

STRIP FOOTINGS

FOR SINGLES & SEMIS UP TO 2 STOREY
 2" x 8" FOUNDATION WALLS WITH 2" x 8" / 2" x 10" FLOOR JOISTS
 (20"x8") CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW PARTY WALLS.
 (REFER TO FOOTING DETAILS ON ENGINEERED FILL)
 ASSUME THE LARGER FOOTING SIZE
 WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psf) SOIL BEARING CAPACITY OR 90 KPa
 ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
 F1 = 42"x42"x18" CONCRETE PAD F1 = 40"x40"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

W1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2
 W2 = 4"x3-1/2"x5/16" (100x90x8.0) + 2-2"x8" SPR. No.2
 W3 = 5"x3-1/2"x5/16" (125x90x8.0) + 2-2"x10" SPR. No.2
 W4 = 6"x3-1/2"x3/8" (150x90x10.0) + 2-2"x12" SPR. No.2
 W5 = 6"x4"x3/8" (150x100x10.0) + 2-2"x12" SPR. No.2
 W6 = 5"x3-1/2"x5/16" (125x90x8.0) + 2-2"x12" SPR. No.2
 W7 = 5"x3-1/2"x5/16" (125x90x8.0) + 3-2"x10" SPR. No.2
 W8 = 5"x3-1/2"x5/16" (125x90x8.0) + 3-2"x12" SPR. No.2
 W9 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

W1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
 W2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
 W3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
 W4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
 W5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
 W6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
 W7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
 W8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
 W9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
 LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
 LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
 LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
 LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
 LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
 LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
 LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
 LVL6A = 1-1 3/4" x 11 1/8" (1-45x300)
 LVL6 = 2-1 3/4" x 11 1/8" (2-45x300)
 LVL7 = 3-1 3/4" x 11 1/8" (3-45x300)
 LVL7A = 4-1 3/4" x 11 1/8" (4-45x300)
 LVL8 = 2-1 3/4" x 14" (2-45x356)
 LVL9 = 3-1 3/4" x 14" (3-45x356)
 LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM (20E (Fb=2800psi) MIN) OR
 EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0)
 L2 = 4"x3-1/2"x5/16" (100x90x8.0)
 L3 = 5"x3-1/2"x5/16" (125x90x8.0)
 L4 = 6"x3-1/2"x3/8" (150x90x10.0)
 L5 = 6"x4"x3/8" (150x100x10.0)
 L6 = 7"x4"x3/8" (175x100x10.0)

DOOR SCHEDULE

NO.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

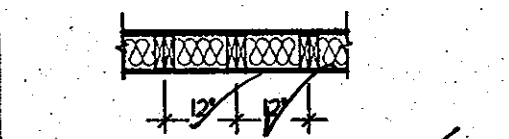
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
 O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF
 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
 ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
 TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
 FOR ENGINEERED FRAMING LAYOUTS

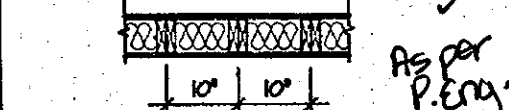
2-2"x6" STUD WALL, NAILED TOGETHER AND
 SPACED @ 12" O.C. FULL HT C/M SOLID
 BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
 EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
 FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSU) 15E
 STUD WALL GLUED AND NAILED TOGETHER
 AND SPACED MAX @ 10" O.C. FULL HT C/M
 SOLID BLOCKING MAX 8'-0" O.C. VERTICAL
 AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
 DETAIL IS 20'-2" AND MAXIMUM WIDTH
 IS 4'-0"

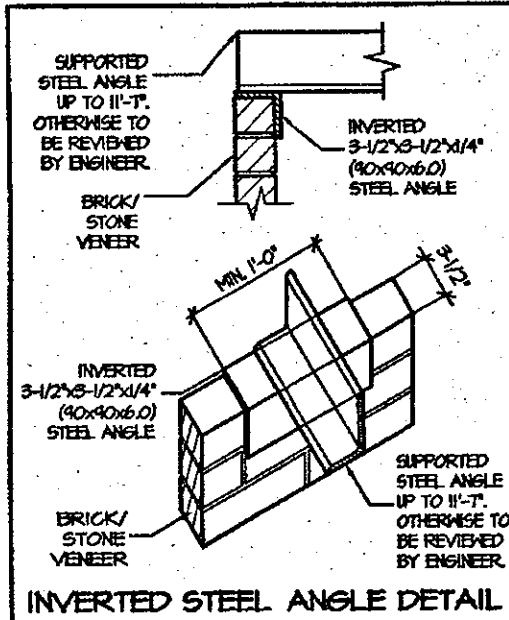
TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
 ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
 FOLLOWING

COMPLIANCE PACKAGE 'A'

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60) ✓
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31) ✓
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31) ✓
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22) ✓
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET) ✓
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.16 (R10) ✓
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX U=0.28 ✓
SPACE HEATING EQUIPMENT MINIMUM AFUE	96% ✓
HVAC MINIMUM EFFICIENCY	75% ✓
HOT WATER TANK	MIN EF 0.80 ✓

☒ = Supplemental Exhaust
 is required.



INVERTED STEEL ANGLE DETAIL

AREA CALCULATIONS ELEV. 2

GROUND FLOOR AREA	=	1174	Sq. Ft.
SECOND FLOOR AREA	=	1504	Sq. Ft.
TOTAL FLOOR AREA	=	2683	Sq. Ft.
	=	244.26	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	12	Sq. Ft.
ADD TOTAL OPEN AREAS	=	12	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2695	Sq. Ft.
	=	250.57	Sq. M.
GROUND FLOOR COVERAGE	=	1174	Sq. Ft.
GARAGE COVERAGE / AREA	=	349	Sq. Ft.
PORCH COVERAGE / AREA	=	78	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1601	Sq. Ft.
	=	153.38	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1573	Sq. Ft.
	=	146.14	Sq. m.

AREA CALCULATIONS ELEV. 3

GROUND FLOOR AREA	=	1174	Sq. Ft.
SECOND FLOOR AREA	=	1493	Sq. Ft.
TOTAL FLOOR AREA	=	2667	Sq. Ft.
	=	247.77	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	12	Sq. Ft.
ADD TOTAL OPEN AREAS	=	12	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2679	Sq. Ft.
	=	248.84	Sq. M.
GROUND FLOOR COVERAGE	=	1174	Sq. Ft.
GARAGE COVERAGE / AREA	=	402	Sq. Ft.
PORCH COVERAGE / AREA	=	75	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1651	Sq. Ft.
	=	153.58	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1576	Sq. Ft.
	=	146.42	Sq. m.

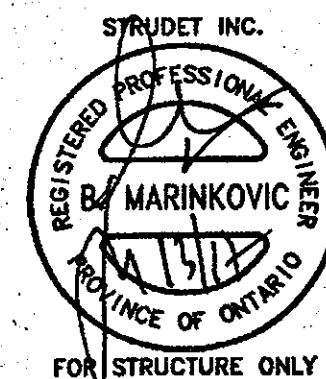
CITY OF HAMILTON
 Building Division
 18-104508
 Permit No. _____
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
 These drawings and specifications have been reviewed by
 DATE: Apr. 11/18
 FOR CHIEF BUILDING OFFICIAL

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1174	Sq. Ft.
SECOND FLOOR AREA	=	1464	Sq. Ft.
TOTAL FLOOR AREA	=	2648	Sq. Ft.
	=	245.34	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	12	Sq. Ft.
ADD TOTAL OPEN AREAS	=	12	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2655	Sq. Ft.
	=	246.68	Sq. M.
GROUND FLOOR COVERAGE	=	1174	Sq. Ft.
GARAGE COVERAGE / AREA	=	349	Sq. Ft.
PORCH COVERAGE / AREA	=	74	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1647	Sq. Ft.
	=	153.01	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1573	Sq. Ft.
	=	146.14	Sq. m.

ROSEWOOD I		ELEV. 1		COMPLIANCE PACKAGE 'A'	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	648.33	64.88	76.26	7.08	10.92 %
LEFT SIDE	1024.17	95.61	68.83	6.34	6.64 %
RIGHT SIDE	1033.72	96.04	21.34	1.98	2.06 %
REAR	687.75	63.84	138.45	12.86	20.13 %
TOTAL	3448.97	320.42	304.88	28.32	8.84 %

ROSEWOOD I		ELEV. 2		COMPLIANCE PACKAGE 'A'	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	731.05	68.47	80.93	7.52	10.98 %
LEFT SIDE	1043.25	96.92	68.83	6.34	6.60 %
RIGHT SIDE	1055.64	98.08	21.34	1.98	2.02 %
REAR	687.75	63.84	138.45	12.86	20.13 %
TOTAL	3523.14	321.31	304.55	28.76	8.78 %

ROSEWOOD I		ELEV. 3		COMPLIANCE PACKAGE 'A'	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	648.33	64.88	76.26	7.08	10.92 %
LEFT SIDE	1021.25	94.88	68.83	6.34	6.74 %
RIGHT SIDE	1033.72	96.04	21.34	1.98	2.06 %
REAR	687.75	63.84	138.45	12.86	20.13 %
TOTAL	3441.05	319.68	304.88	28.32	8.86 %



It is the builder's complete responsibility to
 ensure that all plans submitted for approval
 fully comply with the Architectural Guidelines
 and all applicable regulations and requirements
 including zoning provisions and any provisions
 in this subdivision agreement. The Control
 Architect is not responsible in any way for
 examining or approving site (lotting) plans or
 working drawings with respect to any zoning or
 building code or permit matter or that any
 house can be properly built or located on its lot.

This is to certify that these plans comply
 with the applicable Architectural Design
 Guidelines approved by the Town of
 Hamilton.

COPY

CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department
 FEB 12 2018
 REC BY _____ DATE _____
 REF'D TO CB DATE _____

JUL 14 2017

ROSEWOOD 1
 COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME
 RUSSEL GARDENS - II

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	FEB 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this
 design, and has the qualifications and meets the requirements set
 out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
 VIKAS GAJAL 28770
 NAME SIGNATURE BCIN

REGION DESIGN INC.
 8700 DUFFERIN ST.
 CONCORD, ONTARIO
 L4K 4S5
 P (416) 736-4096
 F (905) 660-0746

AREA CHARTS
 SCALE 3/16"=1'-0"
 DATE FEB 2017
 BY B.K.
 TYPE PROJECT
 03-13-03

CONTRACTOR SHALL CHECK ALL
 DIMENSIONS AND ELEVATIONS BEFORE
 COMMENCING WITH WORK AND REPORT
 ANY DISCREPANCIES TO THE DESIGNER.
 PRINTS ARE NOT TO BE SCALED.
 AREA 2655
 PAGE NO. 0

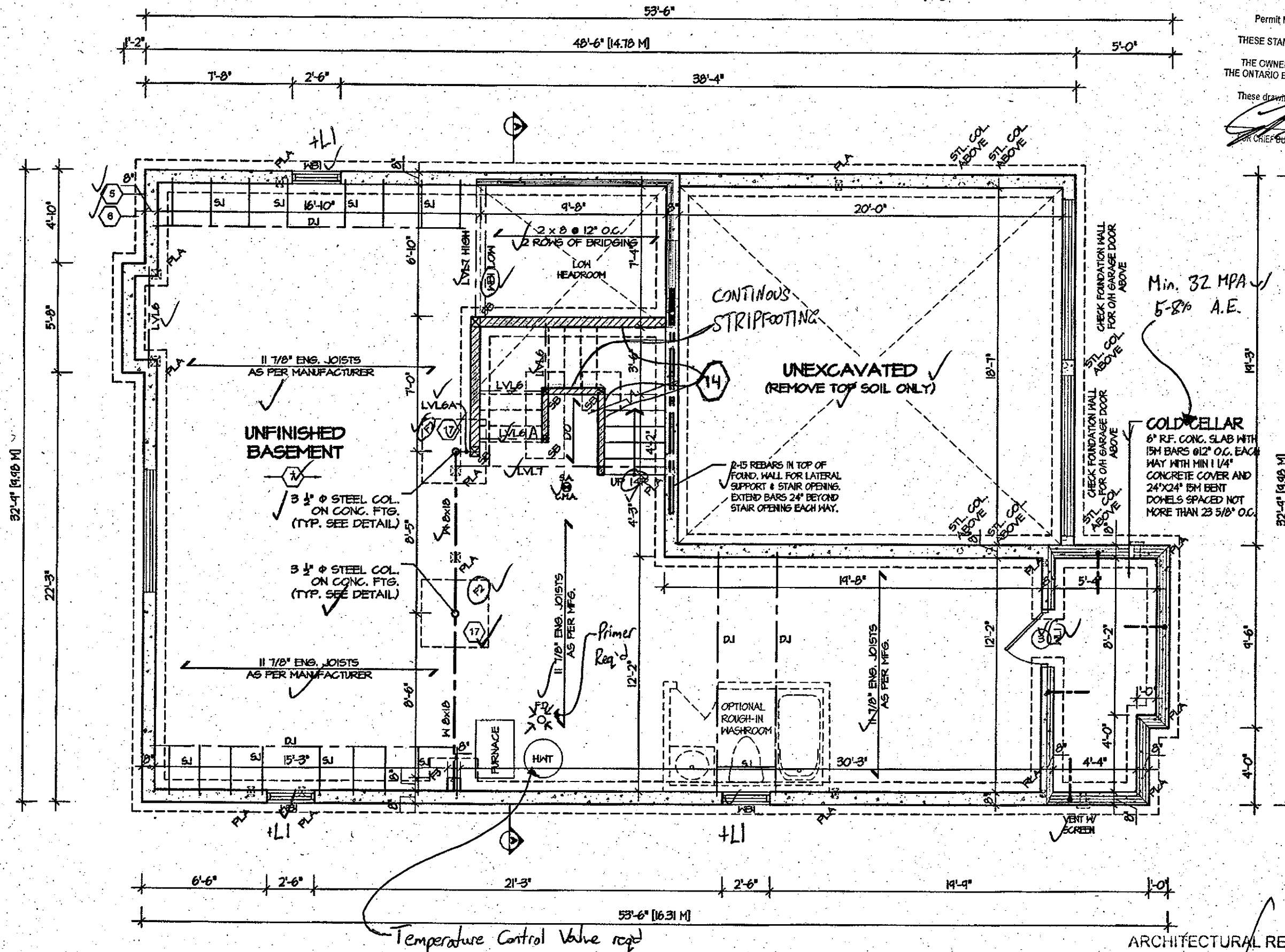
FZ=36'x36'x16' (non engineered soil)

CITY OF HAMILTON
Building Division

Permit No. 18-104508

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
[Signature] DATE Apr. 11/18
CHIEF BUILDING OFFICIAL



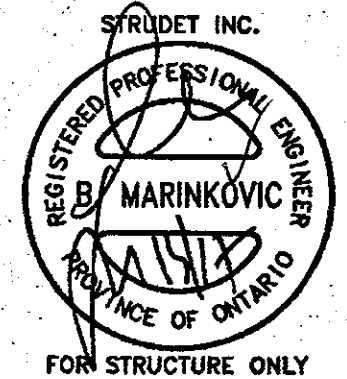
Min. 32 MPA /
5-8% A.E.

COLD CELLAR
6" RE. CONC. SLAB WITH
15M BARS @ 12" O.C. EACH
WAY WITH MIN 1 1/4"
CONCRETE COVER AND
24"x24" 15M BENT
DOHELS SPACED NOT
MORE THAN 23 5/8" O.C.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY DATE
REF'D TO CB DATE



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ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
Mississauga.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed [Signature]
Dated NOV 20 2017
John B. Williams Limited, Architect

BASEMENT FLOOR PLAN I

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR
SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS
FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED
AND NAILED ON THIS FLOOR.

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S5 P (416) 736-4098 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.					BASEMENT PLAN				
3.					ELEV. 1				
2.					SCALE	BY	AREA	PAGE No.	
1.	ISSUED FOR REVIEW				3/16"=1'-0"	B.K.	2655	1	
REVISIONS		DATE	TYPE	PROJECT	PROJECT NAME				
		FEB 2017		03-13-03	RUSSEL GARDENS - II				

Greenpark.

CITY OF HAMILTON
Building Division

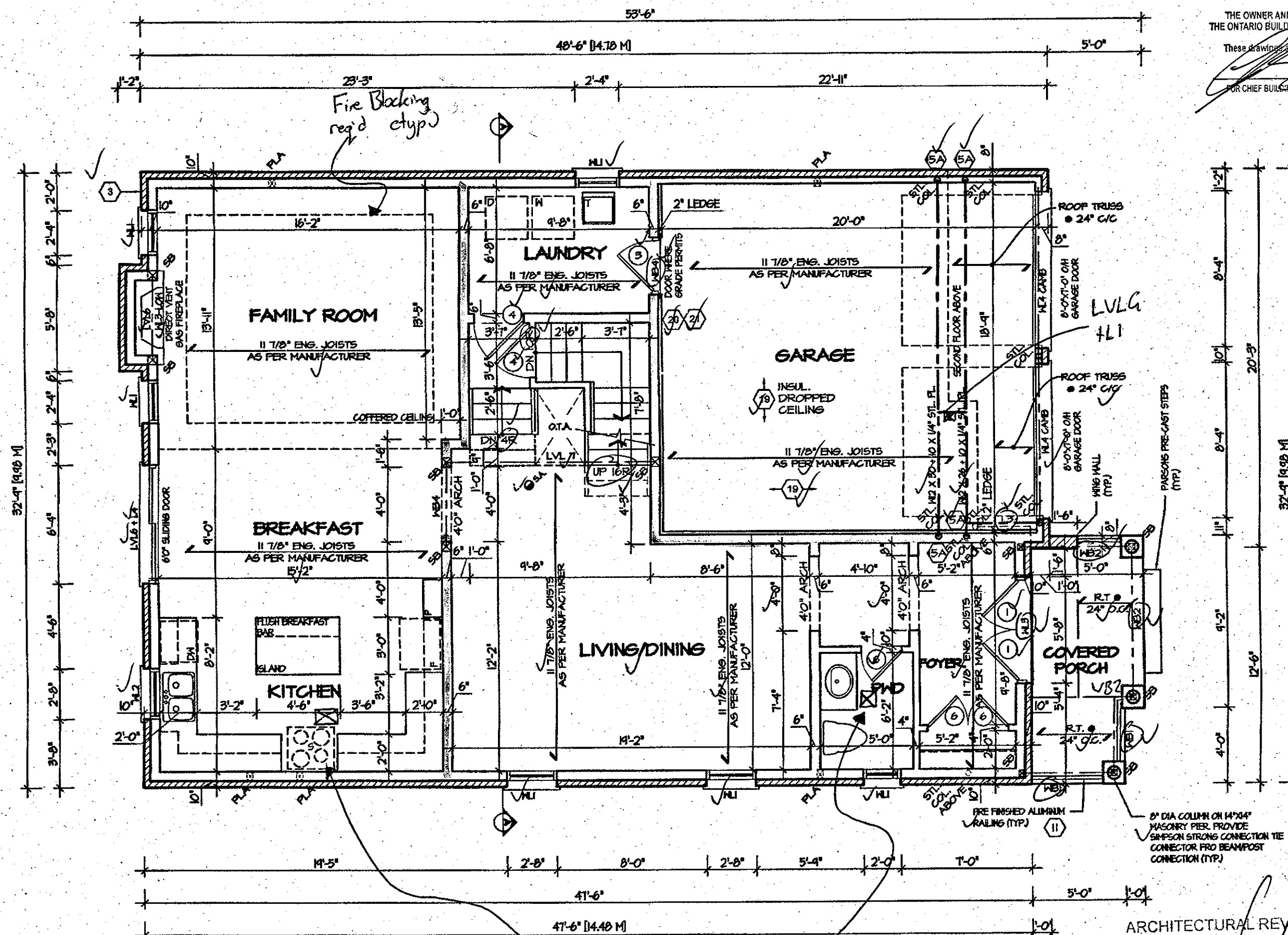
Permit No. **18-104508**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL **APR 11/18** DATE



GROUND FLOOR PLAN I

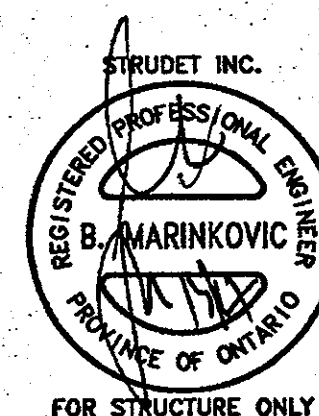
Supplemental Exhaust
Req'd.

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY **CR** DATE
REF'D TO DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Hamilton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed **NOV 20 2017**
Dated
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5. 4. 3. 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4006 F (905) 660-0748	REGION DESIGN INC.	SHEET TITLE FIRST FLOOR PLAN ELEV. 1 SCALE 3/16"=1'-0" BY B.K. AREA 2655 PAGE No. 2 DATE JUNE 2017 TYPE PROJECT 03-13-03	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	Greenpark PROJECT NAME RUSSEL GARDENS - II
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CITY OF HAMILTON
Building Division

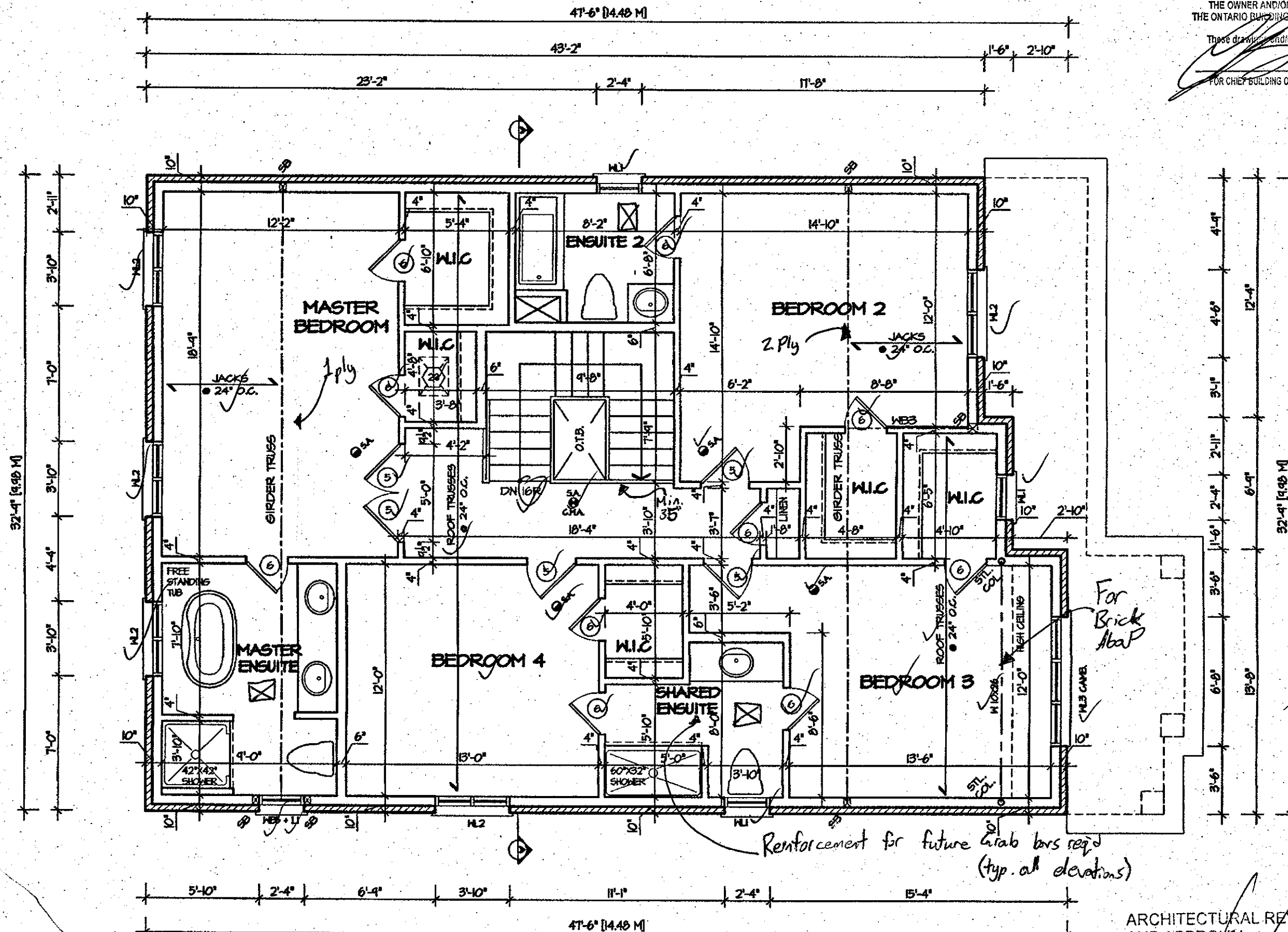
Permit No. 18-101508

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE Apr. 11/18



COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY DATE
REF'D TO CB DATE

STRUDET INC.



FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited Architect

SECOND FLOOR PLAN I

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME  SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0748	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark PROJECT NAME RUSSEL GARDENS - II	
4.				SECOND FLOOR PLAN					
3.				ELEV. 1					
2.	ISSUED FOR PERMIT			JUNE 2017	SCALE	BY	AREA		PAGE No.
1.	ISSUED FOR REVIEW			FEB 2017	3/16"=1'-0"	B.K.	2655		3
REVISIONS			DATE	TYPE	PROJECT				
			JUNE 2017		03-13-03				

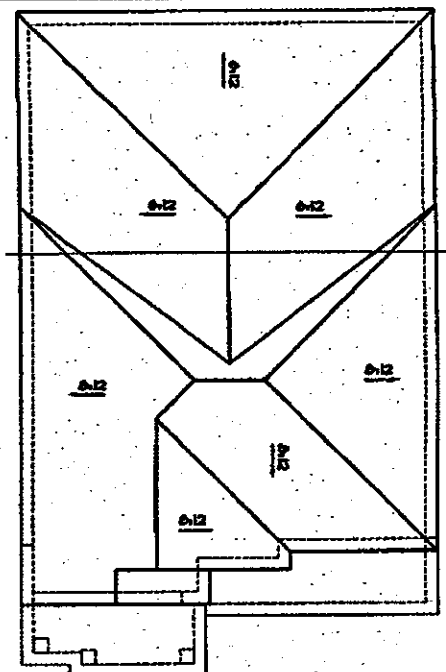
Greenpark

CITY OF HAMILTON
Building Division

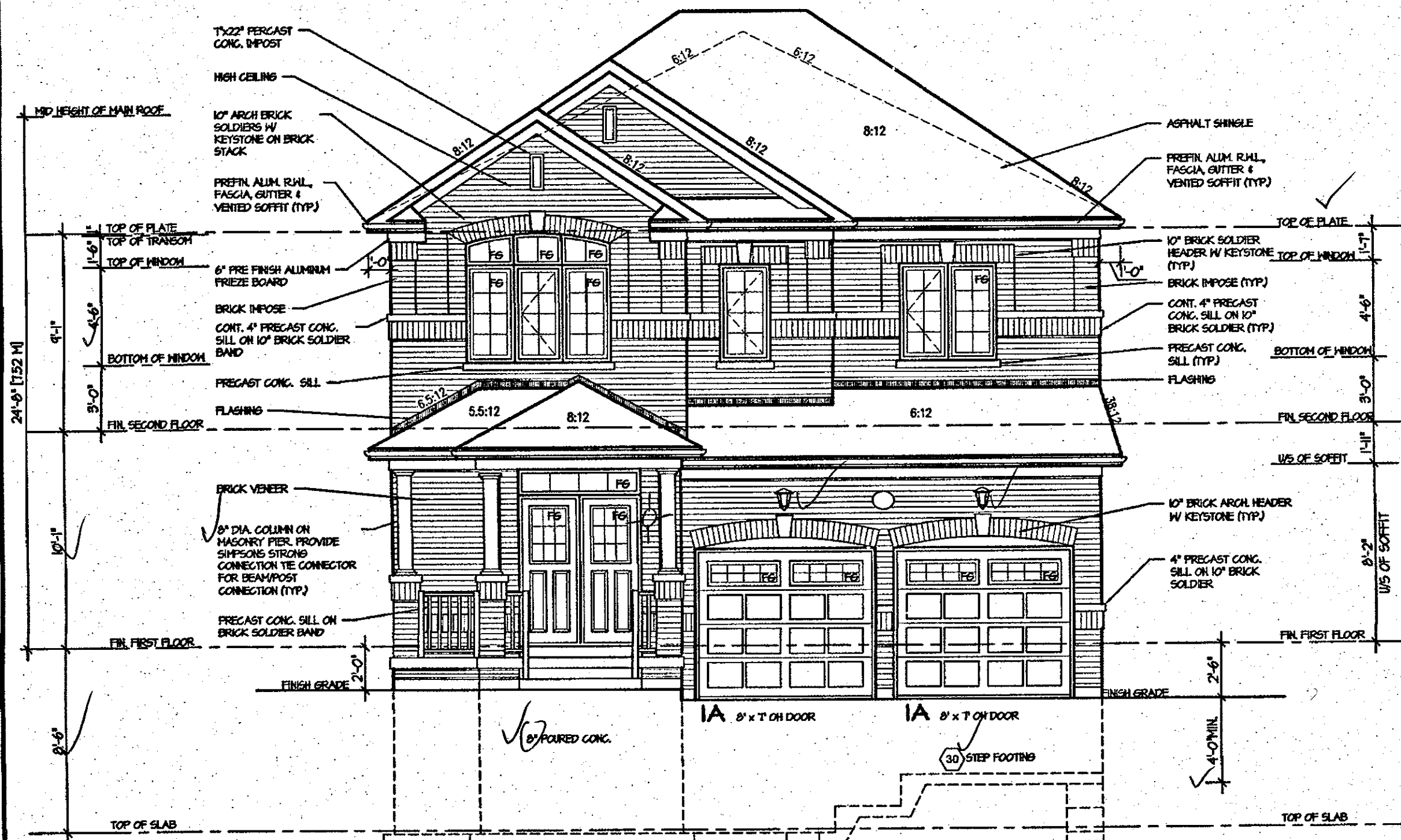
Permit No. **18-101508**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and specifications have been reviewed by
[Signature] **Apr. 11/18**
FOR CHIEF BUILDING OFFICIAL DATE



ROOF PLAN I
SCALE: N.T.S.



FRONT ELEVATION I

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY: _____ DATE: _____
REF'D TO: *[Signature]* DATE: _____

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Hamilton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed *[Signature]*
Dated **NOV 20 2017**
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0745	REGION DESIGN INC.	SHEET TITLE FRONT ELEVATION ELEV. 1	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2655	PAGE No. 4	PROJECT NAME RUSSEL GARDENS - II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY B.K.	DATE FEB 2017	TYPE	PROJECT 03-13-03
3.									
2.									
1.	ISSUED FOR REVIEW	FEB 2017	VIKAS GAJJAR NAME	<i>[Signature]</i> SIGNATURE	28770 BCIN				
REVISIONS									

Greenpark.

CITY OF HAMILTON
Building Division

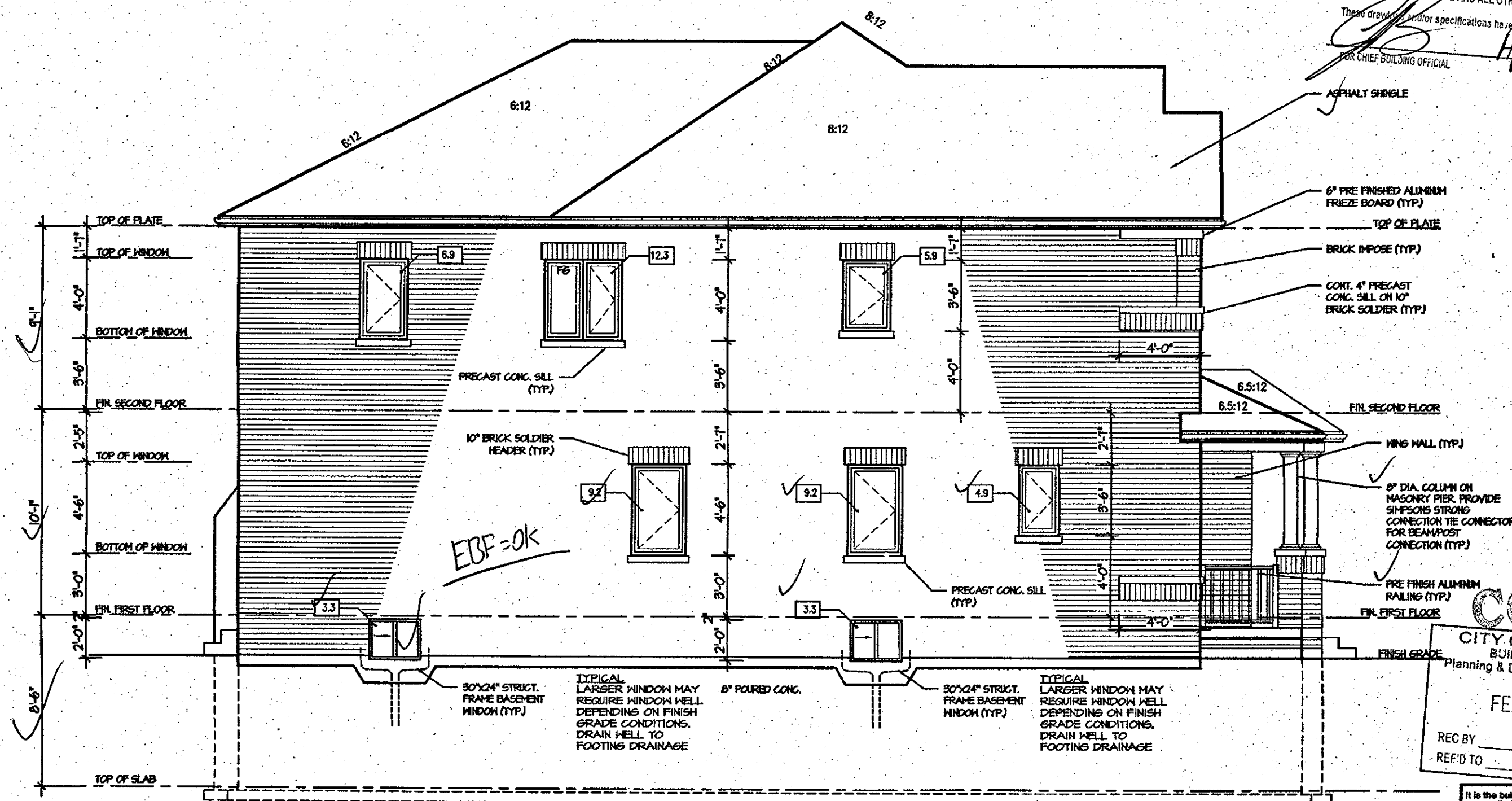
Permit No. 18-101508

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These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

Apr. 11/18
DATE



LEFT ELEVATION I

ALLOWABLE GLAZING

WALL AREA

ALLOWABLE GLAZED AREA @ 1% 12 M SIDE YARD

ACTUAL GLAZED AREA

✓ 1021 Sq. Ft.
✓ 1103 Sq. Ft.
55.0 Sq. Ft. (5.4%)

0% = OK

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed

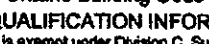
Dated NOV 20 2017
John G. Williams Limited, Architect

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Rosewood.

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		LEFT ELEVATION ELVE. 1		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark.			
4.					SCALE	3/16"=1'-0"	BY	B.K.	AREA	2655		PAGE No.	5	PROJECT NAME
3.					DATE	FEB 2017	TYPE		PROJECT	03-13-03				
2.														
1.	ISSUED FOR REVIEW				FEB 2017									
REVISIONS											RUSSEL GARDENS - II			

CITY OF HAMILTON
Building Division

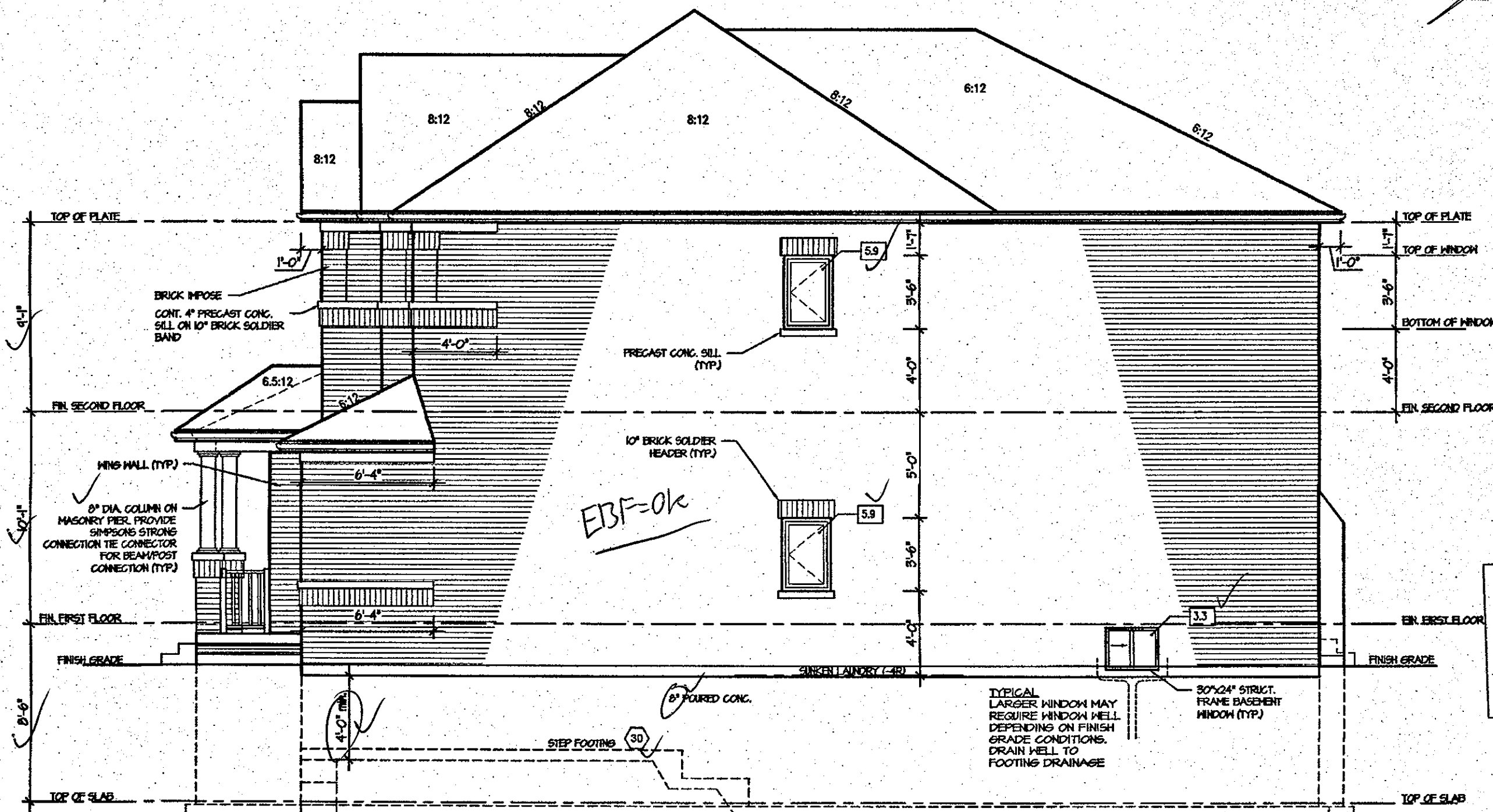
Permit No. 18-104508

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE April 11/18



COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY DATE
REF'D TO CB DATE

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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

RIGHT ELEVATION I

ALLOWABLE GLAZING
WALL AREA 1017
ALLOWABLE GLAZED AREA 1% 12.4 SIDE YARD 71.2
ACTUAL GLAZED AREA 51 1.5%

00 = OK

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4006 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE RIGHT ELEVATION ELEV. 1	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PROJECT NAME RUSSEL GARDENS - II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	AREA 2655	
3.					BY B.K.	PAGE No. 6	
2.					DATE FEB 2017	PROJECT 03-13-03	
1.	ISSUED FOR REVIEW	FEB 2017	VIKAS GAJJAR NAME SIGNATURE 28770 BCIN				
REVISIONS							

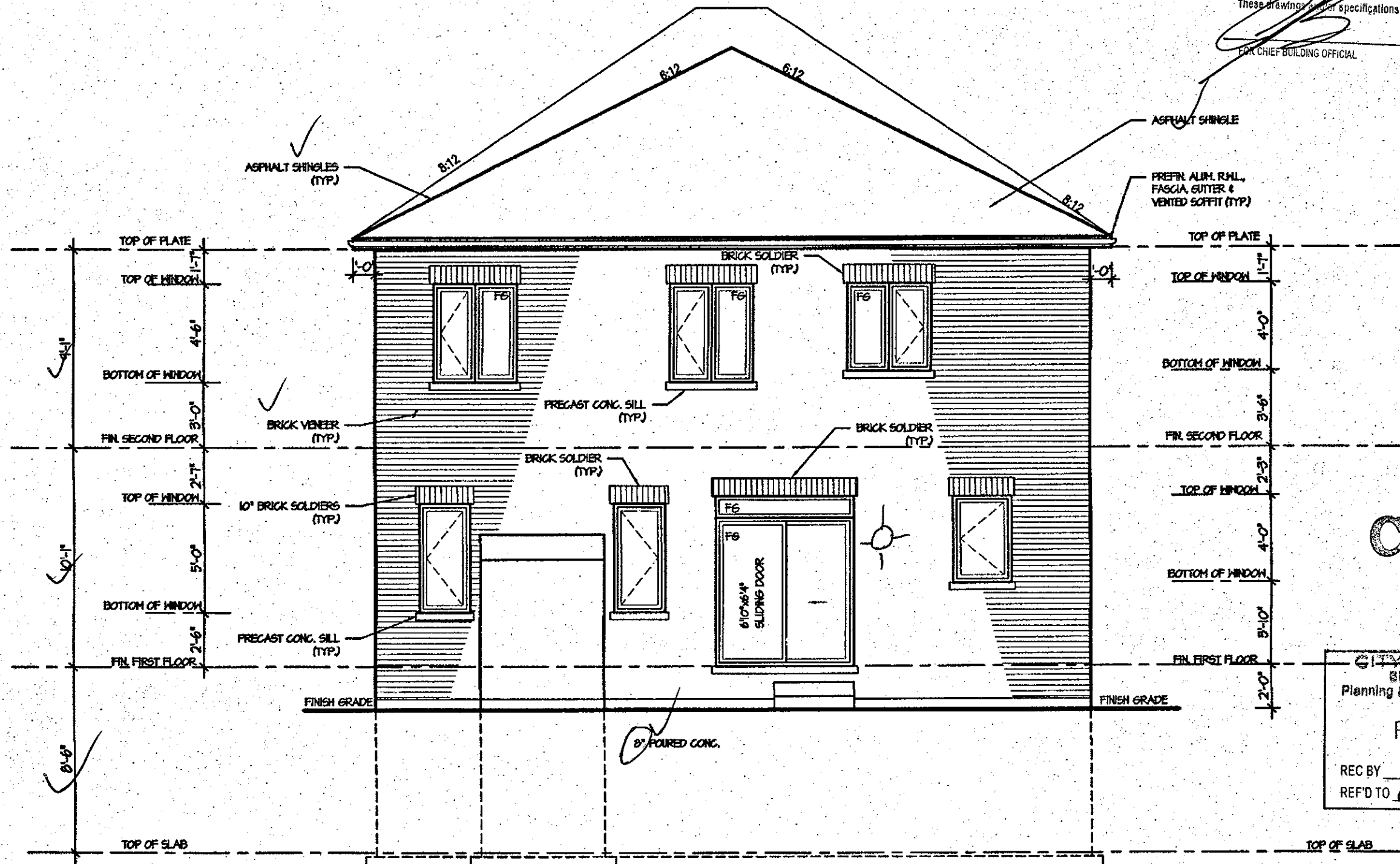
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CITY OF HAMILTON
Building Division

Permit No. 18-101508

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE Apr. 11/18



COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY _____ DATE _____
REF'D TO CR DATE _____

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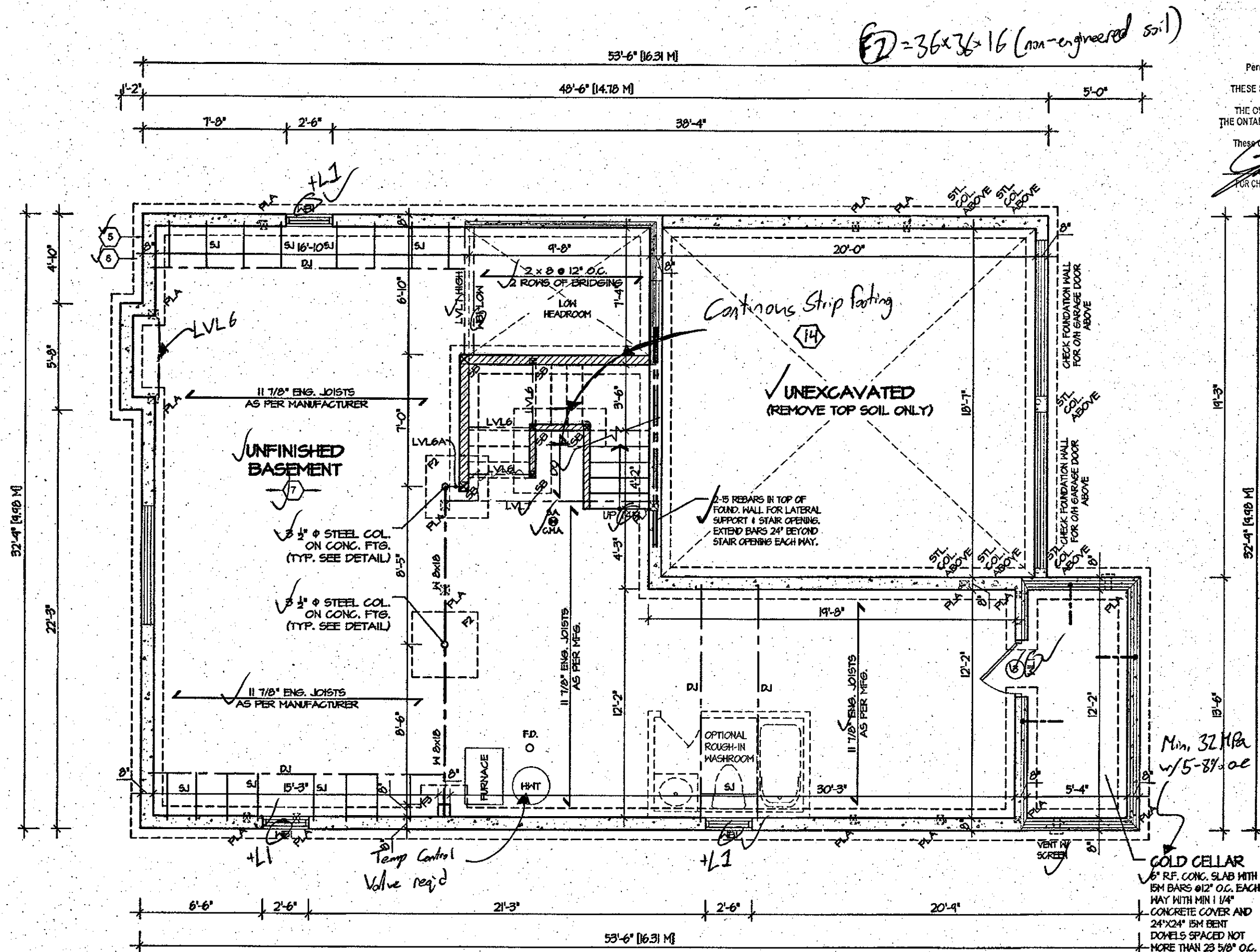
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed _____
Dated NOV 20 2017
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REAR ELEVATION ELEV. 1	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2655	PAGE No. 7	PROJECT 03-13-03	PROJECT NAME RUSSEL GARDENS - II
4.									
3.									
2.									
1. ISSUED FOR REVIEW	FEB 2017								
REVISIONS									



BASEMENT FLOOR PLAN 2

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-11"; 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ARCHITECTURAL REVIEW AND APPROVAL
CITY OF HAMILTON
Signed NOV 2 2017
John G. Williams Limited, Architect

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Mississauga.

