

Strip Footings -
For Singles & Semis up to 2 storey

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

Assume the larger footing size
when two conditions apply

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

Pad Footings

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

Brick Veneer Lintels

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

Wood Lintels and Beams

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

Loose Steel Lintels

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)
L5 = 6"x4"x3/8"L (150x100x10.0L)
L6 = 7"x4"x3/8"L (175x100x10.0L)

Door Schedule

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

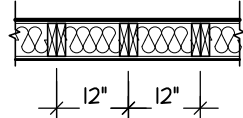
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

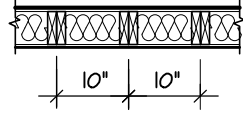
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

SUPPORTED STEEL
ANGLE UP TO 11'-7".
OTHERWISE TO BE
REVIEWED BY
ENGINEER.

INVERTED
3-1/2"x3-1/2"x1/4"
(90x90x6.0) STEEL ANGLE

MIN. 1'-0"

INVERTED
3-1/2"x3-1/2"x1/4"
(90x90x6.0) STEEL ANGLE

BRICK/
STONE
VENEER

SUPPORTED
STEEL ANGLE
UP TO 11'-7".
OTHERWISE TO
BE REVIEWED BY
ENGINEER.

INVERTED STEEL
ANGLE DETAIL

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1350	Sq. Ft.
SECOND FLOOR AREA	=	1627	Sq. Ft.
TOTAL FLOOR AREA	=	2977	Sq. Ft.
		276.57	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2977	Sq. Ft.
		276.57	Sq. M.
GROUND FLOOR COVERAGE	=	1350	Sq. Ft.
GARAGE COVERAGE / AREA	=	393	Sq. Ft.
PORCH COVERAGE / AREA	=	213	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1956	Sq. Ft.
		181.72	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1743	Sq. Ft.
		161.93	Sq. m.

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1365	Sq. Ft.
SECOND FLOOR AREA	=	1626	Sq. Ft.
TOTAL FLOOR AREA	=	2991	Sq. Ft.
		277.87	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2991	Sq. Ft.
		277.87	Sq. M.
GROUND FLOOR COVERAGE	=	1365	Sq. Ft.
GARAGE COVERAGE / AREA	=	393	Sq. Ft.
PORCH COVERAGE / AREA	=	146	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1904	Sq. Ft.
		176.89	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1758	Sq. Ft.
		163.32	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT
SHALL CONFORM TO THE FOLLOWING

2012 ENERGY STAR V-12.7

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 24/1V 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

JUNIPER 12		ELEV.1		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	817.18	75.92	116.13	10.79	14.21 %
LEFT SIDE	1141.25	106.03	260.43	24.19	22.82 %
RIGHT SIDE	1013.29	94.14	32.92	3.06	3.25 %
REAR	791.60	73.54	158.44	14.72	20.02 %
TOTAL	3763.32	349.62	567.92	52.76	15.09 %

JUNIPER 12		ELEV.2		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	817.18	75.92	130.08	12.08	15.92 %
LEFT SIDE	1068.65	99.28	223.75	20.79	20.94 %
RIGHT SIDE	1013.29	94.14	32.92	3.06	3.25 %
REAR	787.86	73.19	155.78	14.47	19.77 %
TOTAL	3686.98	342.53	542.53	50.40	14.71 %

TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE

ZONING: APPROVED
ROBIN CAMPBELL APR 22, 2017
ZONING OFFICER DATE

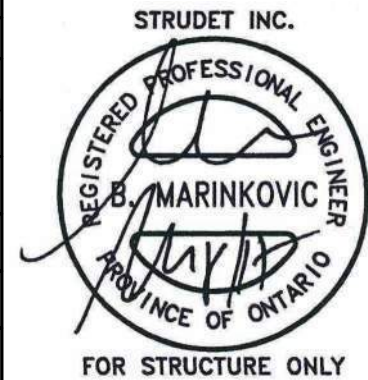
GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION



It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

JUNIPER 12
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	OCT 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		
VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

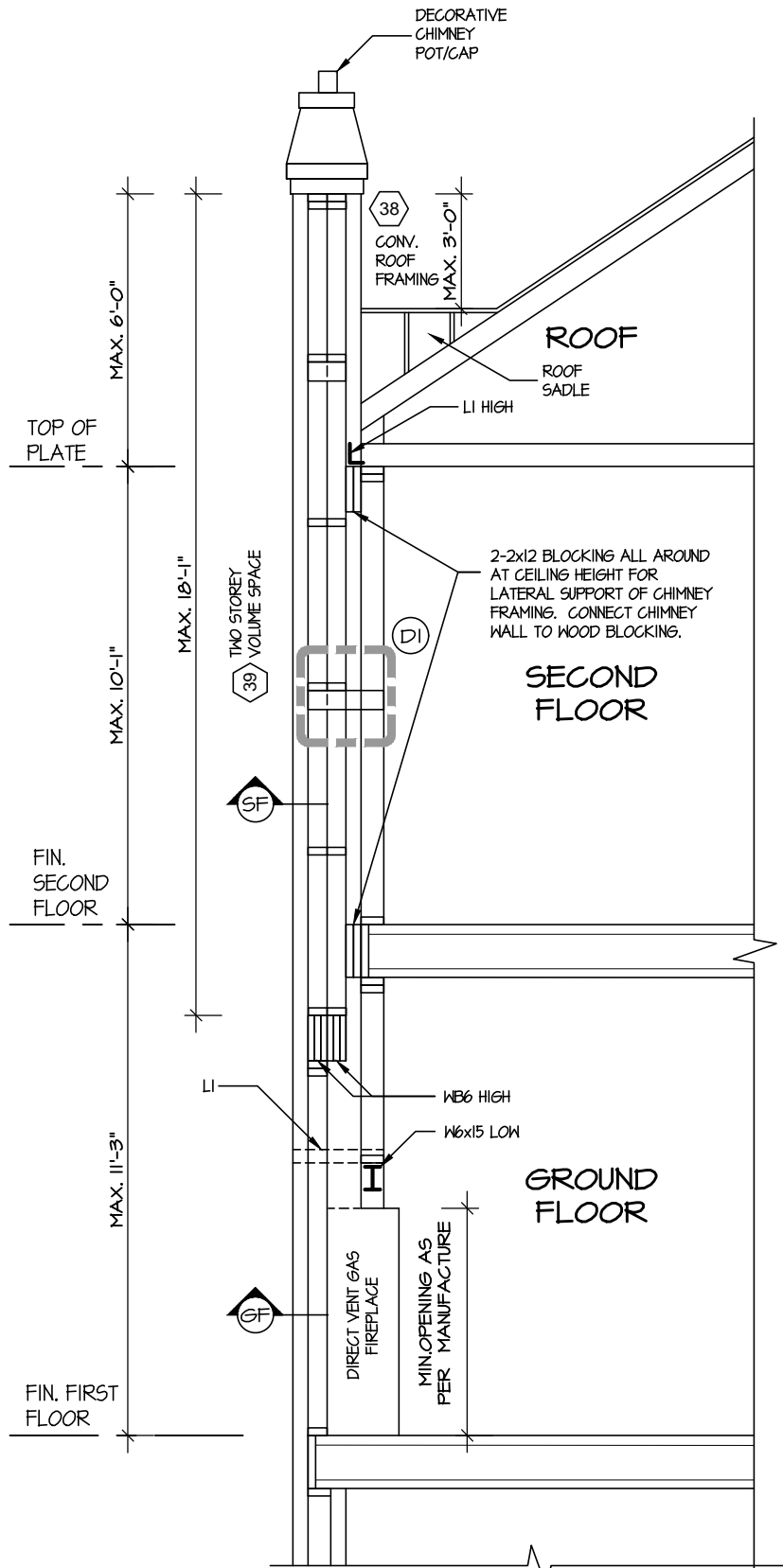
**REGION
DESIGN
INC.**

SHEET TITLE	
AREA CHARTS	
SCALE	3/16"=1'-0"
DATE	JUL 2016
BY	V.G.
TYPE	

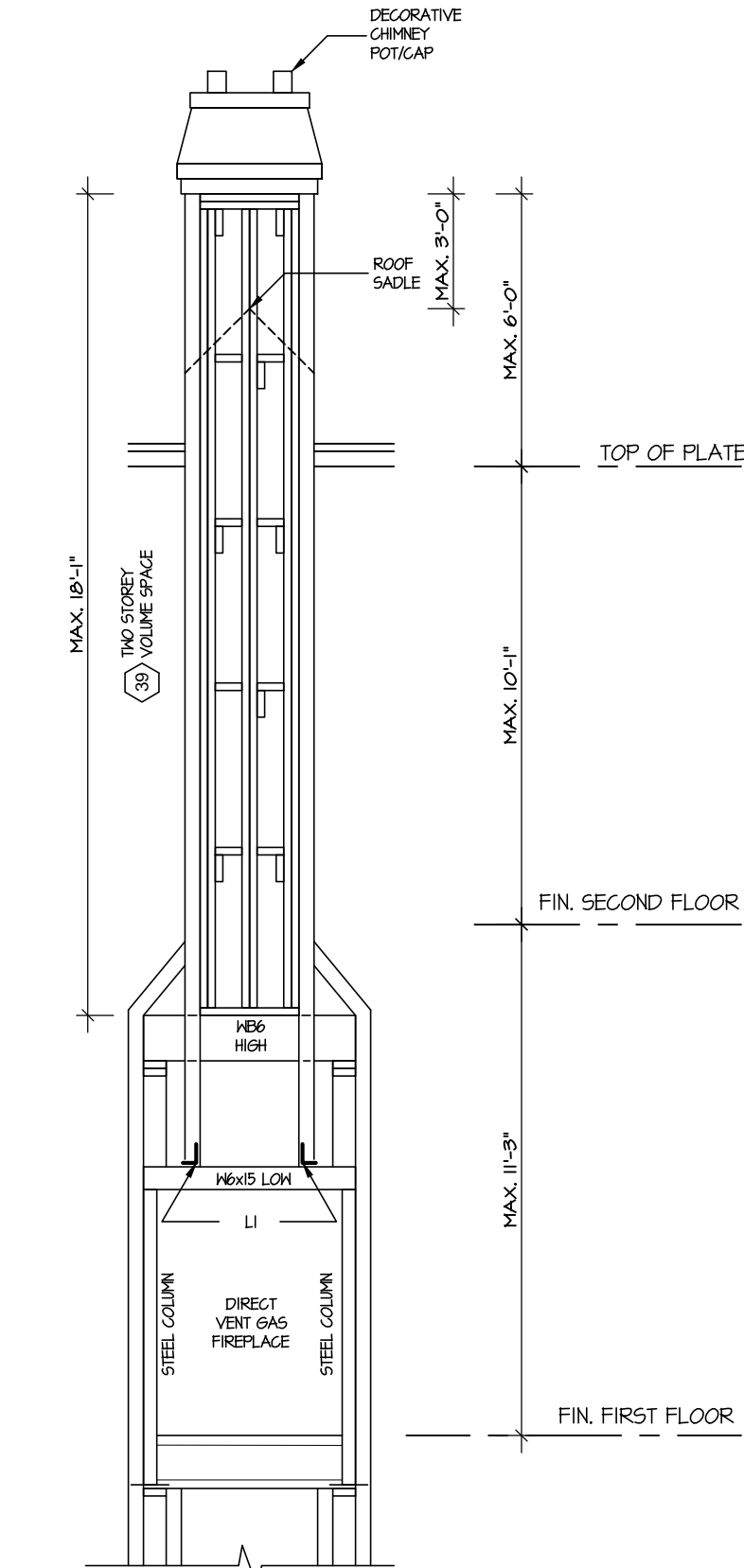
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA	2977	PAGE No.	0
	PROJECT	02-10-12		

Greenpark.

