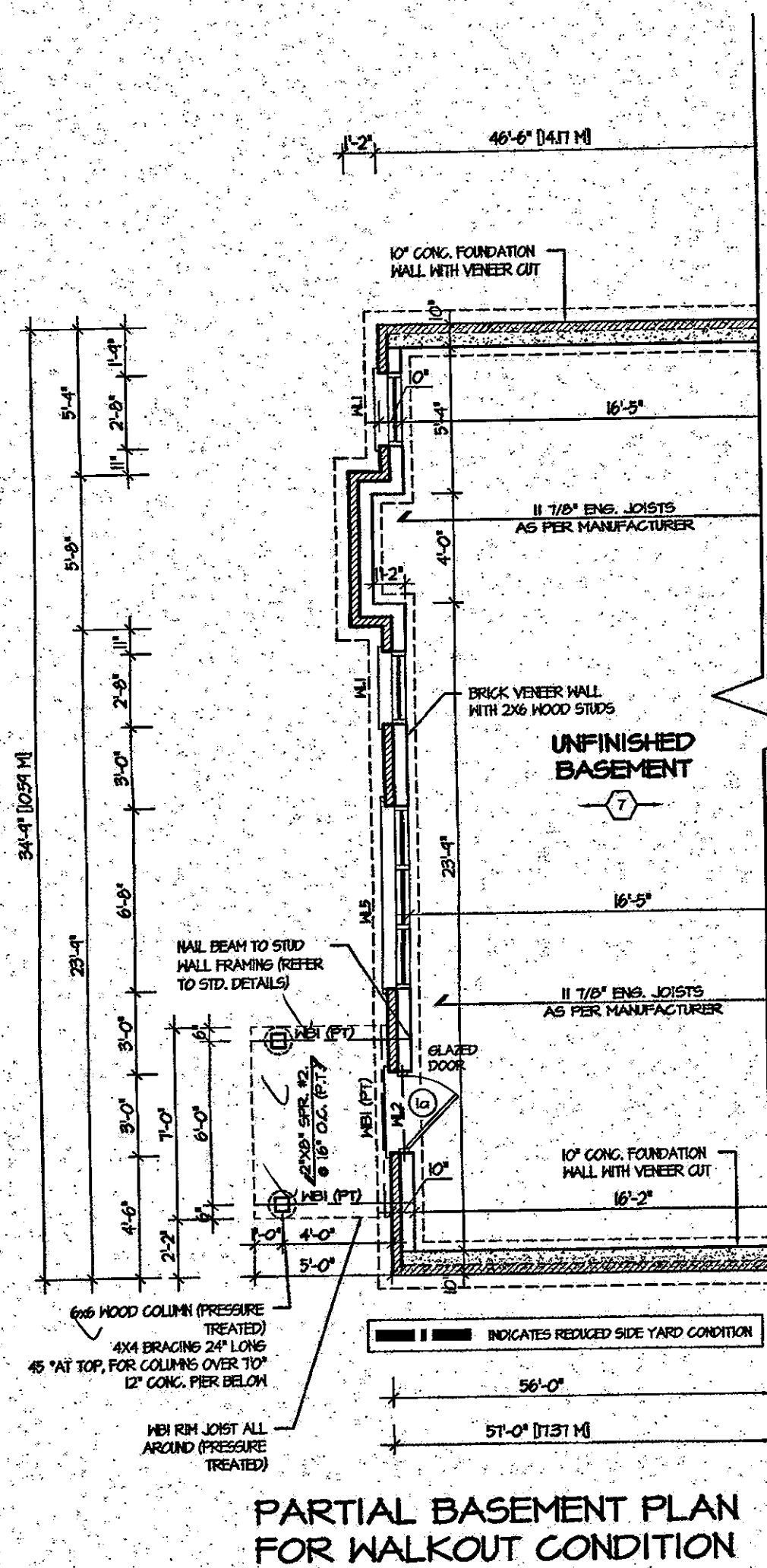
REAR ELEVATION 1, 2 & 3
FOR WALK-UP CONDITION

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed *[Signature]*
Dated **NOV 20 2017**
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 3
COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746 REGION DESIGN INC.	SHEET TITLE WALK-UP ELEVATION 1,2 & 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark. PROJECT NAME RUSSEL GARDEN - II
4.					SCALE 3/16"=1'-0"	BY B.K.	AREA 2887	PAGE No. 10-2	
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-05		
2.		ISSUED FOR PERMIT JUNE 2017							
1.		ISSUED FOR REVIEW JUL 2016							
REVISIONS									



5-4
20 CITY OF HAMILTON
Building Division

Permit No. 18-104043

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

These drawings and/or specifications have been reviewed by

FOR CHIEF BUYING OFFICIAL: Clark DATE APR 18 2018

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAR 14 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL DEPARTMENT
DATE APPROVAL: 11/1/68

APPROVED BY: _____
DATE: Mar 09 2018
This record certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

MAR 08 2018

ROSEWOOD 3

COMPLIANCE PACKAGE "A1"



PROJECT NAME **RUSSEL GARDEN - II**

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	JUNE 2017
1.	ISSUED FOR REVIEW	FEB 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR	28770
NAME	SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

REGION
DESIGN
INC.