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

JUL 14 2017

5. _____ 4. _____ 3. _____ 2. _____ 1. ISSUED FOR REVIEW JUL 2016 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN ELEV. 2 SCALE 3/16"=1'-0" DATE FEB 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PAGE No. 1-2	Greenpark PROJECT NAME RUSSEL GARDENS - II
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CITY OF HAMILTON
Building Division

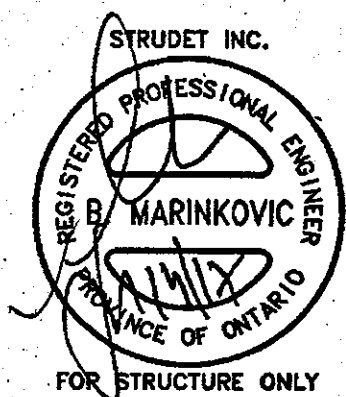
Permit No. **18-104508**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] **Apr. 11/18**
FOR CHIEF BUILDING OFFICIAL DATE

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY _____ DATE _____
REF'D TO [Signature] DATE _____



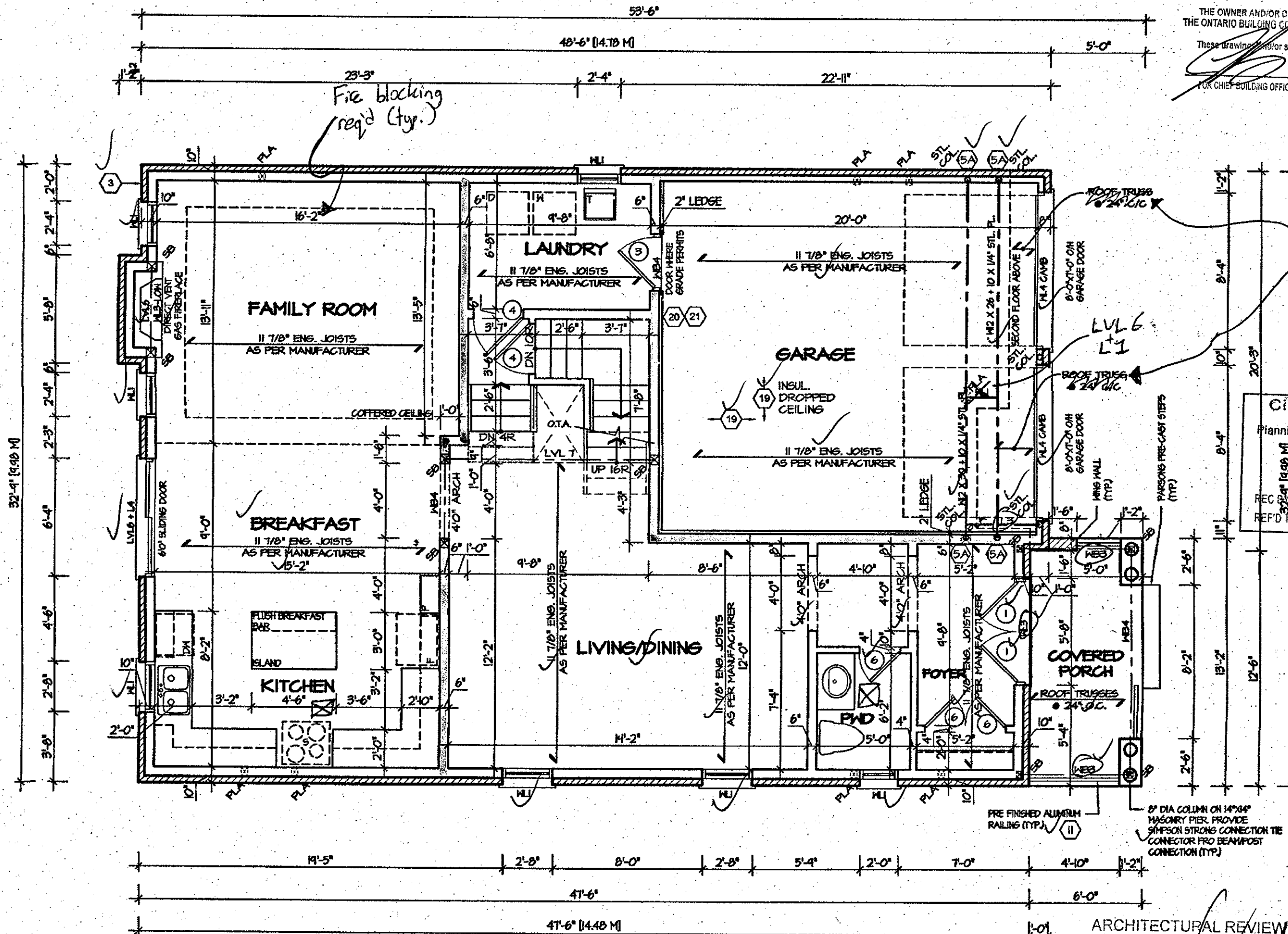
11:07:23 AM M:\PROJECTS\RUSSELL GARDENS\STANDARD PLANS\ROSEWOOD 1 (41-08) - REG. BRACAO-ROSEWOOD 1 (41-08) MASTER.DWG

CITY OF HAMILTON
Building Division

Permit No. 18-121508

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These drawings and/or specifications have been reviewed by
APR 11/18
FOR CHIEF BUILDING OFFICIAL DATE

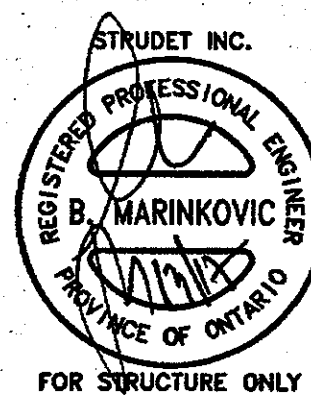


GROUND FLOOR PLAN 2

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed NOV 2 0 2017
Dated
John G. Williams Limited, Architect

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC 3241 [1490 M]
REF'D TO CB DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Hamilton.

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5. 4. 3. 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0745	REGION DESIGN INC.	SHEET TITLE FIRST FLOOR PLAN ELEV. 2 SCALE 3/16"=1'-0" DATE JUNE 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PAGE No. 2-2 PROJECT 03-13-05	PROJECT NAME RUSSEL GARDENS - II
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CITY OF HAMILTON
Building Division

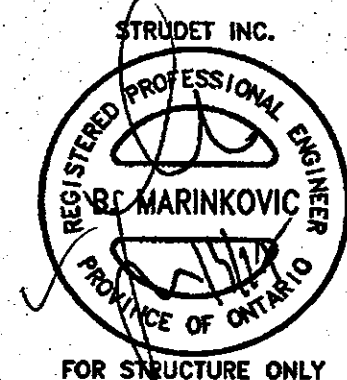
Permit No. 18-141503

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] DATE 14.11.18
FOR CHIEF BUILDING OFFICIAL

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY DATE
REF'D TO CR DATE



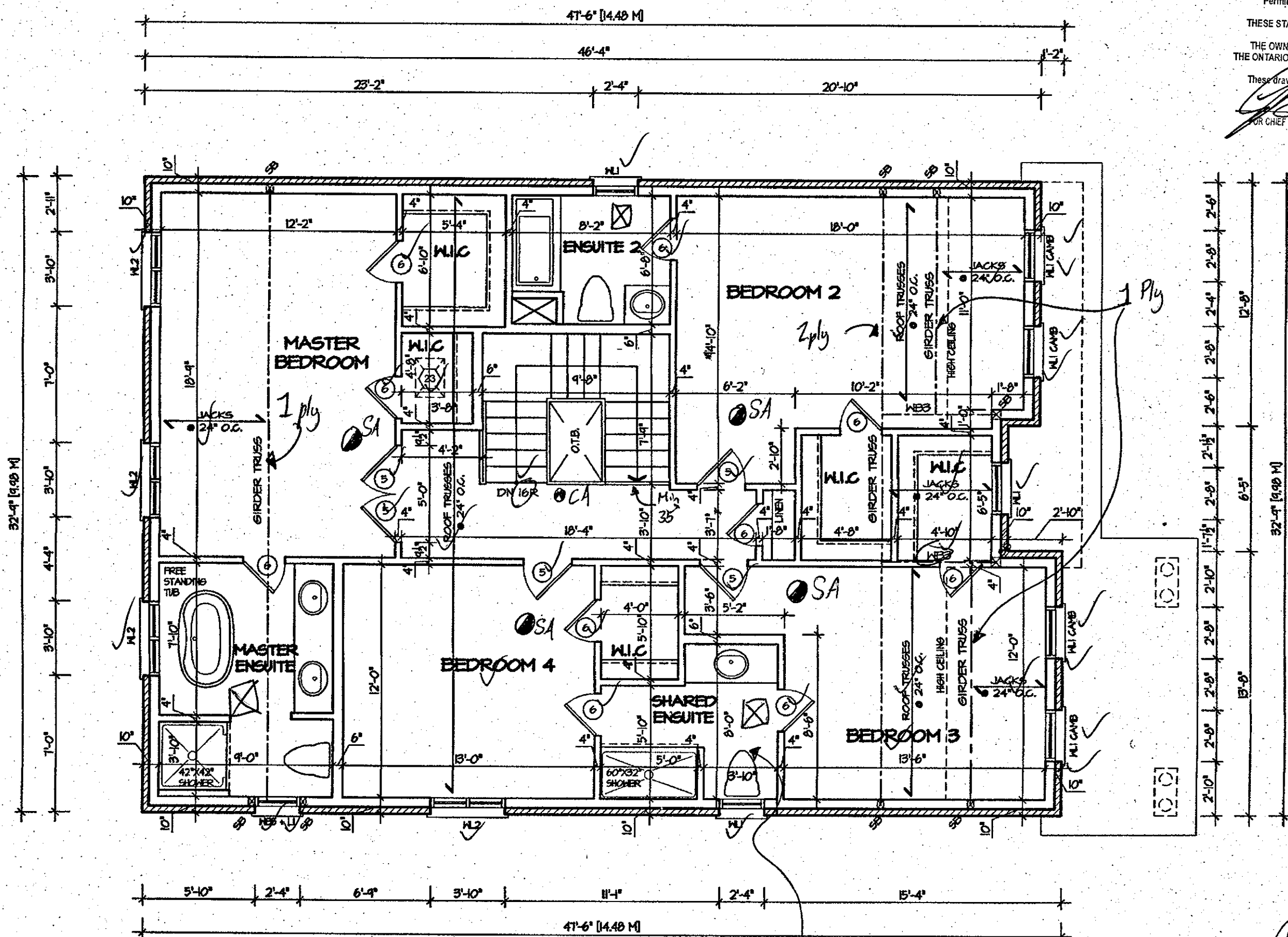
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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"



SECOND FLOOR PLAN 2

5. [] 4. [] 3. [] 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE SECOND FLOOR PLAN ELEV. 2 SCALE 3/16"=1'-0" DATE JUNE 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PAGE No. 3-2 PROJECT 03-13-03	PROJECT NAME RUSSEL GARDENS - II
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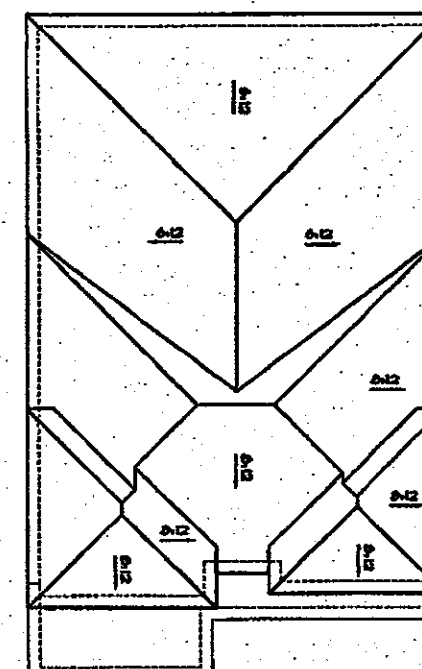
M:\PROJECTS\RUSSEL GARDENS II\STANDARD PLANS\ROSEWOOD 1 (41-03)_REG-BKACAD-ROSEWOOD 1 (41-03) MASTER.DWG July 11, 2017 11:08 PM

CITY OF HAMILTON
Building Division

Permit No. 18-104508

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These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE Apr. 11/18



ROOF PLAN 2
SCALE NTC

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY DATE
REF'D TO CB DATE

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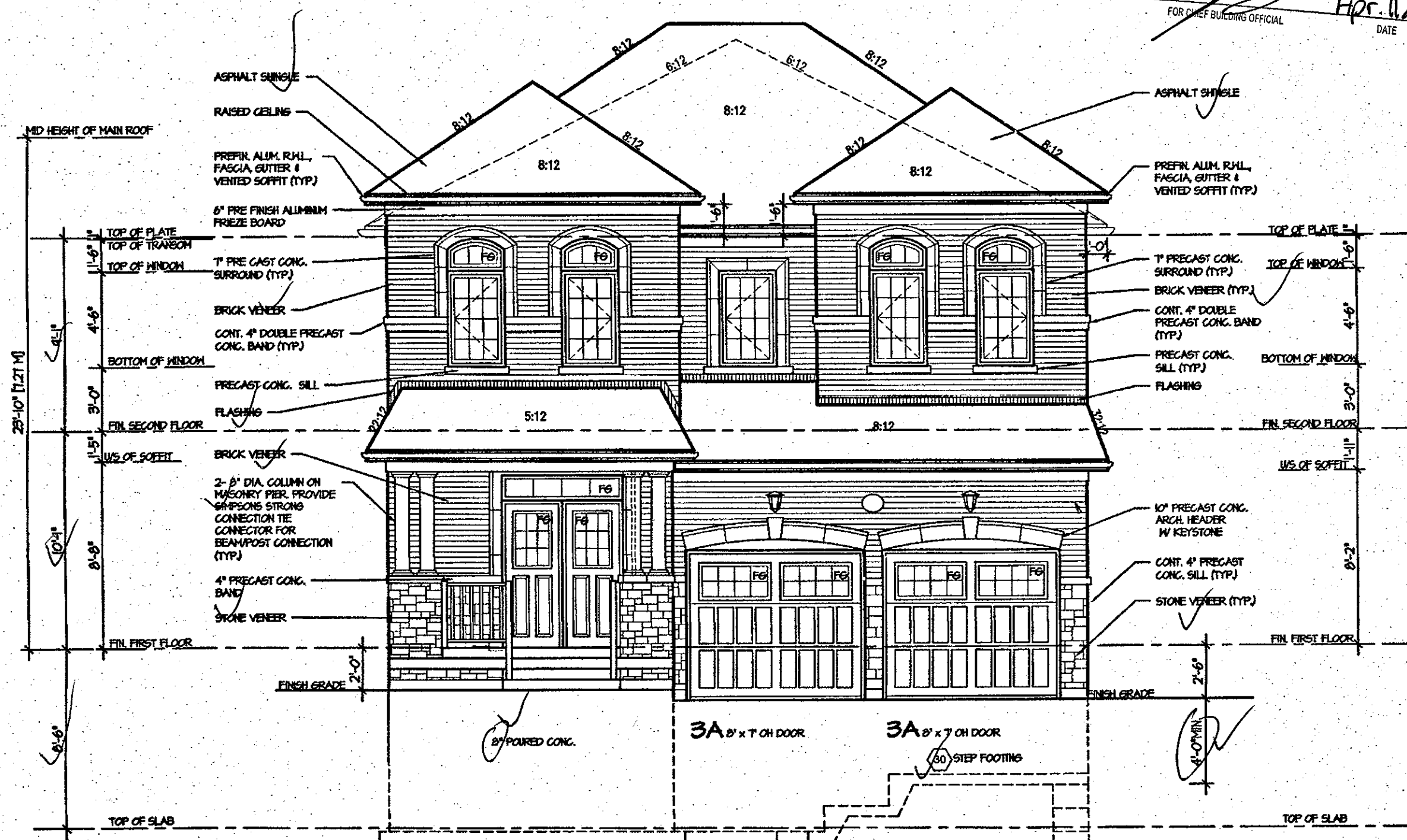
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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

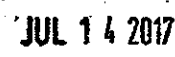
JUL 14 2017

FRONT ELEVATION 2



5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0748	REGION DESIGN INC.	SHEET TITLE FRONT ELEVATION ELEV. 2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PROJECT NAME RUSSEL GARDENS - II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	AREA 2655	PROJECT 03-13-03
3.		VIKAS GAJJAR NAME	28770 BCIN		BY B.K.	PAGE NO. 4-2	
2.		SIGNATURE			DATE FEB 2017		
1.	ISSUED FOR REVIEW	FEB 2017					
REVISIONS							

Greenpark.



1235
= ~~1013~~ Sq. Ft.
= ~~707~~ Sq. Ft. 72.43
= 55 sq. Sq. Ft. (5.336)

PROJECT NAME
RUSSEL GARDENS - II

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4.					LEFT ELEVATION		AREA 2655			PAGE No. 5-2
3.					ELEV. 2		BY B.K.			
2.					SCALE 3/16"=1'-0"	DATE FEB 2017		PROJECT 03-13-03		
1.	ISSUED FOR REVIEW				JUL 2016					
REVISIONS								PROJECT NAME RUSSEL GARDENS - II		

CITY OF HAMILTON
Building Division

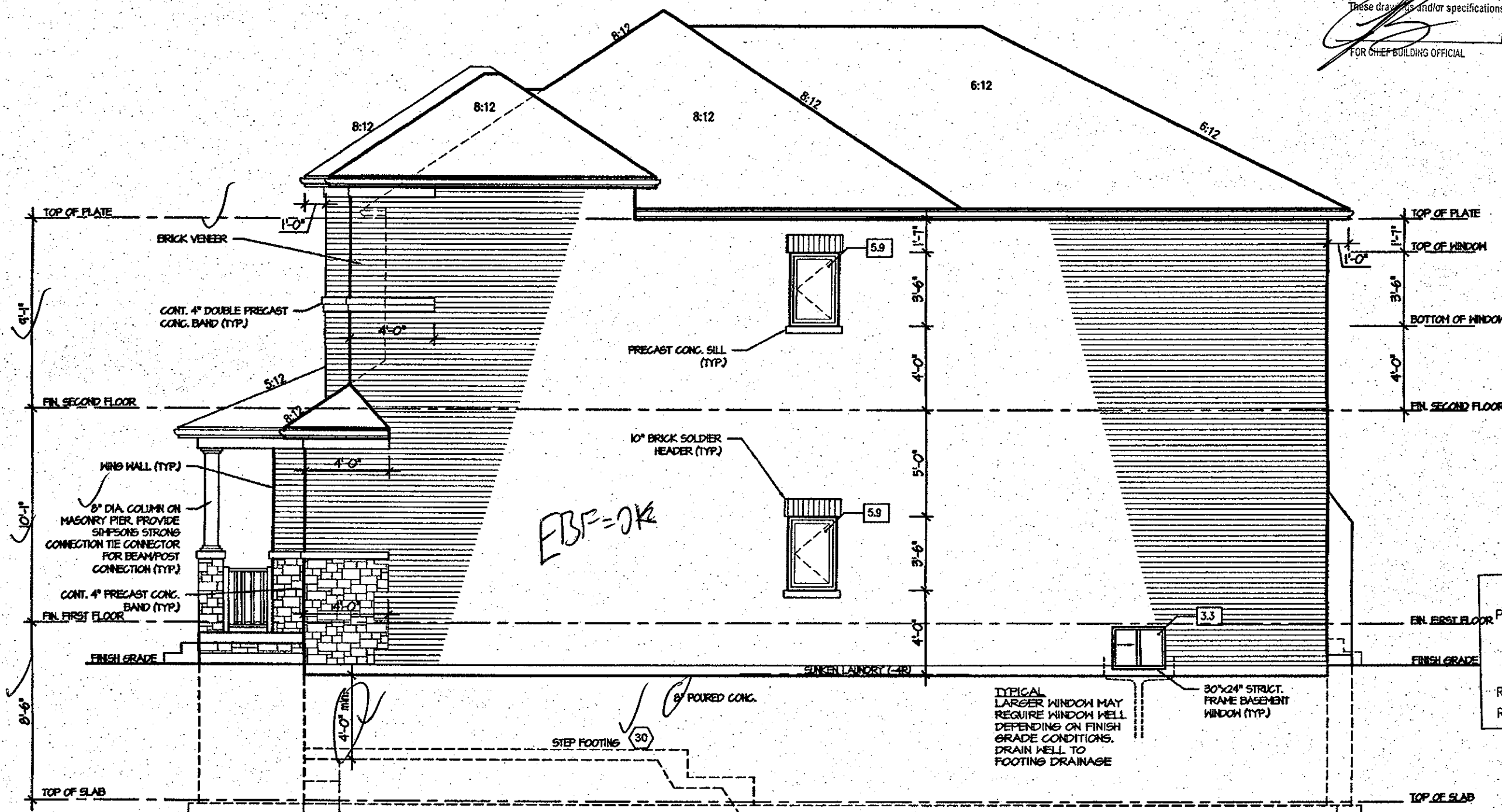
Permit No. 18-104508

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE



RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	1025	Sq. Ft.	71.75
ALLOWABLE GLAZED AREA	71.75	Sq. Ft.	71.75
ACTUAL GLAZED AREA	15.7	Sq. Ft.	(1.5%)