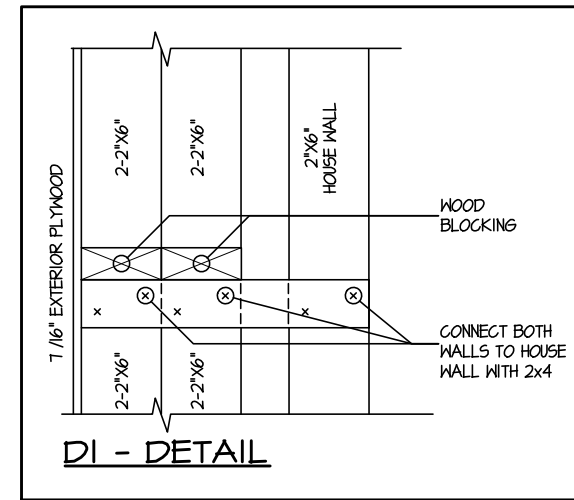
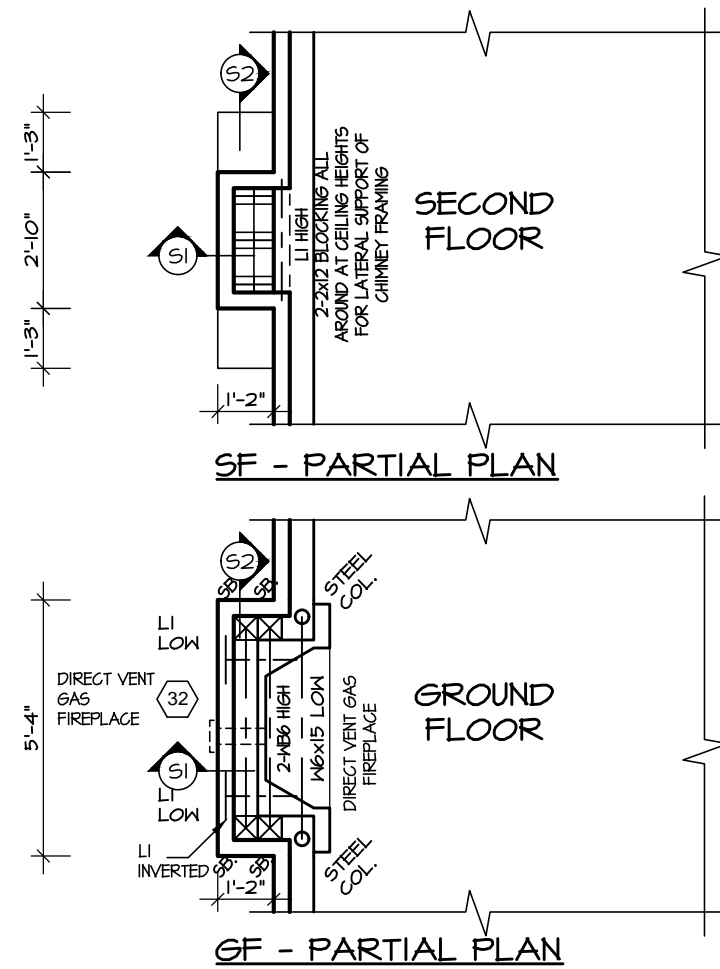
PROJECT NAME
LECCO RIDGE



SI - PARTIAL CROSS SECTION



S2 - PARTIAL CROSS SECTION



Notes:

32 Direct Vent Gas Fireplace

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE

38 Conventional Roof Framing

(*See OBC 9.23.4.2. (1))

FOR MAX. 2240mm (7'-4") SPAN, 38x89 (2"x4") RAFTERS @400mm (16") o.c.. FOR MAX. 3530mm (11'-7") SPAN, 38x140 (2"x6") RAFTERS @400mm (16") o.c.. RIDGE BOARD TO BE 51mm (2") DEEPER. 38x39 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @400mm (16") o.c. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") o.c. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @600mm (24") o.c. WITH A 38x89 (2"x4") CENTER POST TO THE TRUSS BELOW, LATERALLY BRACED @1800mm (6'-0") o.c. VERTICALLY.

39 Two Storey Volume Spaces

FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. 1/16" EXT. PLYWOOD.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 12F MODEL

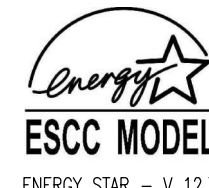
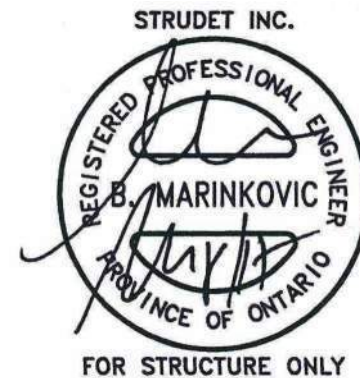
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



JUNIPER 12
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	OCT 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE AREA CHARTS	
SCALE 3/16"=1'-0"	BY V.G.
DATE JUL 2016	TYPE

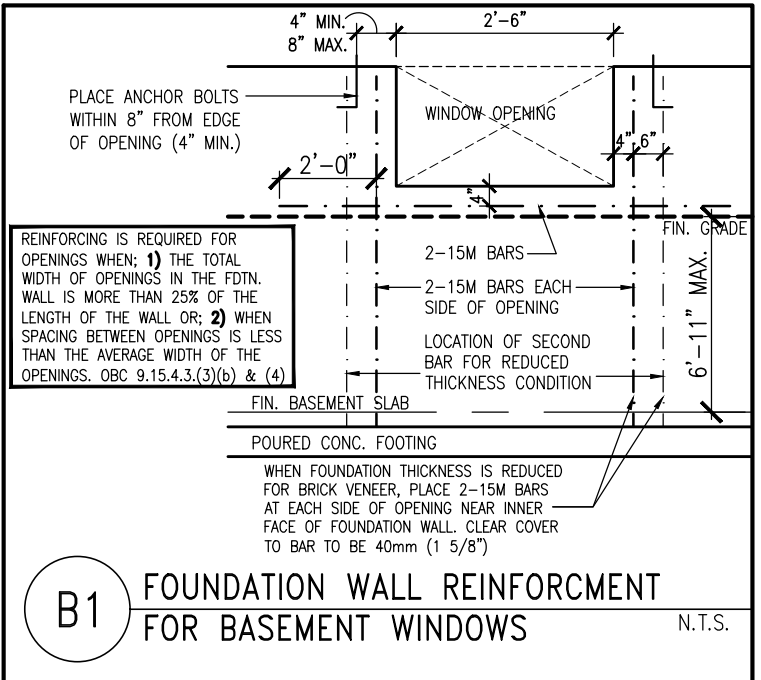
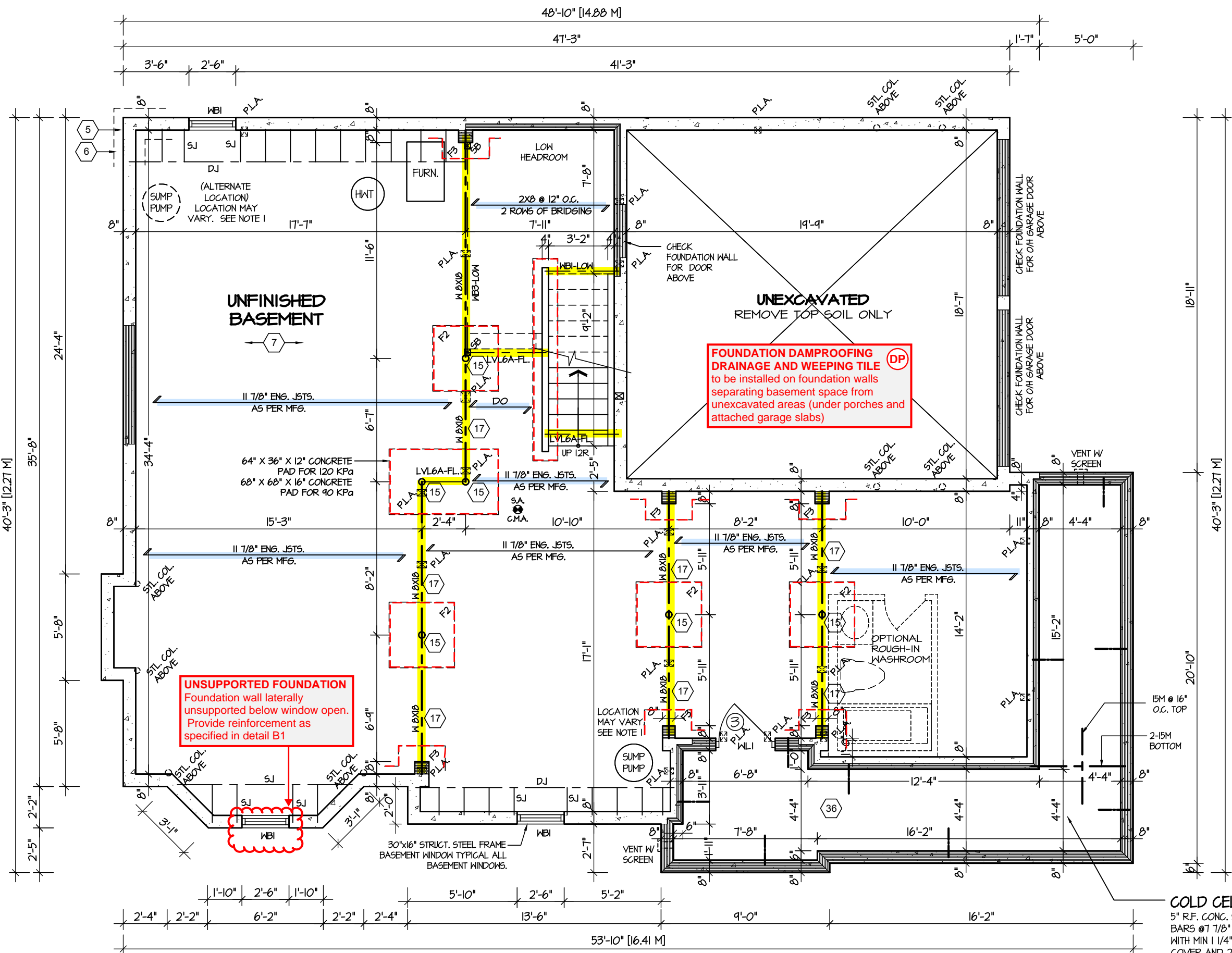
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2977	PAGE No. 0-2
	PROJECT 02-10-12	

