

STRIP FOOTINGS

FOR SINGLES & SEMIS UP TO 2 STOREY
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

MB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
MB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
MB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
MB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
MB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
MB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
MB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
MB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
MB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x8.0L)
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

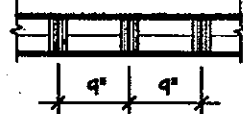
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE, REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

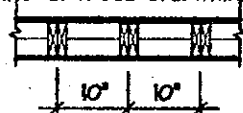
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) L5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 1/6" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS
21'-5" AND MAXIMUM SUPPORTED LENGTH OF
TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) L5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 1/6" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	90%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

CITY OF HAMILTON
Building Division

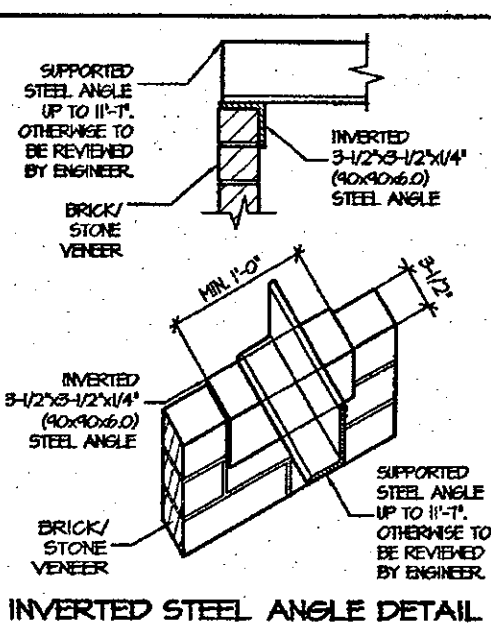
Permit No. 18-104580

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR ONE BUILDING OFFICIAL DATE



INVERTED STEEL ANGLE DETAIL

AREA CALCULATIONS		ELEV. 1
GROUND FLOOR AREA	=	1179 Sq. Ft.
SECOND FLOOR AREA	=	1542 Sq. Ft.
TOTAL FLOOR AREA	=	2721 Sq. Ft.
	=	252.79 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	4 Sq. Ft.
ADD TOTAL OPEN AREAS	=	4 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2725 Sq. Ft.
	=	253.16 Sq. M.
GROUND FLOOR COVERAGE	=	1179 Sq. Ft.
GARAGE COVERAGE / AREA	=	401 Sq. Ft.
PORCH COVERAGE / AREA	=	85 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1665 Sq. Ft.
	=	154.68 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1580 Sq. Ft.
	=	146.79 Sq. M.

AREA CALCULATIONS		ELEV. 2
GROUND FLOOR AREA	=	1187 Sq. Ft.
SECOND FLOOR AREA	=	1566 Sq. Ft.
TOTAL FLOOR AREA	=	2753 Sq. Ft.
	=	255.76 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	4 Sq. Ft.
ADD TOTAL OPEN AREAS	=	4 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2757 Sq. Ft.
	=	256.15 Sq. M.
GROUND FLOOR COVERAGE	=	1187 Sq. Ft.
GARAGE COVERAGE / AREA	=	401 Sq. Ft.
PORCH COVERAGE / AREA	=	50 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1638 Sq. Ft.
	=	152.18 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1588 Sq. Ft.
	=	147.53 Sq. M.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC'D BY V. A. DATE
REF'D TO DATE

AREA CALCULATIONS		ELEV. 3
GROUND FLOOR AREA	=	1187 Sq. Ft.
SECOND FLOOR AREA	=	1566 Sq. Ft.
TOTAL FLOOR AREA	=	2753 Sq. Ft.
	=	255.76 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	0 Sq. Ft.
ADD TOTAL OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2753 Sq. Ft.
	=	255.76 Sq. M.
GROUND FLOOR COVERAGE	=	1187 Sq. Ft.
GARAGE COVERAGE / AREA	=	401 Sq. Ft.
PORCH COVERAGE / AREA	=	50 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1638 Sq. Ft.
	=	152.18 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1588 Sq. Ft.
	=	147.53 Sq. M.

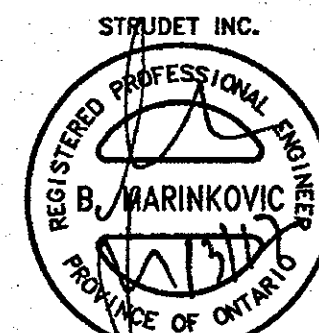
ROSEWOOD 2		ELEV. 1	COMPLIANCE PACKAGE "A"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	709.46	65.91	118.23	10.98	16.66 %
LEFT SIDE	536.22	49.82	34.85	3.70	7.43 %
RIGHT SIDE	455.33	88.75	31.01	2.88	3.25 %
REAR	738.44	68.60	150.00	13.94	20.31 %
TOTAL	2439.45	273.08	334.09	31.50	11.54 %

ROSEWOOD 2		ELEV. 2	COMPLIANCE PACKAGE "A"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	703.40	65.35	118.23	10.98	16.21 %
LEFT SIDE	565.54	52.55	34.85	3.70	7.05 %
RIGHT SIDE	468.95	40.02	31.01	2.88	3.20 %
REAR	738.44	68.60	150.00	13.94	20.31 %
TOTAL	2476.33	276.52	334.09	31.50	11.34 %

ROSEWOOD 2		ELEV. 3	COMPLIANCE PACKAGE "A"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	649.53	64.94	118.23	10.98	16.90 %
LEFT SIDE	548.84	50.94	34.85	3.70	7.26 %
RIGHT SIDE	468.95	40.02	31.01	2.88	3.20 %
REAR	738.44	68.60	150.00	13.94	20.31 %
TOTAL	2405.74	274.61	334.09	31.50	11.47 %

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON



FOR STRUCTURE ONLY

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

Greenpark

PROJECT NAME
RUSSEL GARDENS II

5.			
4.			
3.			
2.			
1. ISSUED FOR REVIEW	FEB 2017		
REVISIONS			
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.			
QUALIFICATION INFORMATION			
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			
VIKAS GAJJAR	28770		
NAME	SIGNATURE	BCIN	

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
AREA CHARTS
SCALE
3/16"=1'-0"
DATE
FEB 2017

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.
AREA
2725
PROJECT
03-13-04

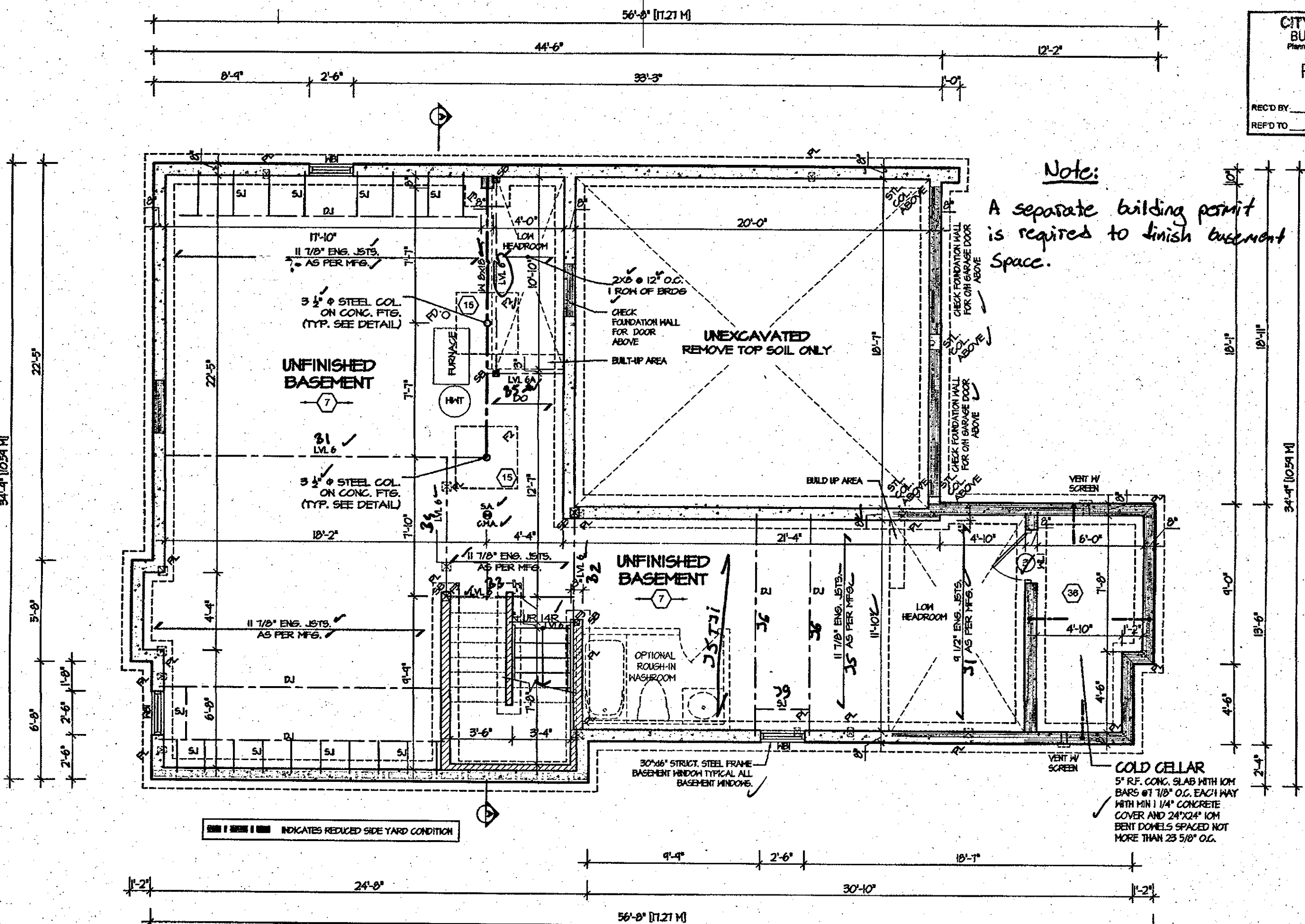
PLG NO.
0

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC'D BY **V. A.** DATE **1**

REF'D TO _____ DATE _____



STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL
NOV 20 2017
John G. Williams Limited, Architect

CITY OF HAMILTON
Building Division
BASEMENT FLOOR PLAN I

Permit No. **18-104580**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by _____

FOR CHIEF BUILDING OFFICIAL _____ DATE _____

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REDUCED SIDE YARD CONDITION (SEE NOTE ON SIDE ELEVATION)

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

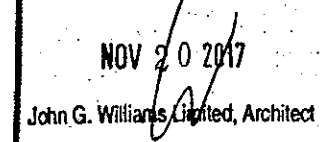
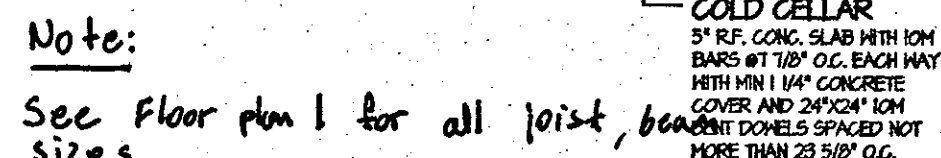
JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"



5. _____ 4. _____ 3. _____ 2. _____ 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4098 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN ELEV. 1 SCALE 3/16"=1'-0" DATE FEB 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2725 PLSE No. 1 PROJECT 03-13-04	PROJECT NAME RUSSEL GARDENS II
---	--	---	----------------------------------	---	---	---

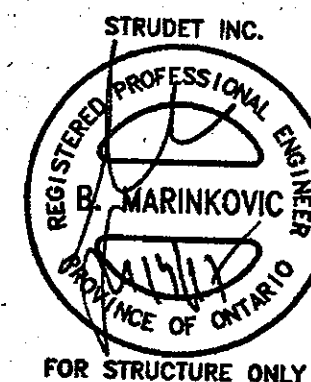
11:25:18 AM M:\PROJECTS\RUSSEL GARDENS II\STANDARD PLANS\ROSEWOOD 2 (41-10) REG - BRACAD-ROSEWOOD 2 (41-10) MASTER.DWG July 13, 2017



PROJECT NAME
RUSSEL GARDENS II

NOTE:

A separate building permit is required to finish basement space.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

NOV 20 2017
John G. Williams Limited, Architects

ROSEWOOD 2

COMPLIANCE PACKAGE "A1"

Greenpark.