SHEET TITLE	
WALKOUT PLANS	
SCALE	BY MB
DATE	JUNE 2017

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA	2887	PAGE No.	11
PROJECT	03-13-05		

41-5) MASTER.DWG
2/23/90 DM
41-5) REG - BKACAD-ROSEWOOD 3 (41-5) MASTER.DWG

Permit No. 18-104043

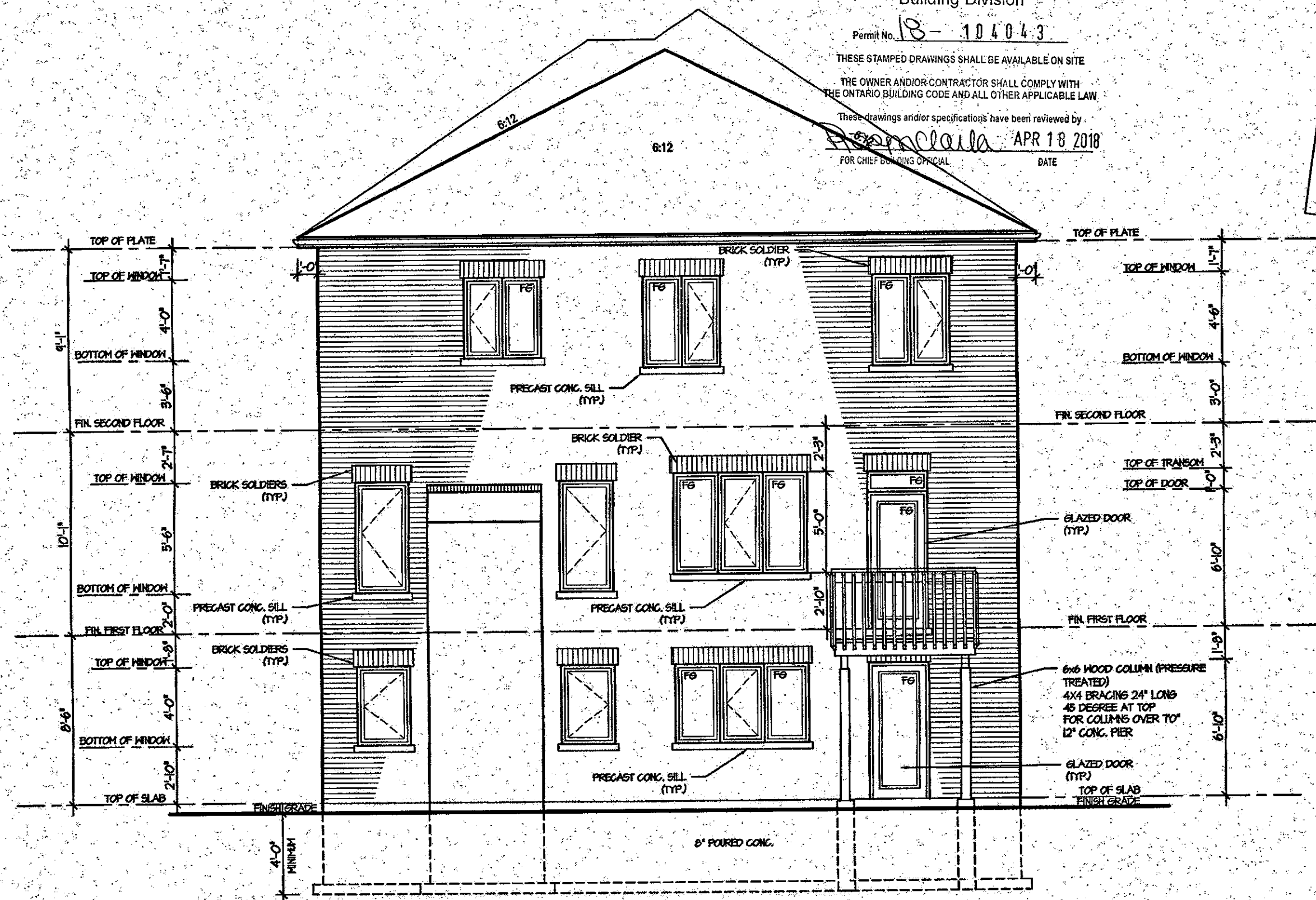
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

~~These drawings and/or specifications have been reviewed by~~

~~Don Clouta~~ APR 18 2018
FOR CHIEF BUILDING OFFICIAL DATE

MAR 14 2018

REC BY: _____ DATE _____
REF'D TO _____ DATE _____



LD calcs okay

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMMONT.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND ECONOMY

APPROVED BY: [Signature]
DATE: Mar 09, 2018

The stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

MAR 08 2018

ROSEWOOD 3

COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFRERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE WALKOUT ELEVATION 1, 2 & 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark. PROJECT NAME RUSSEL GARDEN - II		
4.						SCALE 3/16"=1'-0"	BY MB	AREA 2887	PAGE No. 11-2			
3.						DATE JUNE 2017	TYPE	PROJECT 03-13-05				
2.	ISSUED FOR PERMIT	JUNE 2017										
1.	ISSUED FOR REVIEW	FEB 2017										
REVISIONS												