Greenpark

PROJECT NAME
LECCO RIDGE

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TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 12F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
APR 13, 2017
PLANS EXAMINER DATE
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

BASEMENT FLOOR PLAN "I"

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

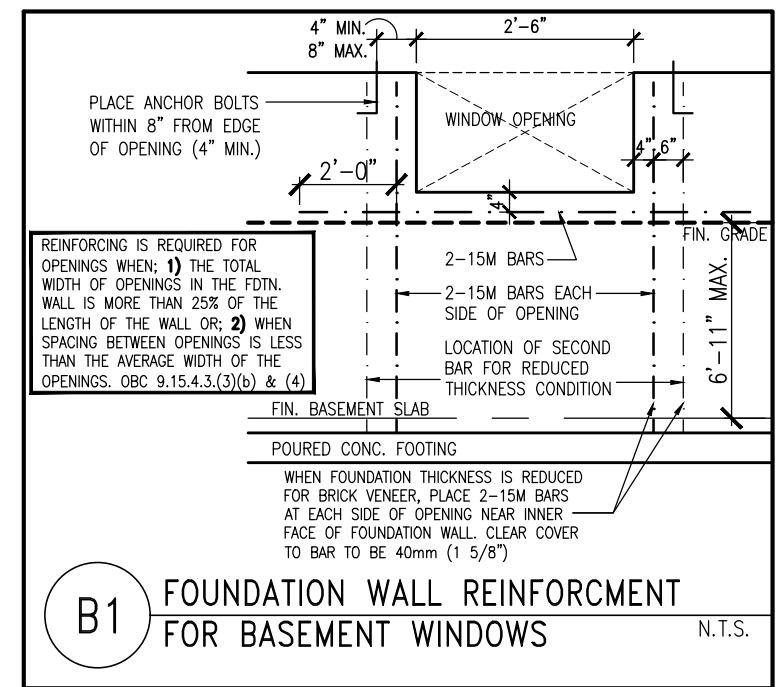
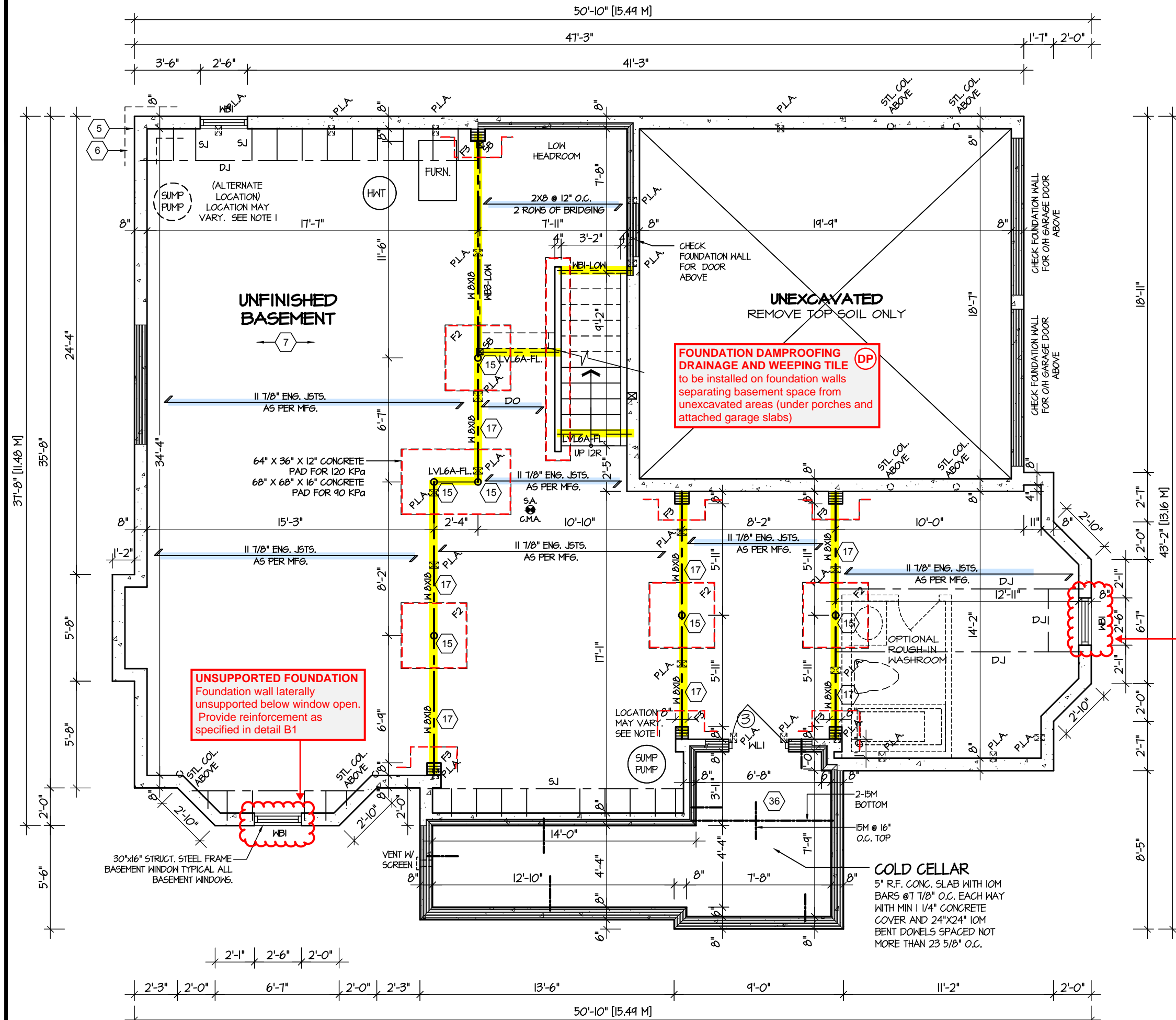
COLD CELLAR
5" R.F. CONC. SLAB WITH 10M BARS @ 17/8" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 10M BENT DOWELS SPACED NOT MORE THAN 23 5/8" O.C.

JUNIPER 12
ENERGY STAR

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC.	SHEET TITLE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
4.		QUALIFICATION INFORMATION	8700 DUFFERIN ST.	BASEMENT PLAN		
3.		Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	CONCORD, ONTARIO	ELEV. 1		
2.			L4K 456	SCALE	3/16"=1'-0"	AREA 2977
1.	ISSUED FOR REVIEW	VIKAS GAJJAR	P (416) 736-4096	DATE	JUL 2016	PAGE No. 1
REVISIONS		NAME SIGNATURE	F (905) 660-0746	TYPE	PROJECT 02-10-12	PROJECT NAME LECCO RIDGE
		28770	BCIN			

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JUNIPER 12F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 13, 2017
DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



UNSUPPORTED FOUNDATION
Foundation wall laterally unsupported below window open. Provide reinforcement as specified in detail B1

UNSUPPORTED FOUNDATION
Foundation wall laterally unsupported below window open. Provide reinforcement as specified in detail B1



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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

BASEMENT FLOOR PLAN '2'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

JUNIPER 12
ENERGY STAR

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	SHEET TITLE BASEMENT PLAN ELEV. 2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2977	PAGE No. 1-2	PROJECT NAME LECCO RIDGE
4.		VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC.	SCALE 3/16"=1'-0"	BY V.G.	PROJECT 02-10-12		
3.				DATE JUL 2016	TYPE			
2.		REVISIONS						
1.	ISSUED FOR REVIEW							
		OCT 2016						

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Membrane materials shall have joints sealed and structurally supported

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading



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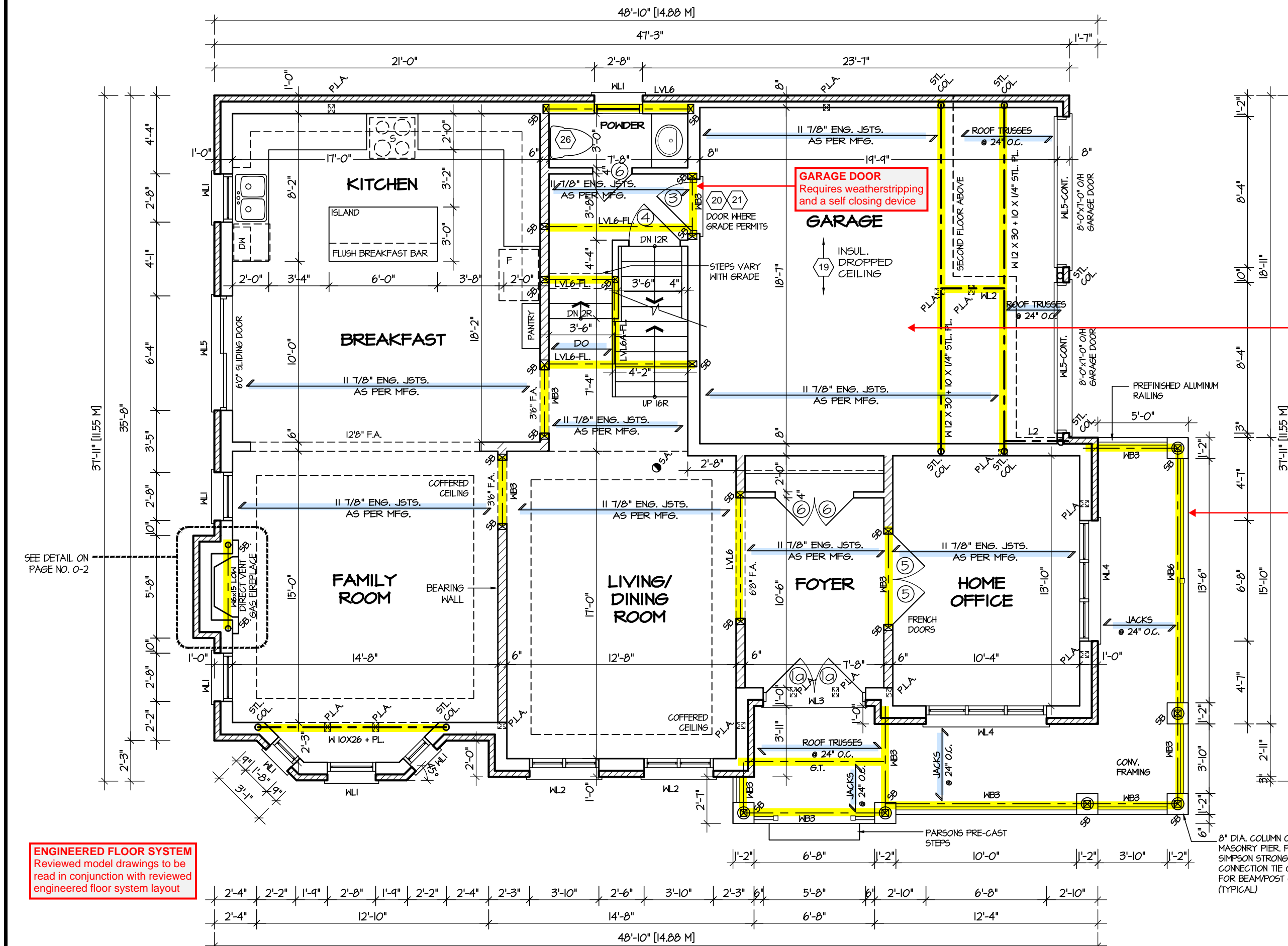
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 12
ENERGY STAR