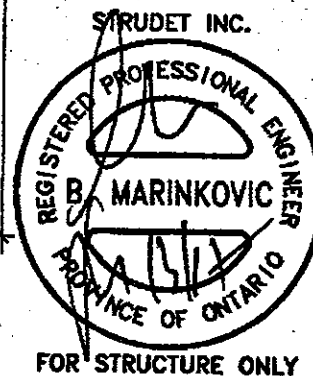
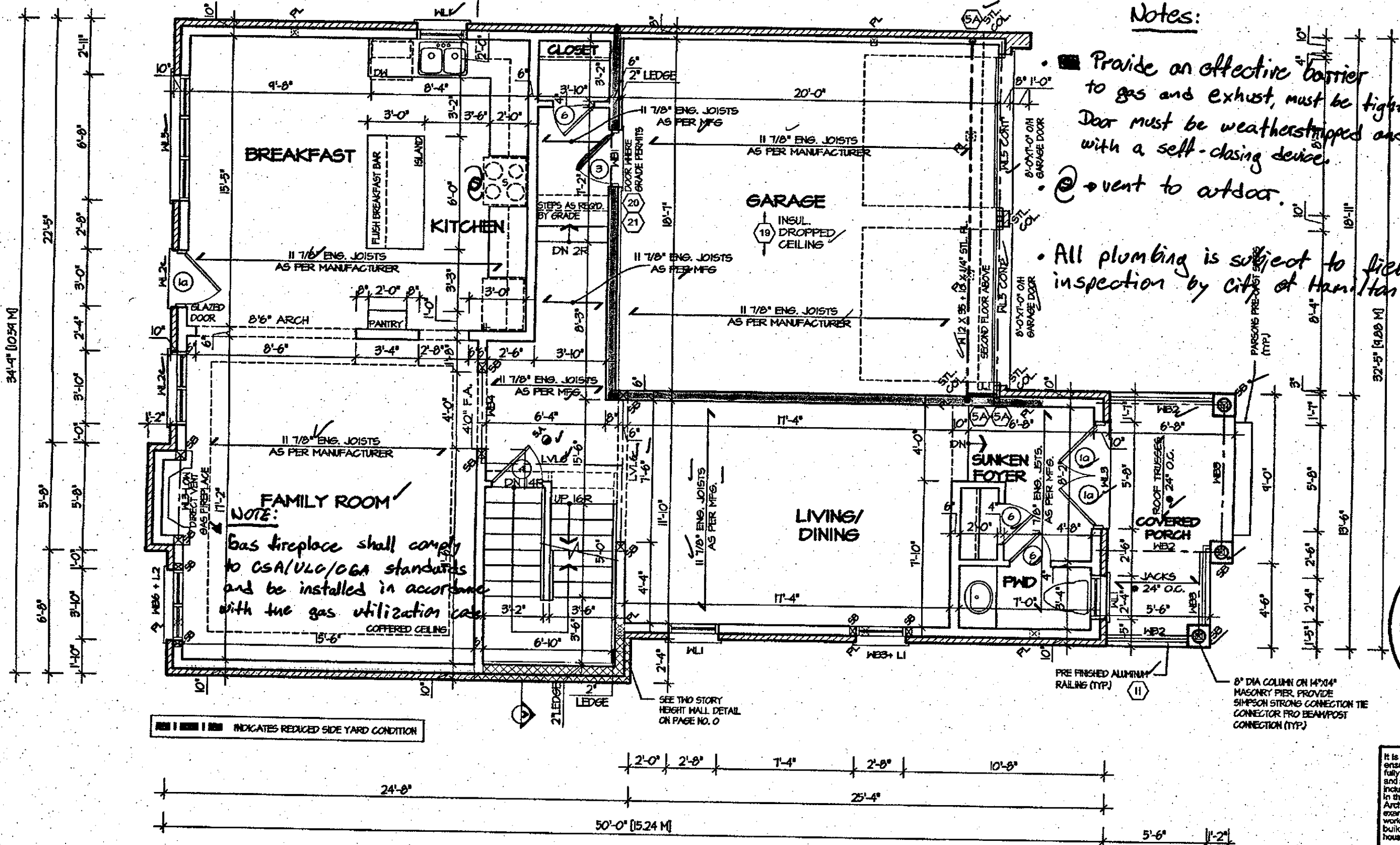
PROJECT NAME
RUSSEL GARDENS II

July 13, 2017 11:25:11 AM W:\PROJECTS\RUSSELL GARDENS\INSTANDARD PLANS\ROSEWOOD 2 (41-10) - REG. - BK\MAD\ROSEWOOD 2 (41-10) 34-100-0000

July 13, 2017

FEB 12 2018

REC'D BY V. A. DATE 12/12/17
REF'D TO DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

CITY OF HAMILTON Building Division **FIRST FLOOR PLAN 1**

Permit No. **18-104580**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE

Note:

• Beam bearing min. 3 1/2"
• Joist bearing min. 1 1/2"
• Lintel bearing min. 1 1/2"
• Rafter bearing min. 1 1/2"

REDUCED SIDE YARD CONDITION
(SEE NOTE ON SIDE ELEVATION)

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME
RUSSEL GARDENS II

5.	
4.	
3.	
2.	
1. ISSUED FOR REVIEW	FEB 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

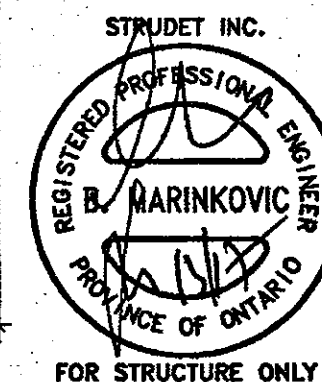
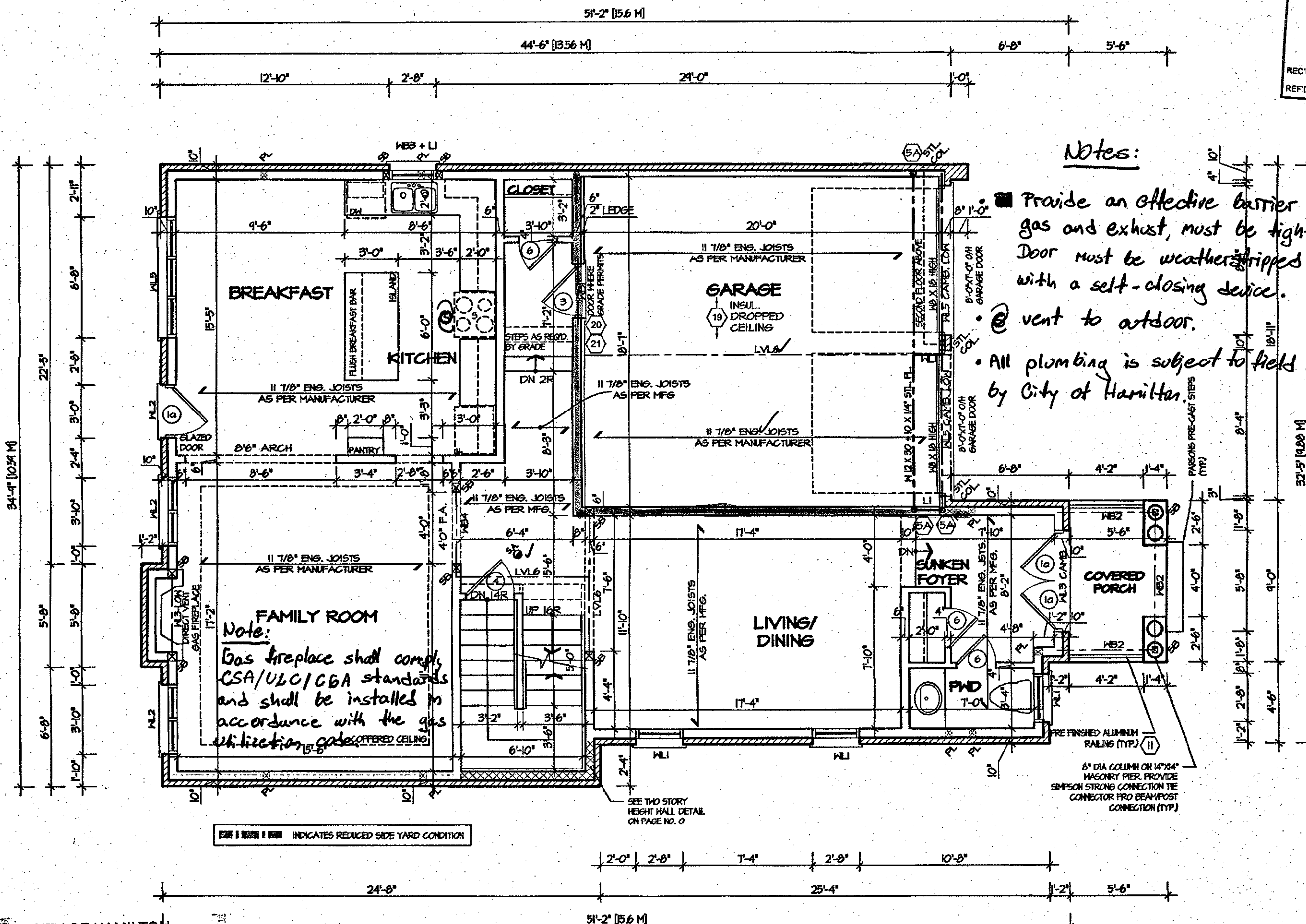
SHEET TITLE
**FIRST FLOOR PLAN
ELEV. 1**

SCALE
3/16"=1'-0"
DATE FEB 2017

BY B.K.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA 2725
PROJECT 03-13-04

PLGE No.
2



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017
John G. Williams Limited, Architect

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

CITY OF HAMILTON
Building Division
FIRST FLOOR PLAN 2

Permit No. 18-104580
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR ARCHT. BUILDING OFFICIAL DATE

NOTE:
Beam bearing min. 3 1/2"
Joist bearing min. 1 1/2"
Lintel bearing min. 1 1/2"
Rafter bearing min. 1 1/2"

JUL 14 2017

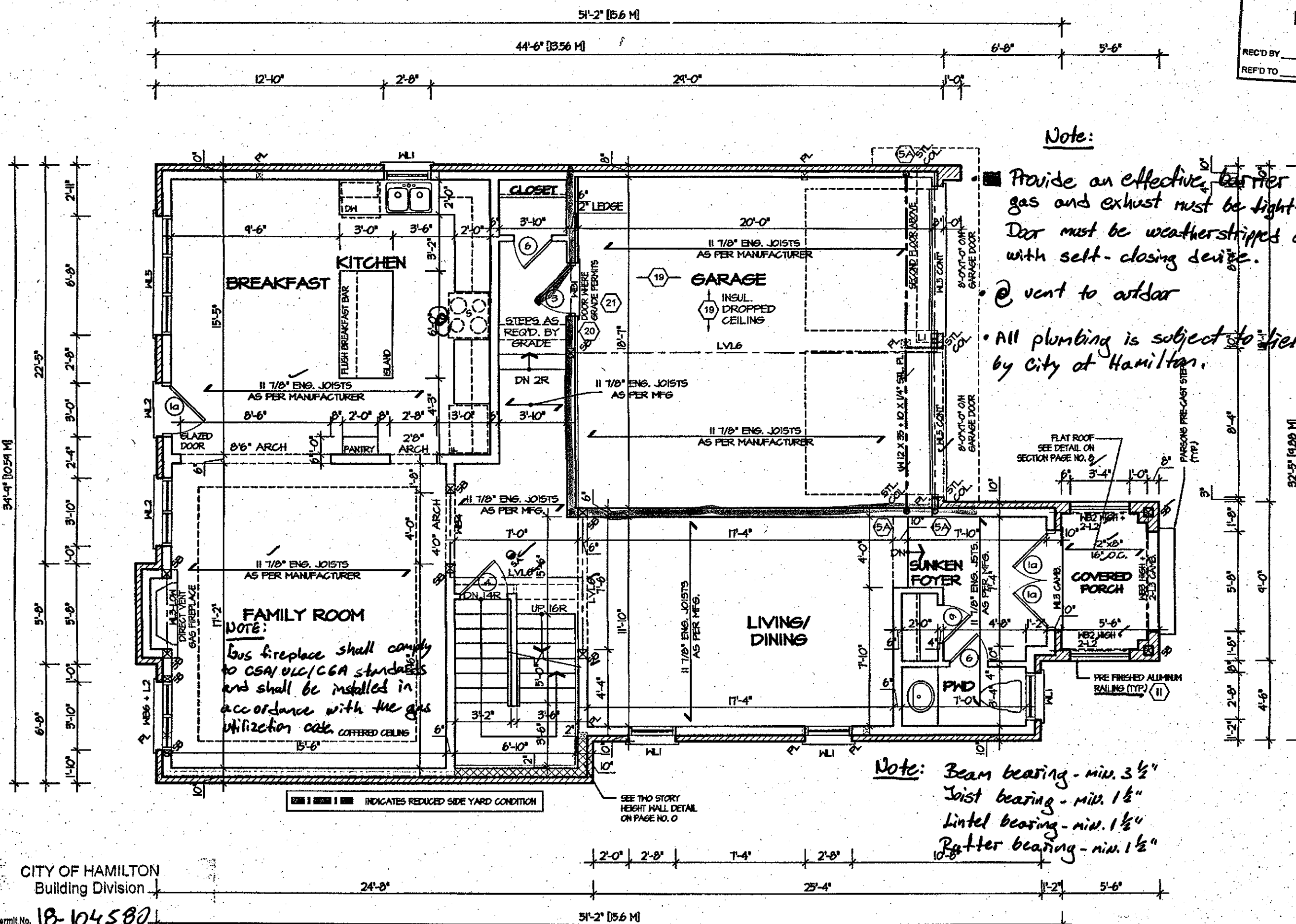
5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4098 F (905) 880-0746	REGION DESIGN INC.	SHEET TITLE FIRST FLOOR PLAN ELEV. 2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PROJECT 03-13-04	PROJECT NAME RUSSEL GARDENS II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	AREA 2725	PLCE No. 2-2	
3.		VIKAS GAJJAR NAME	28770 BCIN		DATE FEB 2017	BY B.K.		
2.		SIGNATURE						
1.	ISSUED FOR REVIEW.	FEB 2017						
REVISIONS								

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

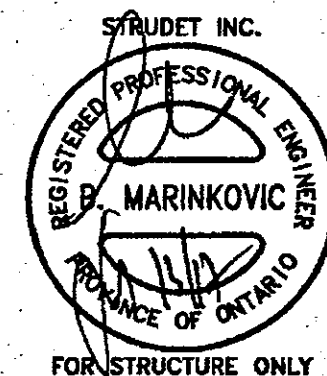
REC'D BY V. A. DATE 1

REF'D TO _____ DATE _____



Note:

- Provide an effective barrier to gas and exhaust must be tight-fitting. Door must be weatherstripped and fitted with self-closing device.
- @ vent to outdoor
- All plumbing is subject to field inspection by City of Hamilton.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

