

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L)
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

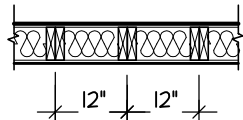
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

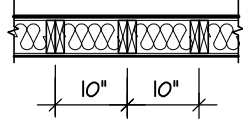
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

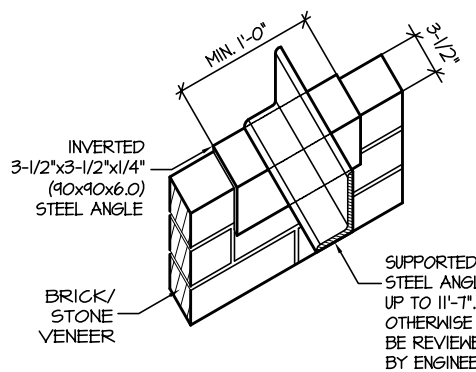
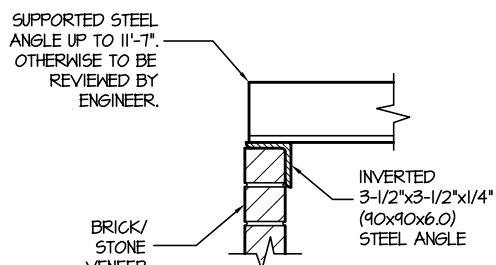
TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL



INVERTED STEEL
ANGLE DETAIL

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1307	Sq. Ft.
SECOND FLOOR AREA	=	1648	Sq. Ft.
TOTAL FLOOR AREA	=	2955	Sq. Ft.
		274.53	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2955	Sq. Ft.
		274.53	Sq. M.
GROUND FLOOR COVERAGE	=	1307	Sq. Ft.
GARAGE COVERAGE / AREA	=	399	Sq. Ft.
PORCH COVERAGE / AREA	=	140	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1846	Sq. Ft.
		171.50	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1706	Sq. Ft.
		158.49	Sq. m.

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1289	Sq. Ft.
SECOND FLOOR AREA	=	1682	Sq. Ft.
TOTAL FLOOR AREA	=	2971	Sq. Ft.
		276.02	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2971	Sq. Ft.
		276.02	Sq. M.
GROUND FLOOR COVERAGE	=	1289	Sq. Ft.
GARAGE COVERAGE / AREA	=	399	Sq. Ft.
PORCH COVERAGE / AREA	=	324	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	2012	Sq. Ft.
		186.92	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1688	Sq. Ft.
		156.82	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT
SHALL CONFORM TO THE FOLLOWING

2012 ENERGY STAR V-12.7

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 29/IV 1.4)
SPACE HEATING EQUIPMENT MINIMUM ARIE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/ALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

JUNIPER 11		ELEV.1		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	841.58	78.74	121.66	11.30	14.35 %
LEFT SIDE	1068.62	99.28	221.78	20.60	20.75 %
RIGHT SIDE	991.25	92.09	49.25	4.58	4.97 %
REAR	805.29	74.81	155.28	14.43	19.28 %
TOTAL	3712.74	344.93	547.97	50.91	14.76 %

JUNIPER 11		ELEV.2		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	819.08	76.10	125.80	11.69	15.36 %
LEFT SIDE	1068.62	99.28	248.38	23.08	23.24 %
RIGHT SIDE	984.33	91.45	49.25	4.58	5.00 %
REAR	805.29	74.81	155.28	14.43	19.28 %
TOTAL	3677.32	341.63	578.71	53.76	15.74 %

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 11F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017

PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

GENERAL NOTES/CONSTRUCTION DETAILS

Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

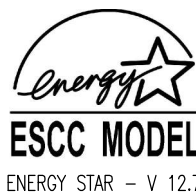
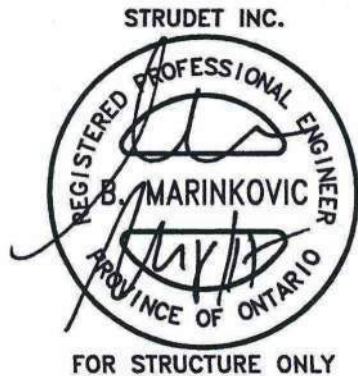
TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE

ZONING: APPROVED
ROBIN CAMPBELL APR 22, 2017

ZONING OFFICER DATE

RECEIVED
TOWN OF MILTON

MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION



It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

JUNIPER 11
ENERGY STAR



PROJECT NAME
LECCO RIDGE

5.		
4.		
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1.	ISSUED FOR REVIEW	OCT 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