0.0 = 0%

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

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JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

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4.					SCALE 3/16"=1'-0"	BY B.K.	AREA 2655	PAGE No. 6-2	
3.					DATE FEB 2017	TYPE	PROJECT 03-13-03		
2.									
1.	ISSUED FOR REVIEW.				FEB 2017				
REVISIONS		VIKAS GAJJAR NAME	SIGNATURE	28770 BCIN					

CITY OF HAMILTON
Building Division

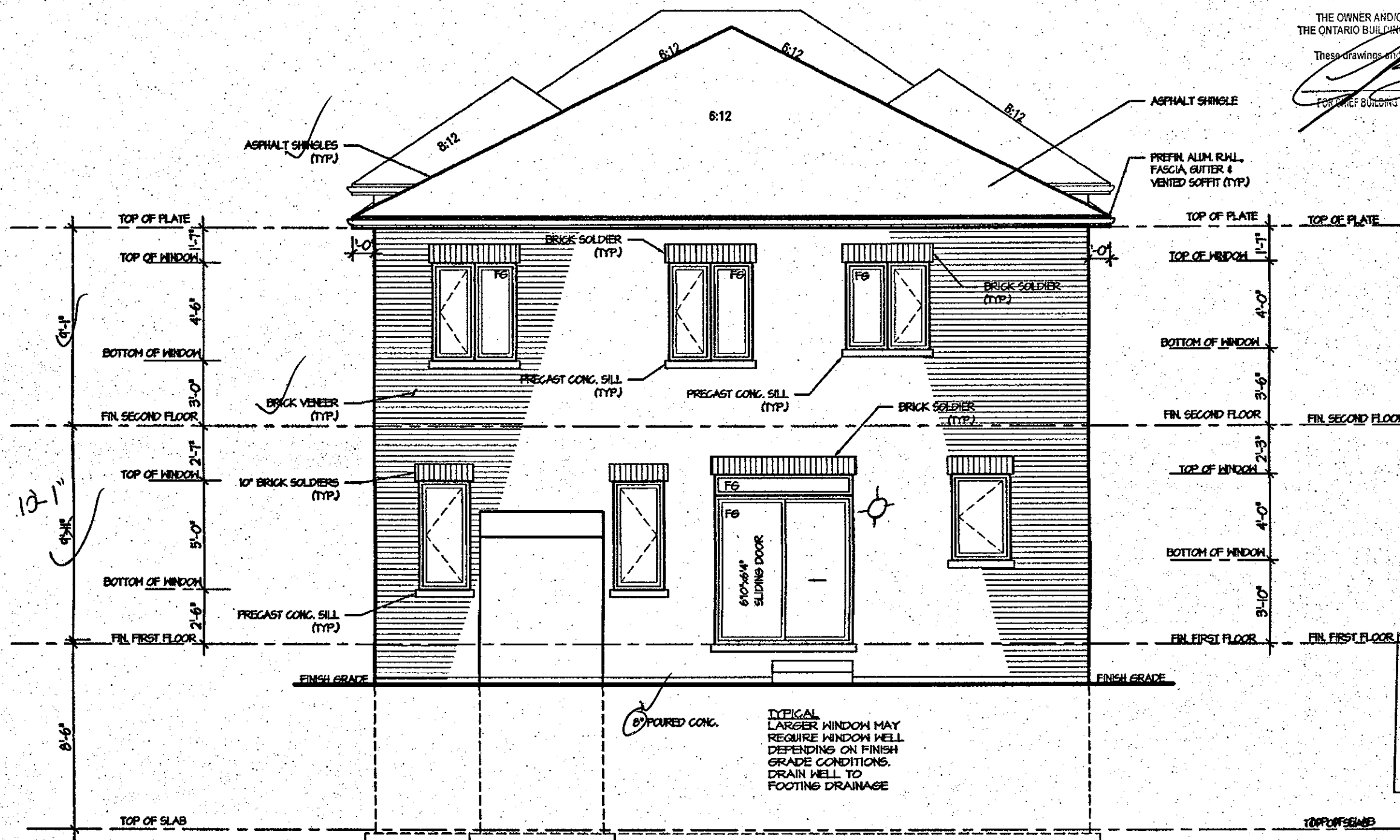
Permit No. **18-104508**

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL **Apr 11/18** DATE



REAR ELEVATION 2

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY _____ DATE _____
REF'D TO **CB** DATE _____

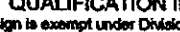
ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed **NOV 20 2017**
Dated
John G. Williams Limited, Architect

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JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					REAR ELEVATION ELEV. 2		AREA 2655	PAGE No. 7-2		PROJECT NAME RUSSEL GARDENS - II
3.					SCALE 3/16"=1'-0"	BY B.K.				
2.					DATE FEB 2017	TYPE	PROJECT 03-13-03			
1.	ISSUED FOR REVIEW				FEB 2017					
REVISIONS										

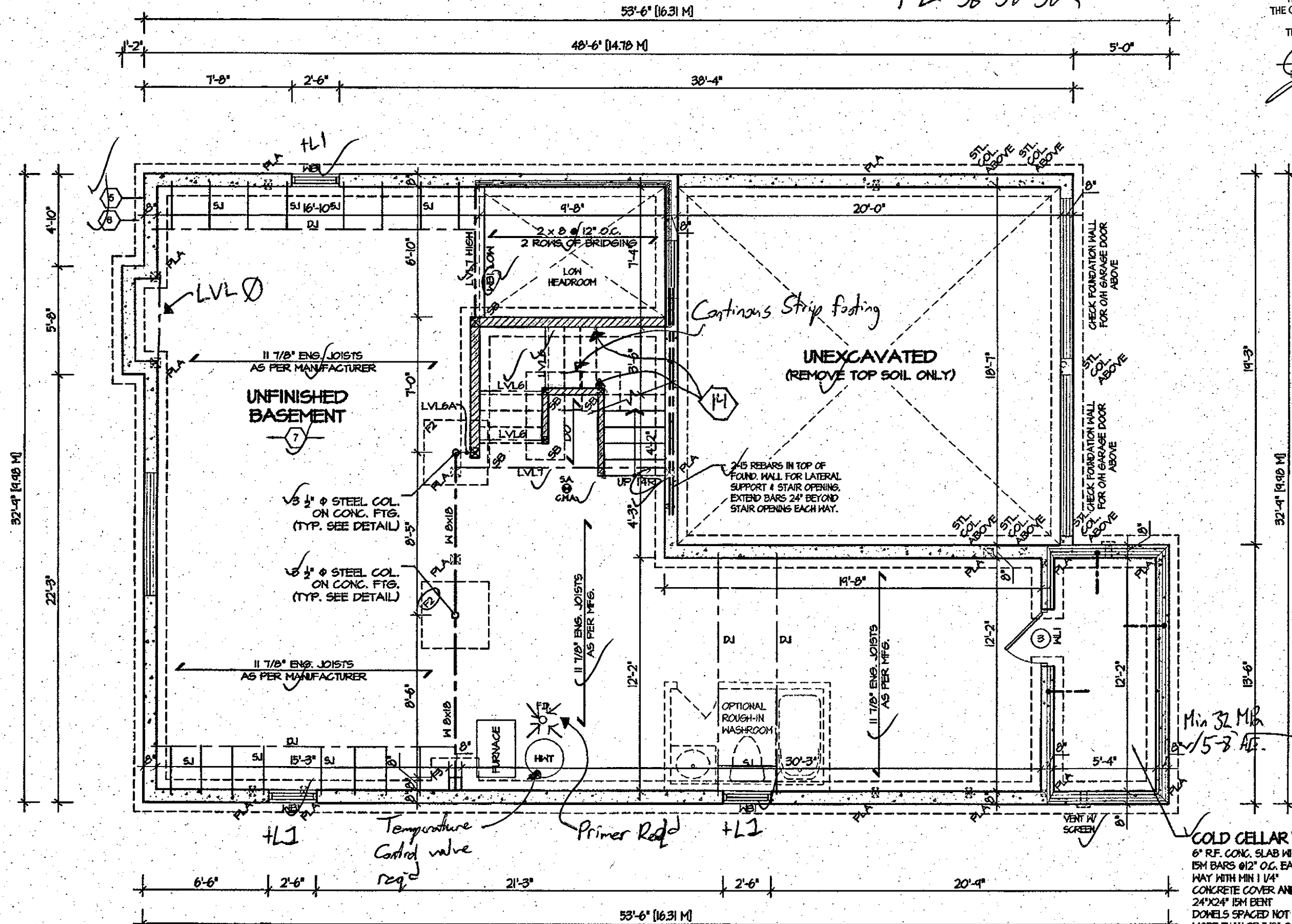
5:16:57 PM M:\PROJECTS\RUSSELL GARDENS\STANDARD PLAN\ROSEWOOD 1 (41-08) MASTER.DWG May 16, 2017

Permit No. 18-104508

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

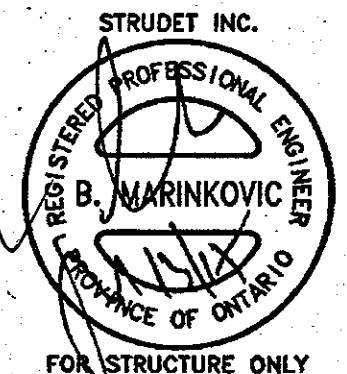
These drawings and specifications have been reviewed by
PCB/CHIEF BUILDING OFFICIAL DATE Apr. 11/18

F2=36x36x36 (Non. Eng. Soil)



COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY DATE
REF'D TO CR DATE



FOR STRUCTURE ONLY
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BASEMENT FLOOR PLAN 3

Grade to slab = 1.36m
TOF to slab = 2.24m
0.0 = 0k

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ARCHITECTURAL REVIEW AND APPROVAL
CITY OF HAMILTON
Signed
John G. Williams Limited, Architect
dated NOV 20 2017

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 5700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	SHEET TITLE BASEMENT PLAN ELEV. 3 SCALE 3/16"=1'-0" DATE FEB 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PAGE No. 1-3 PROJECT 03-13-03	Greenpark. PROJECT NAME RUSSEL GARDENS - II
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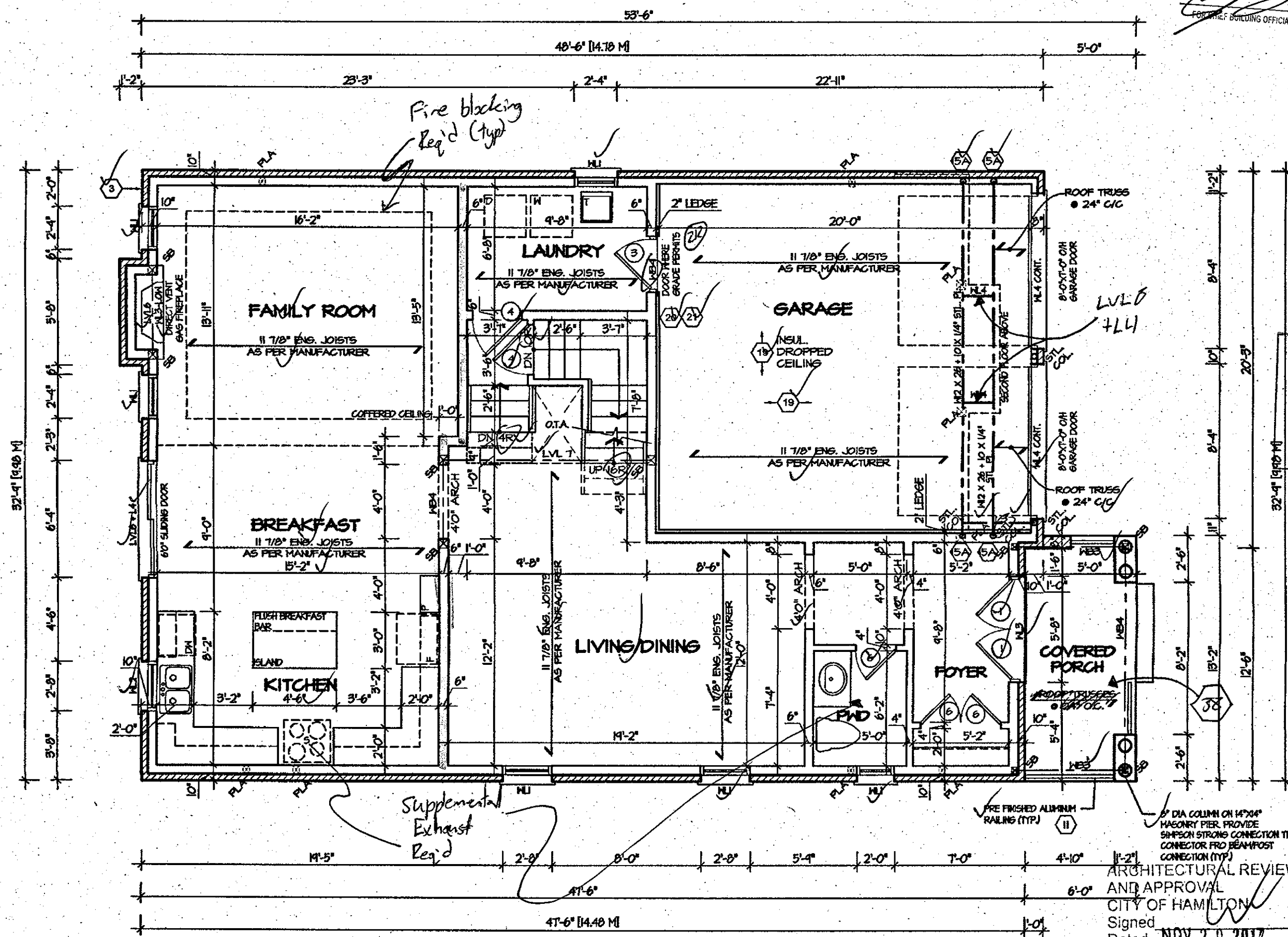
CITY OF HAMILTON
Building Division

Permit No. 18-01508

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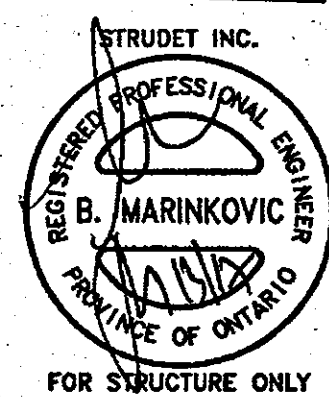
These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE

233



COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY DATE
REF'D TO CR DATE



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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect

GROUND FLOOR PLAN 3

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE (A1)

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4086 F (905) 660-0746	SHEET TITLE FIRST FLOOR PLAN ELEV. 3 SCALE 3/16"=1'-0" DATE JUNE 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PROJECT 03-13-03	Greenpark. PROJECT NAME RUSSEL GARDENS - II 2-3
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CITY OF HAMILTON
Building Division

Permit No. 18-101508

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FOR CHIEF BUILDING OFFICIAL

DATE

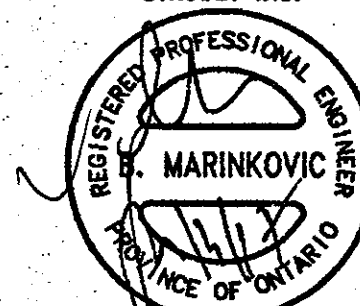
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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY DATE
REF'D TO CB DATE

STRUDET INC.

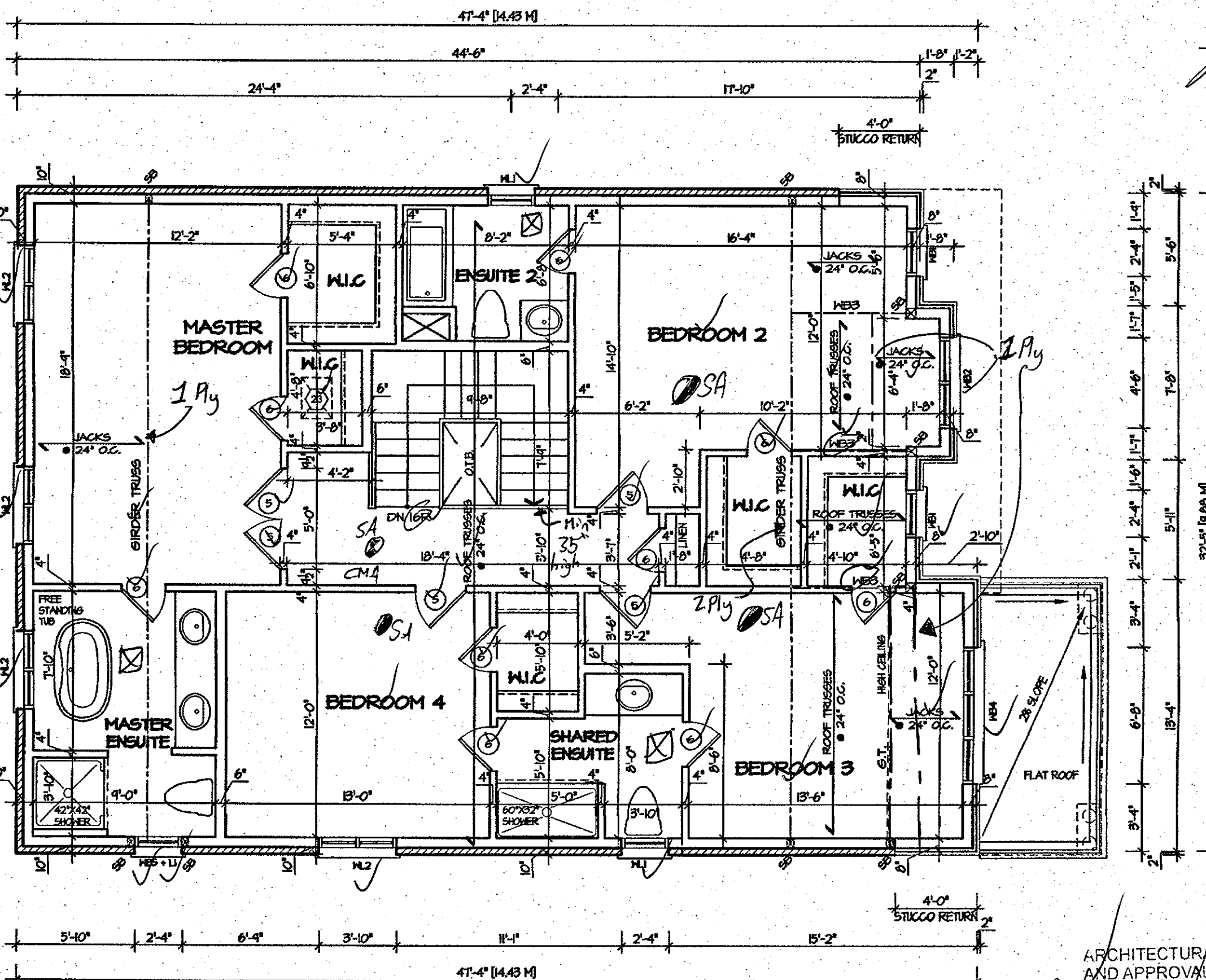


FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated NOV 20 2017
John G. Williams Limited, Architect



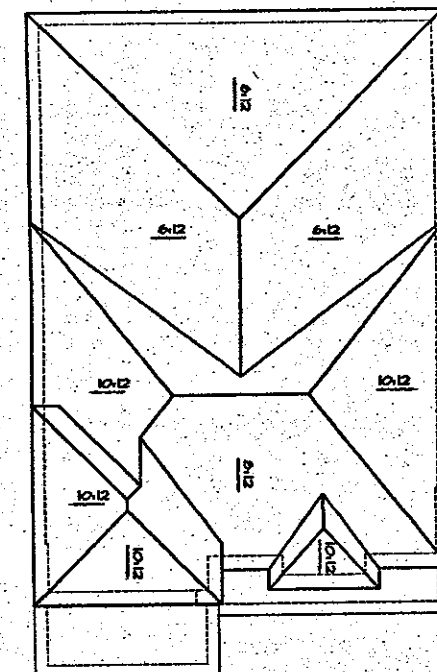
SECOND FLOOR PLAN 3

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE SECOND FLOOR PLAN ELEV. 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY B.K.	AREA 2655
3.		ISSUED FOR PERMIT JUNE 2017			DATE JUNE 2017	TYPE	PROJECT 03-13-03
2.		ISSUED FOR REVIEW FEB 2017	VIKAS GAJJAR NAME	28770 SIGNATURE			PAGE NO. 3-3
1.		REVISIONS					PROJECT NAME RUSSEL GARDENS - II

Greenpark.