JUL 14 2017

CITY OF HAMILTON
Building Division

Permit No. 18-104580

THESE STAMPED DRAWINGS SHALL BE AVAILABLE FOR REVIEW

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

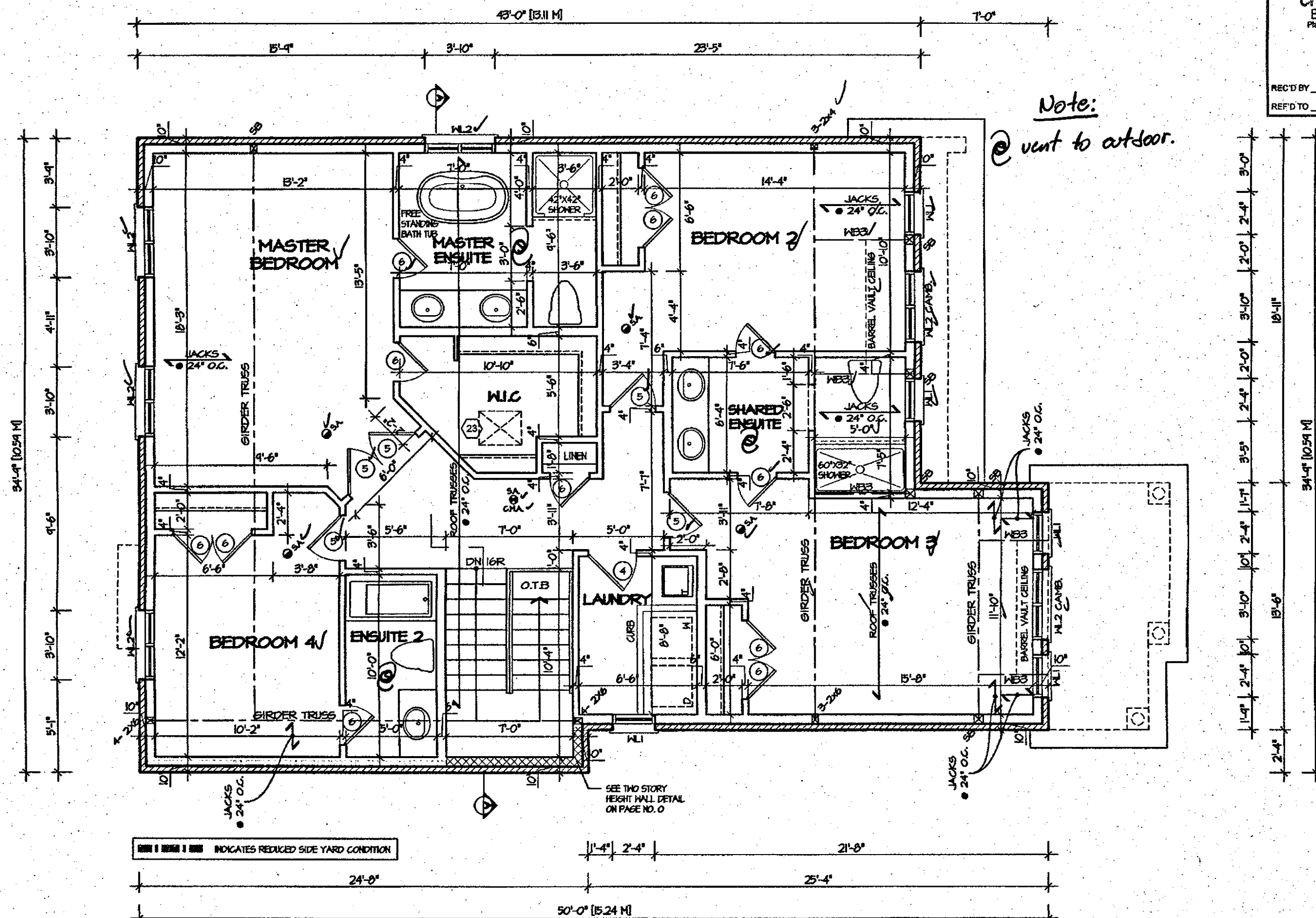
These drawings and/or specifications have been reviewed by

BUILDING OFFICIAL

DATE

5. _____ 4. _____ 3. _____ 2. _____ 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4095 F (905) 660-0746 REGION DESIGN INC.	SHEET TITLE FIRST FLOOR PLAN ELEV. 3 SCALE 3/16"=1'-0" DATE FEB 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2725 PROJECT 03-13-04 PLG No. 2-3	Greenpark. PROJECT NAME RUSSEL GARDENS II
---	---	---	---	---	---

② went to outdoor.



FOR CHIEF BUILDING OFFICIAL _____ DATE _____

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

John G. Williams Limited, Architects

ROSEWOOD 2

COMPLIANCE PACKAGE "A1"

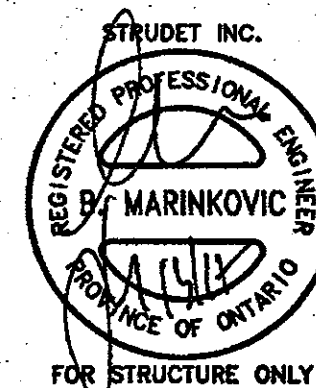
JUL 14 2017



Greenpark.

PROJECT NAME **RUSSEL GARDENS II**

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
4.					SECOND FLOOR PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
3.					ELEV. 1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
2.					SCALE	BY	AREA	PLGE No.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
1.	ISSUED FOR REVIEW				FEB 2017																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
REVISIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															</



NOV 20 2017
John G. Williams Limited, Architects

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	R D I N C.	SHEET TITLE SECOND FLOOR PLAN ELEV. 2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
4.							
3.							
2.							
1.	ISSUED FOR REVIEW						
REVISIONS			PROJECT NAME RUSSEL GARDENS II				

CITY OF HAMILTON
Building Division

Unit No. **18-104580**

STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
RIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Drawings and/or specifications have been reviewed by

Notes:

- @ vent to outdoor
- Approved P. Eng - CSA/CCMC
Stucco must be on-site prior
installation.

JACKS • 24" O.C.
GIRDER TRUSS
ROOF TRUSSES • 24" O.C.
RAISED CEILING
FLAT ROOF
2% SLOPE
DN 16R
O.T.B.
LAUNDRY
BEDROOM 4
ENSUITE 2
MASTER BEDROOM
MASTER ENSUITE
FREE STANDING BATH TUB
SHOWER
BEDROOM 2V
SHARED ENSUITE
BEDROOM 3
STUCCO FINISH

SEE TWO STORY HEIGHT WALL DETAIL ON PAGE NO. 0

INDICATES REDUCED SIDE YARD CONDITION

51'-2" [5.6 M]
43'-0" [13.1 M]
15'-9"
3'-10"
23'-5"
1'-6"
6'-8"
34'-4" [10.51 M]
3'-4"
3'-10"
4'-11"
3'-10"
3'-10"
9'-6"
6'-6"
3'-8"
14'-6"
10'-2"
5'-0"
T-0"
24'-0"
2'-4"
2'-8"
6'-4"
5'-6"
1'-2"
4'-0"
2'-8"
2'-11"
4'-6"
8'-8"
32'-5" [9.90 M]
2'-10"
2'-10"
3'-0"
2'-8"
3'-3"
2'-11"
4'-6"
2'-8"
2'-8"
2'-11"
4'-0"
2'-8"
2'-11"
4'-6"
8'-8"
32'-5" [9.90 M]

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provision in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning, building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architects

JUL 14 2017

ROSEWOOD 2

COMPLIANCE PACKAGE "A1"

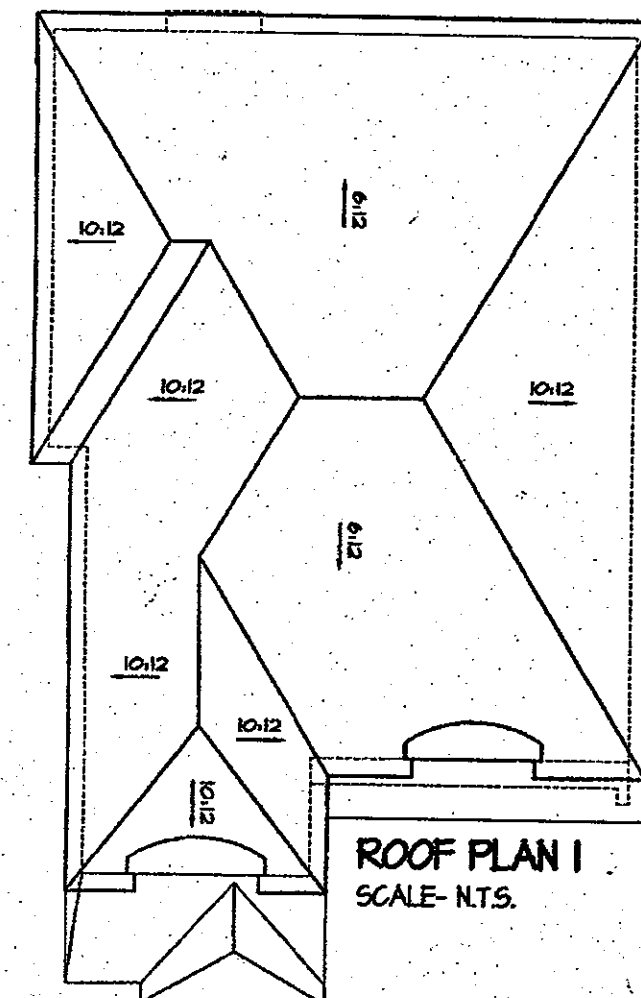
5.				The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. COBURN, ONTARIO L4K 4S6 P (416) 738-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSEL GARDENS II
4.							SECOND FLOOR PLAN				
3.							ELEV. 3		PLGE No.		
2.							SCALE		DATE		
1. ISSUED FOR REVIEW		FEB 2017					3/16"=1'-0"		FEB 2017		
REVISIONS						BY B.K.		PROJECT 03-13-04		3-3	

**CITY OF HAMILTON
BUILDING DIVISION**
Planning & Development Department

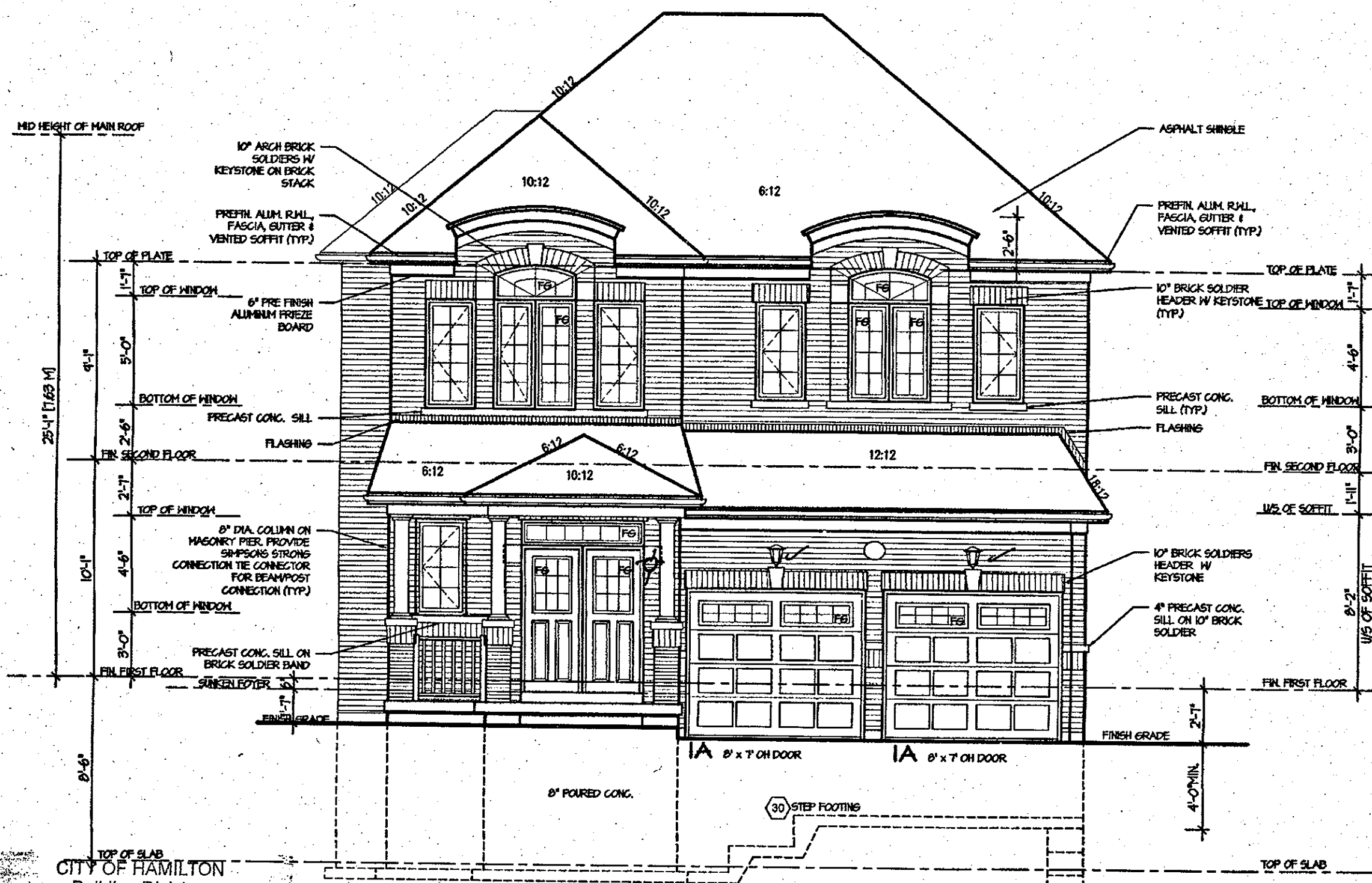
FEB 12 2018

REC'D BY V. A. DATE 1

REF'D TO _____ DATE _____



NOTE: Provide natural ventilation for every 1/500sq. ft. of the insulated roof space.