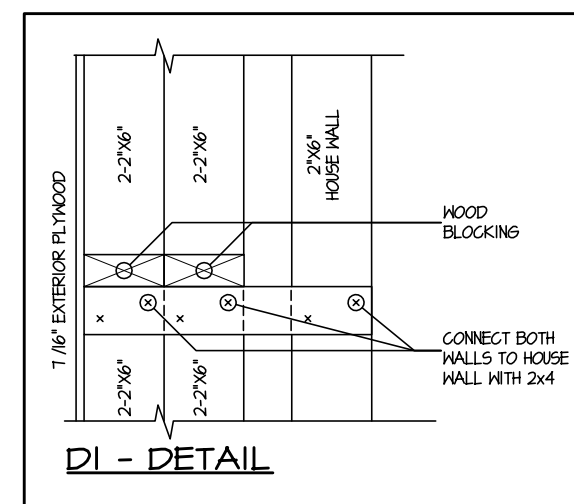
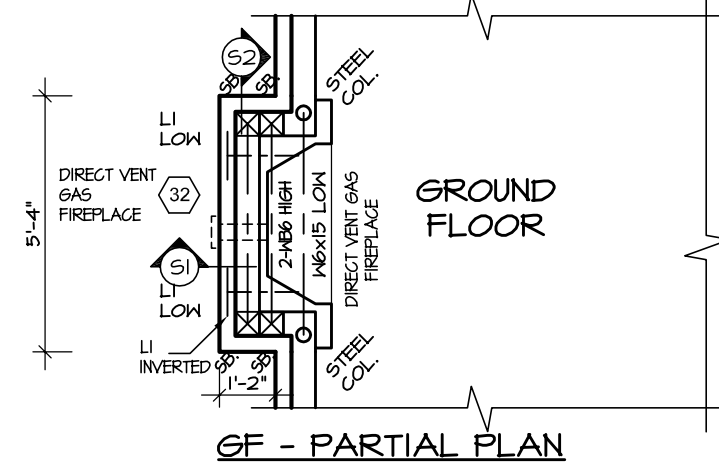
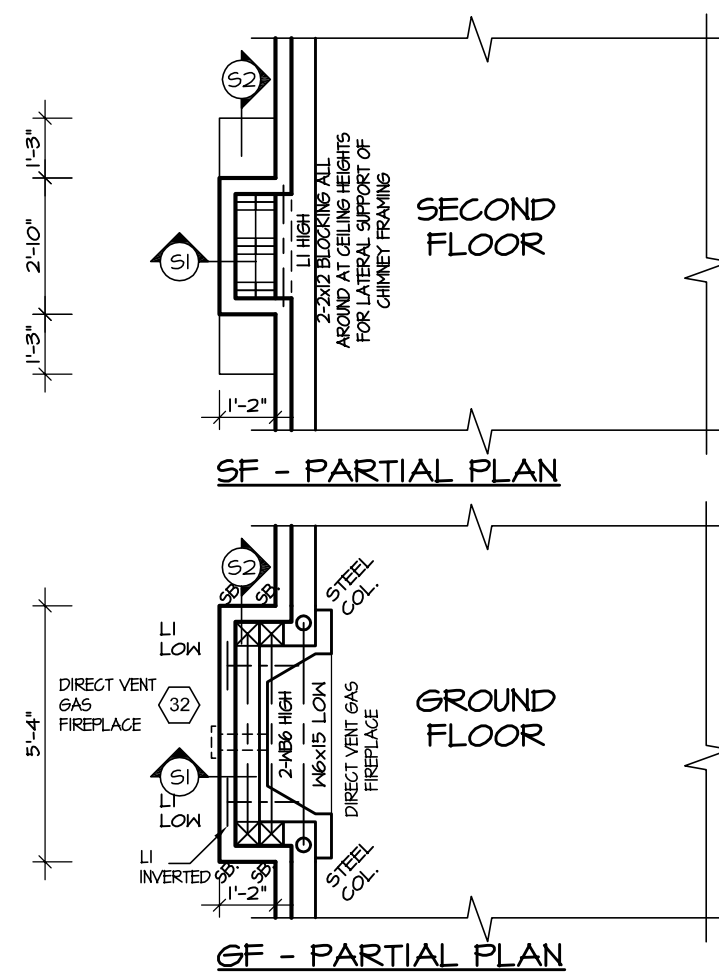
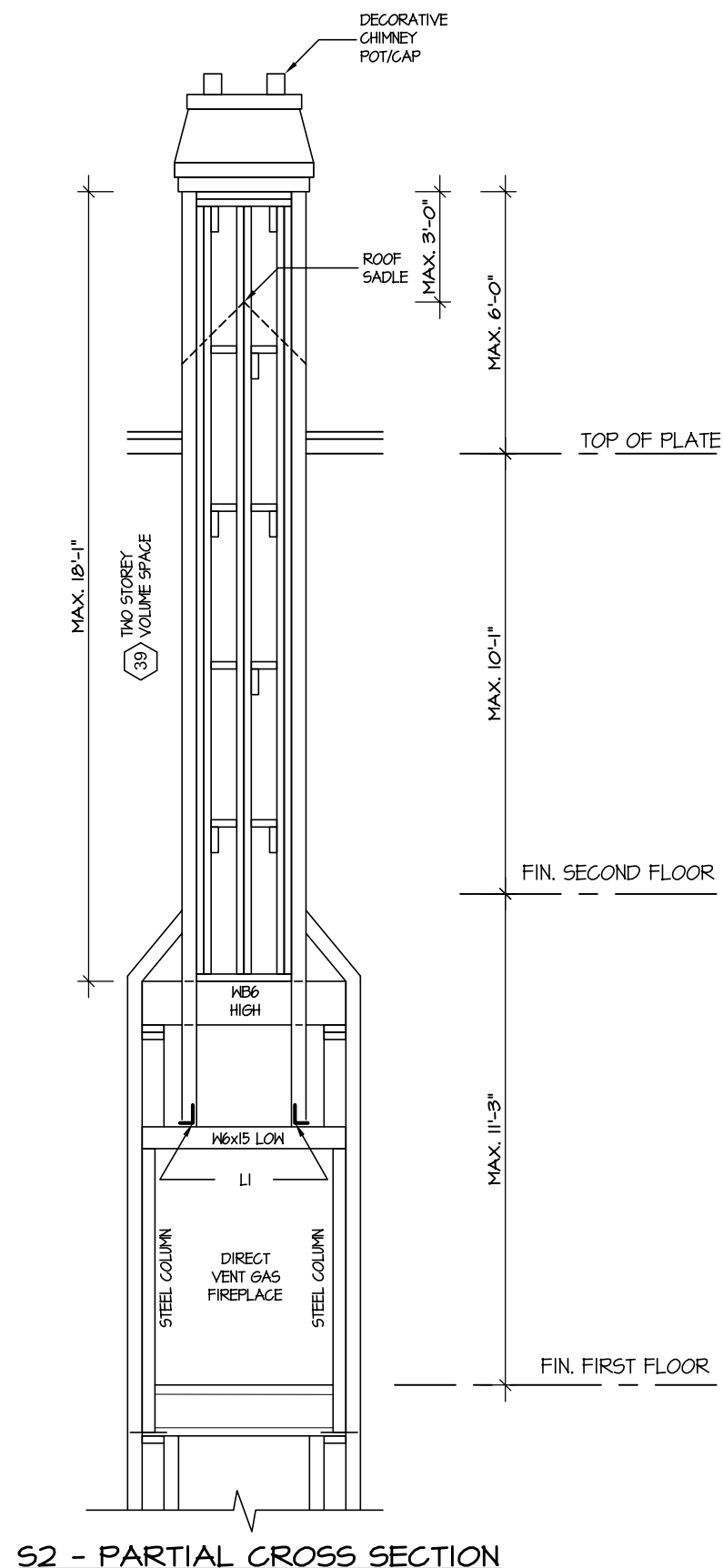
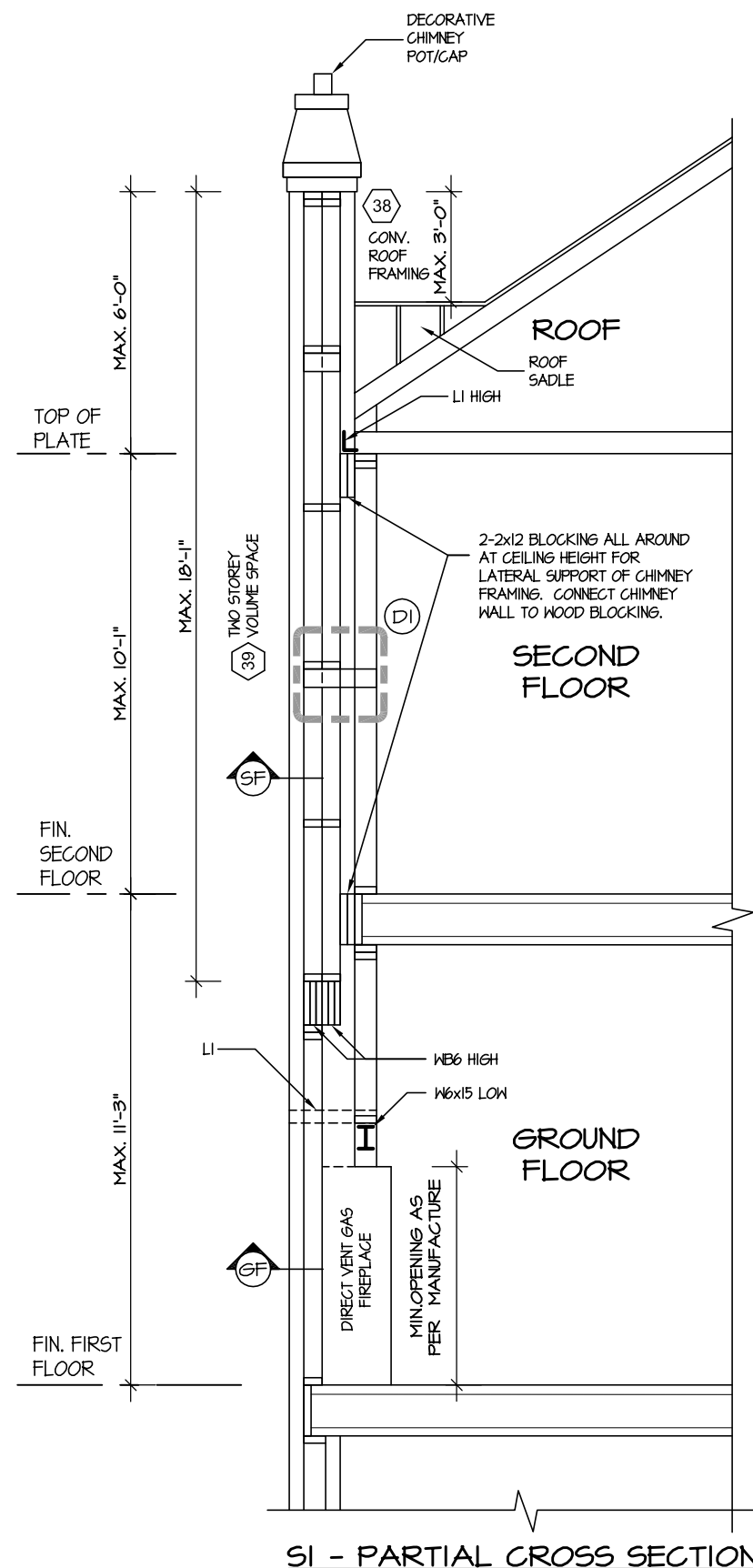
VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE	
AREA CHARTS	
SCALE	3/16"=1'-0"
DATE	JUL 2016
BY	V.G.
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	2955
PAGE No.	0
PROJECT	02-10-11