ROOF PLAN 3
SCALE: N.T.S.
CITY OF HAMILTON
Building Division

Permit No. **18-141508**

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These drawings and/or specifications have been reviewed by
[Signature] **Apr-11/18**
FOR CHIEF BUILDING OFFICIAL DATE

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY *[Signature]* DATE *[Blank]*
REF'D TO *[Signature]* DATE *[Blank]*

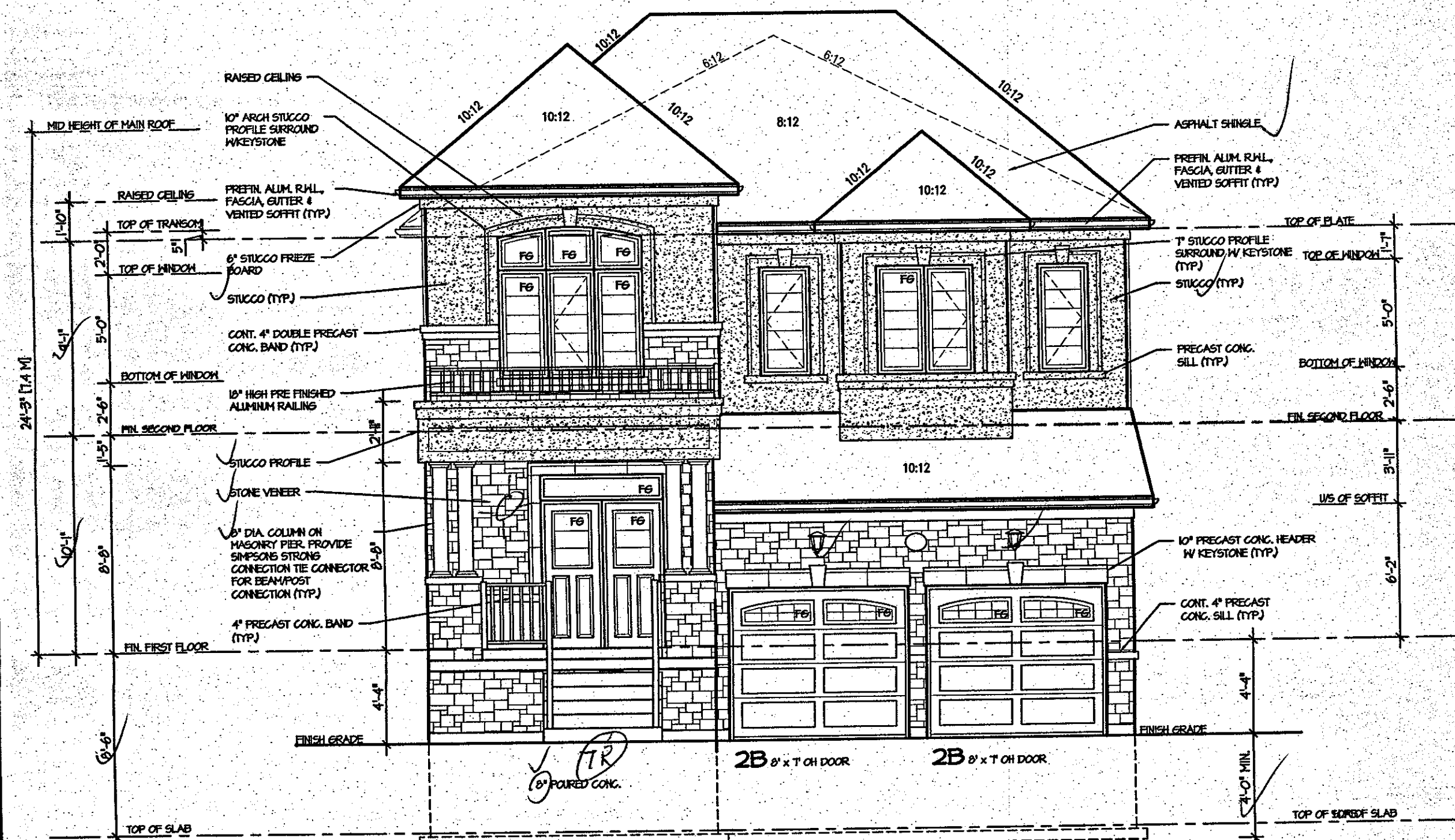
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[Signature]
FEB 02 2018
Jean G. Williams, Architect

JAN 24 2018

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"



**FRONT ELEVATION 3
FOR LOT 114 ONLY**

DROPPED FRONT GRADE CONDITION CHANGES:
- GARAGE ROOF DROPPED 1' 6"
- GARAGE ROOF SLOPE INCREASED TO 10:12

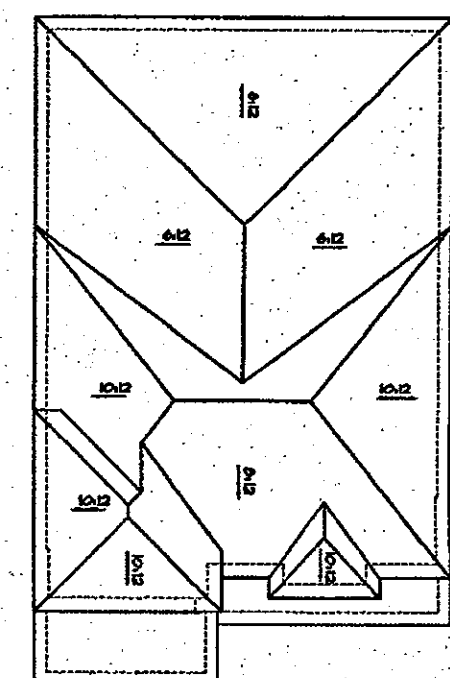
5. <i>[Blank]</i> 4. <i>[Blank]</i> 3. REVISED FOR LOT 114 JAN 2018 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR <i>[Signature]</i> 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 680-0746	REGION DESIGN INC.	SHEET TITLE FRONT ELEVATION 3 FOR LOT 114 SCALE 3/16"=1'-0" DATE JAN 2018	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PAGE No. 4-3A PROJECT 03-13-03	Greenpark™ PROJECT NAME RUSSEL GARDENS II
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CITY OF HAMILTON
Building Division

Permit No. 17-101508

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These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE Apr. 11/18



ROOF PLAN 3
SCALE: N.T.S.

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY _____ DATE _____
REF'D TO *CB* DATE _____

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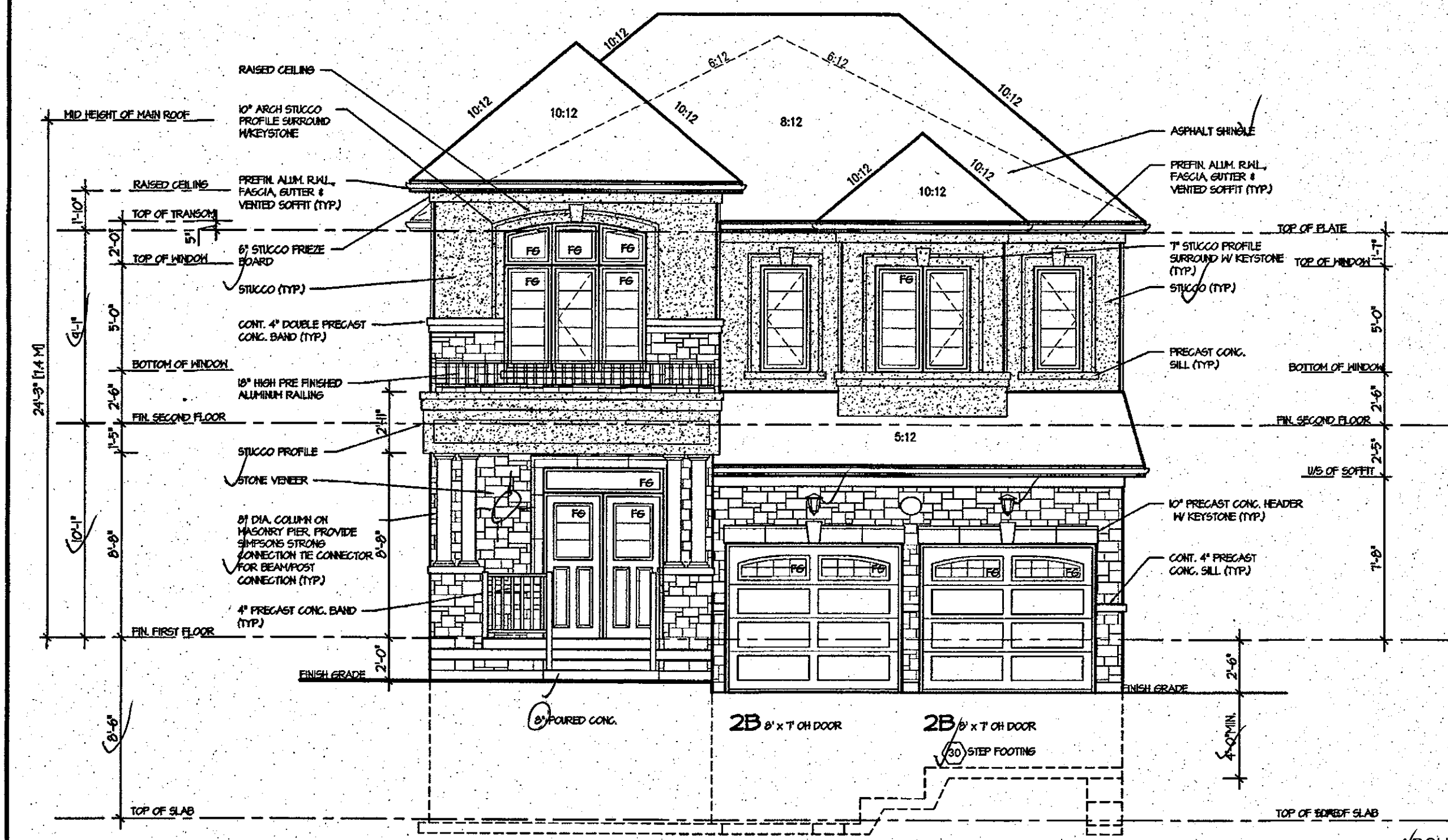
ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed _____
Dated NOV 20 2017
John G. Williams Limited, Architect

JUL 14 2017

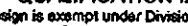
ROSEWOOD 1
COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSEL GARDENS - II



FRONT ELEVATION 3

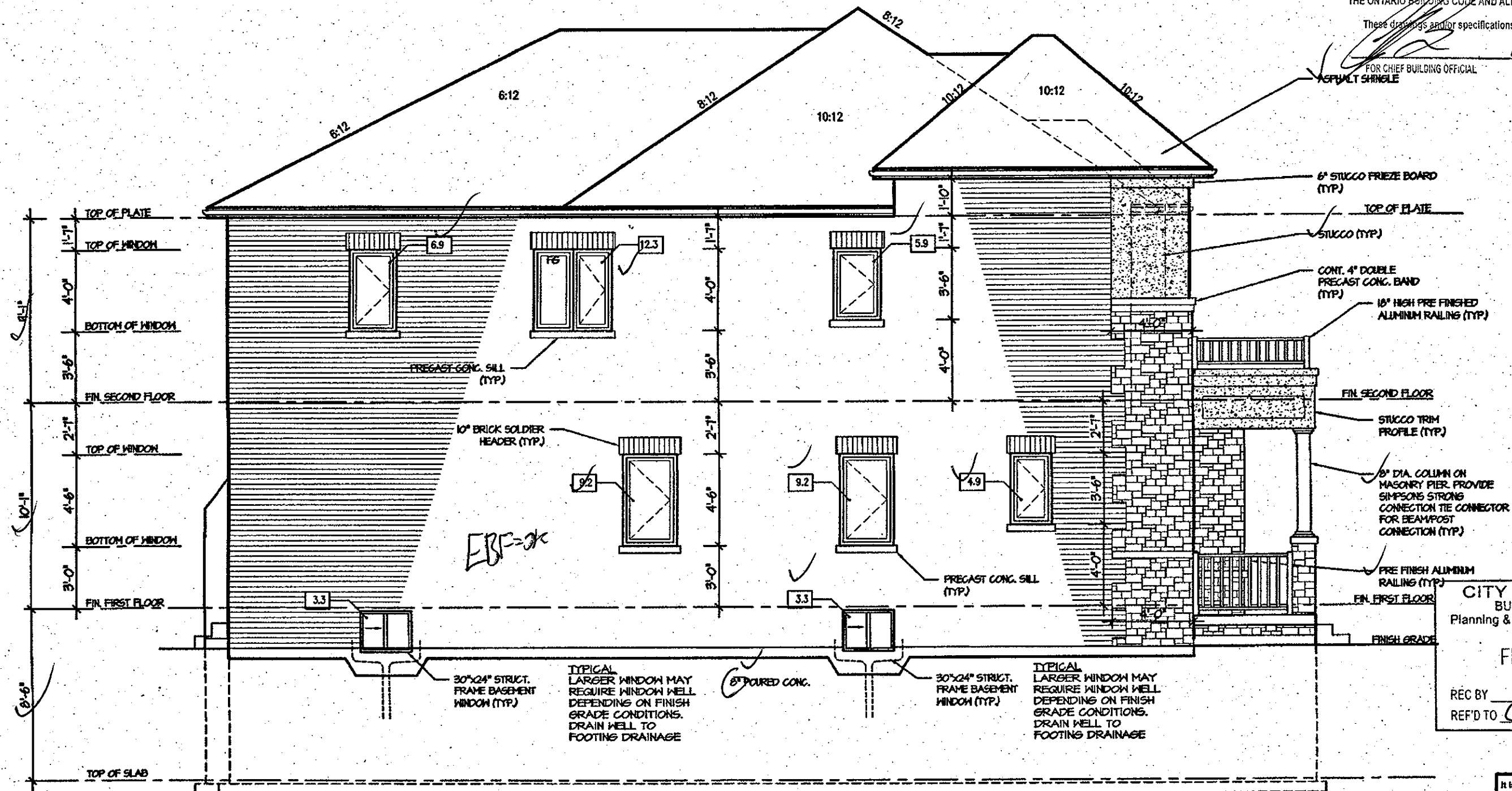
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4.					FRONT ELEVATION		AREA		PAGE No.
3.					ELEV. 3		2655		
2.					SCALE	BY	PROJECT	4-3	
1.	ISSUED FOR REVIEW				3/16"=1'-0"	B.K.			03-13-03
REVISIONS		FEB 2017		DATE		PROJECT			
				FEB 2017		RUSSEL GARDENS - II			

CITY OF HAMILTON
Building Division

Permit No. **18-104508**

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FOR CHIEF BUILDING OFFICIAL DATE **Apr. 11/18**



LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA	=	462	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1.6:1.2 H SIDE YARD	=	71.7	Sq. Ft.
ACTUAL GLAZED AREA	=	55.0	Sq. Ft. (5.5%)

2-0k

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed
Dated **Nov 20 2017**
John G. Williams Limited, Architect

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JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

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4.					SCALE	3/16"=1'-0"	BY	B.K.		AREA	2655
3.					DATE	FEB 2017	TYPE			PROJECT	03-13-03
2.										PAGE No.	5-3
1.	ISSUED FOR REVIEW				FEB 2017					PROJECT NAME	RUSSEL GARDENS - II
REVISIONS											

CITY OF HAMILTON
Building Division

Permit No. 18-141508

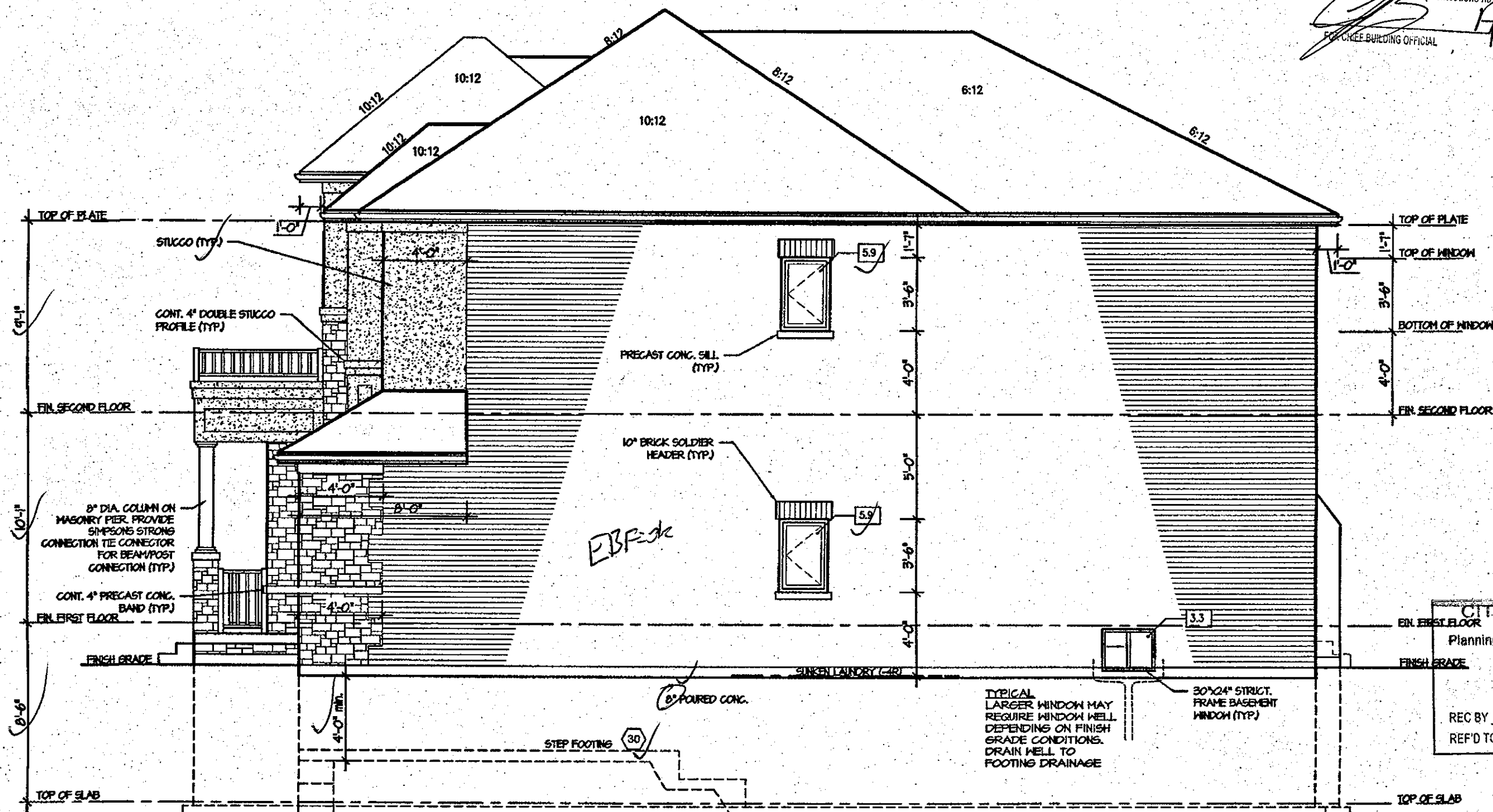
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These drawings and/or specifications have been reviewed by

FOR KEE BUILDING OFFICIAL

DATE

Apr. 11/18



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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY _____ DATE _____
REF'D TO CB DATE _____

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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
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Dated NOV 20 2017
John G. Williams Limited, Architect

JUL 14 2017

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

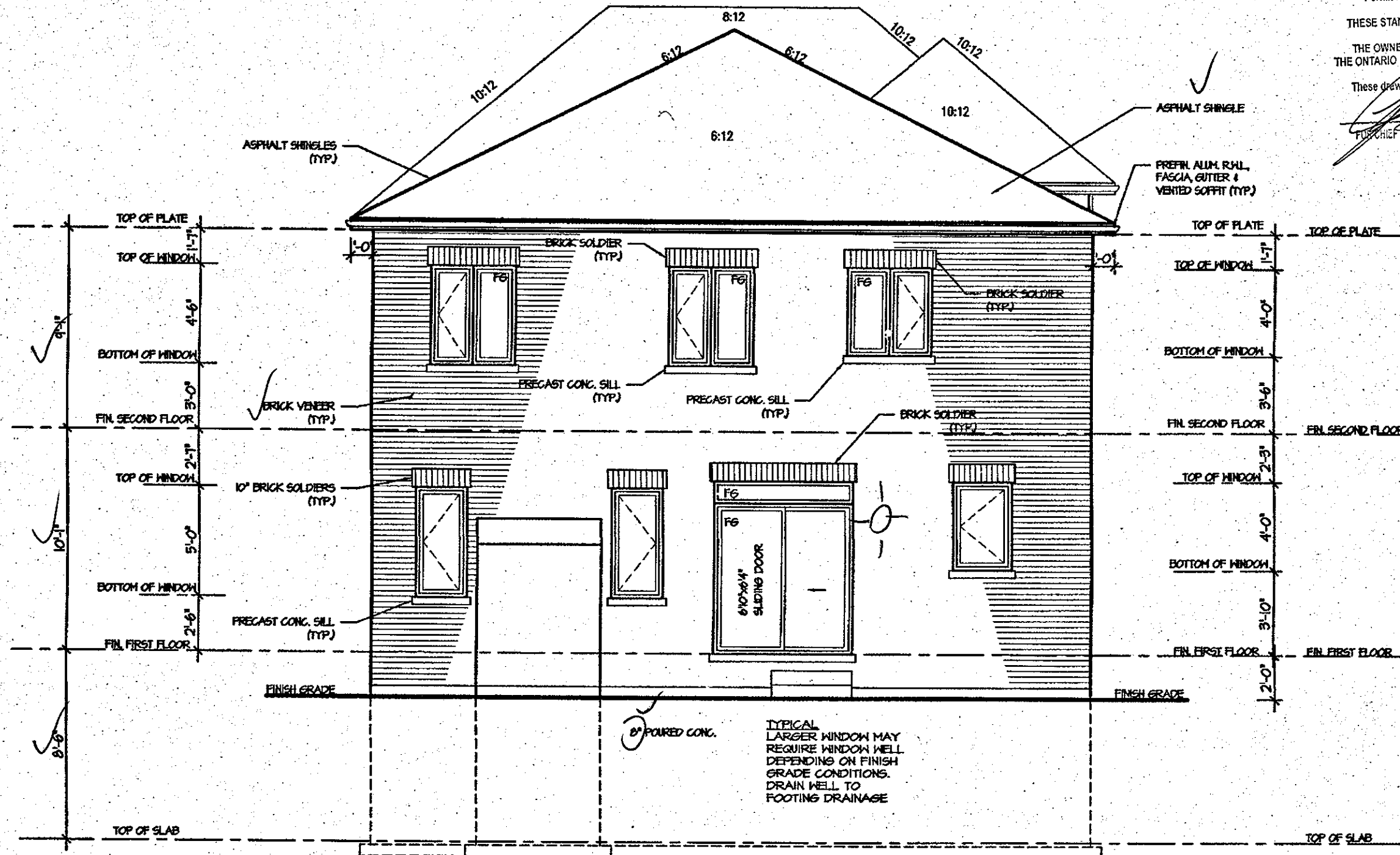
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4.					SCALE	3/16"=1'-0"	BY	B.K.	AREA		2655	PAGE No.	6-3
3.					DATE	FEB 2017	TYPE		PROJECT		03-13-03		
2.													
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REVISIONS													

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Building Division

Permit No. 18-101508

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BUILDING DIVISION
Planning & Development Department
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4.					SCALE 3/16"=1'-0"	BY B.K.	AREA 2655	PAGE No. 7-3	
3.					DATE FEB 2017	TYPE	PROJECT 03-13-03		
2.									
1.	ISSUED FOR REVIEW				FEB 2017				
REVISIONS									

CITY OF HAMILTON
Building Division

Permit No. 18-101578

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FOR CHIEF BUILDING OFFICIAL

DATE

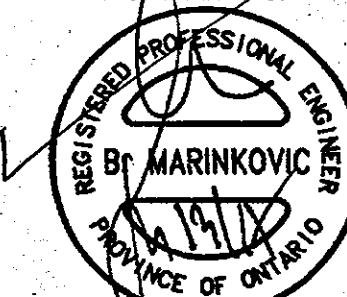
COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