CITY OF HAMILTON
Building Division

Permit No. **18-104580**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE

FRONT ELEVATION I

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

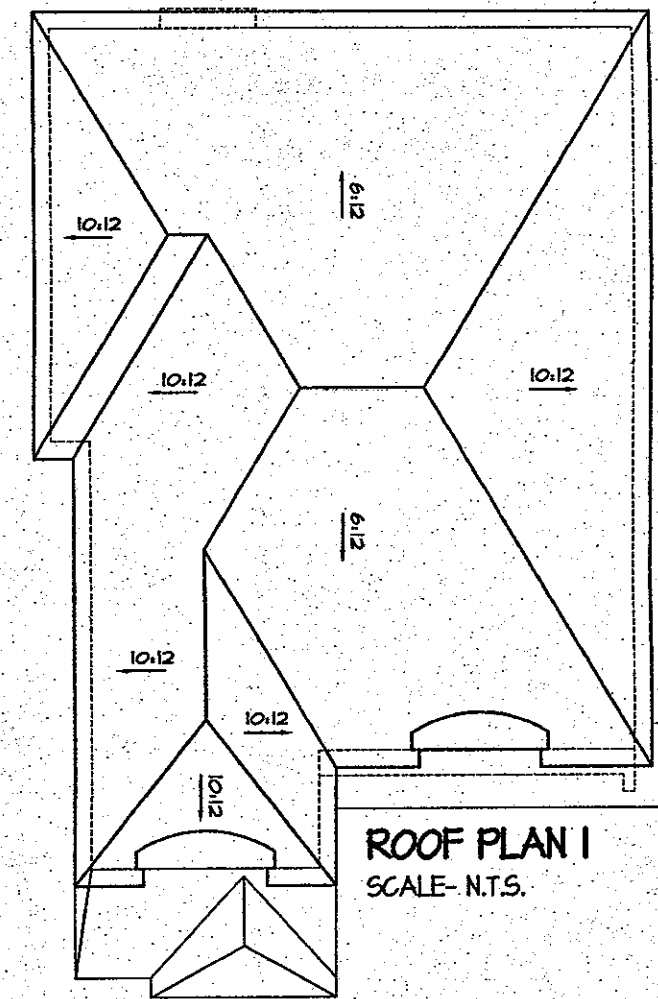
John G. Williams Limited, Architect

JUL 14 2017

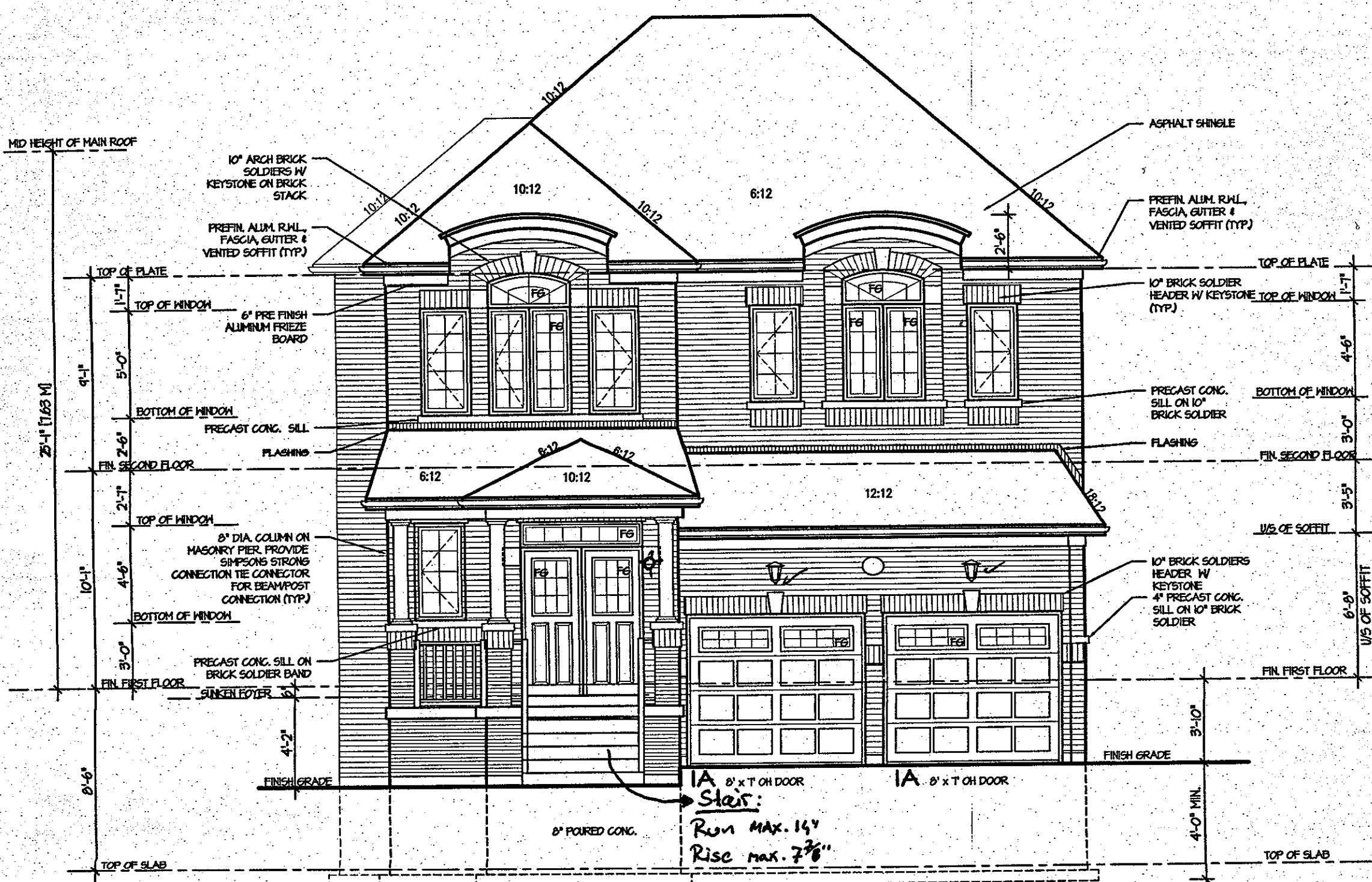
ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. ISSUED FOR REVIEW FEB 2017		REVISIONS		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR <u>[Signature]</u> 28770 NAME SIGNATURE BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 733-4098 F (905) 660-0748		REGION DESIGN INC.		SHEET TITLE FRONT ELEVATION ELEV. 1 SCALE 3/16"=1'-0" DATE FEB 2017		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2725 PROJECT 03-13-04		PLGE No. 4		PROJECT NAME RUSSEL GARDENS II	
---	--	-----------	--	---	--	--	--	---------------------------	--	---	--	--	--	------------	--	--	--

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC'D BY V. A. DATE
REF'D TO DATE



Note: Provide natural ventilation for every 1/300sq.ft of the insulated roof space



FRONT ELEVATION I
FOR LOT 117

DROPPED FRONT GRADE CONDITION CHANGES:
- GARAGE ROOF DROPPED 12"
- 10\"/>

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW APPROVAL
FEB 9 2018
John G. Williams, Director, Planning & Development

JAN 29 2018

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. REVISED FOR LOT 117 JAN 2018 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0748	REGION DESIGN INC.	SHEET TITLE FRONT ELEVATION 1 FOR LOT 117 SCALE 3/16"=1'-0" DATE JAN 2018 BY ZMP TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2725 PLGE No. 4A PROJECT 03-13-04	PROJECT NAME RUSSEL GARDENS II
--	--	---	---------------------------	---	--	--

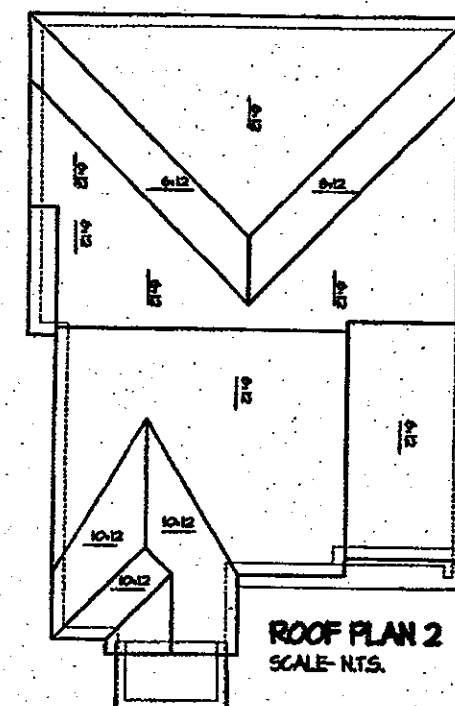
10:27:09 AM M:\PROJECTS\RUSSELL GARDENS II\STANDARD PLANS\ROSEWOOD 2 (41-10) - REG - BIKACAD-ROSEWOOD 2 (41-10) MASTER.DWG January 29, 2018

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

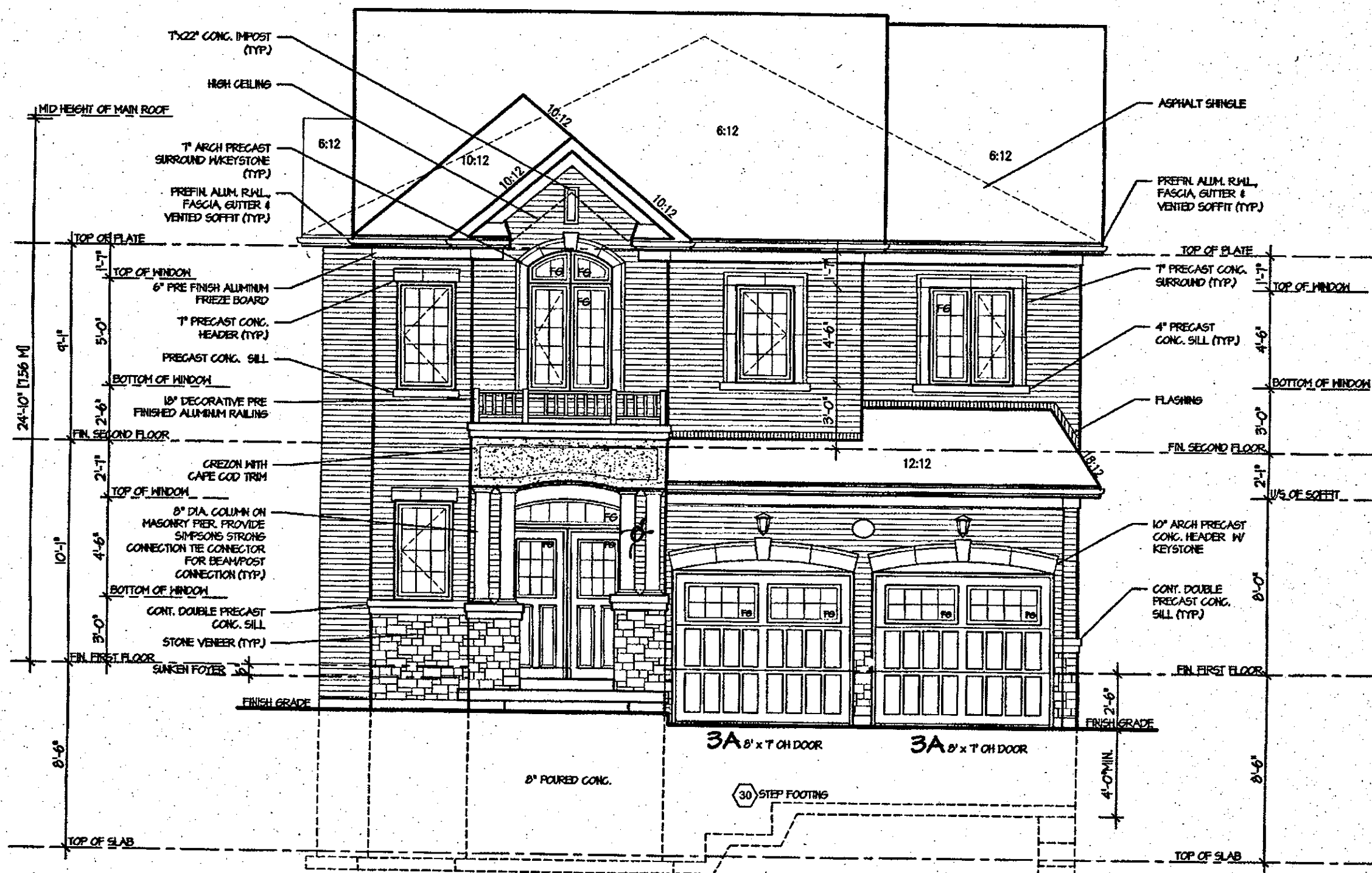
FEB 12 2018

REC'D BY V. A. DATE

REF'D TO DATE



Note:
Provide natural ventilation
for every 1/300sq. ft. of
the insulated attic space



FRONT ELEVATION 2

CITY OF HAMILTON
Building Division

Permit No. **18-104580**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

REVISIONS 1. ISSUED FOR REVIEW FEB 2017		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. COWCORN, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		FRONT ELEVATION ELEV. 2 SCALE 3/16"=1'-0" DATE FEB 2017 BY B.K. TYPE PROJECT 03-13-04		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2725 PLGE NO. 4-2		Greenpark. PROJECT NAME RUSSEL GARDENS II	
---	--	---	--	---	--	---	--	--	--	---	--

[illegible]

John G. Williams Limited, Architects

DATE _____

PROJECT NAME **RUSSEL GARDENS I**

ROSEWOOD 2

COMPLIANCE PACKAGE "A1"

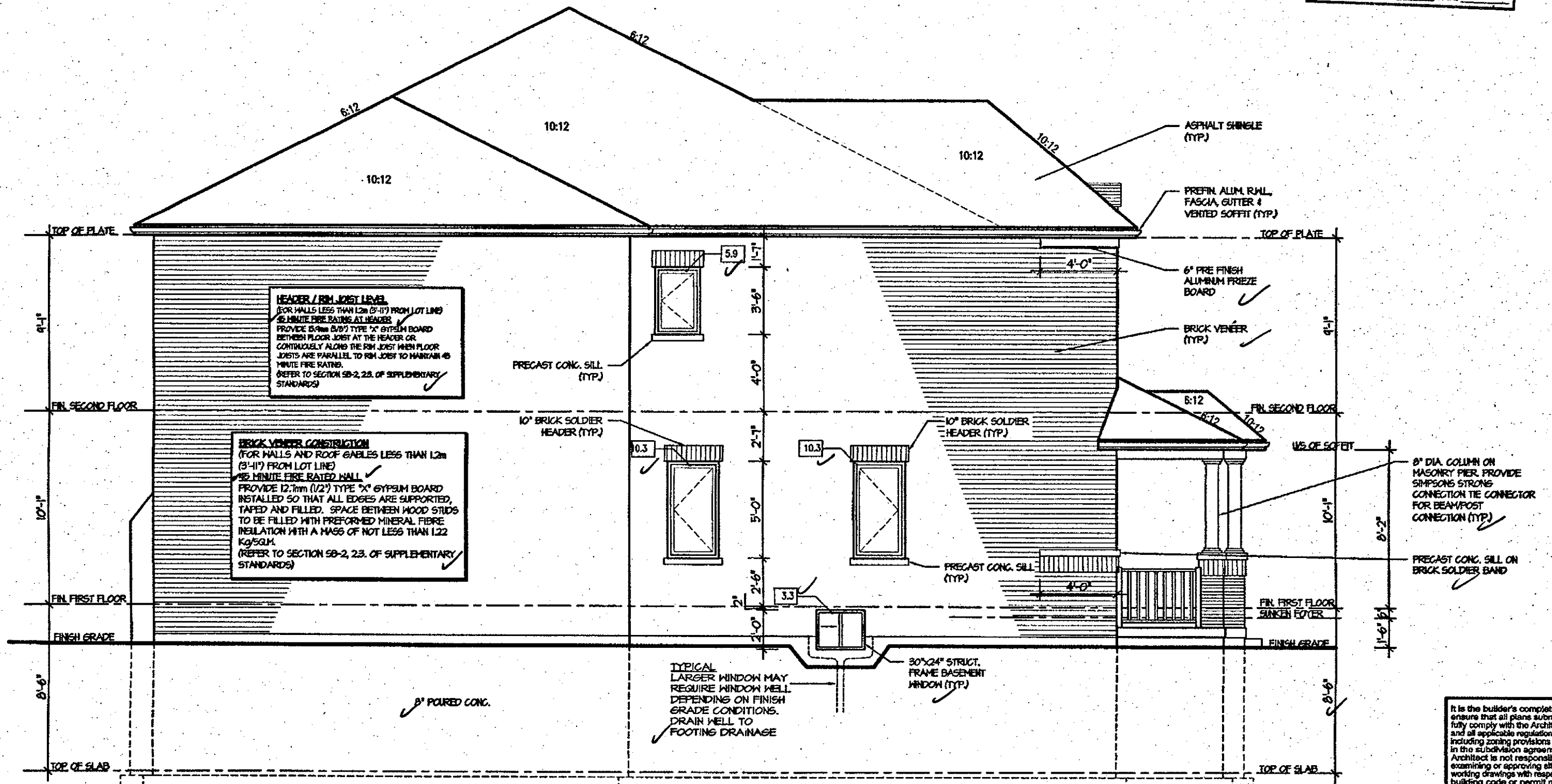
July 13 2017 11:24:35 AM M:\PROJECTS\RUSSELL | GARDENS | STANDARD PLANS\ROSEWOOD 2 (41-10) - REG - BK9ACAD\ROSEWOOD 2 (41-10) MASTER DWG3