NOTES:

CONVENTIONAL ROOF FRAMING

FOR MAX. 2240mm (7'-4") SPAN,
38x89 (2"x4") RAFTERS @400mm
(16") o.c.. FOR MAX. 3530mm (11'-7")
SPAN, 38x140 (2"x6") RAFTERS
@400mm (16") o.c.. RIDGE BOARD
TO BE 51mm (2") DEEPER. 38x39
(2"x4") COLLAR TIES AT MIDSPANS.
CEILING JOISTS TO BE 38x89
(2"x4") @400mm (16") o.c. FOR MAX.
2830mm (9'-3") SPAN & 38x140
(2"x6") @ 400 (16") o.c. FOR MAX.
4450mm (14'-7") SPAN. RAFTERS
FOR BUILT-UP ROOF TO BE 38x89
(2"x4") @600mm (24") o.c. WITH A
38x89 (2"x4") CENTER POST TO THE
TRUSS BELOW, LATERALLY BRACED
@1800mm (6'-0") o.c. VERTICALLY.

FOR A MAXIMUM 5490mm (18'-0")
HEIGHT, PROVIDE 2-38x140
(2-2"x6") CONTINUOUS STUDS
@300mm (12") o.c. FOR BRICK AND
400mm (16") o.c. FOR SIDING.
PROVIDE SOLID WOOD BLOCKING
BETWEEN STUDS @1220mm (4'-0")
o.c. VERT. 1/16" EXT. PLYWOOD.



TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 11F MODEL

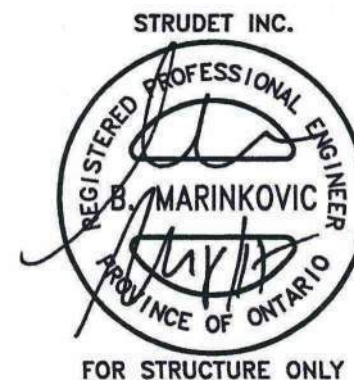
PLANS EXAMINER	DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton	

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILLTON

ARCHITECTURAL REVIEW & APPROVAL

John G. Williams Limited, Architects

JUNIPER 11



ENERGY STAR – V 12.1

FOR STRUCTURE ONLY

5.		
4.		
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1.	ISSUED FOR REVIEW	OCT 2016

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

SIGNATURE _____

28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

SHEET TITLE

CHIMNEY DETAIL

$$3/16"=1'-0"$$

DATE 11 11 2010

BY

TYPE	
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CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

2955

PROJECT

PAGE No.