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

FIRST FLOOR PLAN 'I'



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4.					FIRST FLOOR PLAN ELEV. 1				
3.					SCALE	BY	AREA	PAGE No.	
2.					3/16"=1'-0"	V.G.	2977	2	
1.	ISSUED FOR REVIEW				OCT 2016	DATE	TYPE	PROJECT	
REVISIONS			JUL 2016		02-10-12				

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MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION

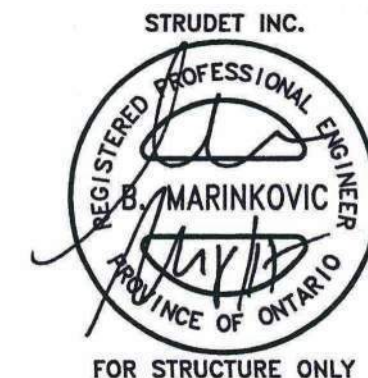
GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

8" DIA. COLUMN ON 14"x14" MASONRY PIER. PROVIDE SIMPSON STRONG CONNECTION TIE CONNECTOR FOR BEAM/POST CONNECTION (TYPICAL)

FIRST FLOOR PLAN '2'



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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect


JUNIPER 12
ENERGY STAR

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4.						FIRST FLOOR PLAN ELEV. 2					
3.						SCALE 3/16"=1'-0"	BY V.G.	AREA 2977	PAGE No.		PROJECT NAME LECCO RIDGE
2.						DATE JUL 2016	TYPE	PROJECT 02-10-12	2-2		
1.	ISSUED FOR REVIEW	OCT 2016				REVISIONS					

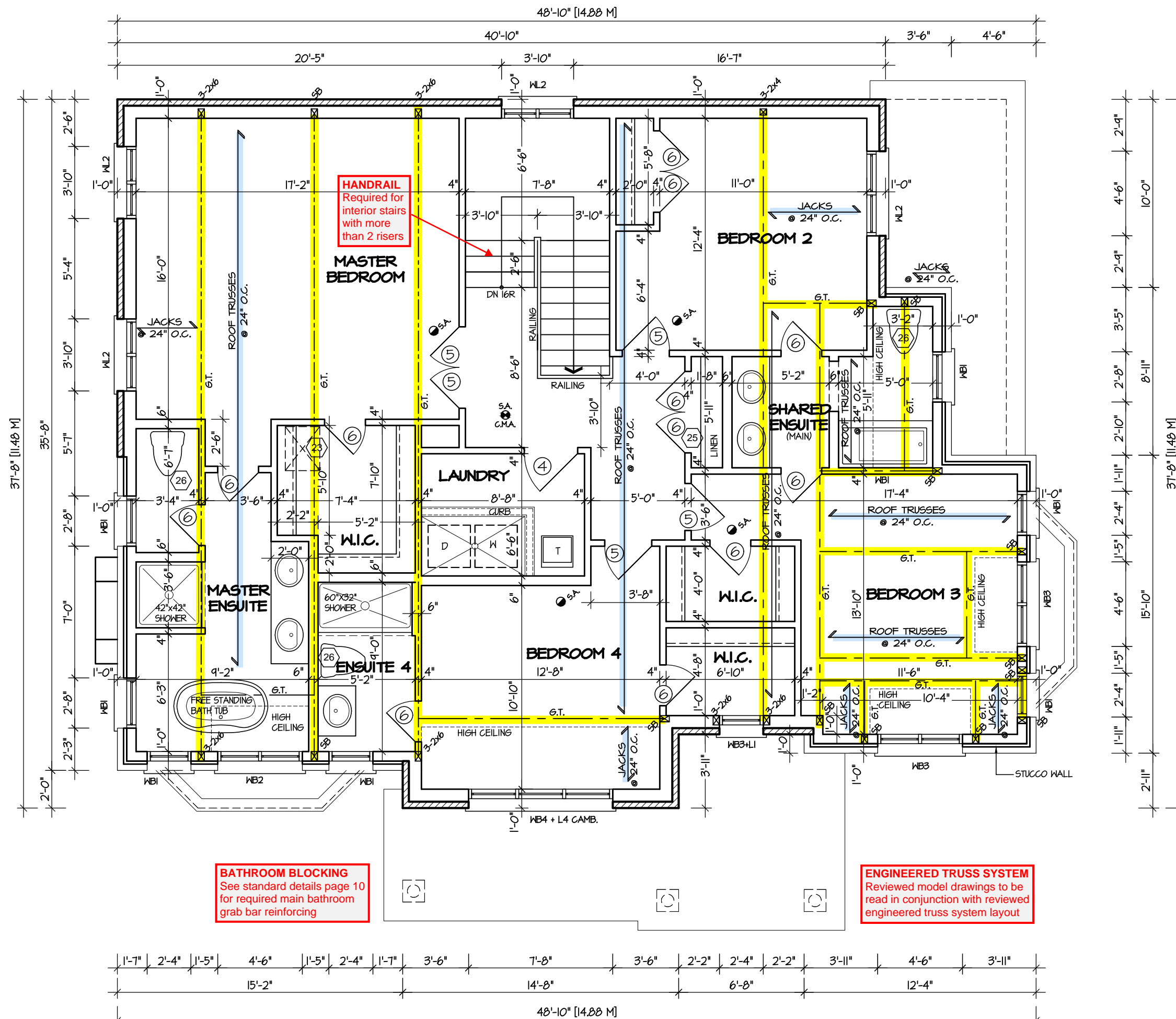


PROJECT NAME **LECCO RIDGE**

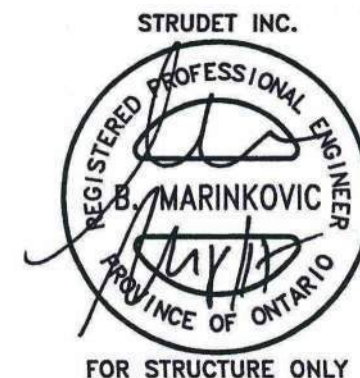
ENGINEERED TRUSS SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered truss system layout

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4.						SECOND FLOOR PLAN		ELEV. 1			<div>PROJECT NAME</div> <div>LECCO RIDGE</div>
3.						SCALE 3/16" = 1'-0"	BY V.G.	AREA 2977	PAGE No. 3		
2.						DATE JUL 2016	TYPE	PROJECT 02-10-12			
1.	ISSUED FOR REVIEW	OCT 2016									
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MAR 29, 2017
JUNIPER 12F
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SECOND FLOOR PLAN '2'



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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 12
ENERGY STAR

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4.					SECOND FLOOR PLAN		ELEV. 2			<div>PAGE No.</div> <div>3-2</div>	
3.					SCALE	BY	AREA	PROJECT			
2.					3/16"=1'-0"	V.G.	2977				02-10-12
1.	ISSUED FOR REVIEW				DATE	TYPE					
REVISIONS											

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MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION