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC'D BY V. A. DATE 1

REF'D TO _____ DATE _____



LEFT ELEVATION 1

Permit No. **18-104580**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by

FOR CRED. BUILDING OFFICIAL DATE

ALLOWABLE GLAZING

NALL AREA	=	536	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1% 12 M SIDE YARD	=	3152	Sq. Ft.
ACTUAL GLAZED AREA	=	248	Sq. Ft.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreements. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

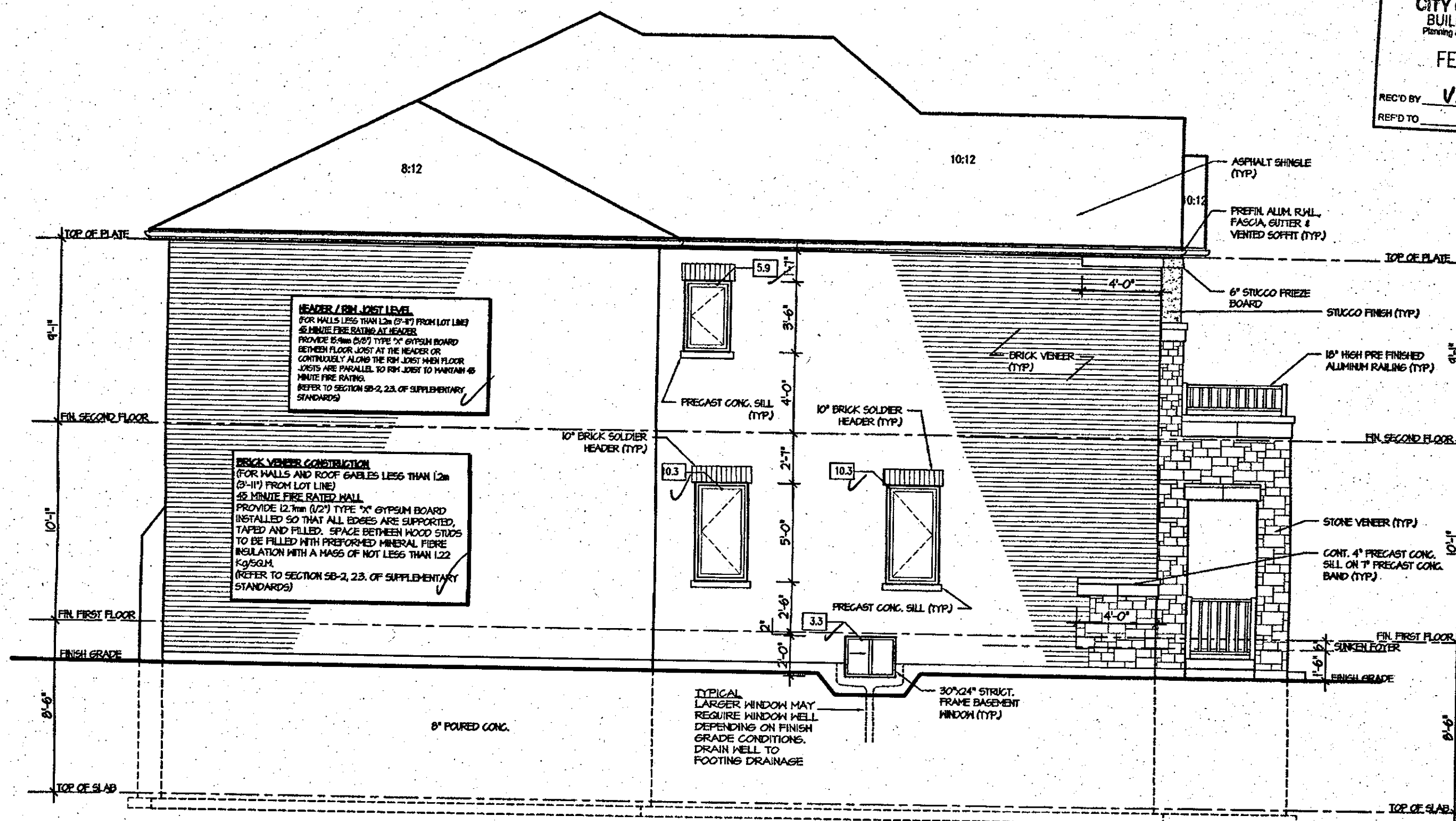
5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR <u>28770</u> NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 880-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		Greenpark.	PROJECT NAME RUSSEL GARDENS II
4.					LEFT ELEVATION ELVE. 1		AREA 2725			
3.					SCALE 3/16"=1'-0"	BY B.K.	PROJECT 03-13-04	PLUG No. 5		
2.					DATE FEB 2017	TYPE				
1.	ISSUED FOR REVIEW				FEB 2017					
REVISIONS										

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC'D BY V.A. DATE R

REF'D TO _____ DATE _____



LEFT ELEVATION 3

ALLOWABLE GLAZING	
HALL AREA	540 Sq. Ft. ✓
ALLOWABLE GLAZED AREA @ 1 & 1/2 M SIDE YARD	30.36 Sq. Ft. ✓
ACTUAL GLAZED AREA	210 Sq. Ft. ✓

Note:

Approved CSA/CCMC specifications must be on-site prior installation.

CITY OF HAMILTON
Building Division

Permit No. 18-104580

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by _____

FOR CHIEF BUILDING OFFICIAL _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

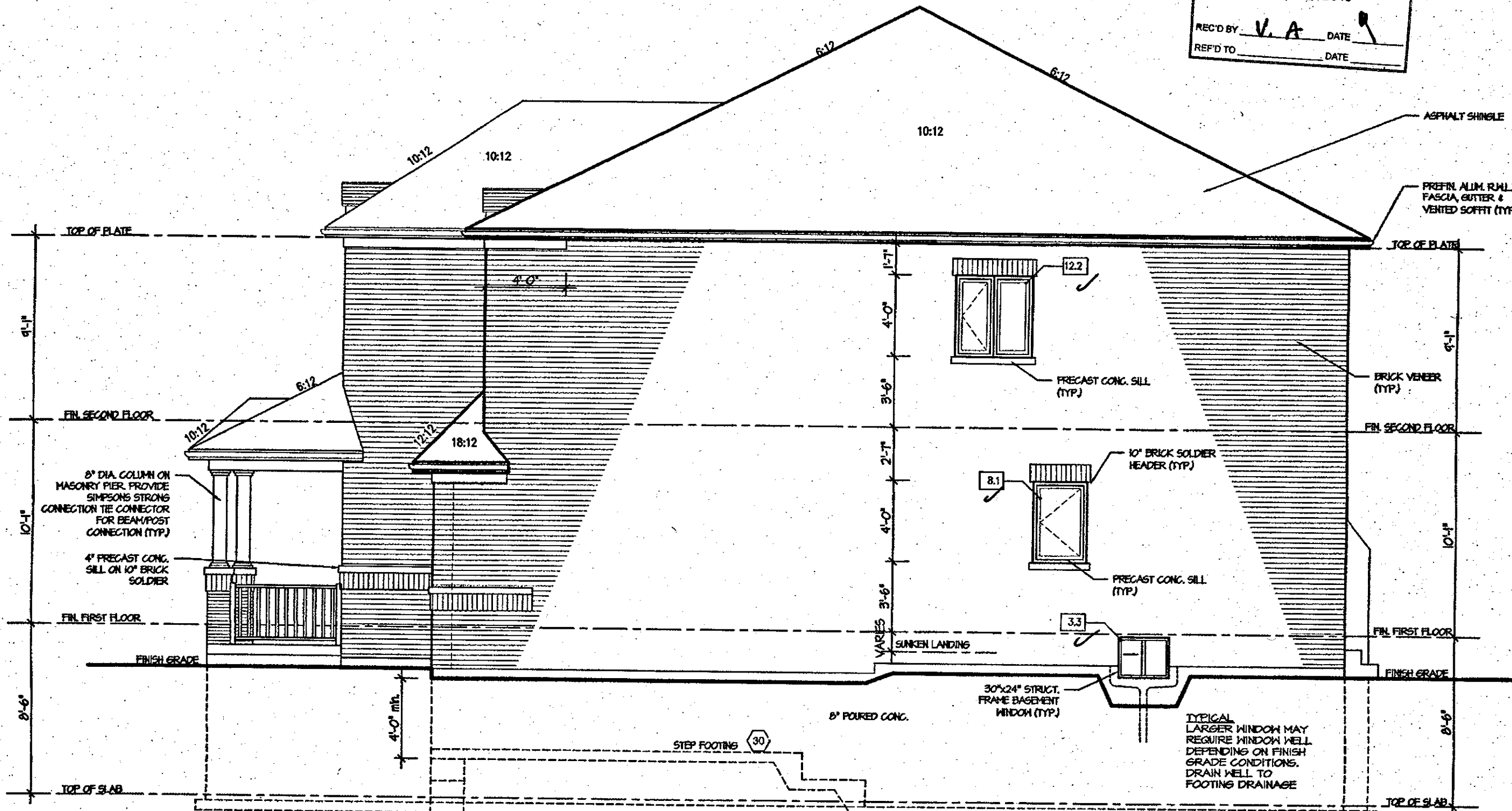
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. VIKAS GAJJAR <u>28770</u> NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4095 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE	LEFT ELEVATION ELEV. 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2725 FLGE No. 5-3	PROJECT 03-13-04	PROJECT NAME RUSSEL GARDENS II	
4.					SCALE	3/16"=1'-0"	BY					B.K.
3.					DATE	FEB 2017	TYPE					
2.												
1.	ISSUED FOR REVIEW				FEB 2017							
REVISIONS												

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC'D BY V. A. DATE 12
REF'D TO _____ DATE _____



RIGHT ELEVATION 1

ALLOWABLE GLAZING			
WALL AREA	95	Sq. Ft.	✓
ALLOWABLE GLAZED AREA @ 1:1.2 M SIDE YARD	66.85	Sq. Ft.	✓
ACTUAL GLAZED AREA	23.6	Sq. Ft.	✓

1.25m

CITY OF HAMILTON
Building Division
Permit No. 18-104580
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW & APPROVAL
NOV 2/0 2017
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

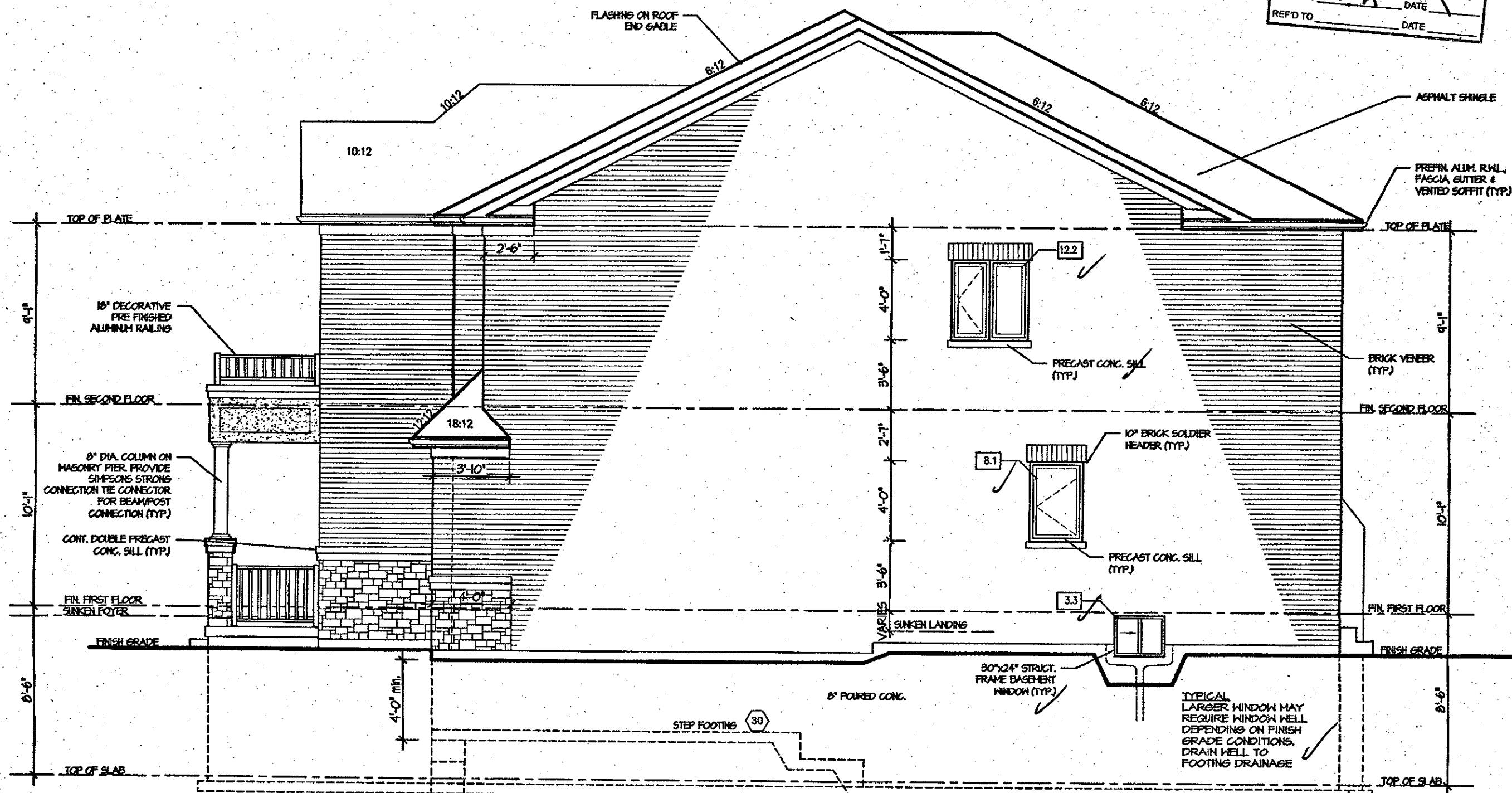
5. _____ 4. _____ 3. _____ 2. _____ 1. ISSUED FOR REVIEW	FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME _____ SIGNATURE _____ 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE RIGHT ELEVATION ELEV. 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2725 PLGE No. 6 PROJECT 03-13-04	Greenpark. PROJECT NAME RUSSEL GARDENS II
					SCALE 3/16"=1'-0"	BY B.K.		
					DATE FEB 2017	TYPE		

**CITY OF HAMILTON
BUILDING DIVISION**
Planning & Development Department

FEB 12 2018

REC'D BY V.A. DATE 1

REF'D TO _____ DATE _____



RIGHT ELEVATION 2

ALLOWABLE GLAZING

HALL AREA	=	460	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7'6" SIDE YARD	=	67.76	Sq. Ft.
ACTUAL GLAZED AREA	=	23.6	Sq. Ft.