2

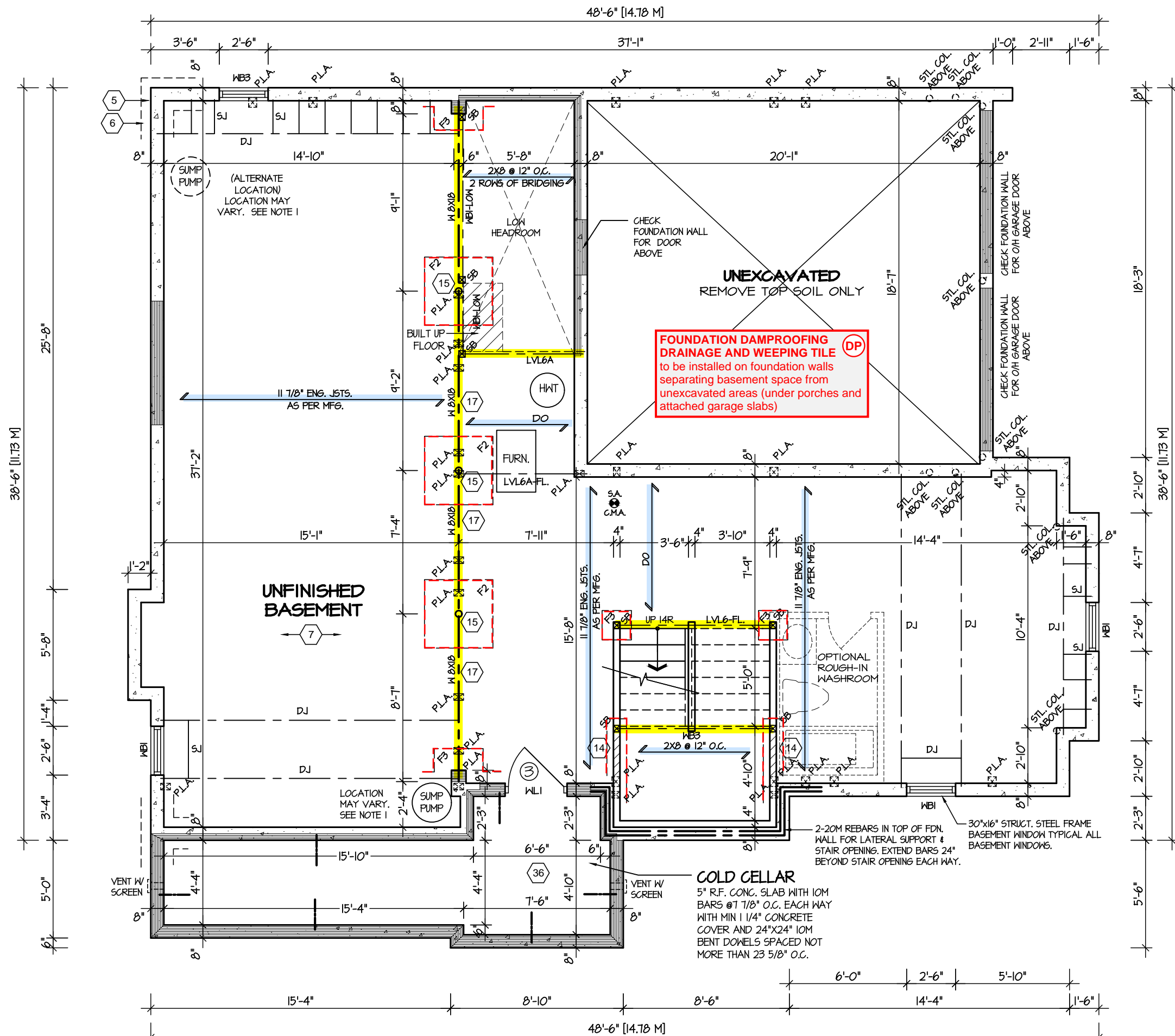
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PROJECT NAME	LECCO RIDGE
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION



BASEMENT FLOOR PLAN 'I'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

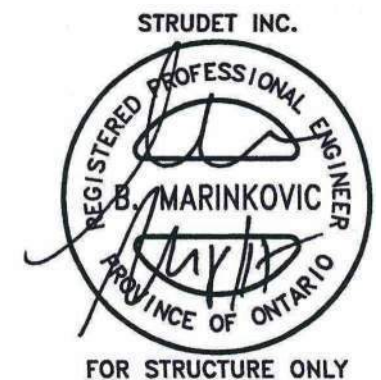
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR

5.		<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p>	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	 REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN ELEV. 1		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			PROJECT NAME LECCO RIDGE
4.					SCALE 3/16"=1'-0"	BY V.G.	AREA 2955	PAGE No. 1		
3.					DATE JUL 2016	TYPE	PROJECT 02-10-11			
2.										
1.	ISSUED FOR REVIEW				OCT 2016					
REVISIONS										



TOWN OF MILTON

PLANNING AND DEVELOPMENT

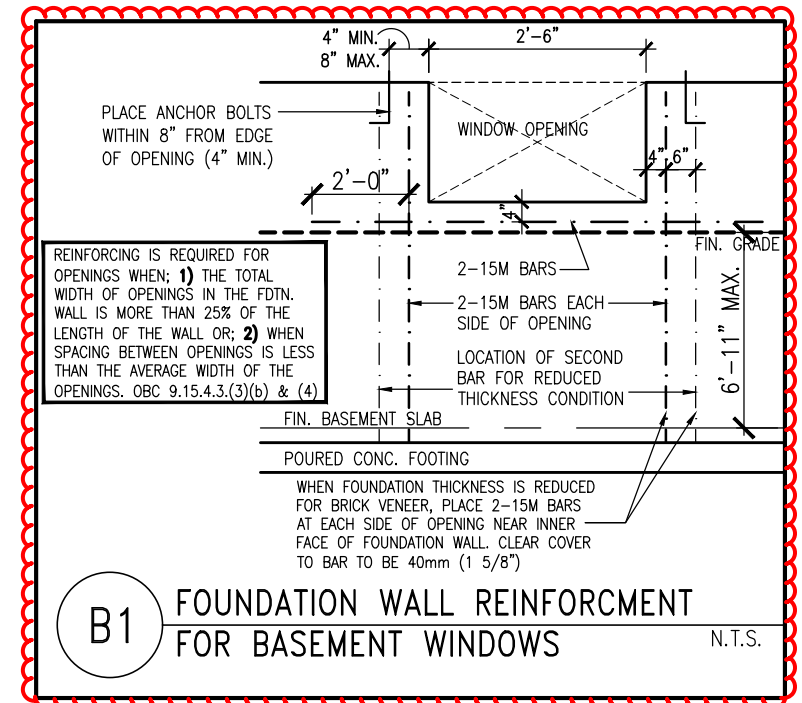
JUNIPER 11F MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS

APR 13, 2017

PLANS EXAMINER	DATE
<p>Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton</p>	



STRUDET INC.

FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL

MAR 2/0 2017

John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR



PROJECT NAME	LECCO RIDGE
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1.	ISSUED FOR REVIEW	OCT 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.

8700 DUFFERIN ST.

CONCORD, ONTARIO

L4K 4S6

P (416) 736-4096

F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
BASEMENT PLAN
ELEV. 2

SCALE

 $3/16"=1'-0"$

DATE 11 11 2016

	RV
--	----

"	V.G.
---	------

	TYPE
--	------

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER
PRINTS ARE NOT TO BE SCALED.

AREA

2955

PROJECT

PAGE No. _____

1

--	--

1-2

PROJECT NAME

LECCO RIDGE

TALL WALL CONSTRUCTION DETAILS
See two storey height wall construction details on page 0 of this drawing set

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

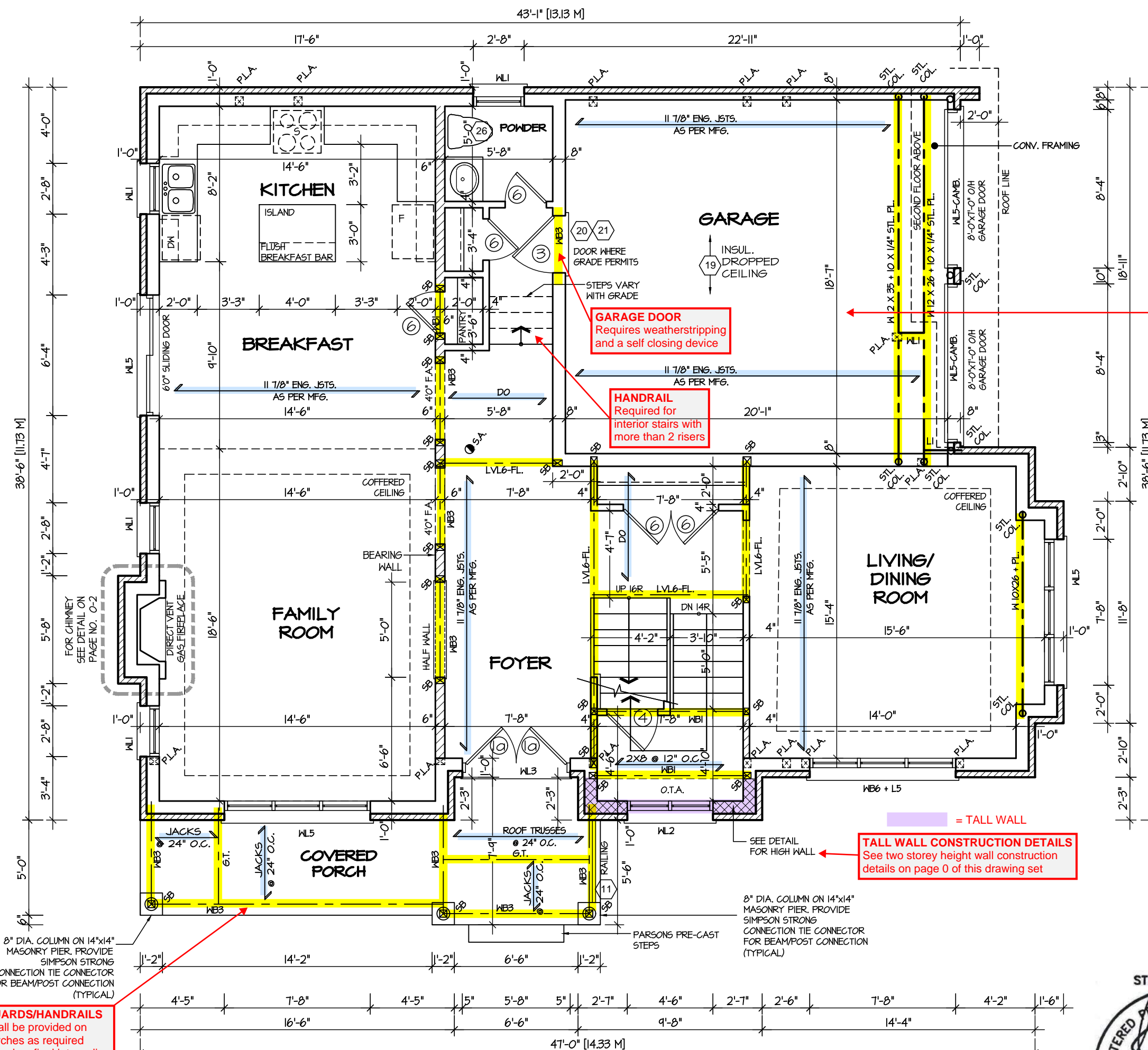
MAR 2/0 2017

John G. Williams Limited, Architect

JUNIPER 11



PROJECT NAME **LECCO RIDGE**



FIRST FLOOR PLAN "1"