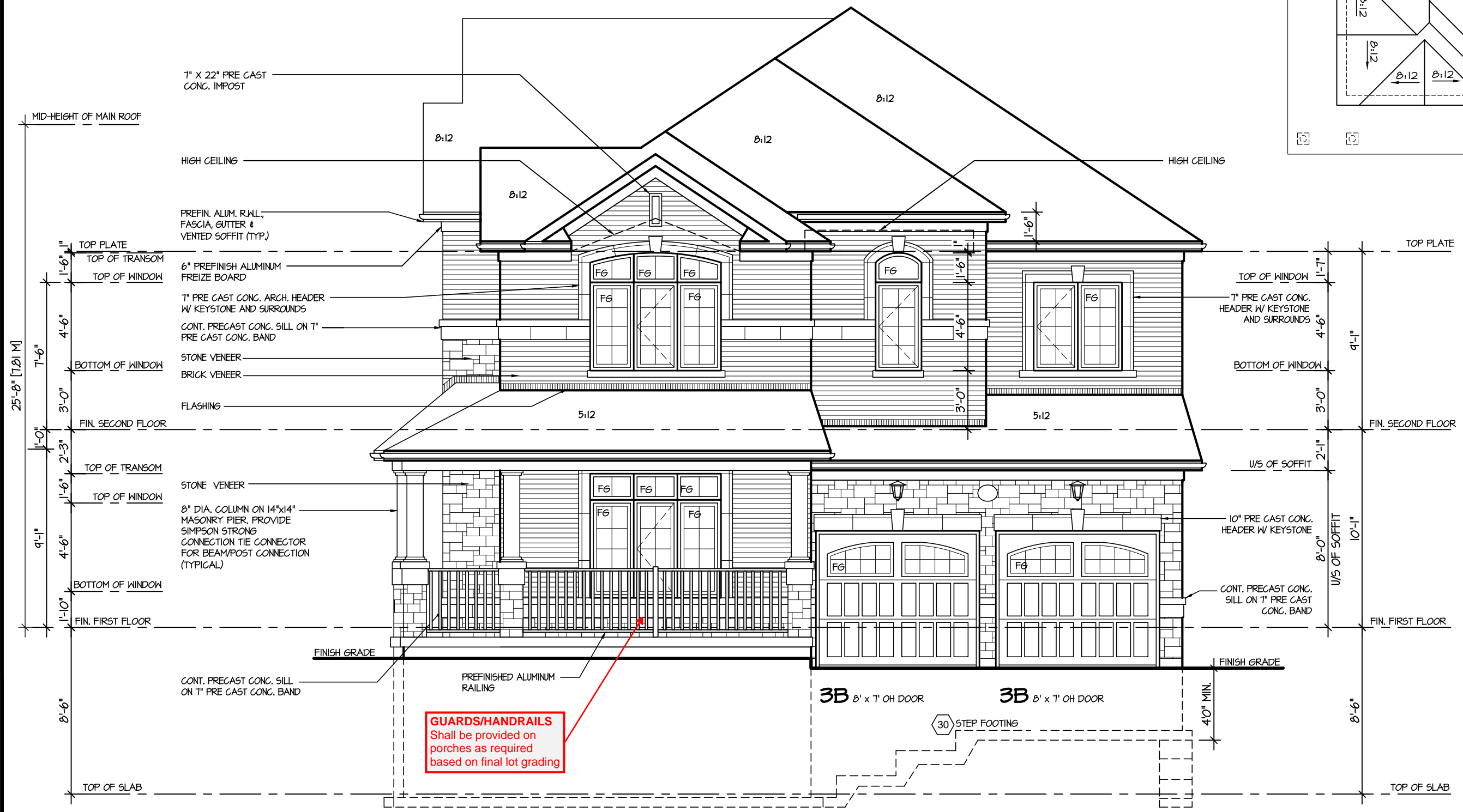
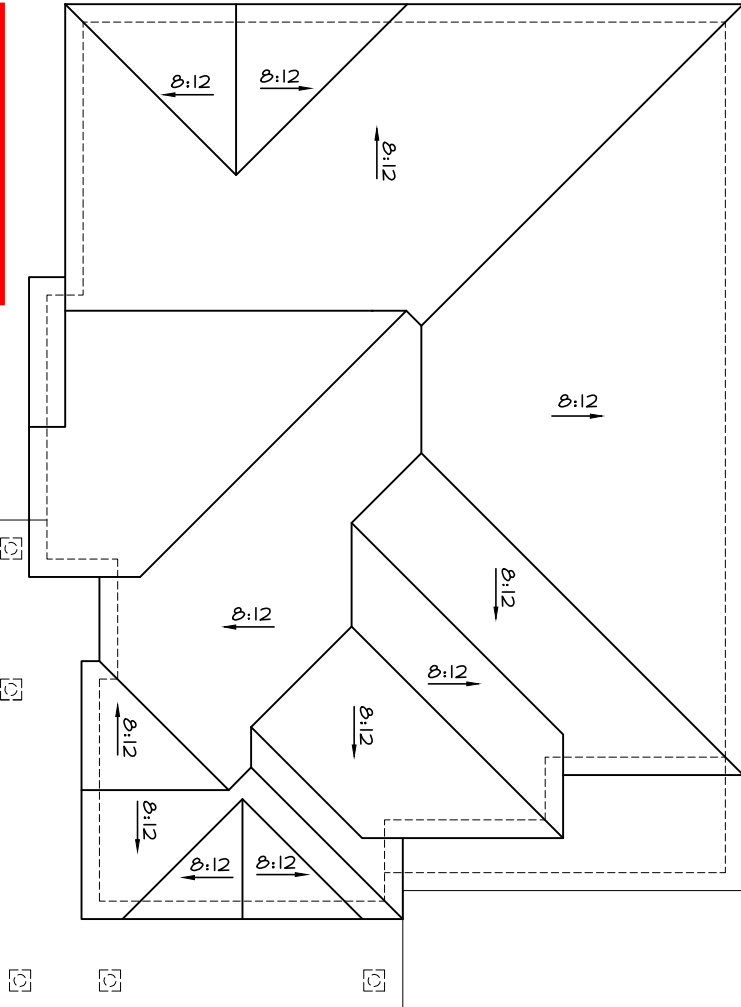


TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER

APR 13, 2017
DATE

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FRONT ELEVATION I

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

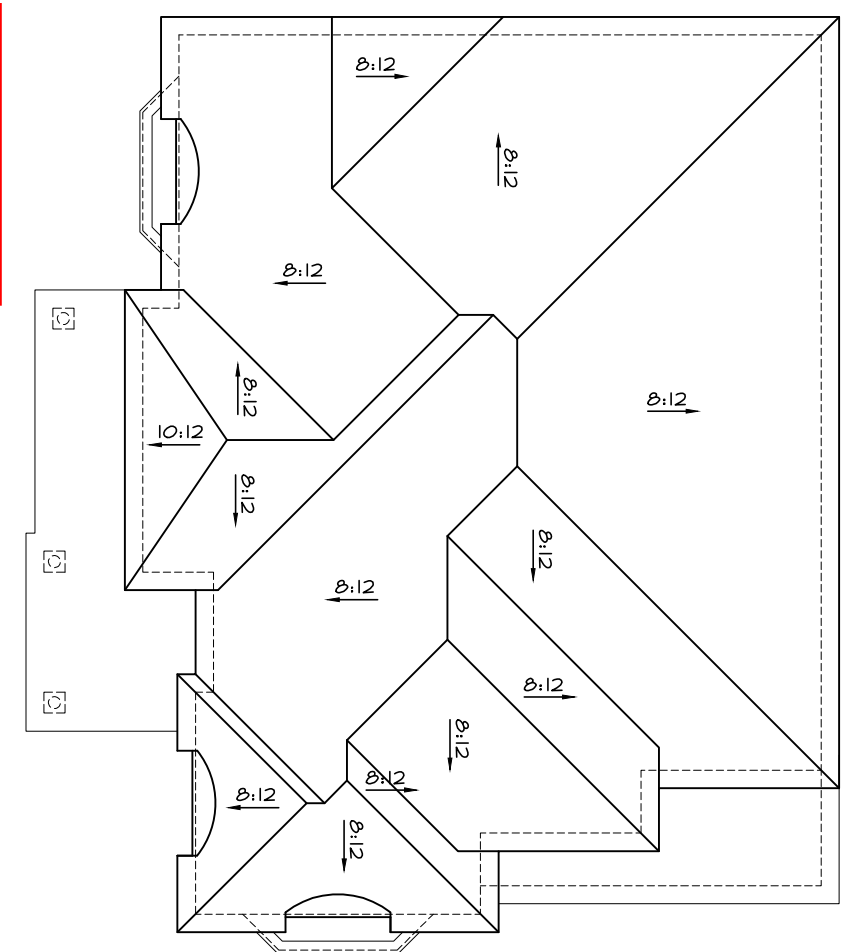
John G. Williams Limited, Architect

JUNIPER 12
ENERGY STAR

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4.					FRONT ELEVATION ELEV. 1					
3.					SCALE	BY	AREA	PAGE No.		PROJECT NAME
2.					3/16"=1'-0"	V.G.	2977	4		
1.	ISSUED FOR REVIEW				OCT 2016	DATE	TYPE	PROJECT		
REVISIONS										

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 12F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
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ROOF PLAN 2
Scale: N.T.S.



FRONT ELEVATION 2

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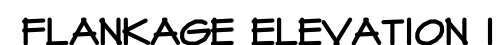
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 12
ENERGY STAR

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4.					FRONT ELEVATION		ELEV. 2					
3.					SCALE	BY	AREA	PAGE No.				
2.					3/16"=1'-0"	V.G.	2977	4-2				
1.	ISSUED FOR REVIEW				OCT 2016	DATE	TYPE	PROJECT				
			JUL 2016		02-10-12							
REVISIONS												

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MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION



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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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JUNIPER 12
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4.						LEFT SIDE ELEVATION ELEV. 1				
3.						SCALE	BY	AREA	PAGE No.	
2.						3/16" = 1'-0"	V.G.	2977	5	
1.	ISSUED FOR REVIEW	OCT 2016				DATE	TYPE	PROJECT		
REVISIONS			JUL 2016		02-10-12					

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FLANKAGE ELEVATION 2

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 12
ENERGY STAR

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1.	ISSUED FOR REVIEW	OCT 2016
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QUALIFICATION INFORMATION
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VIKAS GAJJAR	28770
NAME	SIGNATURE
	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
**LEFT SIDE ELEVATION
ELEV. 2**

SCALE
3/16"=1'-0"
DATE
JUL 2016

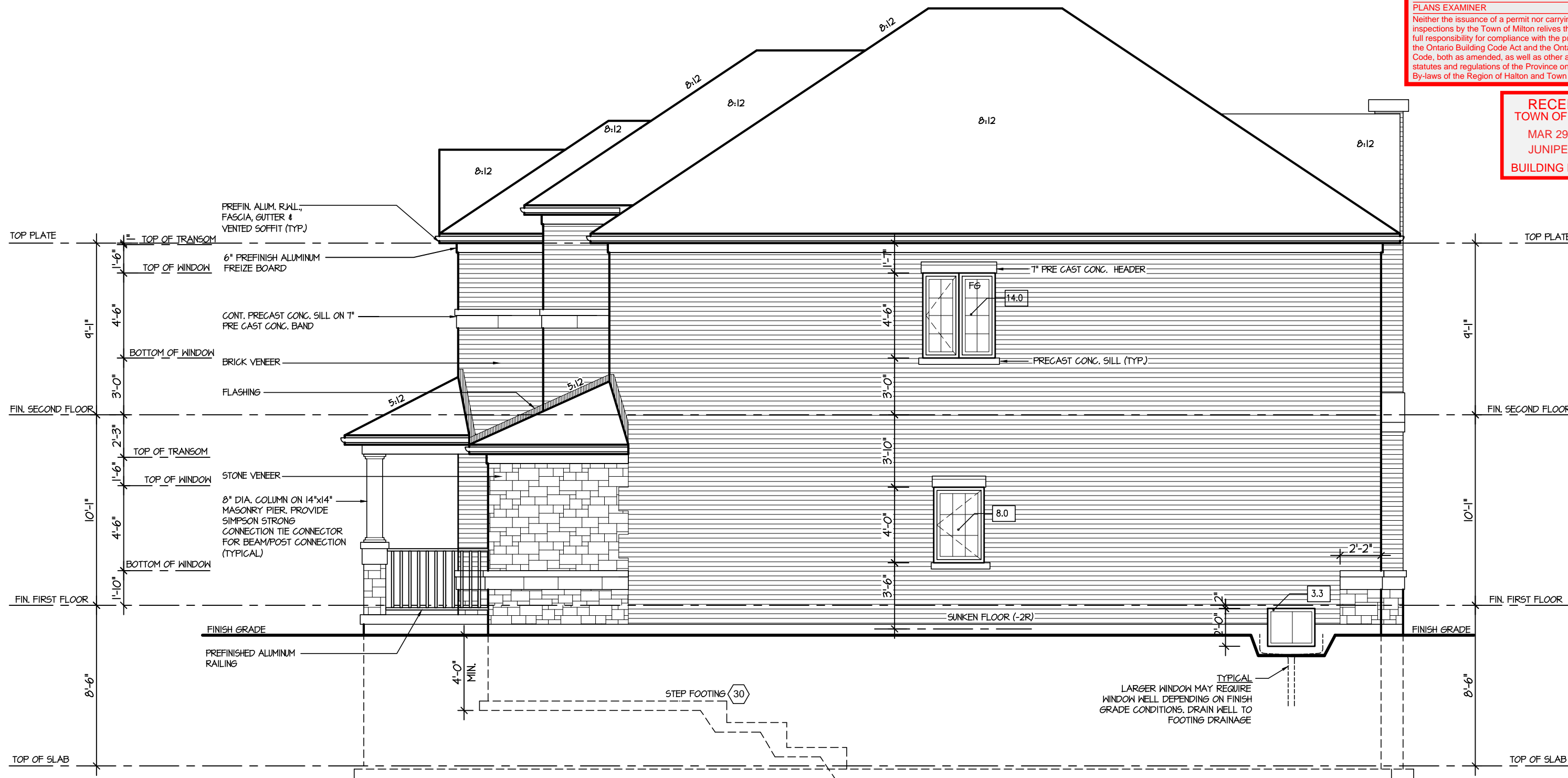
BY
V.G.
TYPE

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AREA 2977	PAGE No. 5-2
PROJECT 02-10-12	

Greenpark.