1.25m setback

**CITY OF HAMILTON
Building Division**

Permit No. **18-104580**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

The drawings and/or specifications have been reviewed by

FOR OFFICIAL BUILDING OFFICIAL _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		Greenpark.	PROJECT NAME RUSSEL GARDENS II		
4.					RIGHT ELEVATION ELEV. 2		AREA	2725			PLG No. 6-2	
3.					SCALE	3/16"=1'-0"	BY	B.K.				PROJECT 03-13-04
2.					DATE	FEB 2017	TYPE					
1.	ISSUED FOR REVIEW				FEB 2017							

REVISIONS

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

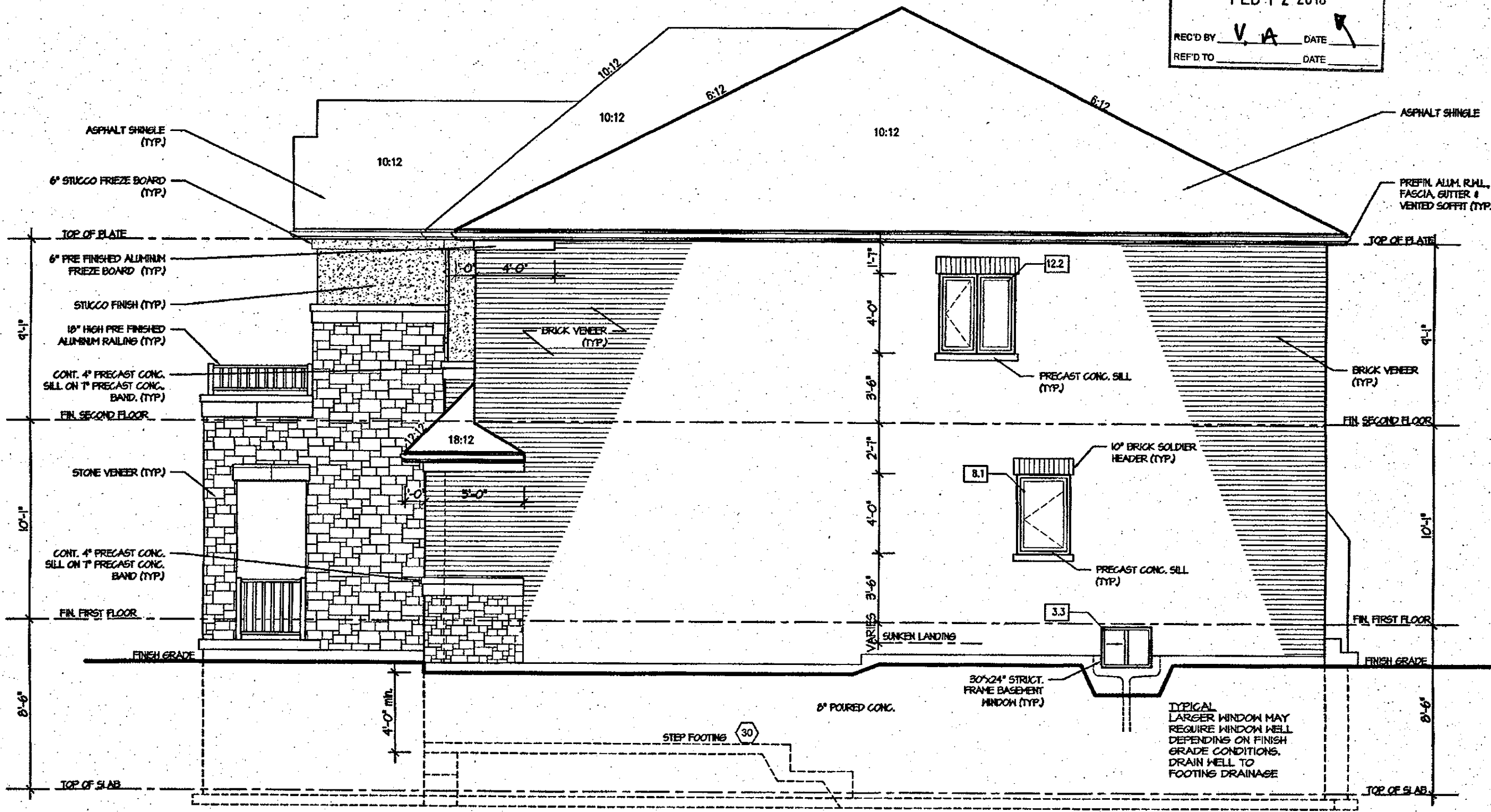
REC'D BY

V. A.

DATE

REF'D TO

DATE



RIGHT ELEVATION 3

ALLOWABLE GLAZING			
HALL AREA	=	968	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1% L2 H SIDE YARD	=	67.16	Sq. Ft.
ACTUAL GLAZED AREA	=	286	Sq. Ft.

1.25m sketch.

CITY OF HAMILTON
Building Division

Permit No. 18-104580

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

JUL 14 2017

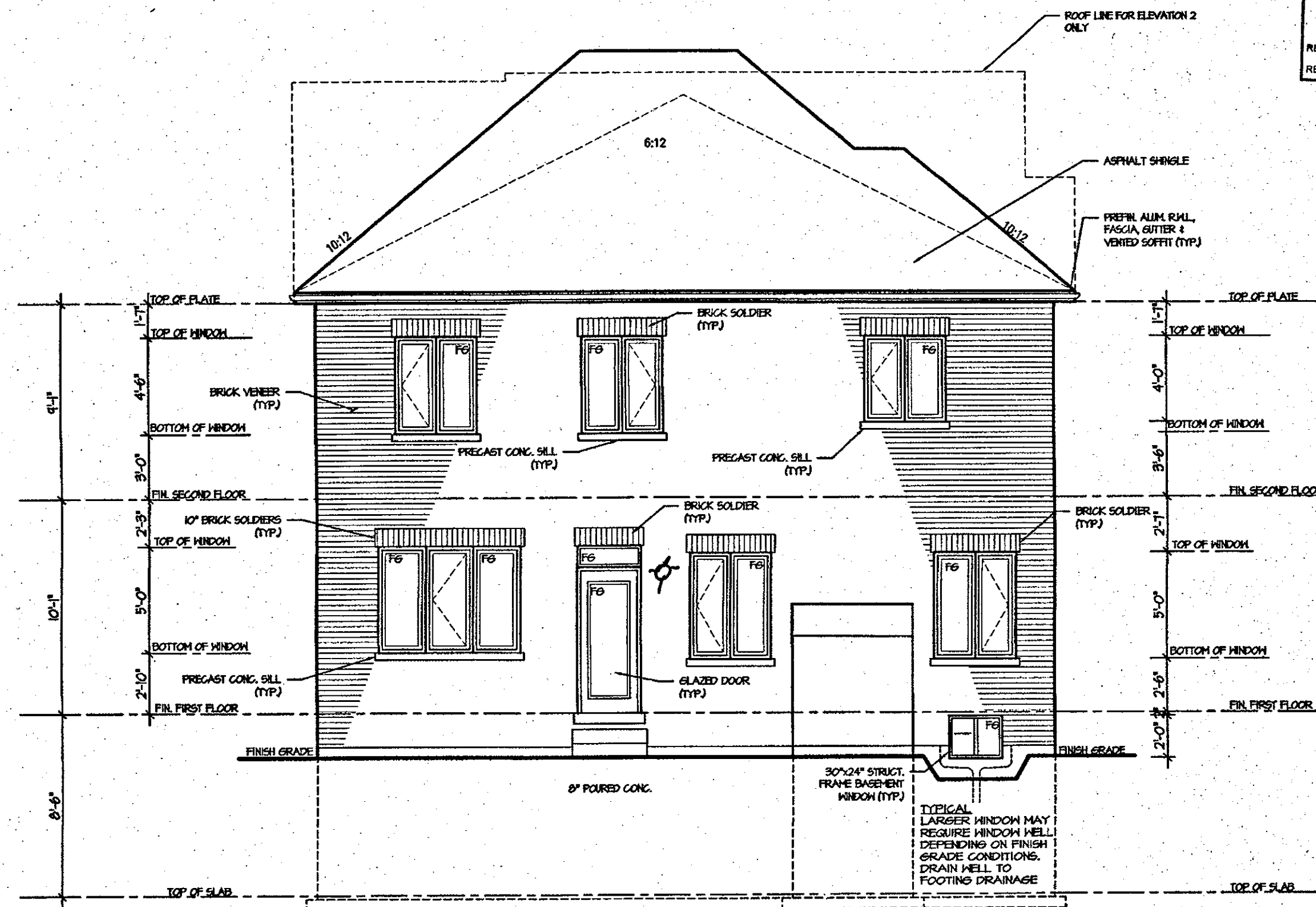
ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4098 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2725 PROJECT 03-13-04	PROJECT NAME RUSSEL GARDENS II
4.					RIGHT ELEVATION ELEV. 3			
3.					SCALE 3/16"=1'-0"			
2.					DATE FEB 2017			
1.	ISSUED FOR REVIEW				DATE FEB 2017			
REVISIONS		VIKAS GAJJAR SIGNATURE 28770 BCIN						



11:24:12 AM M:\PROJECTS\RUSSELL GARDENS\STANDARD PLANS\ROSEWOOD 2 (41-10) MASTER.DWG July 13, 2017

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC'D BY V. A. DATE
REF'D TO DATE



REAR ELEVATION 1, 2 & 3

CITY OF HAMILTON
Building Division
Permit No. 18-104580
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR THESE BUILDING OFFICIAL DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON
ARCHITECTURAL REVIEW & APPROVAL
NOV 20 2017
John G. Williams Limited, Architect

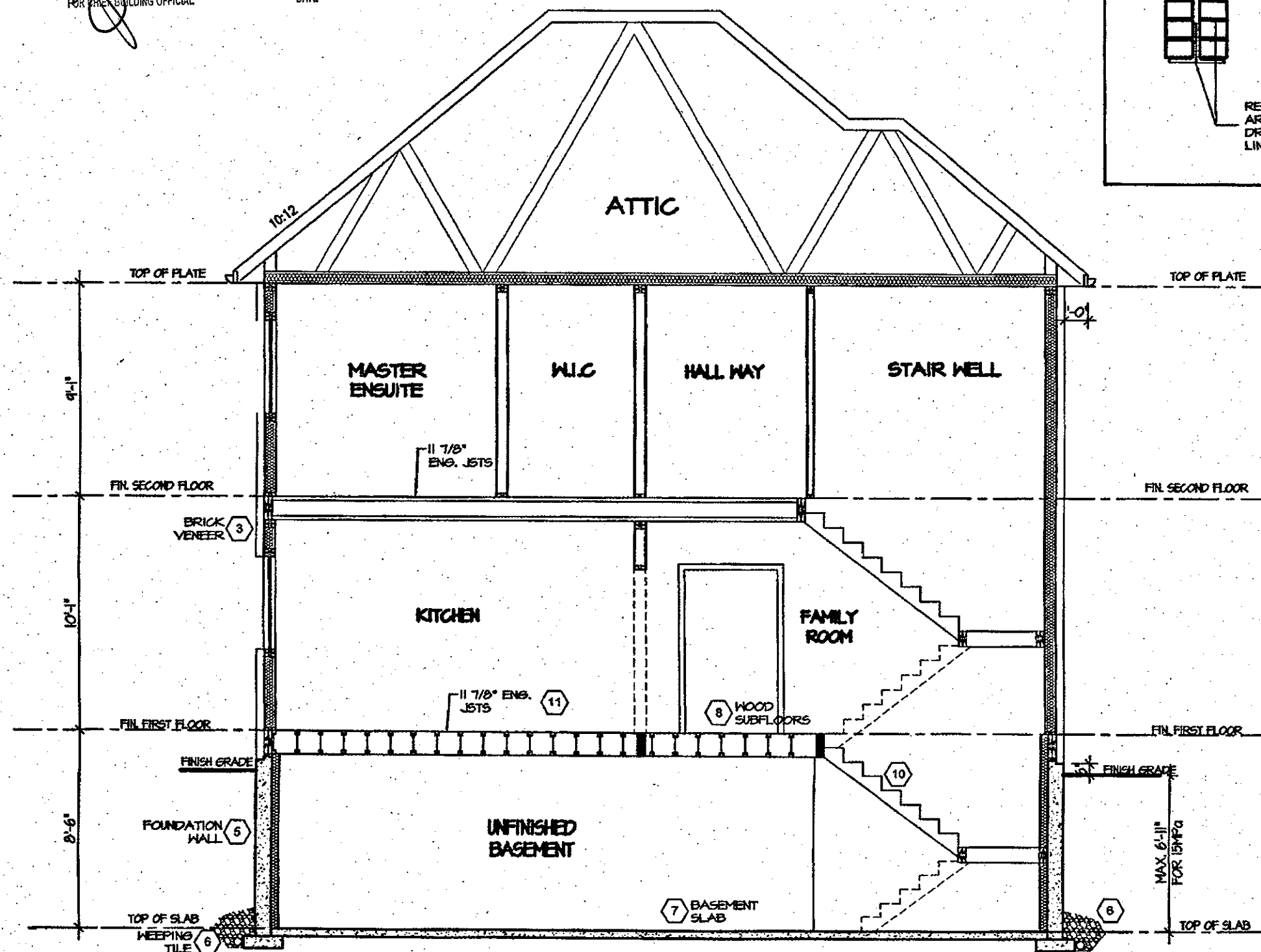
JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4095 F (905) 660-0748	REAR ELEVATION ELEV. 1	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PROJECT NAME RUSSEL GARDENS II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		SCALE 3/16"=1'-0"	AREA 2725	
3.		VIKAS GAJJAR NAME	28770 BCIN	DATE FEB 2017	PLCE No. 7	
2.		SIGNATURE		TYPE	PROJECT 03-13-04	
1.	ISSUED FOR REVIEW	FEB 2017				
REVISIONS						