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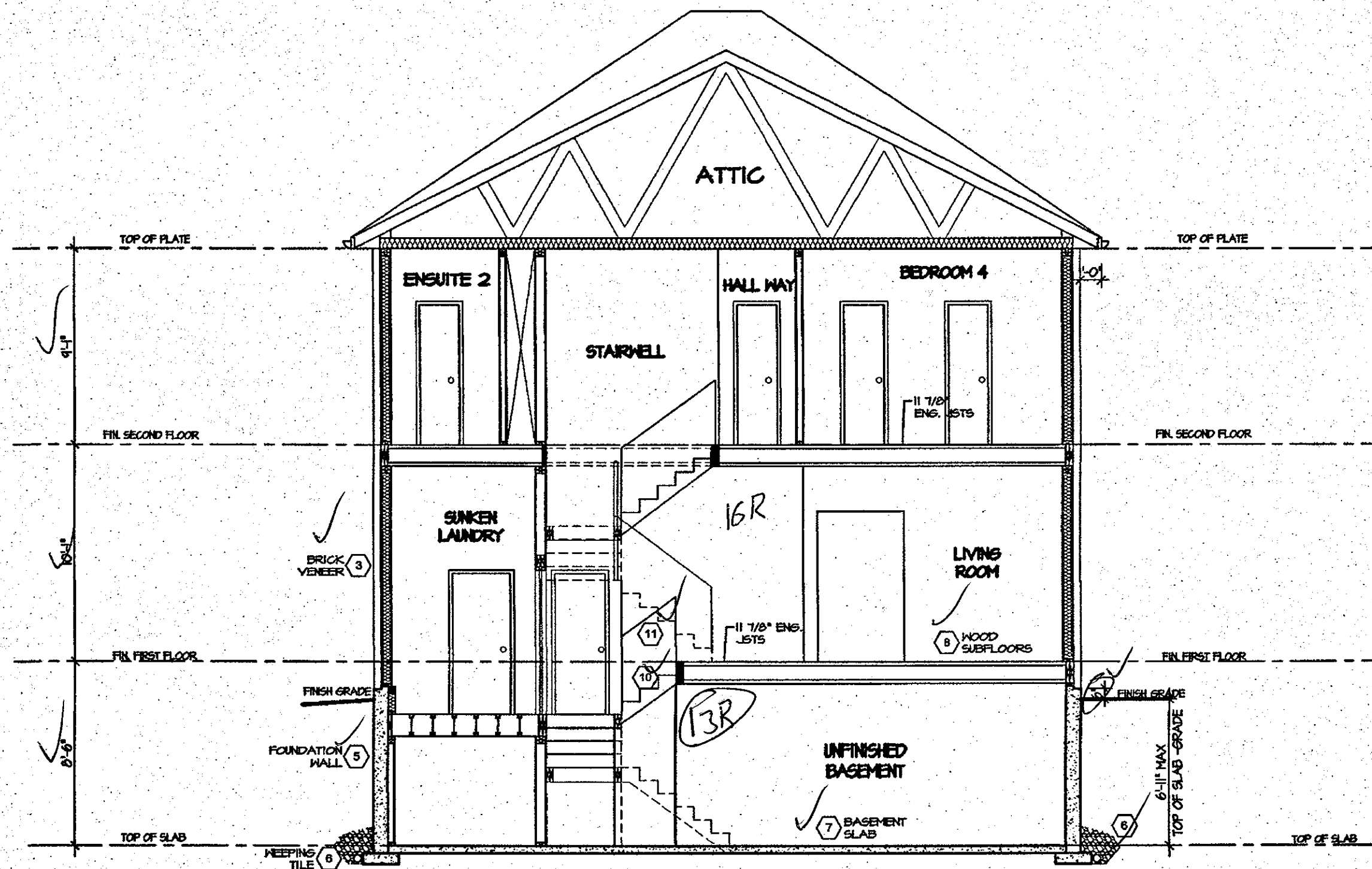
STRUDET INC.



FOR STRUCTURE ONLY

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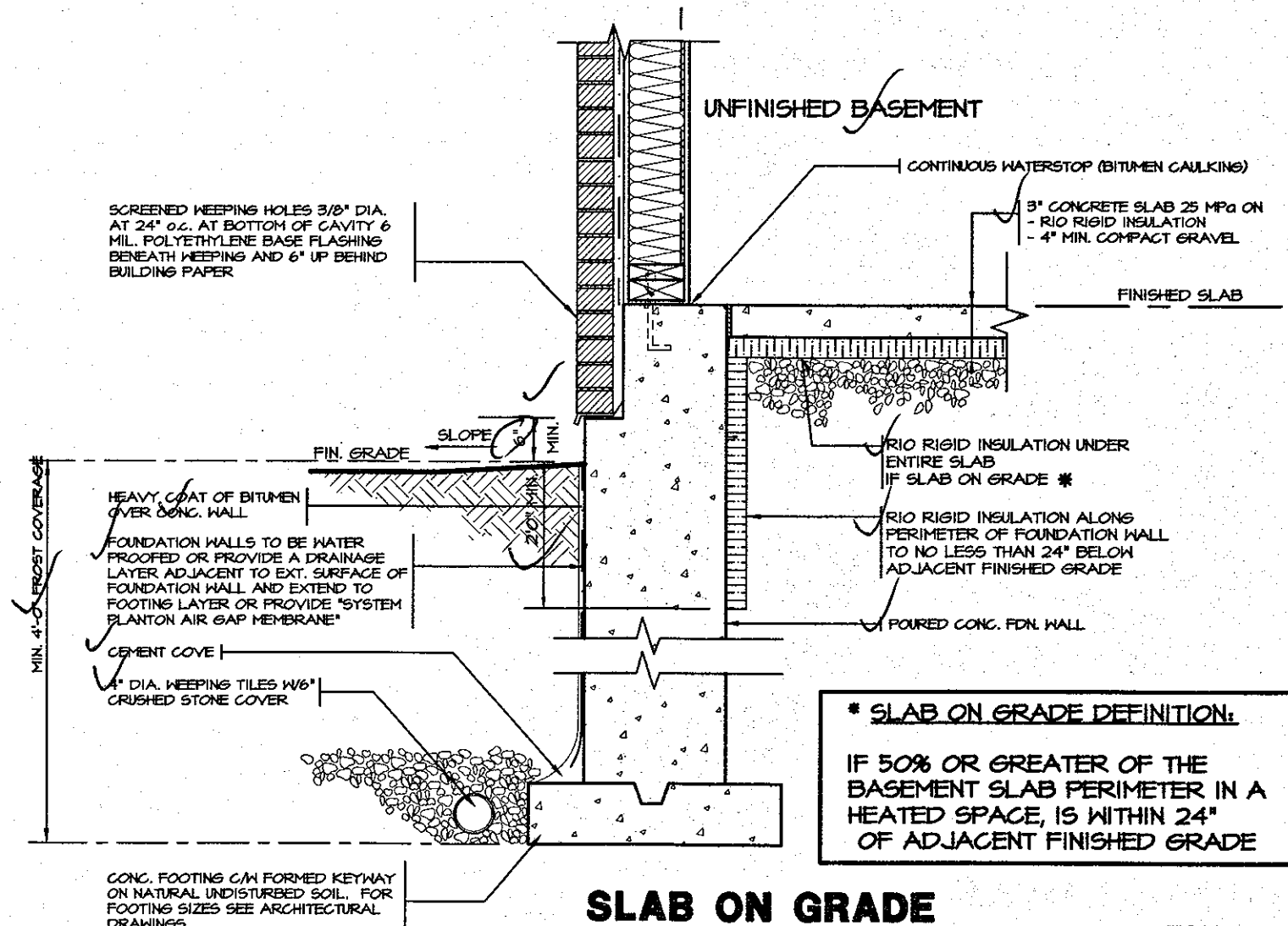
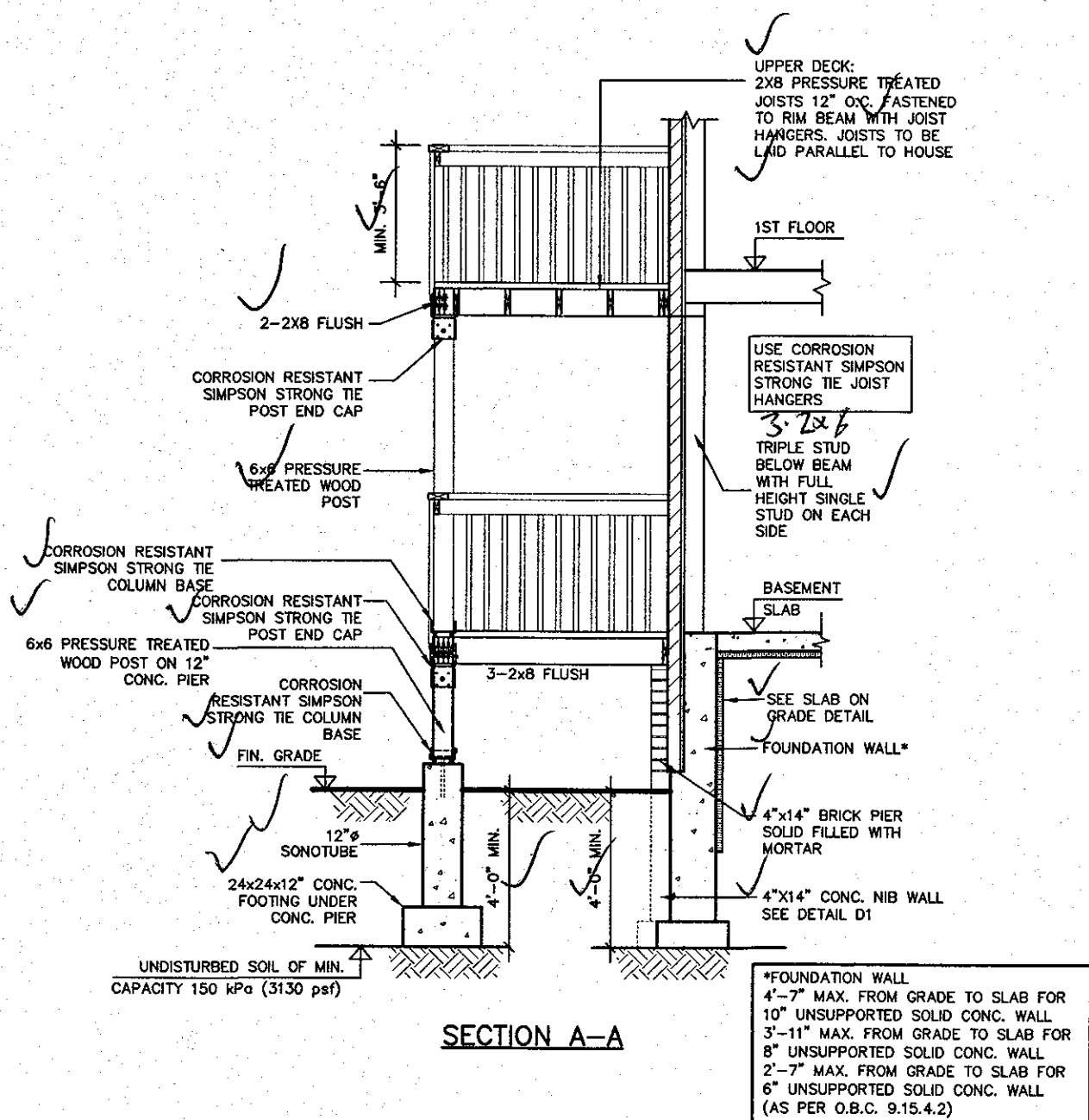
SECTION AA

JUL 14 2017

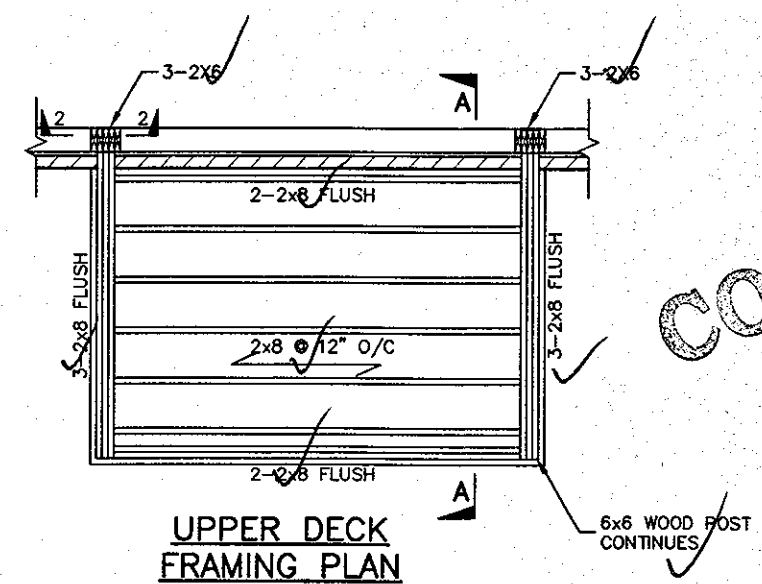
ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" DATE FEB 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PAGE No. 8 PROJECT 03-13-03	PROJECT NAME RUSSEL GARDENS - II
4.							
3.							
2.							
1.	ISSUED FOR REVIEW						
REVISIONS		FEB 2017					

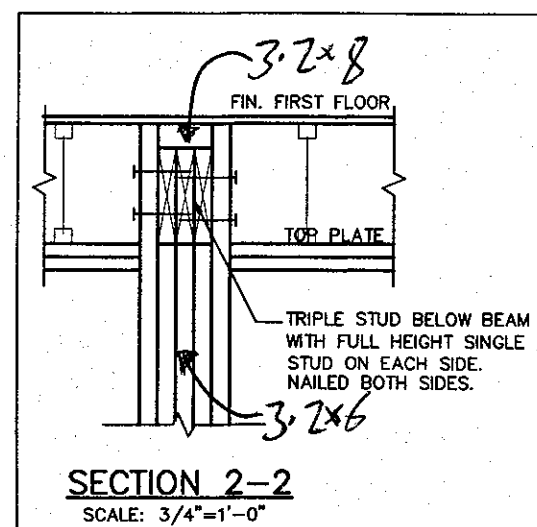
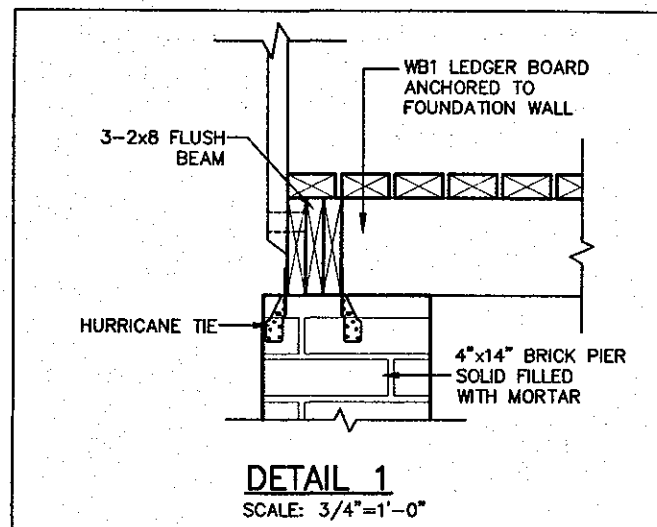
Greenpark.



*** SLAB ON GRADE DEFINITION:**
IF 50% OR GREATER OF THE BASEMENT SLAB PERIMETER IN A HEATED SPACE, IS WITHIN 24\"/>



COPY



- NOTES:**
1. MATERIAL AND WORKMANSHIP SHALL CONFORM TO ONTARIO BUILDING CODE LATEST ADDITION.
 2. THE DECK HAS BEEN DESIGNED TO SAFELY SUPPORT A SUPERIMPOSED LOAD OF 1.9 KPa (40 psf).
 3. WOOD SHALL BE PRESSURE TREATED S.P.F. No.1/No.2 GRADE OR EQUIVALENT.
 4. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS AND 5-8% AIR ENTRAINED.
 5. FOOTING TO BE PLACED ON UNDISTURBED SOIL WITH MIN. BEARING PRESSURE OF 150 KPa (3130 psf) MIN.

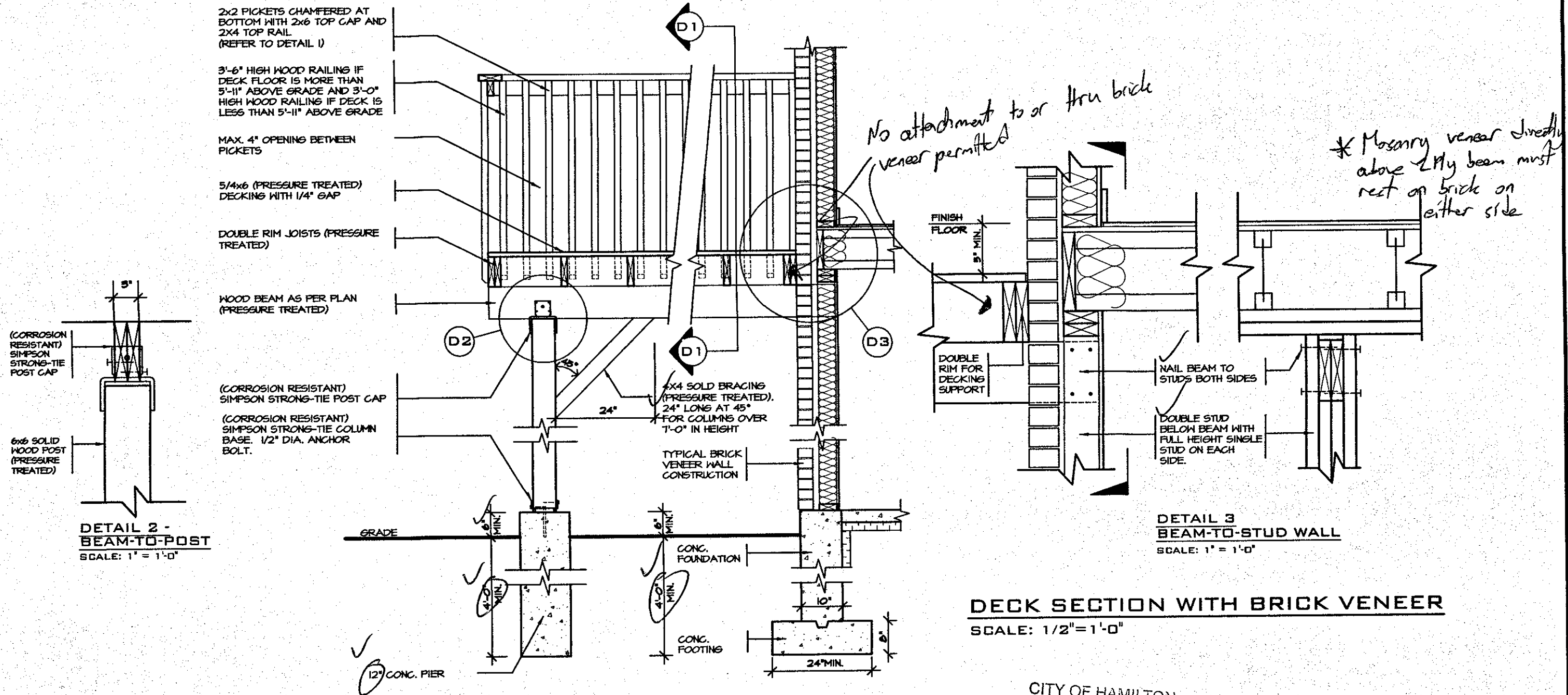
CITY OF HAMILTON
Building Division
Permit No. **18-121508**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] DATE **Apr. 11/18**
CHIEF BUILDING OFFICIAL

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY *[Signature]* DATE
REF'D TO DATE

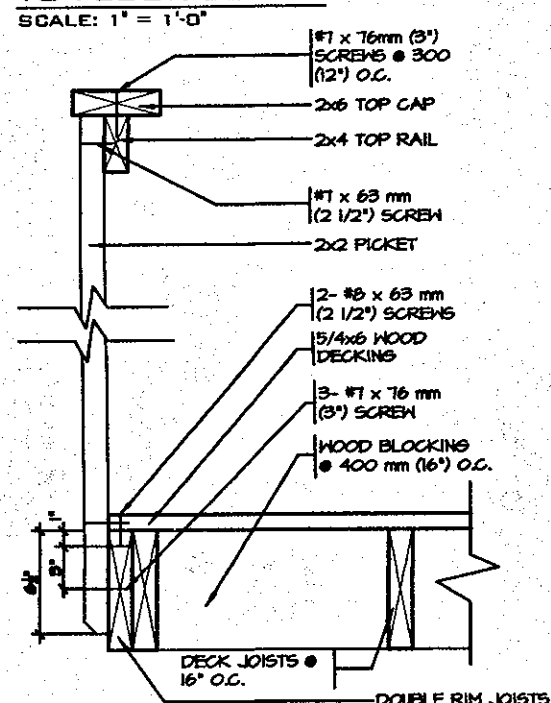
STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
[Signature]
MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

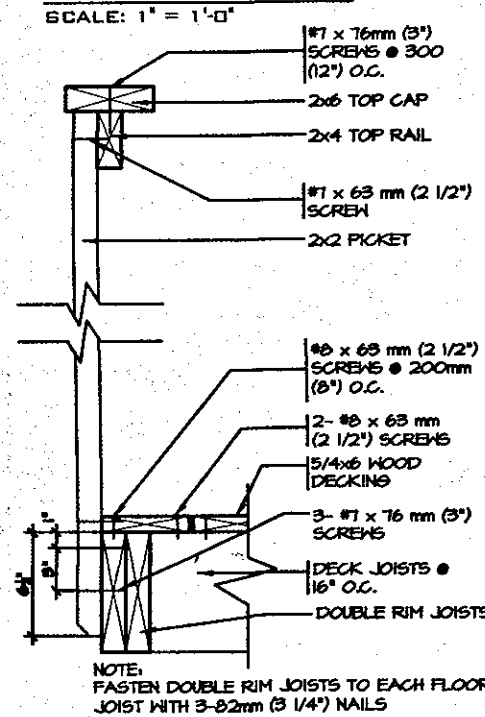
5. _____ 4. _____ 3. _____ 2. _____ 1. REVISED FOR STARTIME DEC 17 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR <i>[Signature]</i> 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE DOUBLE DECK CONDITION ROSEWOOD 1 SCALE AS SHOWN BY VG DATE NOV 2016 TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA PAGE No. 8A	Greenpark PROJECT NAME RUSSEL GARDENS II
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DETAIL 1
CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK
GUARD PERPENDICULAR TO FLOOR JOISTS
SCALE: 1" = 1'-0"



GUARD PERPENDICULAR TO FLOOR JOISTS
SCALE: 1" = 1'-0"



GENERAL NOTES

1. THE DECK HAS BEEN DESIGNED TO SAFELY SUPPORT A SUPERIMPOSED LOAD OF 1.9kPa [40psf]
2. ALL NAILS AND SCREWS TO BE GALVANIZED
3. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES
4. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 20MPa AT 28 DAYS AND 5-8% AIR ENTRAINMENT
5. FOOTING TO BE PLACED ON UNDISTURBED SOIL WITH MIN. BEARING PRESSURE OF 150kPa [3130psf]

CITY OF HAMILTON
Building Division

Permit No. 18-151508

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by

DATE

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAR 14 2018

REC BY DATE
REF'D TO CB DATE

STRUDET INC.