PROJECT NAME
LECCO RIDGE



RIGHT ELEVATION I

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	908	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	63.56	Sq. Ft.
ACTUAL GLAZED AREA	=	25.3	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL
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JUNIPER 12
ENERGY STAR

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VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**RIGHT SIDE ELEVATION
ELEV. 1**

SCALE
3/16"=1'-0"
DATE
JUL 2016

BY
V.G.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

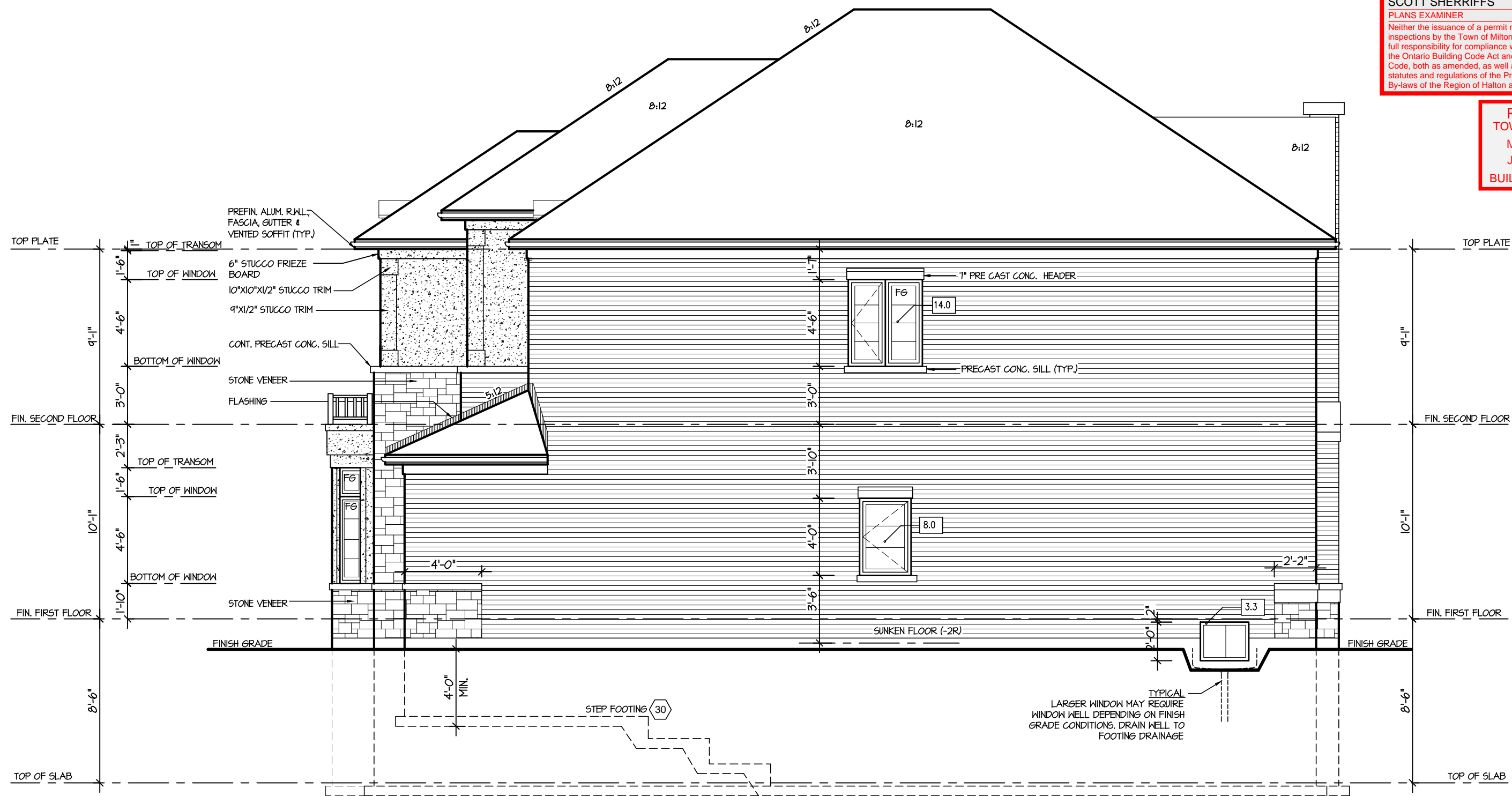
AREA
2977
PROJECT
02-10-12

PAGE No.
6

Greenpark.

PROJECT NAME
LECCO RIDGE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION



RIGHT ELEVATION 2

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	908	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 & 12 M SIDE YARD	=	63.56	Sq. Ft.
ACTUAL GLAZED AREA	=	25.3	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 12
ENERGY STAR

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VIKAS GAJJAR	28770	
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE	
RIGHT SIDE ELEVATION ELEV. 2	
SCALE	3/16"=1'-0"
DATE	JUL 2016
BY	V.G.
TYPE	

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AREA	2977
PAGE No.	6-2
PROJECT	02-10-12

PROJECT NAME	
LECCO RIDGE	



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TOWN OF MILTON
MAR 29, 2017
JUNIPER 12F
BUILDING DIVISION



REAR ELEVATION I

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JUNIPER 12
ENERGY STAR

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4.						SCALE	3/16"=1'-0"	BY	V.G.	AREA	2977		PAGE No.	7
3.						DATE	JUL 2016	TYPE		PROJECT	02-10-12			
2.														
1.	ISSUED FOR REVIEW	OCT 2016												
REVISIONS														

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REAR ELEVATION 2

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 12
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4.			QUALIFICATION INFORMATION	8700 DUFFERIN ST.	REAR ELEVATION			
3.			Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	CONCORD, ONTARIO	SCALE	BY	AREA	7-2
2.				L4K 456	3/16"=1'-0"	V.G.	2977	
1.	ISSUED FOR REVIEW	OCT 2016	VIKAS GAJJAR	P (416) 736-4096	DATE	TYPE	PROJECT	
REVISIONS			NAME	SIGNATURE	JUL 2016		02-10-12	LECCO RIDGE
			28770	BCIN				
				F (905) 660-0746				

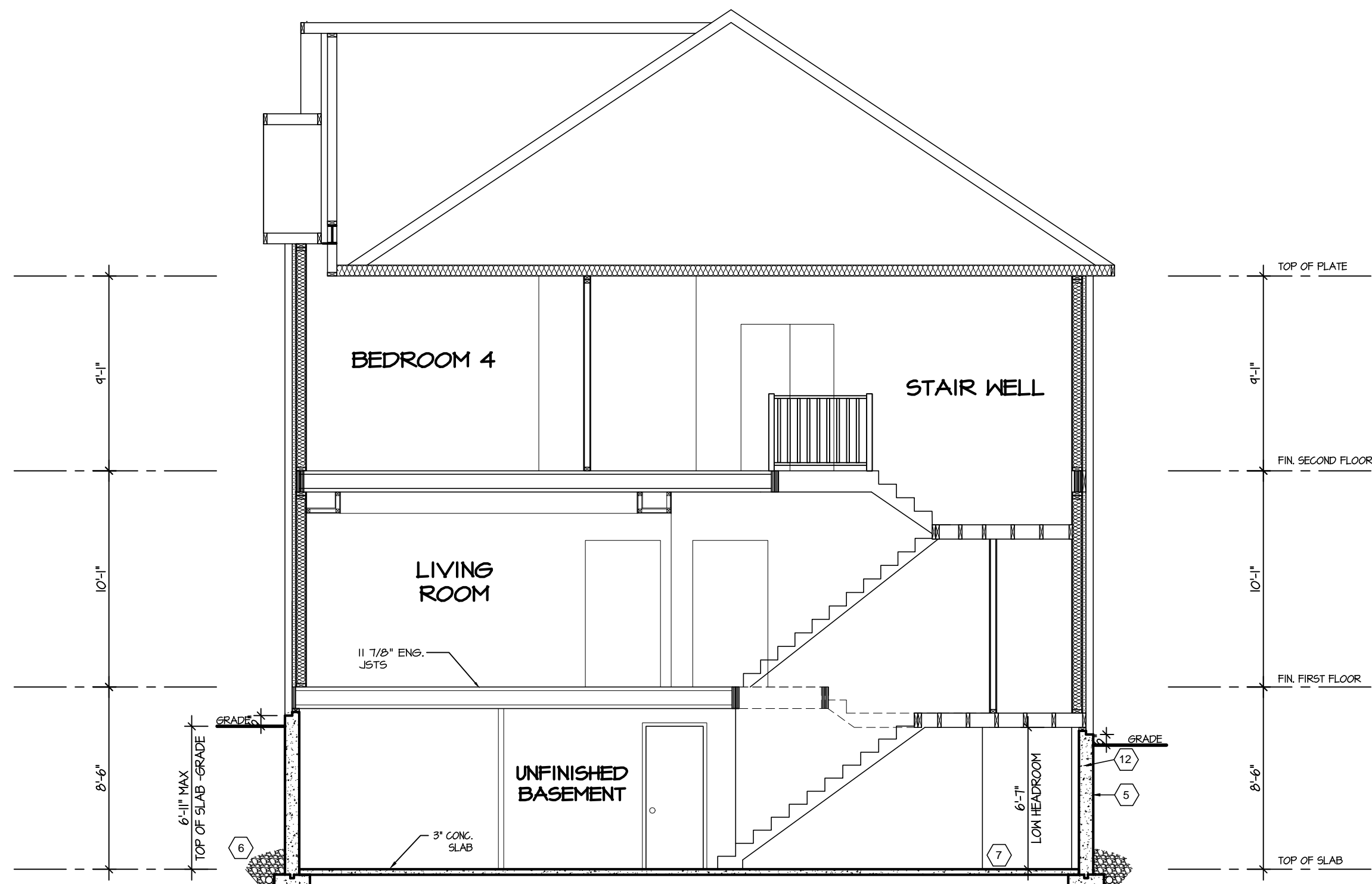
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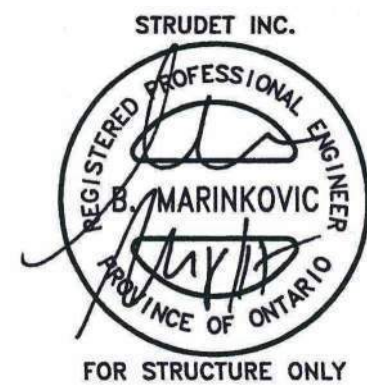
MAR 29, 2017