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

5.			<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> <div>REGION DESIGN INC.</div>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div>
4.					FIRST FLOOR PLAN				
3.					ELEV. 1				
2.					SCALE	BY	AREA	PAGE No.	
1.	ISSUED FOR REVIEW	OCT 2016			3/16"=1'-0"	V.G.	2955	2	
REVISIONS			DATE	TYPE	PROJECT				
			JUL 2016		02-10-11				

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Ordinance and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

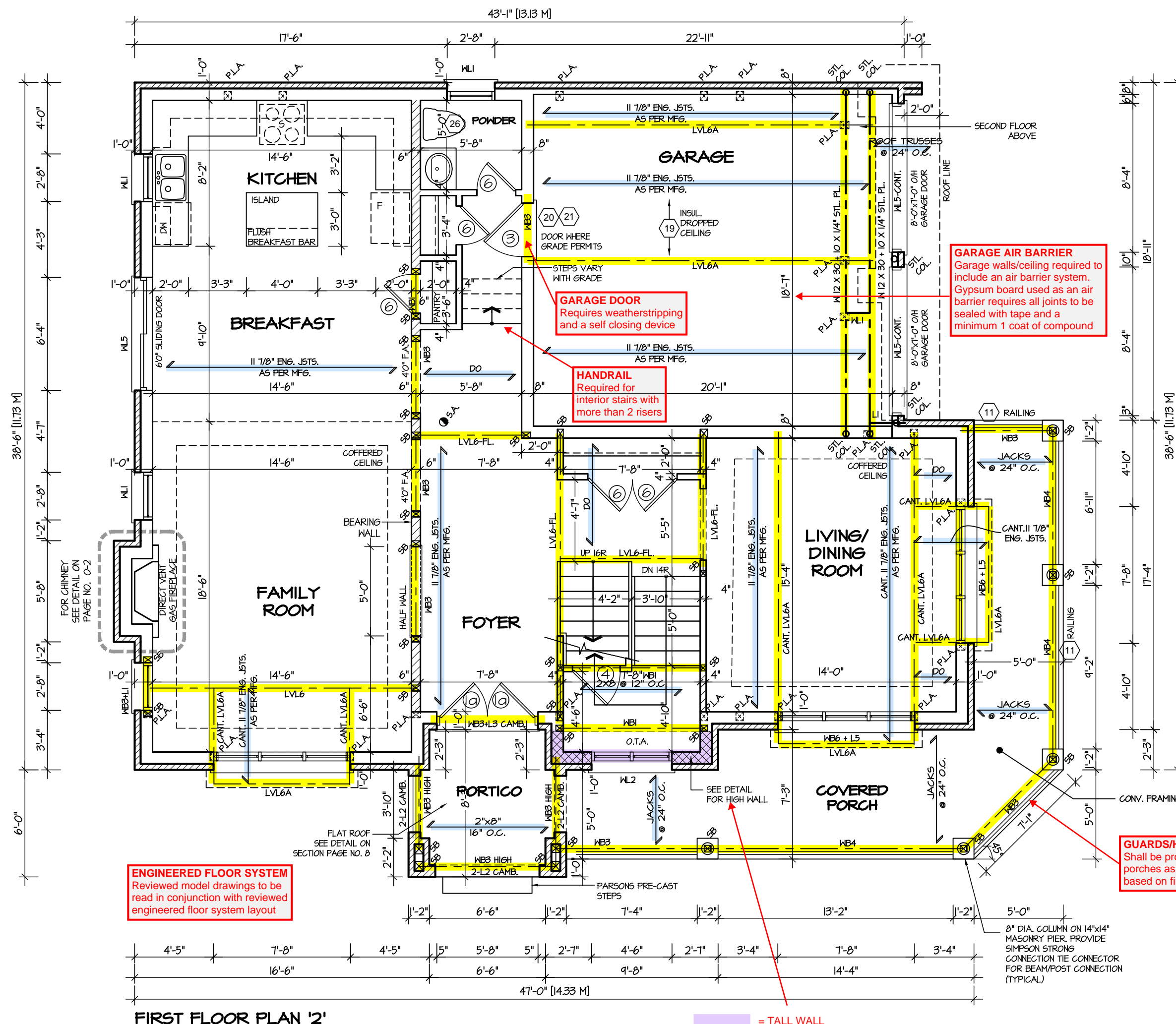
MAR 2/0 20Y

John G. Williams Limited, Architects

JUNIPER 11
ENERGY STAR



PROJECT NAME **LECCO RIDGE**



TALL WALL CONSTRUCTION DETAILS
See two storey height wall construction details on page 0 of this drawing set

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	OCT 2016
REVISIONS		

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QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGIONAL DESIGN INC.