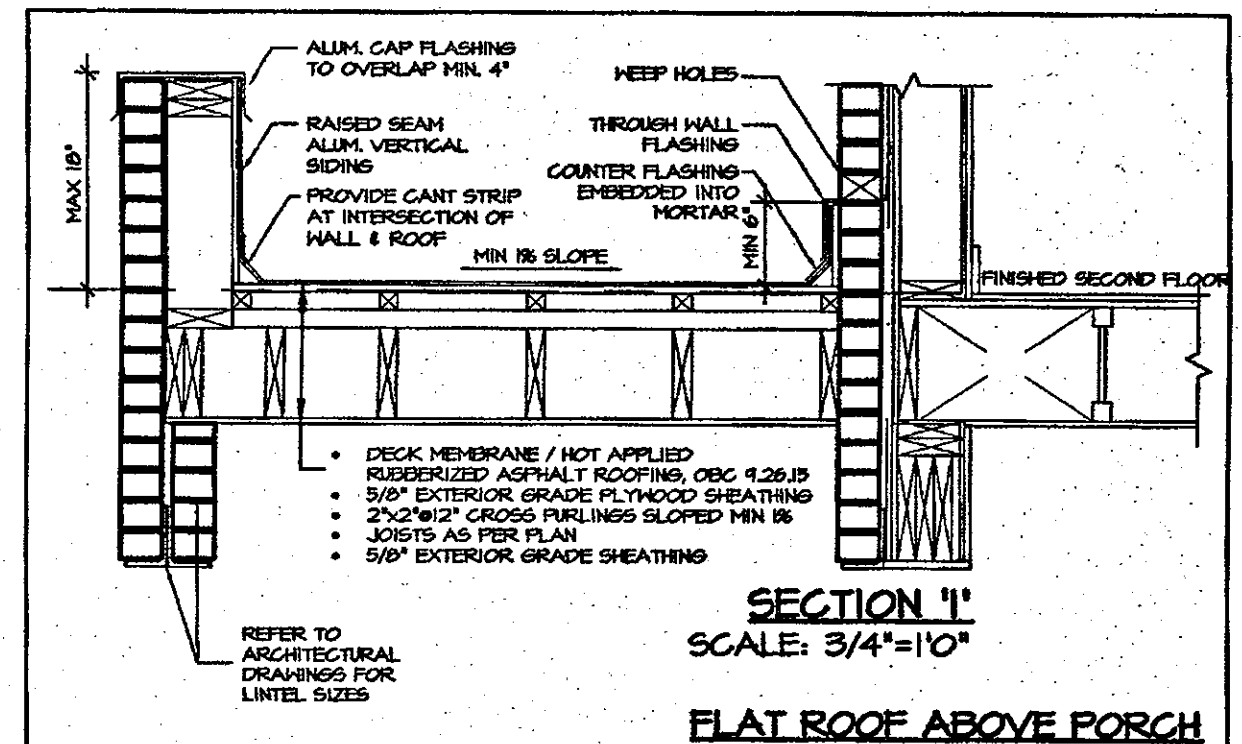
Greenpark.

CITY OF HAMILTON
Building Division
Permit No. **18-104580**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR THE BUILDING OFFICIAL DATE



SECTION AA

NOTE: A separate building permit is required to finish basement space.



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC'D BY **V.A.** DATE
REF'D TO DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4088 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE CROSS SECTION	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PROJECT NAME RUSSEL GARDENS II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	AREA 2725	
3.		VIKAS GAJJAR			BY B.K.	PLGE No. 8	
2.		NAME SIGNATURE	28770 BCIN		DATE FEB 2017	PROJECT 03-13-04	
1.	ISSUED FOR REVIEW	FEB 2017					
REVISIONS							

CITY OF HAMILTON
Building Division

Permit No. **18-104580**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
The drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC'D BY **V.A.** DATE
REF'D TO DATE

2" x 6" SPR STUDS 16" O.C.
FILLED WITH INSULATION
AND VAPOUR BARRIER

10" x 1/4" STEEL PLATE
WELDED TO TOP OF BEAM
WHERE SUPPORTING BRICK
VENEER WALL

INSULATION WHEN AREA
BELOW IS GARAGE OR
EXTERIOR / NO INSULATION
WHEN AREA BELOW IS LIVING
AREA

STEEL BEAM (SEE PLAN)

4" x 4" x 1/4" MIN. TOP PLATE

DOUBLE STUDS ON
BOTH SIDES OF 3 - 1/2" DIA.
STEEL PIPE COLUMN
ANCHORED WITH 2
STEEL STRAPS 1 1/2" x 5/16"
(WELDED TO COLUMN AND
NAILED TO STUDS)

FLOOR JOIST (SEE PLAN)

4" x 4" x 1/4" MIN. BOTTOM PLATE

FINISHED GRADE

10" x 4" x 1/2" BASE PLATE
ANCHORED WITH 2 BOLTS
1/2" DIA. 12" LONG AND
2" HOOK

SECTION

RAFTER TIED TO STUD

ROOF RAFTER

SEE PLAN FOR ROOF SLOPE

WEEPING HOLES 5/8" DIA. @ 24" O.C.
AT BOTTOM OF CAVITY. 6 MIL.
POLYETHYLENE BASE FLASHING
BENEATH WEEPING HOLES AND 6" UP
AND BEHIND WALL SHEATHING PAPER
COUNTER FLASHING EMBEDDED 1" MIN.
INTO MASONRY AND NOT LESS THAN
6" DOWN MASONRY COUNTER FLASHING
TO LAP MIN. 4" OVER LOWER FLASHING

DRAFTSTOP
INSULATION

CEILING JOIST (SEE PLAN)

TOP OF WOOD PLATE

WELD OR
BOLT STEEL
COLN TO
BEAM (TYP.)

INSULATION
WHEN
AREA
BELOW IS
LIVING
AREA / NO
INSULATION
WHEN
GARAGE
AREA IS
BELOW

WOOD
BLOCKING
1/4 POINTS

8'-1" UNLESS OTHERWISE SHOWN

A

A

ELEVATION

FOAM INSULATION

SECTION A-A

STEEL
STRAP

LINE OF
FOUNDATION
WALL

SECTION THROUGH STEEL BEAM

SUPPORTING MASONRY & BEARING

STUD PARTITION

2" x 6" STUD PARTITION
INSULATION

BUILT-UP WOOD
BEAM OR LVL

4" FACE BRICK OR
CONC. BLOCK

INSUL.

5/8" T&G
PLYWOOD

FLOOR JOISTS

BEAM
(SEE PLAN)

CEILING JOISTS

STEEL COLN
BEYOND

FINISHED FIRST FLOOR

STEEL BEAM
(SEE PLAN)

1" x 2" WOOD STRIPS IN
CONTACT WITH THE TOP
OF FLANGE & NAILED
TO THE BOTTOM OF JOISTS

6" x 6" x 5/8" MIN. TOP PLATE

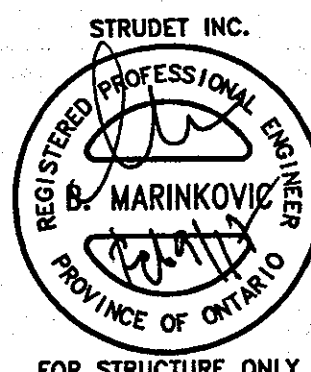
3 1/2" DIA.
STEEL PIPE COLUMN MIN.
0.100" WALL THICKNESS

FIN. FIRST FLOOR

6" x 6" x 5/8" MIN.
BASE PLATE

CONCRETE FOOTING ON
NATURAL UNDISTURBED
SOIL. FOR SIZES SEE
ARCHITECTURAL DRAWINGS.

DETAIL OF STEEL BASEMENT COLUMN



2012 CODE
COMPLIANCE PACKAGE "A1"

5.	
4.	
3.	
2.	
1. ISSUED FOR PERMIT	JAN 31, 2015

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

NICOLA LOMBARDO **28679**
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4096
F (905) 860-0746

**REGION
DESIGN
INC.**

SHEET TITLE STEEL COLUMN DETAILS	
SCALE 3/4"=1'-0"	BY
DATE JAN 2015	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No. 9
PROJECT 00-00-00	

Greenpark™	
PROJECT NAME STANDARD DETAILS - 2017	

INDICATES REDUCED SIDE YARD CONDITION

PARTIAL BASEMENT PLAN
FOR DECK CONDITION

34° 4' 1054 M

2° 11'

6° 8'

2° 8'

3° 0'

2° 4'

3° 10'

1° 0'

5° 8'

6° 8'

5° 8'

3° 10'

1° 10'

[illegible]

INDICATES REDUCED SIDE YARD CONDITION

PARTIAL FIRST FLOOR PLAN
FOR DECK CONDITION

JUL 14 2017

CITY OF HAMILTON
Building Division

Permit No. 18-104580

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

MARINKOVIC

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architects

ROSEWOOD 2

COMPLIANCE PACKAGE "A1"

 **Greenpark.**

PROJECT NAME **RUSSEL GARDENS II**

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	R D I N C.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSEL GARDENS II
4.					DECK PLAN				
3.					ELEV. 1, 2, 3				
2.					SCALE	BY	AREA	PLGE No.	
1.	ISSUED FOR REVIEW				FEB 2017	3/16"=1'-0"	B.K.	2725	
REVISIONS			DATE	TYPE	PROJECT				
			FEB 2017		03-13-04				