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BUILDING DIVISION



SECTION A-A



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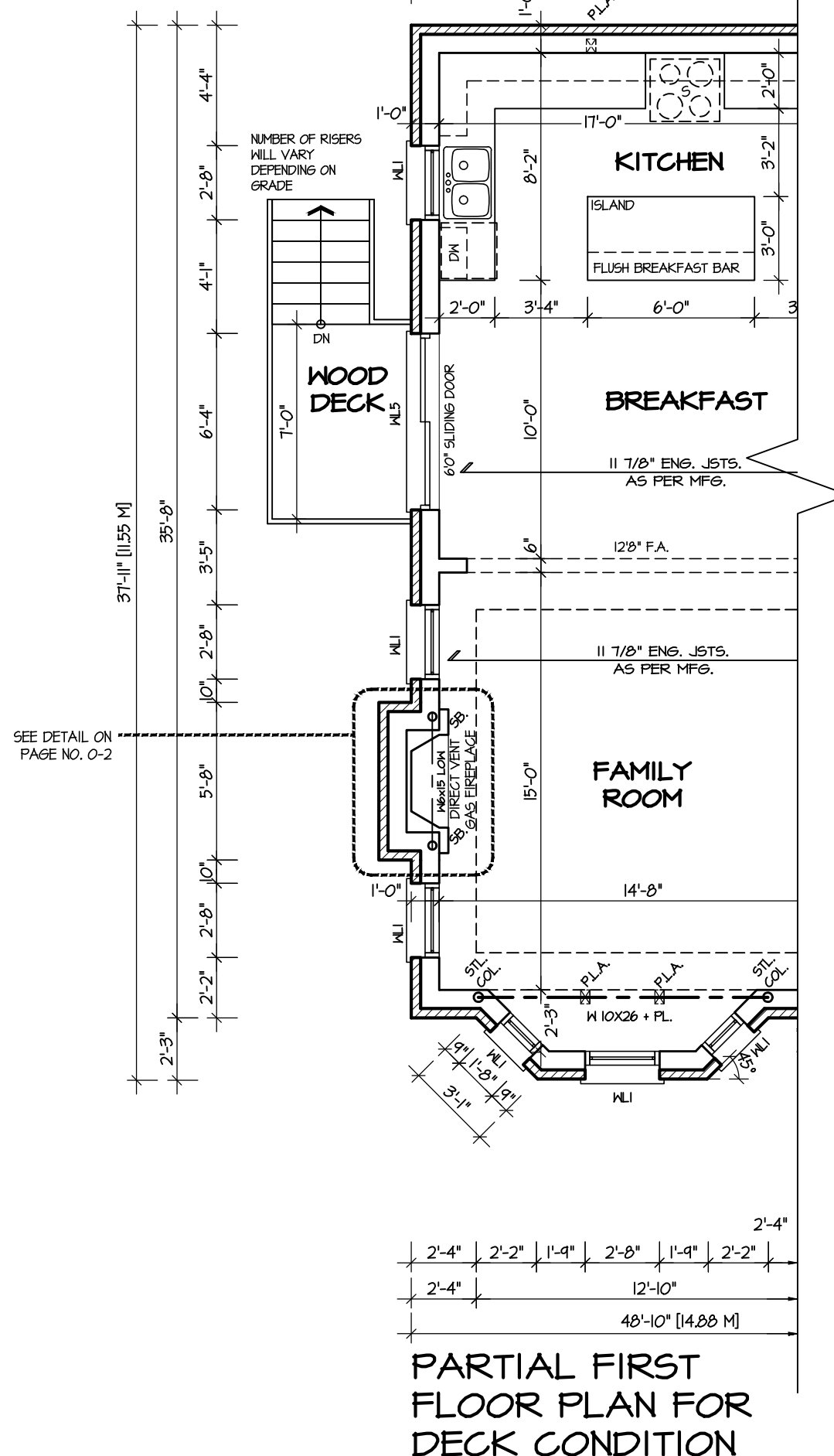
JUNIPER 12

ENERGY STAR

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4.					CROSS SECTION					PROJECT NAME
3.					SCALE	BY	AREA	PAGE No.		
2.					3/16"=1'-0"	V.G.	2977	8		
1.	ISSUED FOR REVIEW				DATE	TYPE	PROJECT			
REVISIONS									LECCO RIDGE	



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4.					DECK PLANS				
3.					SCALE	BY	AREA	PAGE No.	
2.					3/16"=1'-0"	V.G.	2977	9	
1.	ISSUED FOR REVIEW				OCT 2016	DATE	TYPE	PROJECT	
REVISIONS			JUL 2016		02-10-12				

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REAR ELEVATION I

DECK DETAILS
See standard details pages 8 and 8-2 for additional deck construction details



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4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY V.G.	AREA 2977	PAGE No. 9-2
3.						DATE JUL 2016	TYPE	PROJECT 02-10-12	
2.									
1.	ISSUED FOR REVIEW	OCT 2016	VIKAS GAJJAR NAME SIGNATURE	28770 BCIN					PROJECT NAME LECCO RIDGE
REVISIONS									



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REAR ELEVATION 2

DECK DETAILS
See standard details pages 8
and 8-2 for additional deck
construction details