FOR STRUCTURE ONLY
2012 CODE

COMPLIANCE PACKAGE "A1"

MAR 03 2018

5.	
4.	
3.	
2.	
1.	REVISED FOR RUSSELL GARDENS
REVISIONS	
	MAR 2018

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NICOLA LOMBARDO 28679
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
WALK-OUT DECK DETAILS
SCALE AS SHOWN
DATE MAR 2018
BY
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
PROJECT 00-00-00
PAGE No. 8-2

Greenpark
PROJECT NAME
STANDARD DETAILS - 2017

CITY OF HAMILTON
Building Division

Permit No. **18-101508**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

[Signature] **Apr. 11/18**
FOR CHIEF BUILDING OFFICIAL DATE

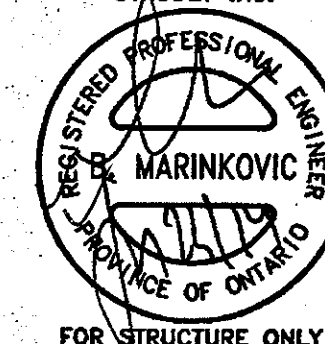
COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY *[Signature]* DATE *[Signature]*
REF'D TO *[Signature]* DATE *[Signature]*

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

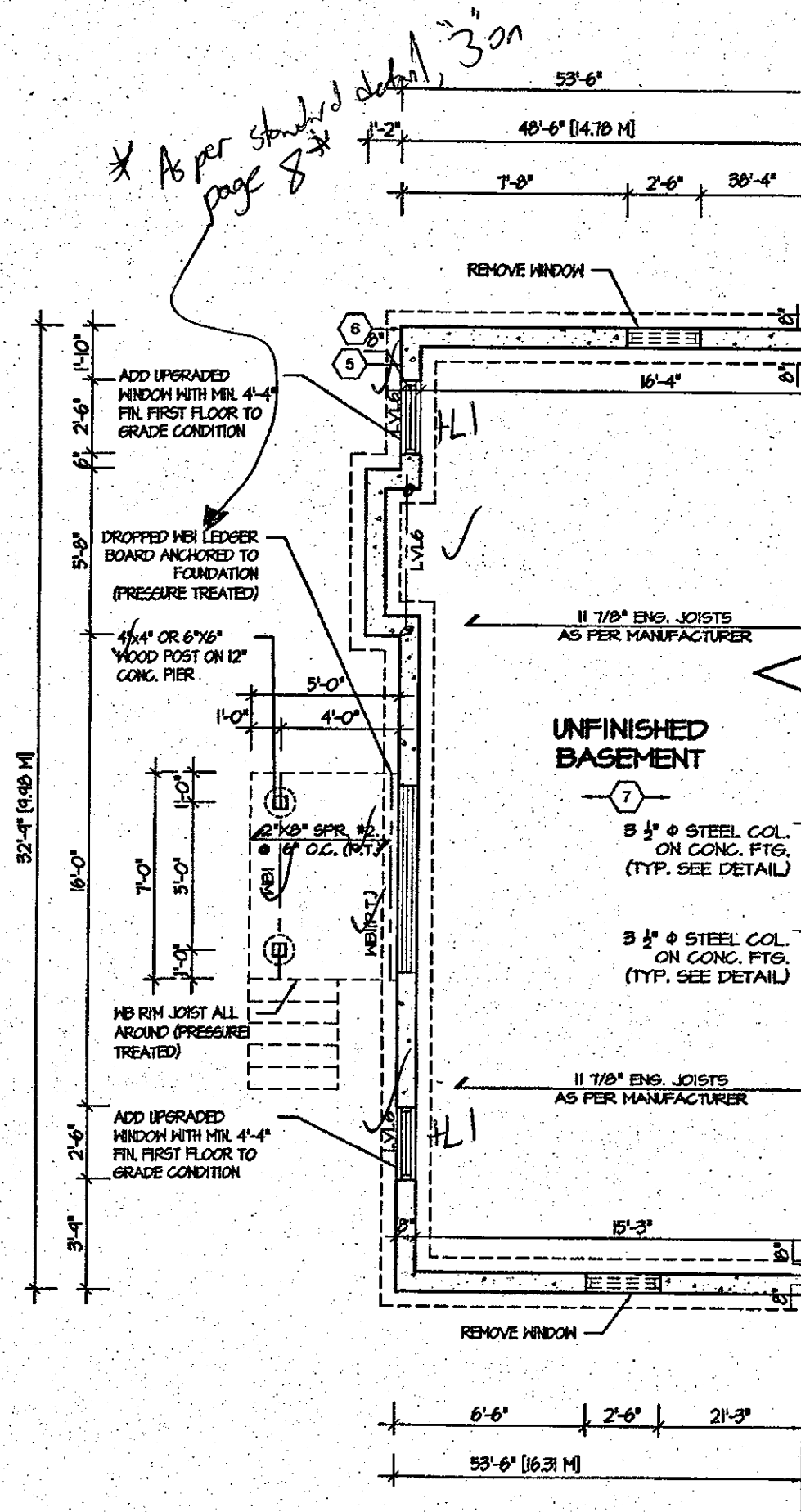
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Hamilton.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON

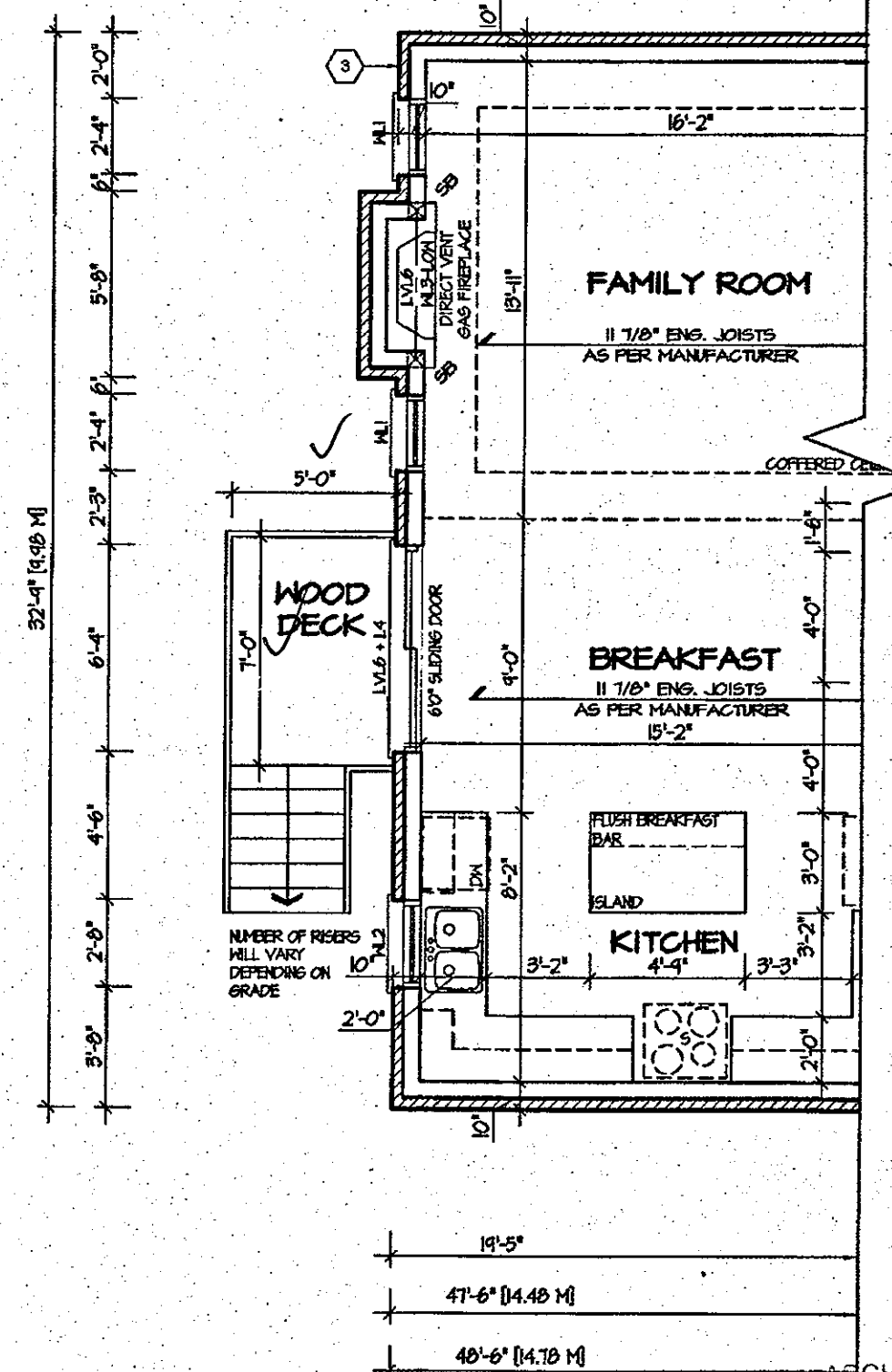
Signed **NOV 20 2017**
Dated
John G. Williams Limited, Architect.

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

JUL 14 2017



PARTIAL BASEMENT PLAN
FOR DECK CONDITION



PARTIAL FIRST FLOOR PLAN
FOR DECK CONDITION

6. <i>[Blank]</i> 4. <i>[Blank]</i> 3. <i>[Blank]</i> 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR <i>[Signature]</i> 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO LAK 456 P (416) 736-4086 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE DECK PLAN ELEV. 1, 2, 3 SCALE 3/16"=1'-0" DATE JUNE 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PAGE No. 9 PROJECT 03-13-03	Greenpark. PROJECT NAME RUSSEL GARDENS - II
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CITY OF HAMILTON
Building Division

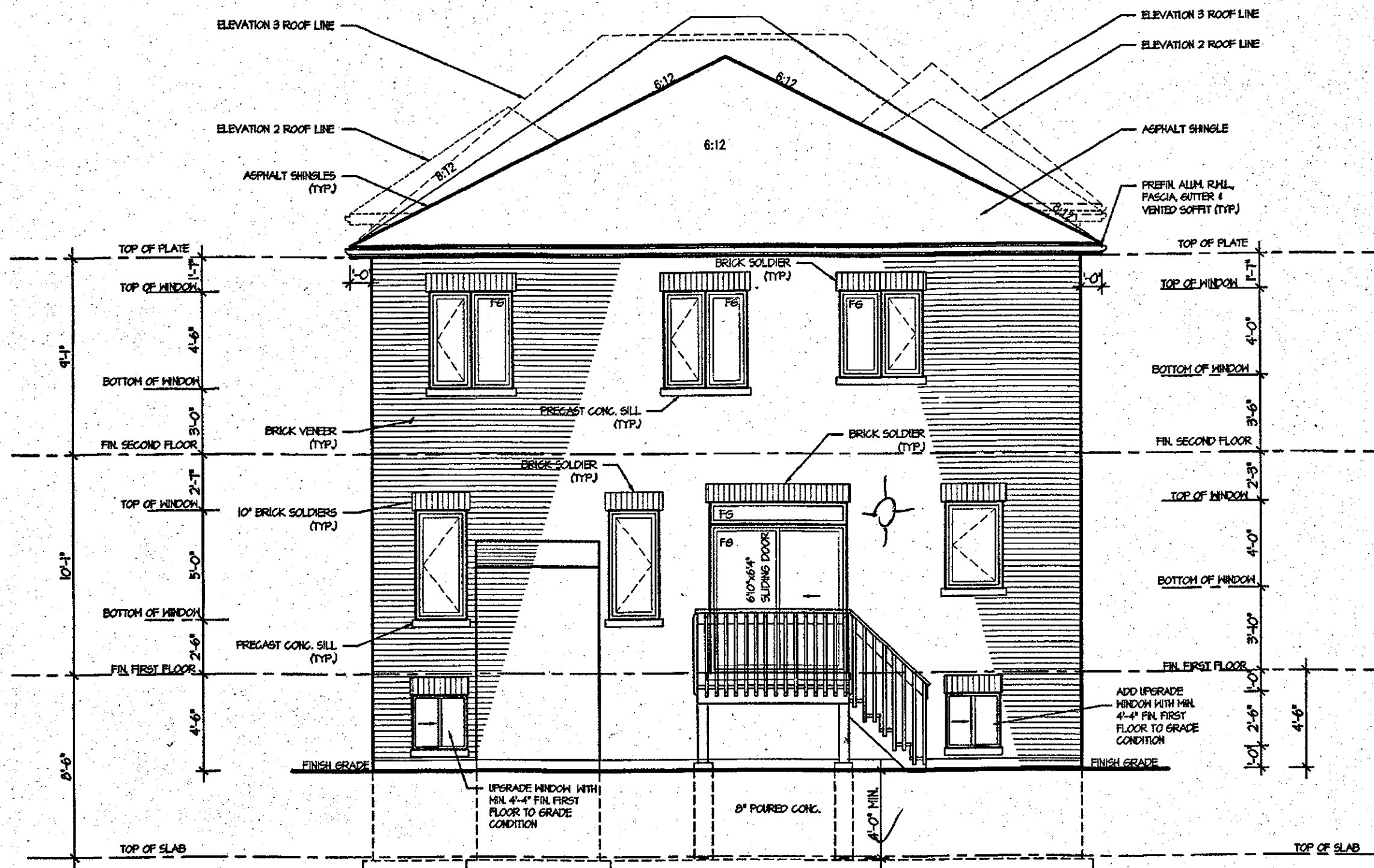
Permit No. **18-10008**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

[Signature] **Apr. 11/18**
FOR CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION 1, 2 & 3
FOR DECK CONDITION

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY *[Signature]* DATE *[Signature]*
REF'D TO *[Signature]* DATE *[Signature]*

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

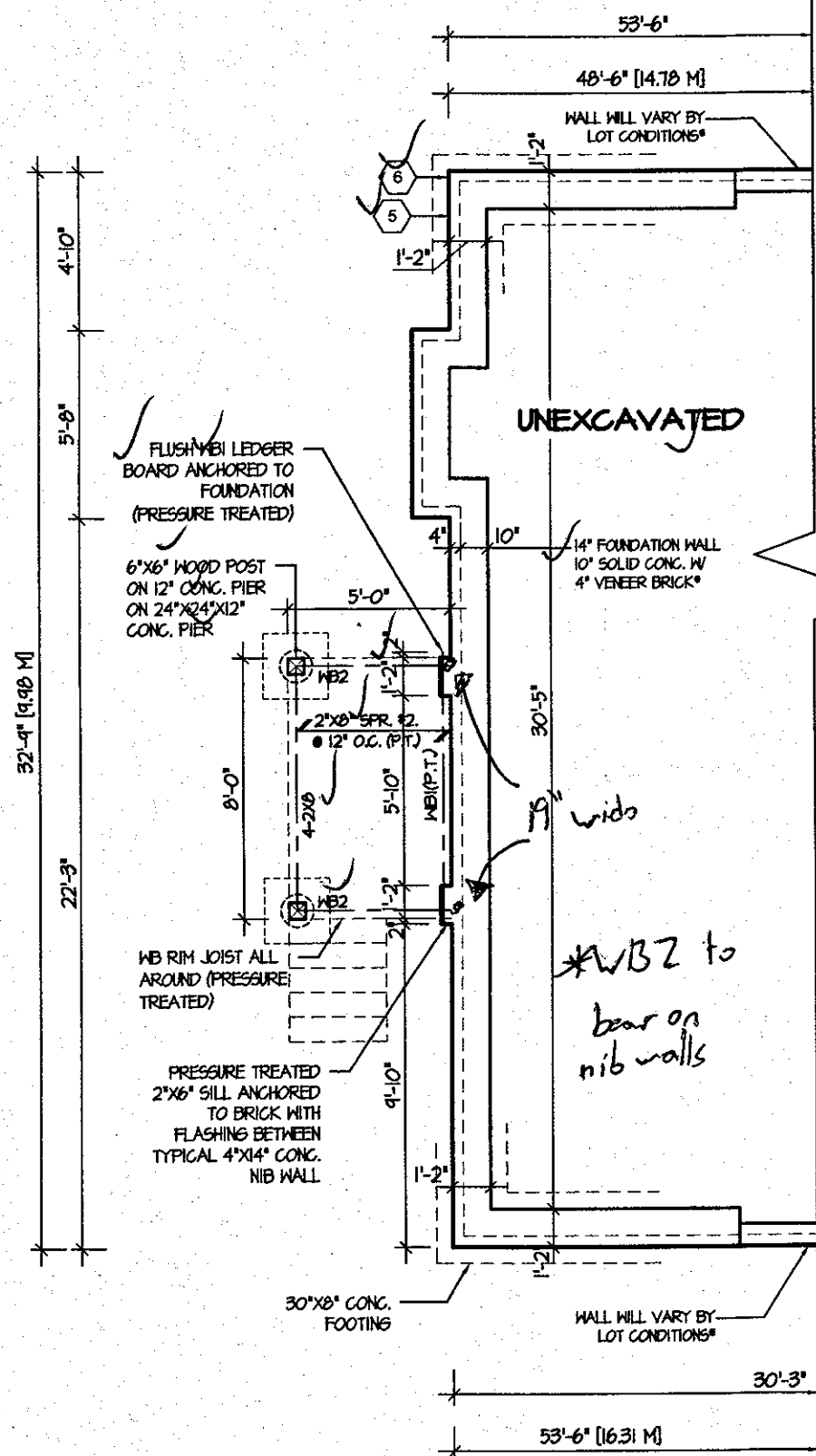
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of *[Signature]*

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed *[Signature]*
Dated **NOV 20 2017**
John G. Williams Limited, Architect

JUL 14 2017

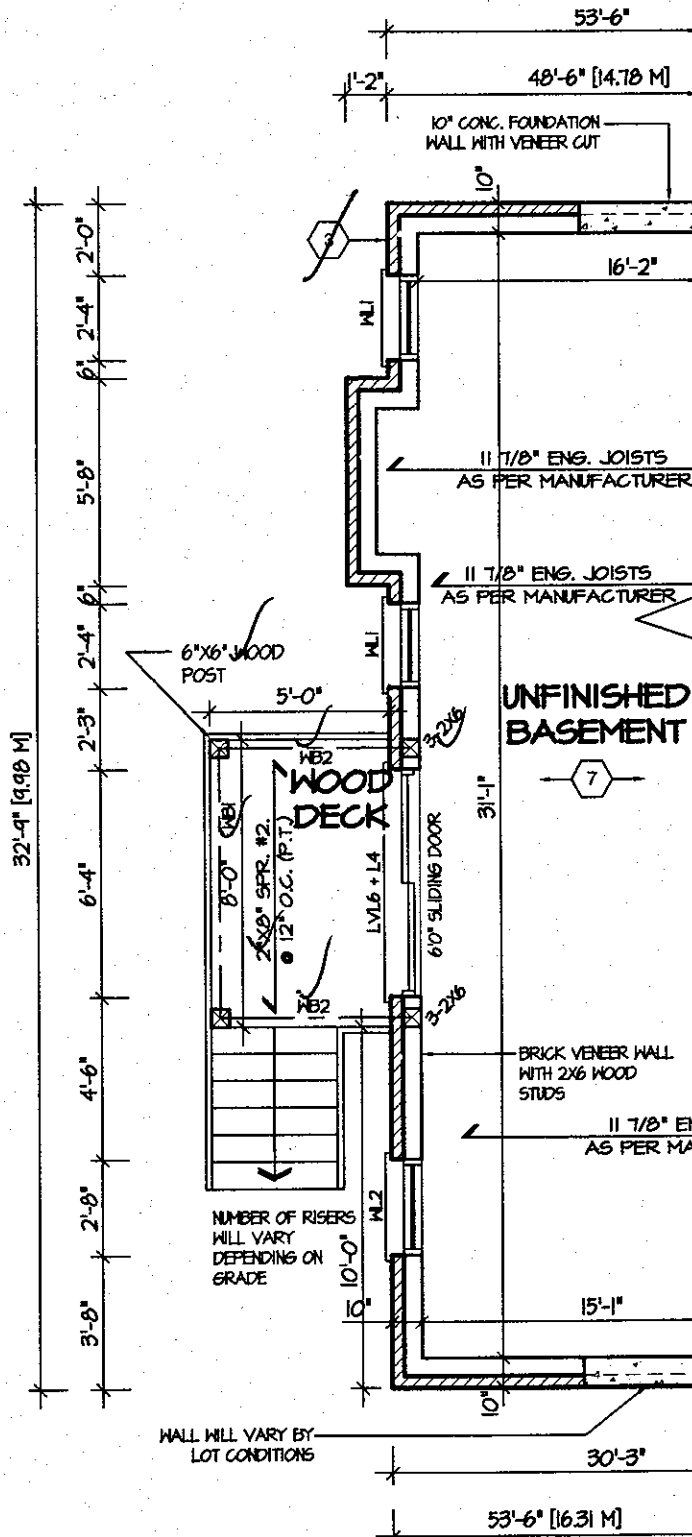
ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.8 of the building code VIKAS GAJJAR <i>[Signature]</i> 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4098 F (905) 660-0748	REGION DESIGN INC.	SHEET TITLE DECK ELEVATION 1,2,3 SCALE 3/16"=1'-0" DATE FEB 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PROJECT 03-13-03	PAGE No. 9-2 PROJECT NAME RUSSEL GARDENS - II Greenpark.
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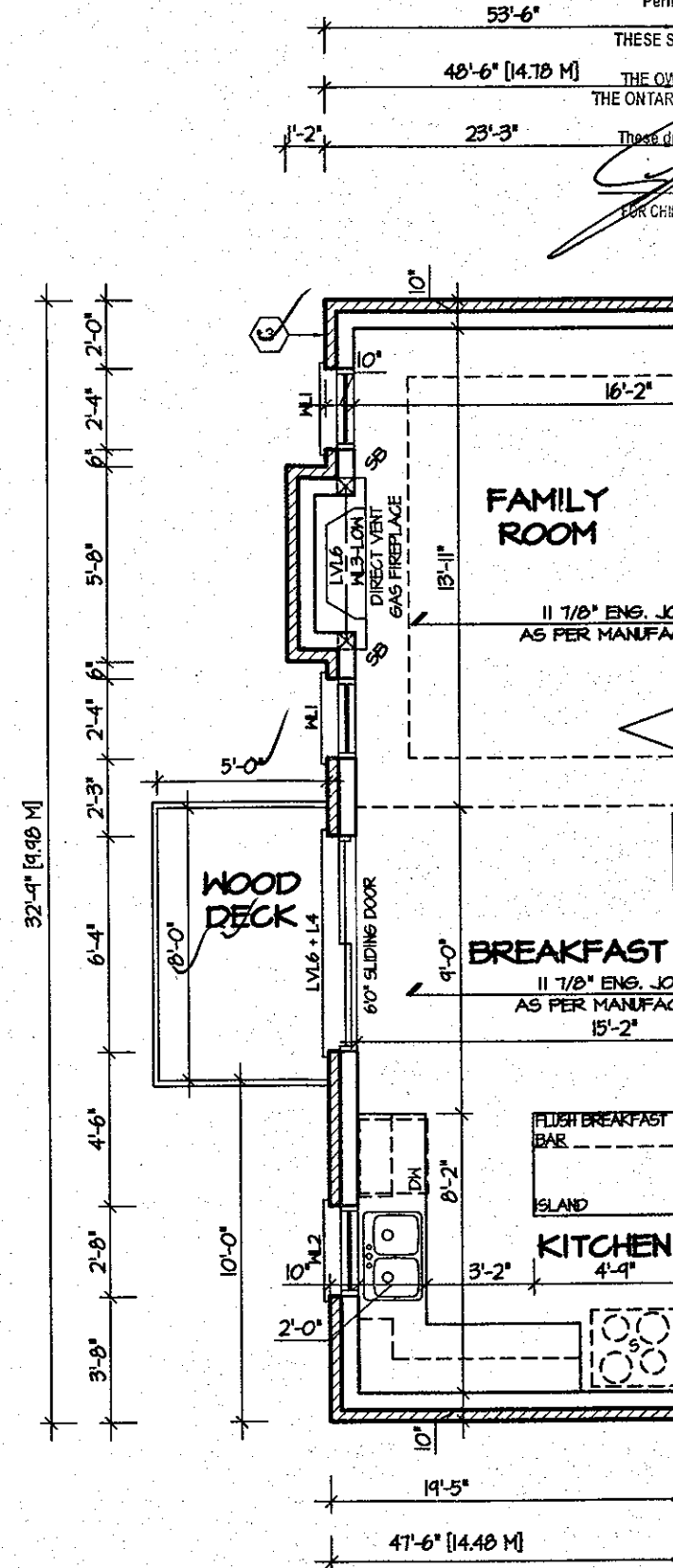


PARTIAL FOUNDATION
PLAN FOR DOUBLE DECK
WALK OUT CONDITION

*FOUNDATION WALL
4'-1" MAX FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL
3'-1" MAX FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL
2'-1" MAX FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL
(AS PER O.B.C. 4.15.4.2)



PARTIAL BASEMENT PLAN
FOR DOUBLE DECK WALK
OUT CONDITION



PARTIAL FIRST
FLOOR PLAN FOR
DOUBLE DECK WALK
OUT CONDITION

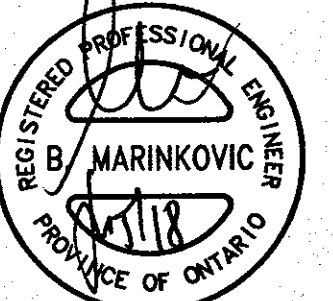
COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY DATE
REF'D TO CR DATE

STRUDET INC.



FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JAN 3 2018

John G. Williams Limited, Architect

JAN 0 5 2018

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE DOUBLE DECK WALK OUT ELEV. 1, 2, 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	SCALE 3/16"=1'-0"	BY B.K.	AREA 2655	PROJECT 03-13-03	PROJECT NAME RUSSEL GARDENS II
4.		QUALIFICATION INFORMATION									
3.		Required unless design is exempt under Division C, Subsection 3.2.5 of the building code									
2.	ISSUED FOR PERMIT	JUNE 2017	VIKAS GAJJAR	28770							
1.	ISSUED FOR REVIEW	FEB 2017	NAME	SIGNATURE	BCIN						
REVISIONS											

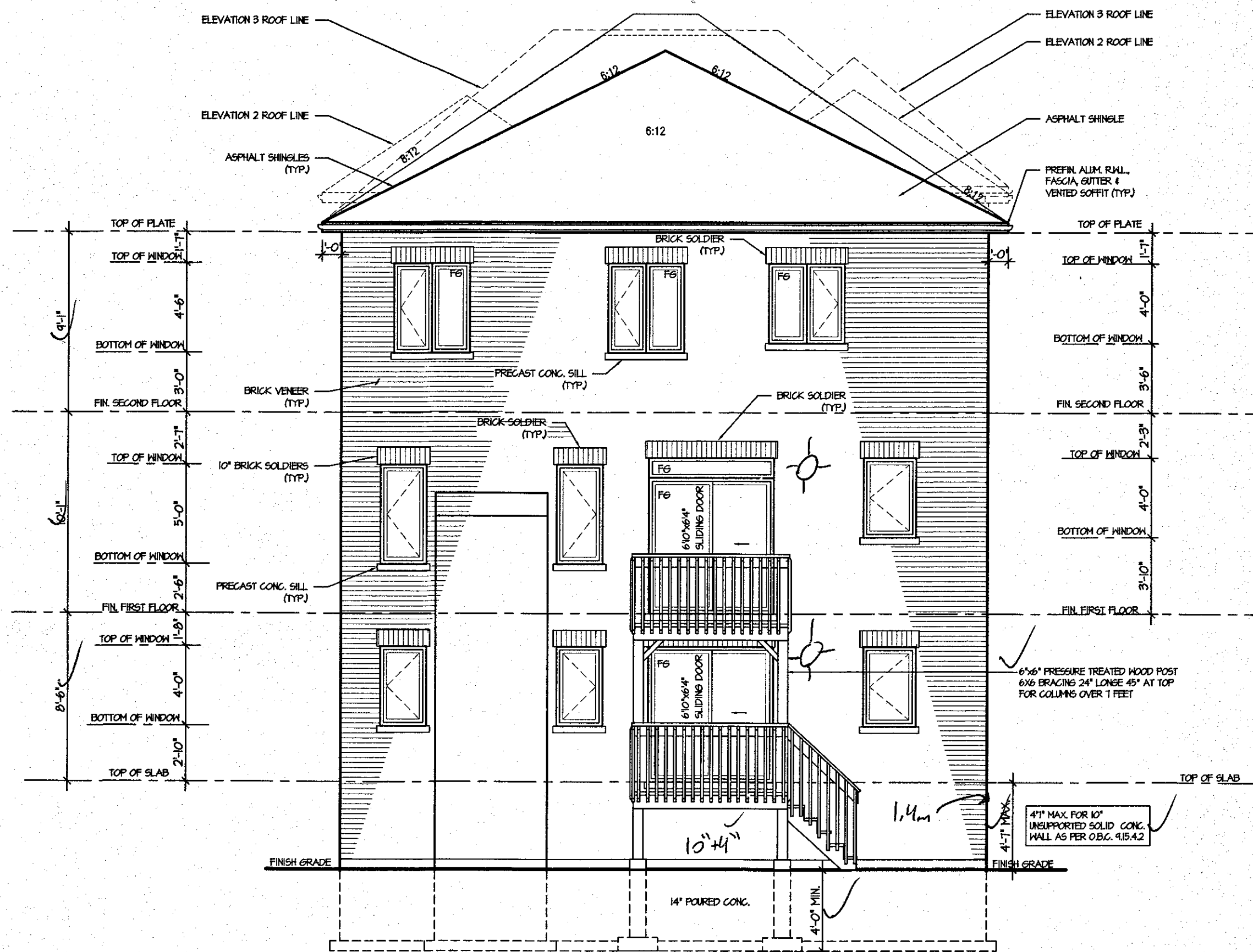


CITY OF HAMILTON
Building Division

Permit No. 18-104508

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
DATE
FOR CHIEF BUILDING OFFICIAL



REAR ELEVATION 1, 2&3
FOR DOUBLE DECK CONDITION

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY DATE
REF'D TO DATE

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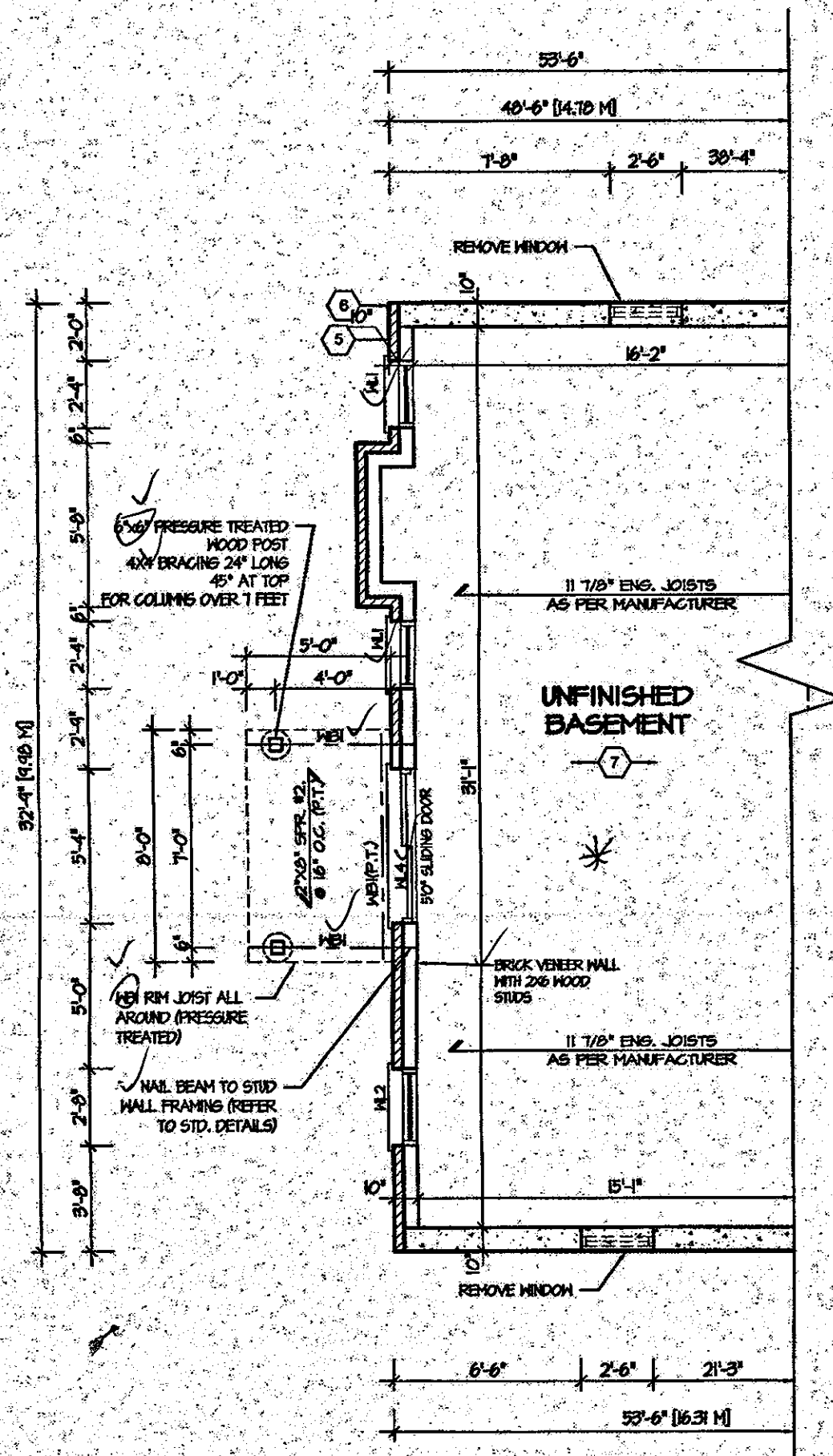
JAN 30 2018

John G. Williams Limited, Architect

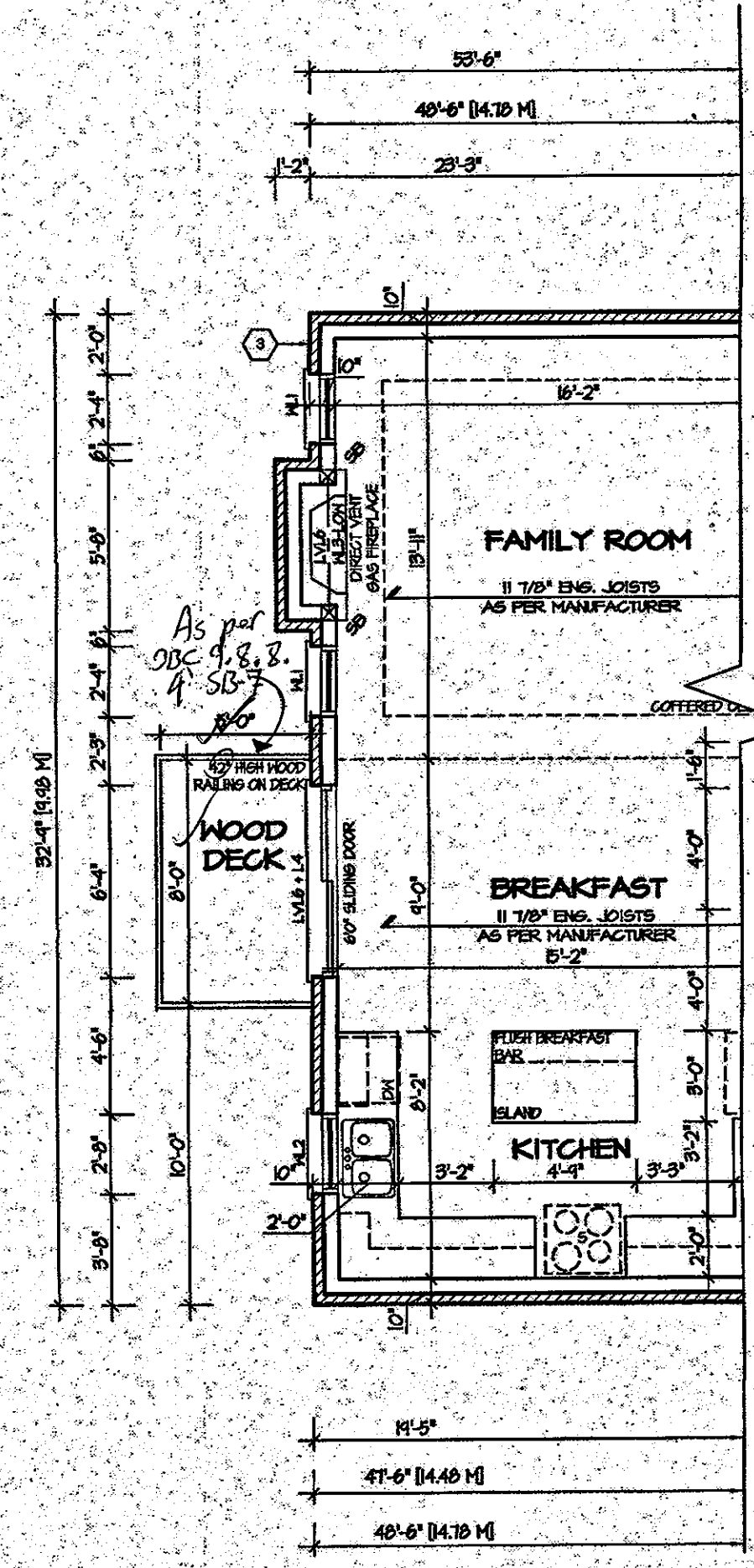
JAN 05 2018

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE DOUBLE DECK WO ELEVATION 1,2,&3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2655	PAGE No. 9-4	PROJECT NAME RUSSEL GARDENS II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY B.K.			
3.					DATE JUNE 2017	TYPE	PROJECT 03-13-03		
2.	ISSUED FOR PERMIT	JUNE 2017	VIKAS GAJJAR	28770					
1.	ISSUED FOR REVIEW	FEB 2017	SIGNATURE	BCIN					
REVISIONS									



PARTIAL BASEMENT PLAN
FOR WALK OUT BASEMENT
CONDITION



PARTIAL FIRST FLOOR PLAN
FOR WALK OUT CONDITION

CITY OF HAMILTON
Building Division
Permit No. 18-101508
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.
These drawings and/or specifications have been reviewed by
APR 11 2018
FOR CHIEF BUILDING OFFICIAL

COPY
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAR 14 2018
REC BY: CR DATE:
REF TO: CR DATE:



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.
JOHN L. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: MAR 09 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further responsibility.

MAR 8 2018

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5. 4. 3. 2. ISSUED FOR PERMIT JUNE 2017 1. ISSUED FOR REVIEW FEB 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P: (416) 736-4096 F: (905) 660-0746	REGION DESIGN INC.	SHEET TITLE WALK OUT BASEMNT ELEV. 1, 2, 3 SCALE 3/16"=1'-0" DATE JUNE 2017 BY B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2655 PROJECT 03-13-03	PAGE No. 9-5 PROJECT NAME RUSSEL GARDENS II
---	---	--	----------------------------------	--	--	---

Permit No. 10-1-128

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

[Signature] DATE Apr. 11/78

[Signature] BUILDING OFFICIAL

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAR 14 2018

REC BY: _____ DATE: _____
REF'D TO: *CS* DATE: _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Mar. 09, 2018

This stamp certifies compliance with the applicable
Design Guidelines only and does not constitute
a professional recommendation.

MAR 08 2018

ROSEWOOD 1

COMPLIANCE PACKAGE "A1"


Greenpark.

PROJECT NAME **RUSSEL GARDENS I**



REAR ELEVATION 1, 2 & 3
FOR WALK OUT BASEMENT
CONDITION

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 860-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark.					
4.					WALK OUT BASEMENT					PAGE No. 9-6	PROJECT NAME RUSSEL GARDENS II			
3.					ELEVATION 1,2,&3									
2.	ISSUED FOR PERMIT				JUNE 2017	SCALE	3/16"=1'-0"	BY				B.K.	AREA	2655
1.	ISSUED FOR REVIEW				FEB 2017	DATE	JUNE 2017	TYPE					PROJECT	03-13-03
REVISIONS														

FM

DAT

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milford.

Signed _____
Dated **NOV 20 2017**
John G. Williams, limited, Architect

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4086 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					WALK-UP PLANS					
3.					SCALE	BY			AREA	PAGE No.
2.					3/16"=1'-0"	B.K.			2655	10
1.	ISSUED FOR REVIEW				FEB 2017	DATE			TYPE	PROJECT
REVISIONS			FEB 2017		03-13-03	PROJECT NAME		RUSSEL GARDENS - II		

1. The first part of the document is a list of names and their corresponding dates. The names are listed in a column on the left, and the dates are listed in a column on the right. The names are: John Doe, Jane Smith, and Bob Johnson. The dates are: 1/1/2020, 2/1/2020, and 3/1/2020.

1

Permit No. 18-105

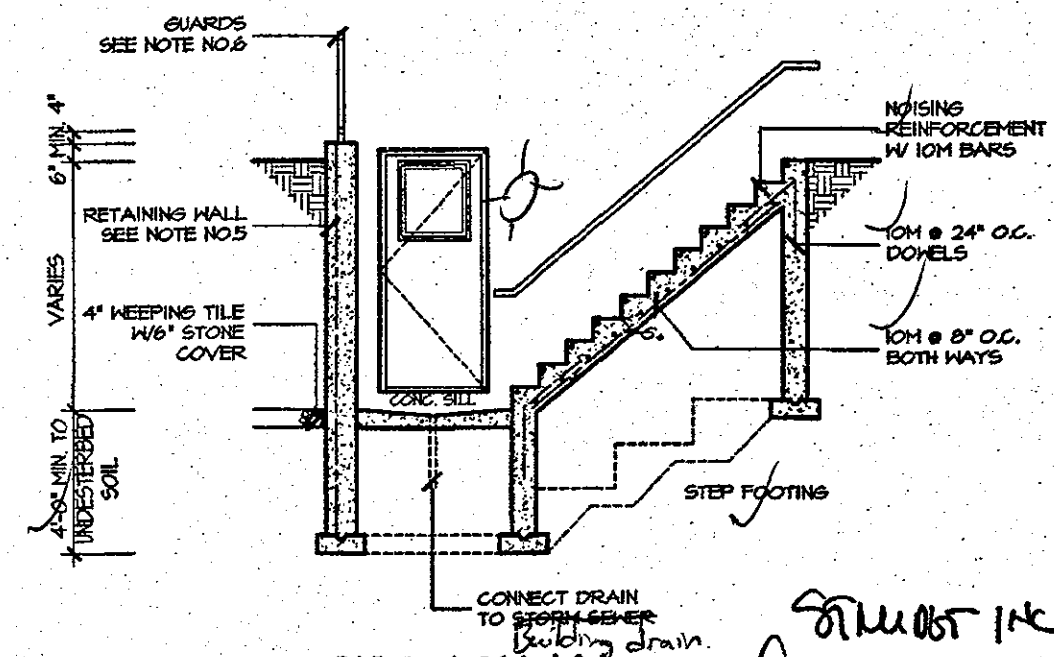
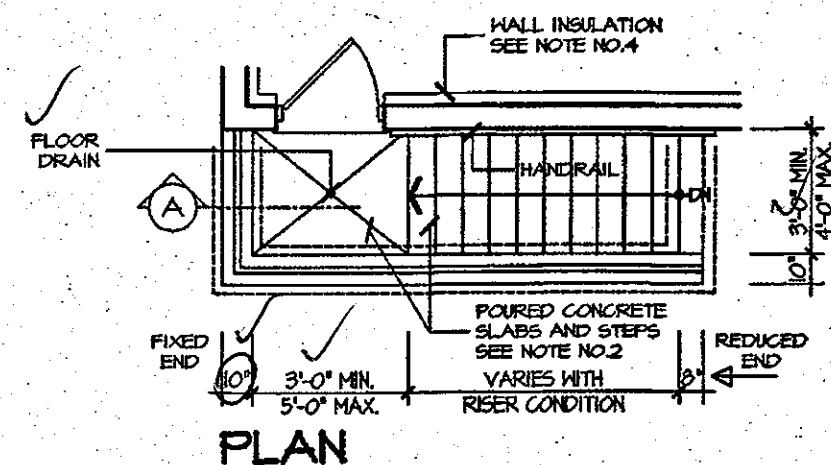
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

[Signature] **DEC 11/18**

DATE



SECTION

GENERAL NOTES:

1. FOOTING
16"x6" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
4. INSULATION ~~PZZ~~
MINIMUM 8" INSULATION & VAPOUR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- ✓ 5. RETAINING WALL
POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0".
- ✓ 6. GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11", 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
7. LINTELS
1-3 1/2"x3 1/2"x1/4" L + 2-2"x8" SPR.#1

21 AUGUST 1982
 B. MARINKOVIC
 PROVINCE OF ONTARIO
 THE GRACE CO.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site lotting plans or working drawings with respect to any zoning or building code or permit matter or that any houses can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Mill-town.

VERTICAL ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF HAMILTON
Signed _____
Dated NOV 20 2017
John G. Williams Limited, Architect

ROSEWOOD 1

COMPLIANCE PACKAGE "A1"

JUL 14 2017

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 12 2018
REC BY: [Signature] DATE _____
REF'D TO: [Signature] DATE _____

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4086 F (805) 660-0746	RDI REGION DESIGN INC.	SHEET TITLE WALK-UP ELEVATION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.						SCALE 3/16"=1'-0"	BY B.K.	AREA 2655	PAGE No. 10-2		PROJECT NAME RUSSEL GARDENS - II
3.						DATE FEB 2017	TYPE	PROJECT 03-13-03			
2.											
1.	ISSUED FOR REVIEW	FEB 2017									
REVISIONS											