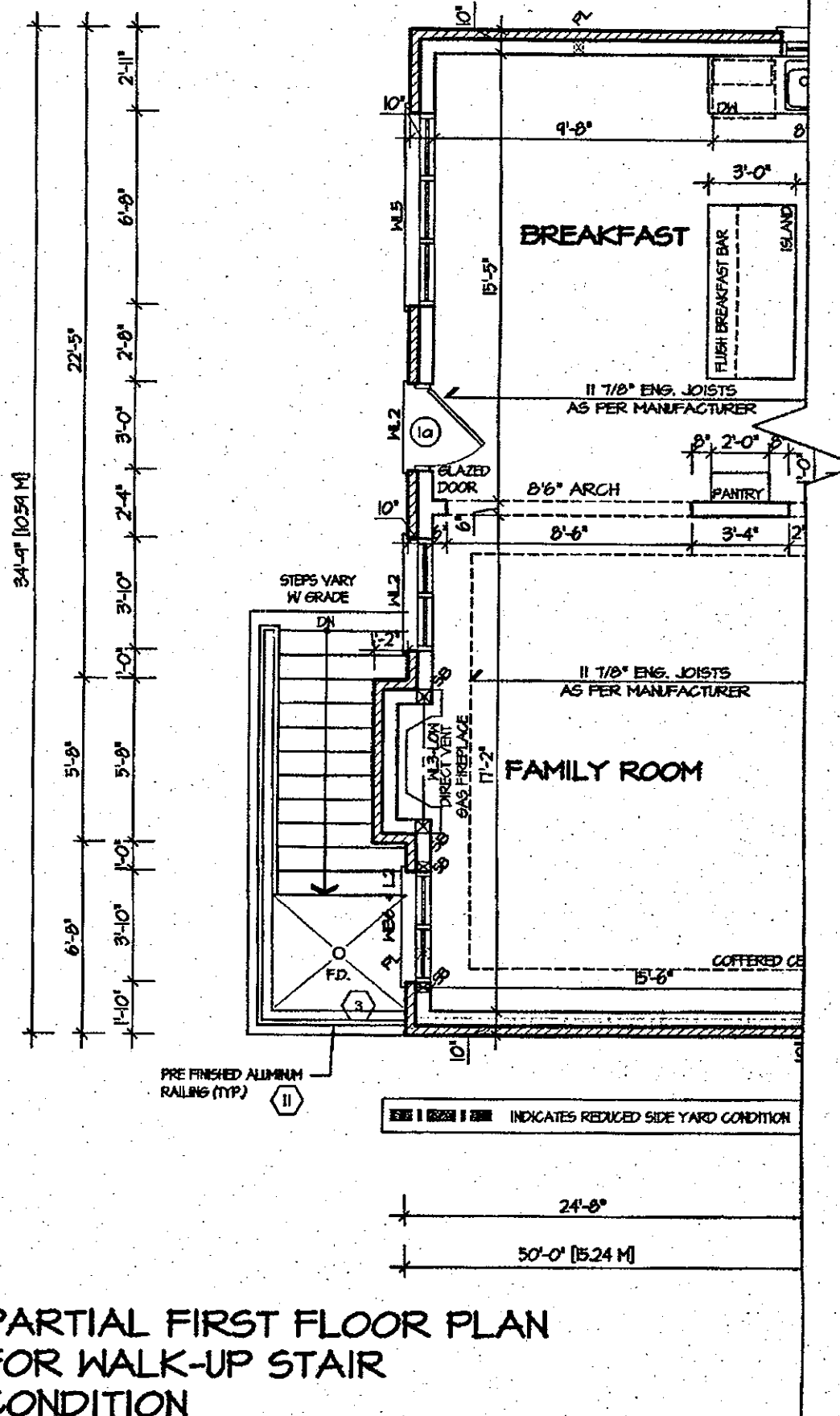
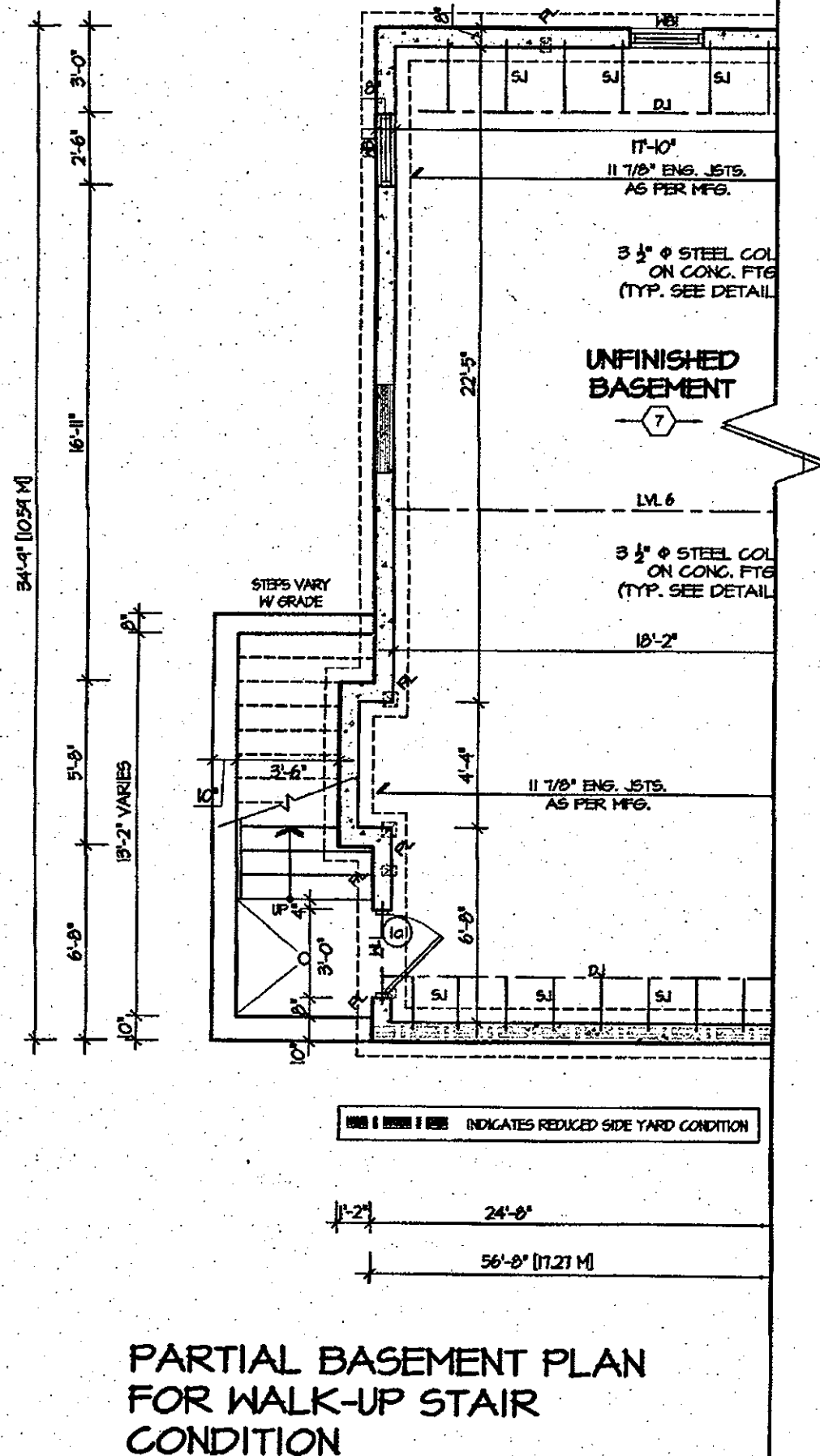
July 13 2017 11:23:55 AM M:\PROJECTS\BIBUSSE1 GARDENS II\STANDARD P\ANS\ROSEWOOD 2 (41-1N) - REG - BIGACAD.ROSEWOOD 2 (41-1N).MASTER.DWG

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC'D BY V.A. DATE 1

REF'D TO _____ DATE _____



CITY OF HAMILTON
Building Division

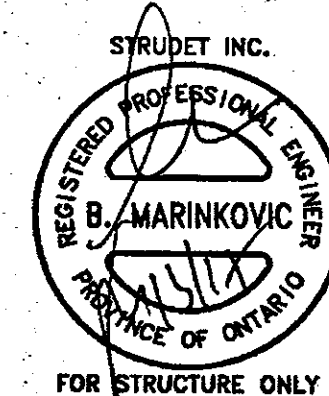
Permit No. 18-104580

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by _____

FOR THE BUILDING OFFICIAL _____ DATE _____



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

JUL 14 2017

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	Greenpark™	PROJECT NAME RUSSEL GARDENS II
4.					WALK-UP CONDITION			
3.					ELEV. 1, 2, 3			
2.					SCALE	AREA		
1.	ISSUED FOR REVIEW				3/16"=1'-0"	2725		
REVISIONS		DATE	PROJECT	PLGE No.				
		FEB 2017	03-13-04	9-2				

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC'D BY V. R DATE

REF'D TO DATE

CITY OF HAMILTON
Building Division

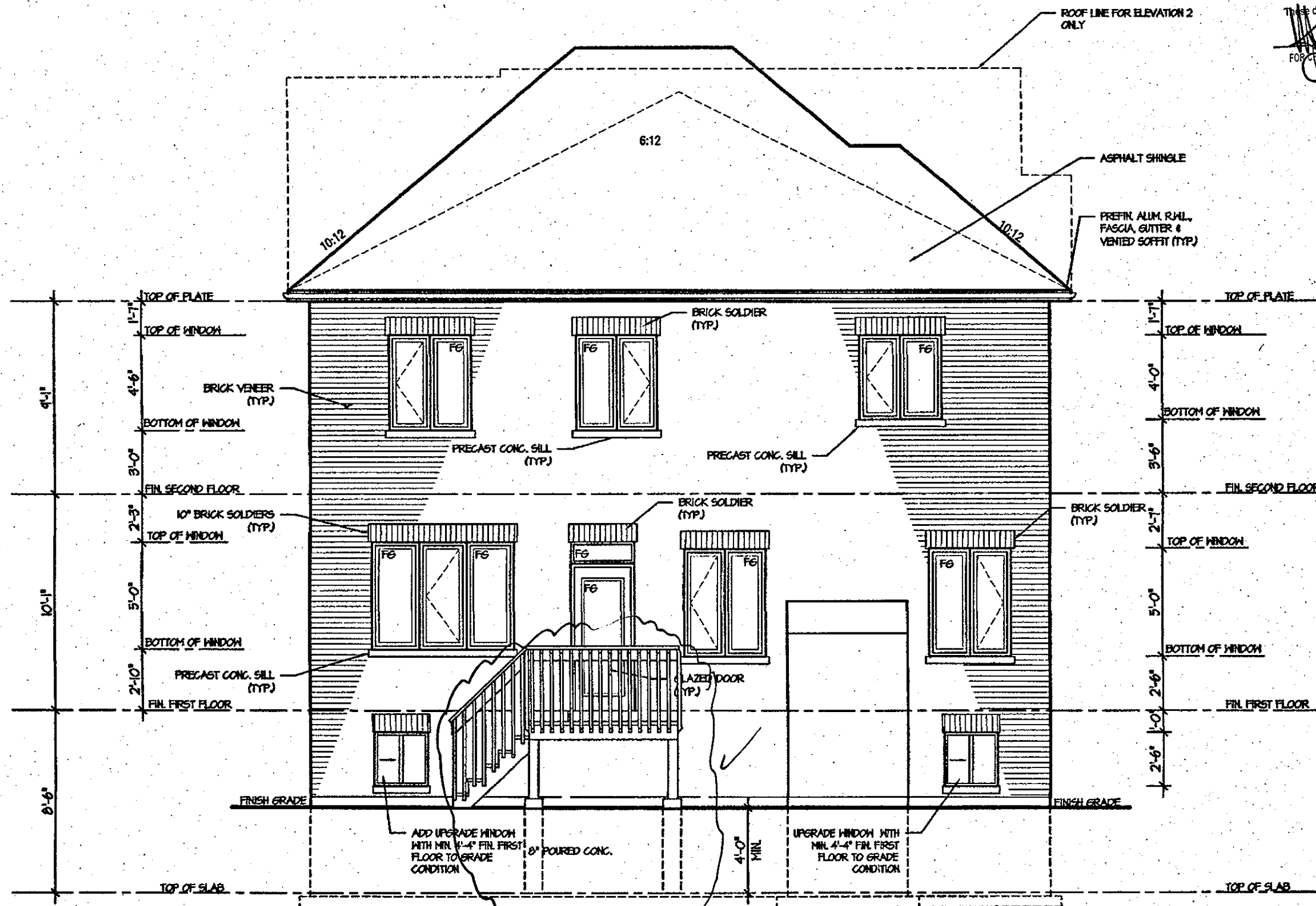
Permit No. 18-104580

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

 FOR CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION 1, 2 & 3
FOR DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME <u> </u> SIGNATURE <u> </u> 28770 BCIN REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE DECK CONDITION ELEV 1, 2, & 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
4.				SCALE 3/16"=1'-0"	BY B.K.	AREA 2725	PLG No. 10
3.				DATE FEB 2017	TYPE	PROJECT 03-13-04	PROJECT NAME RUSSEL GARDENS II
2.							
1.	ISSUED FOR REVIEW			JUL 2016			
REVISIONS							



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC'D BY V. A. DATE 1

REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

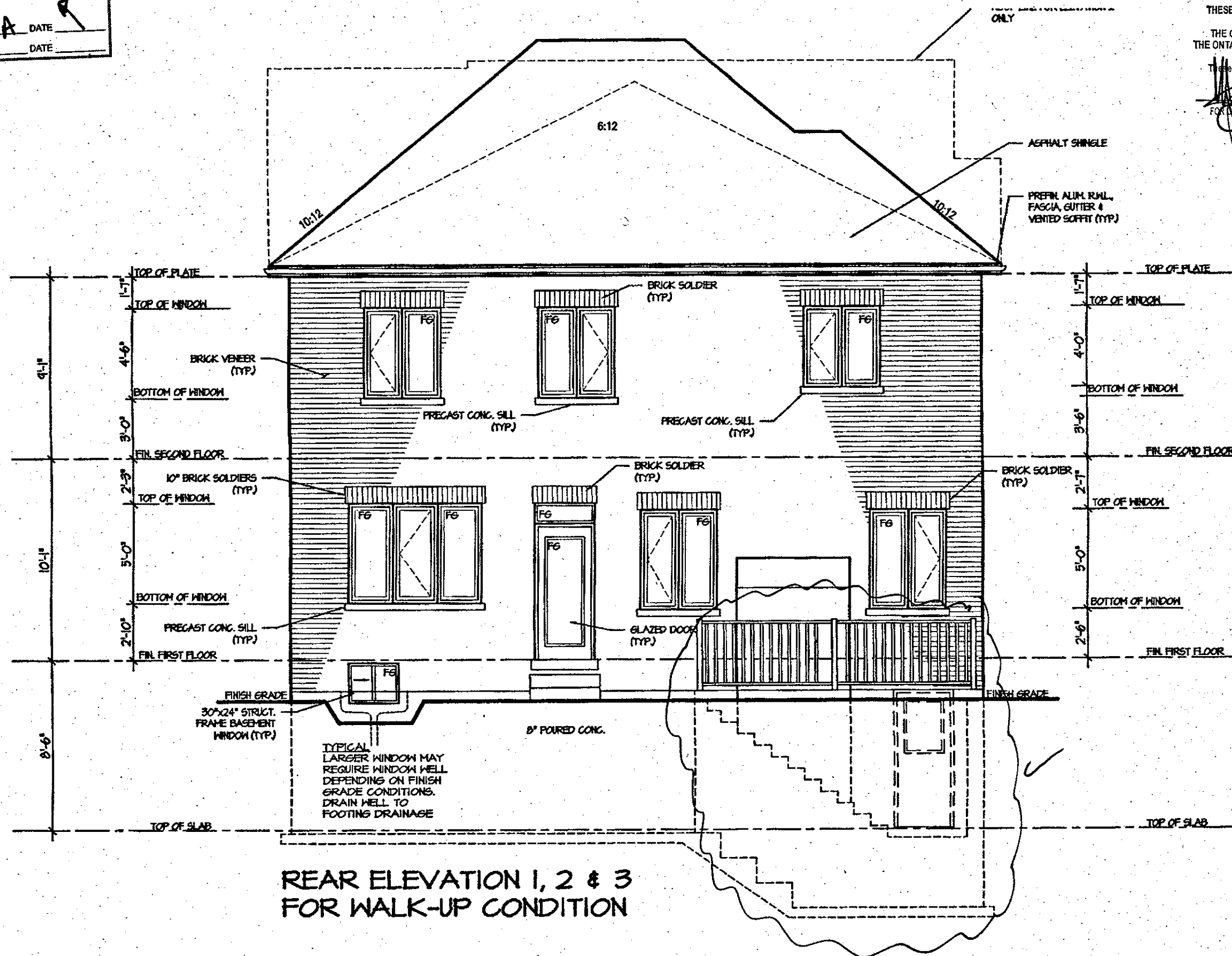
Permit No. 18-104580

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR THE BUILDING OFFICIAL _____ DATE _____



REAR ELEVATION 1, 2 & 3
FOR WALK-UP CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ARCHITECTURAL REVIEW & APPROVAL

NOV 20 2017

John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 2
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR <u>[Signature]</u> 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE WALK-UP CONDITION ELEV 1, 2, & 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		Greenpark. PROJECT NAME RUSSEL GARDENS II
4.					SCALE 3/16"=1'-0"	BY B.K.	AREA 2725	PLG No. 10-2	
3.					DATE FEB 2017	TYPE	PROJECT 03-13-04		
2.									
1.	ISSUED FOR REVIEW				JUL 2018				
REVISIONS									