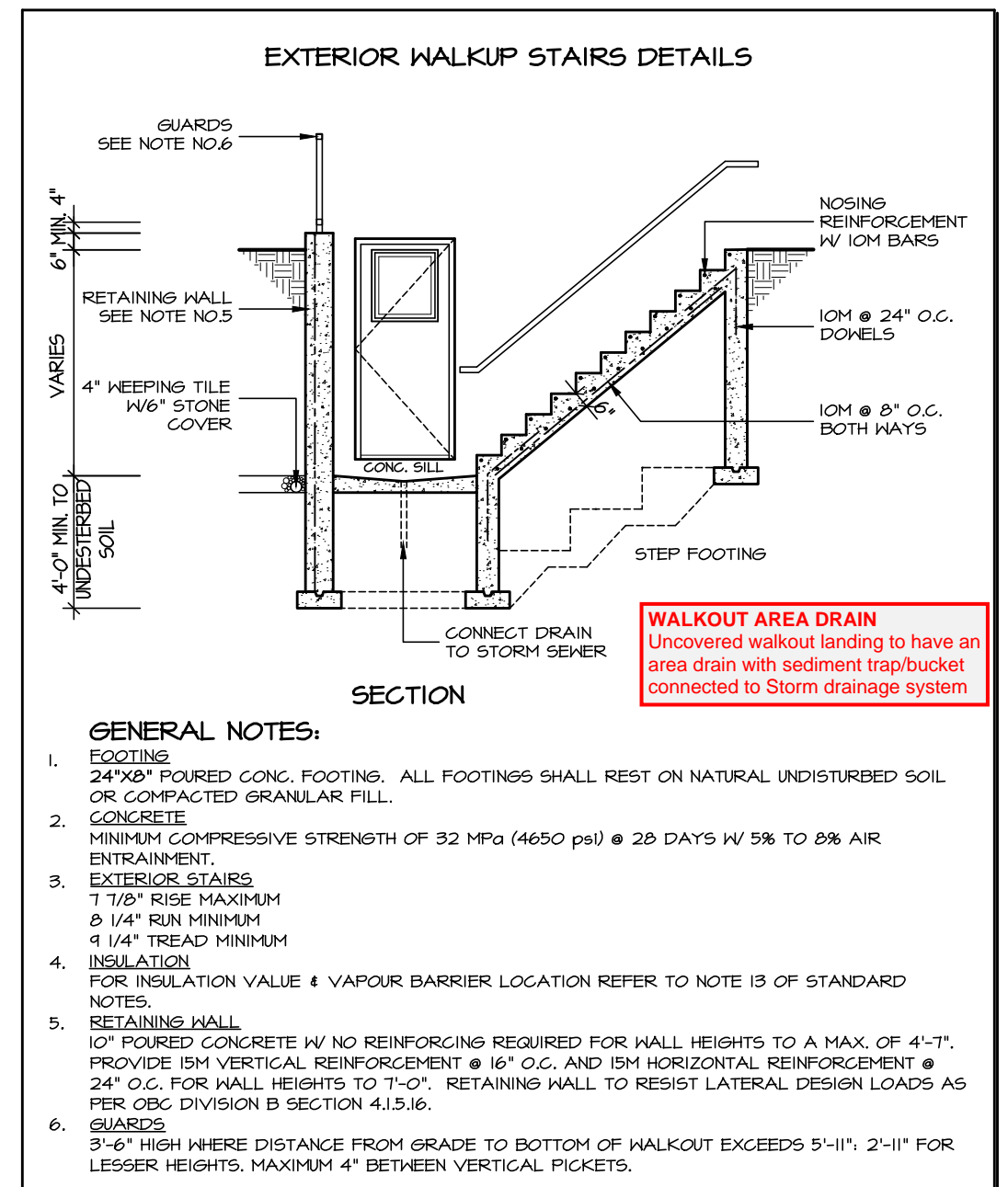
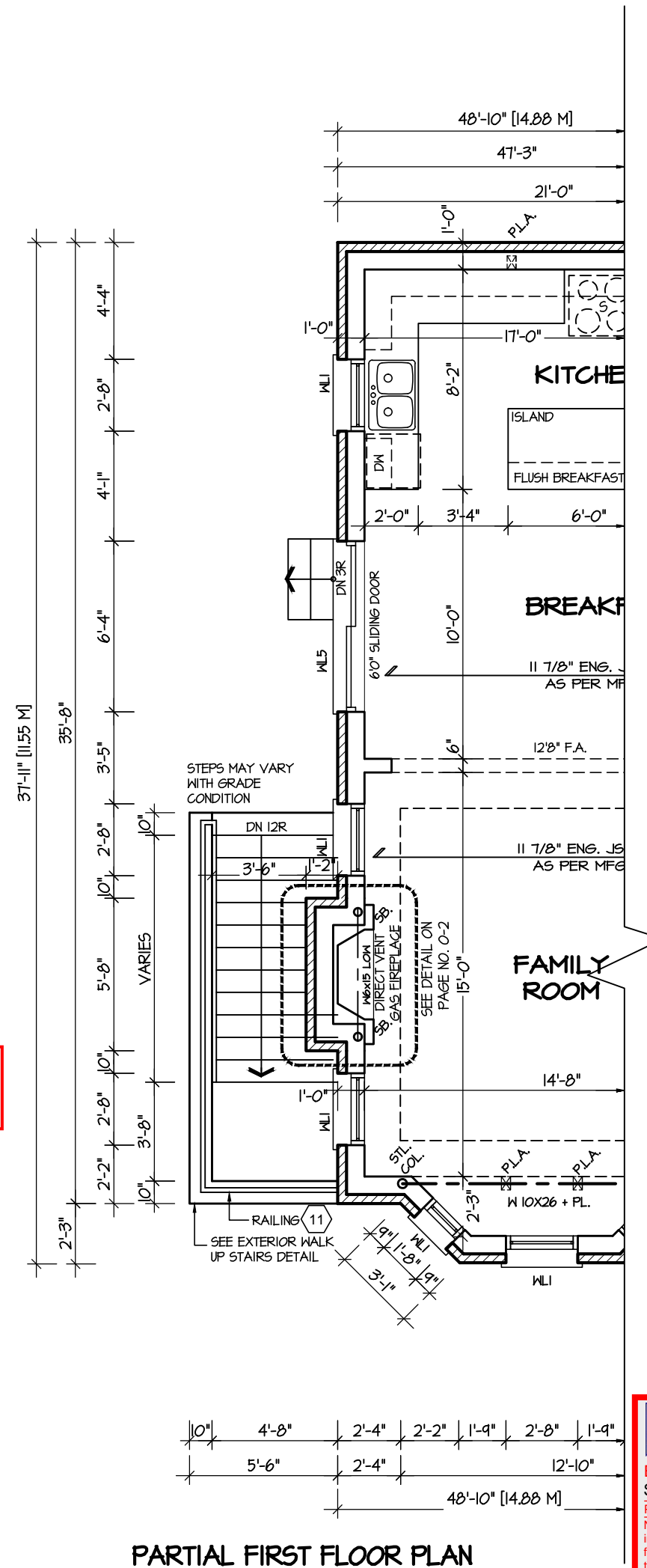
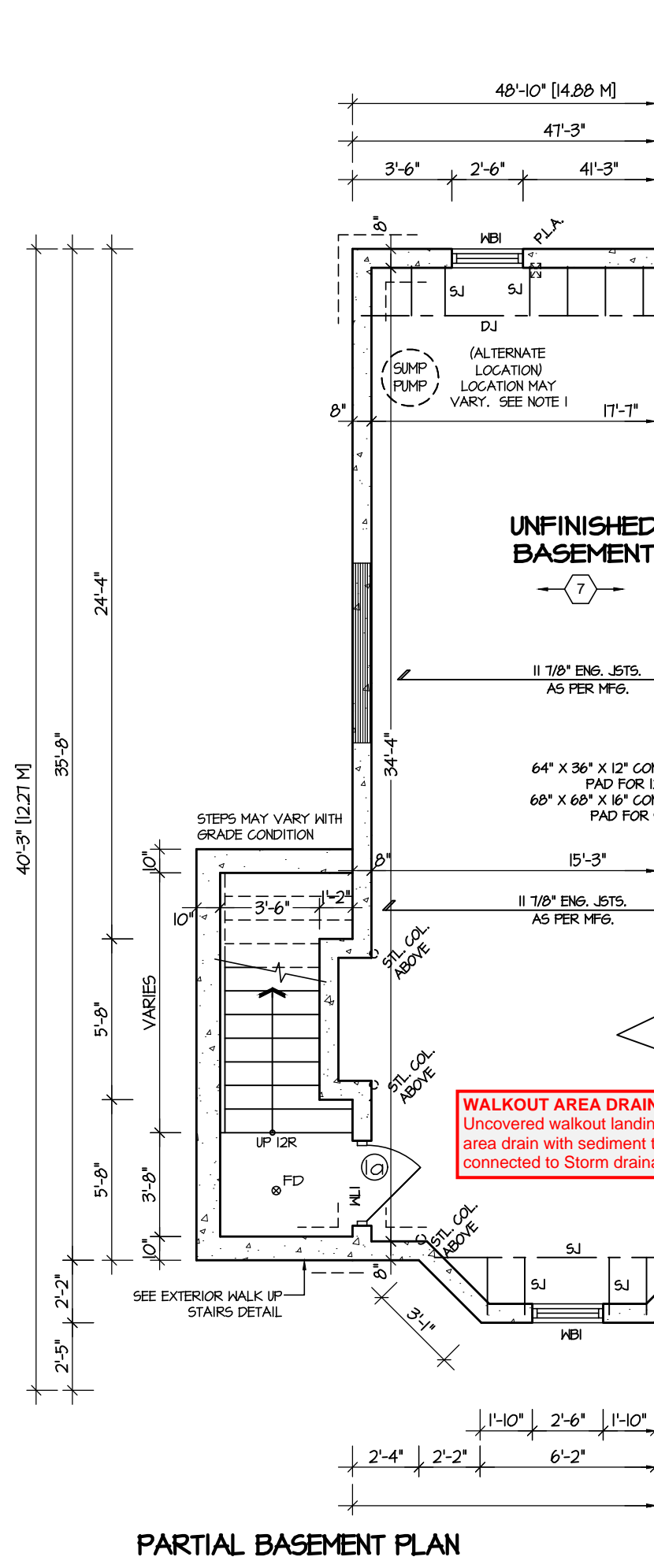
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4.						DECK ELEVATION 2					<div><div>AREA2977</div><div>PAGE No.</div><div>9-2A</div></div>
3.						SCALE 3/16"=1'-0"	BY V.G.				
2.						DATE JUL 2016	TYPE	PROJECT 02-10-12			
1.	ISSUED FOR REVIEW	OCT 2016									
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WALKOUT BSMT. INSULATION
See standard details page 12 for
required perimeter slab insulation
for walkout basement condition

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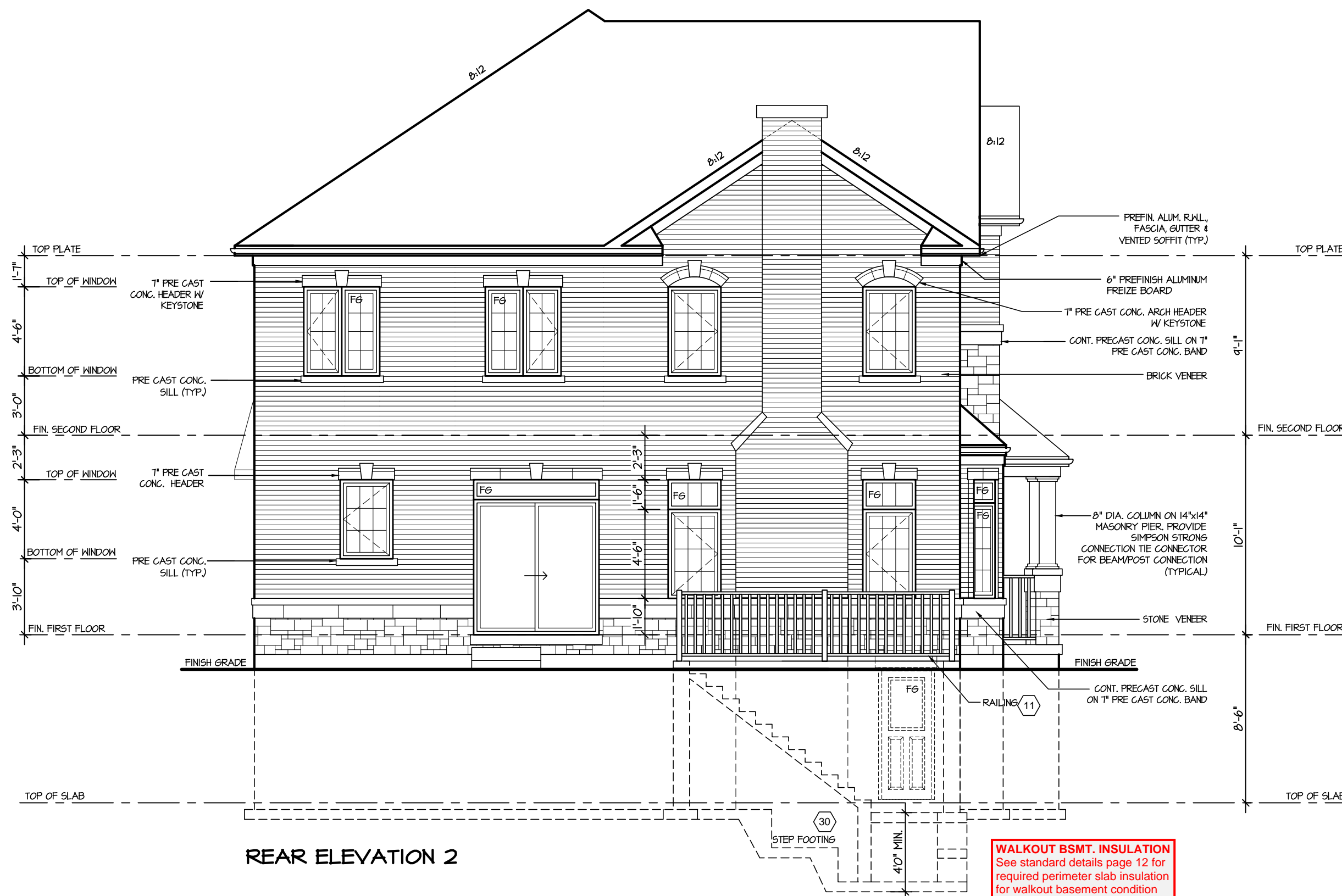
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4.						WALK UP BASEMENT				
3.						SCALE	BY	AREA	PAGE No.	
2.						3/16"=1'-0"	V.G.	2977		
1.	ISSUED FOR REVIEW	OCT 2016				DATE	TYPE	PROJECT	10	
REVISIONS			JUL 2016		02-10-12	LECCO RIDGE				

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3.					SCALE	BY	AREA	PAGE No.	
2.					3/16"=1'-0"	V.G.	2977	10-2	
1.	ISSUED FOR REVIEW				OCT 2016	DATE	PROJECT		
REVISIONS				JUL 2016	02-10-12			PROJECT NAME	LECCO RIDGE