SHEET TITLE
FIRST FLOOR PLAN
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JUL 2016

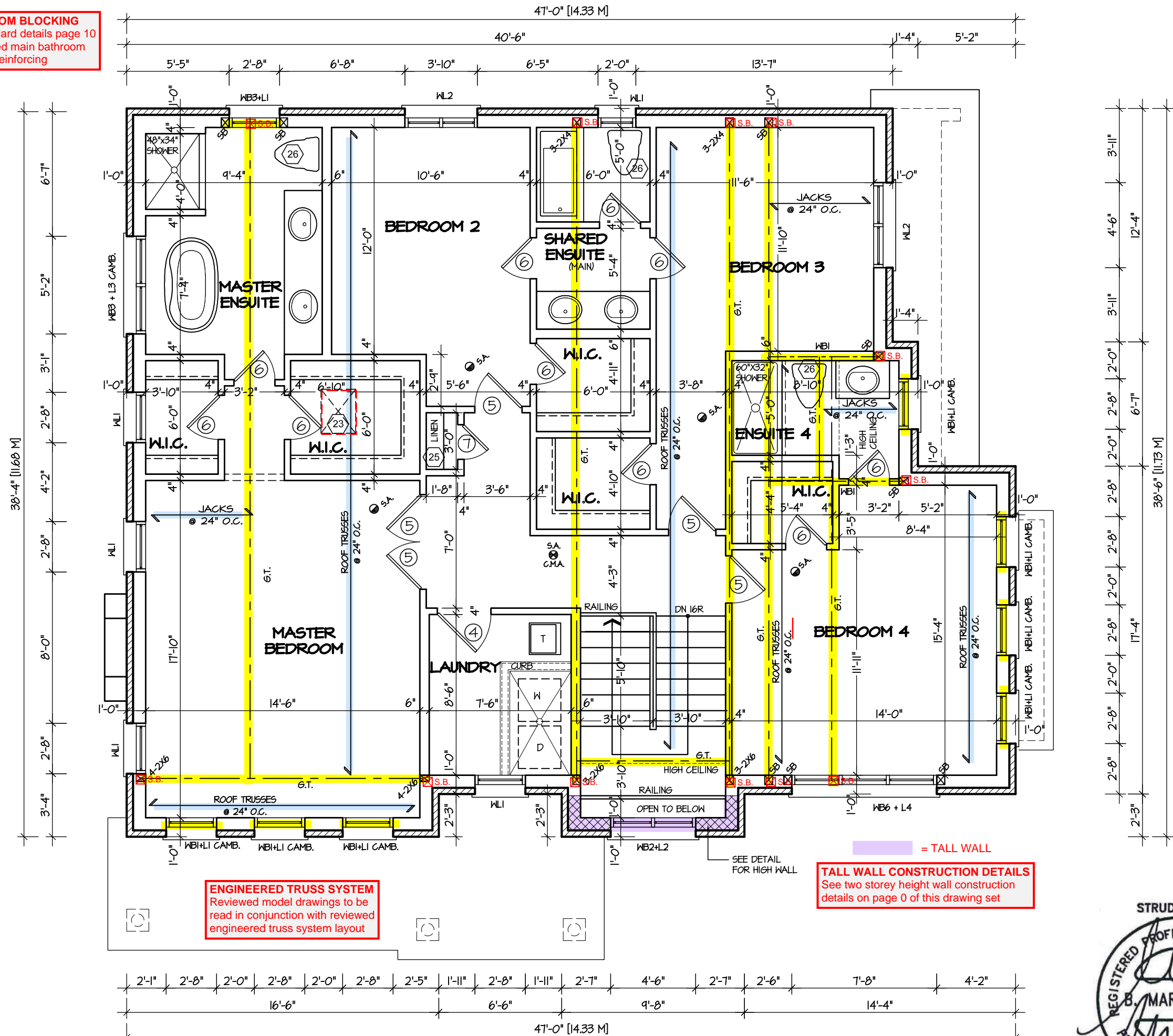
BY	V.G
TYPE	

CONTRACTOR SHALL CHECK ALL
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ANY DISCREPANCIES TO THE DESIGNER
PRINTS ARE NOT TO BE SCALED.

AREA	2955
PROJECT	03-10-14

PAGE No. 2-2

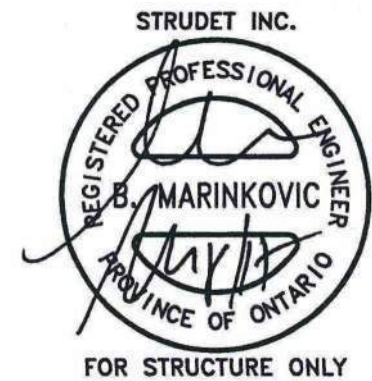
BATHROOM BLOCKING
See standard details page 10
for required main bathroom
grab bar reinforcing



ENGINEERED TRUSS SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered truss system layout

TALL WALL CONSTRUCTION DETAILS
See two storey height wall construction
details on page 0 of this drawing set

SECOND FLOOR PLAN '1'



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JUNIPER 11
ENERGY STAR



5.		
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NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE SECOND FLOOR PLAN ELEV. 1	
SCALE 3/16"=1'-0"	BY V.G.
DATE JUL 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2955	PAGE No. 3
PROJECT 02-10-11	

PROJECT NAME
LECCO RIDGE

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION



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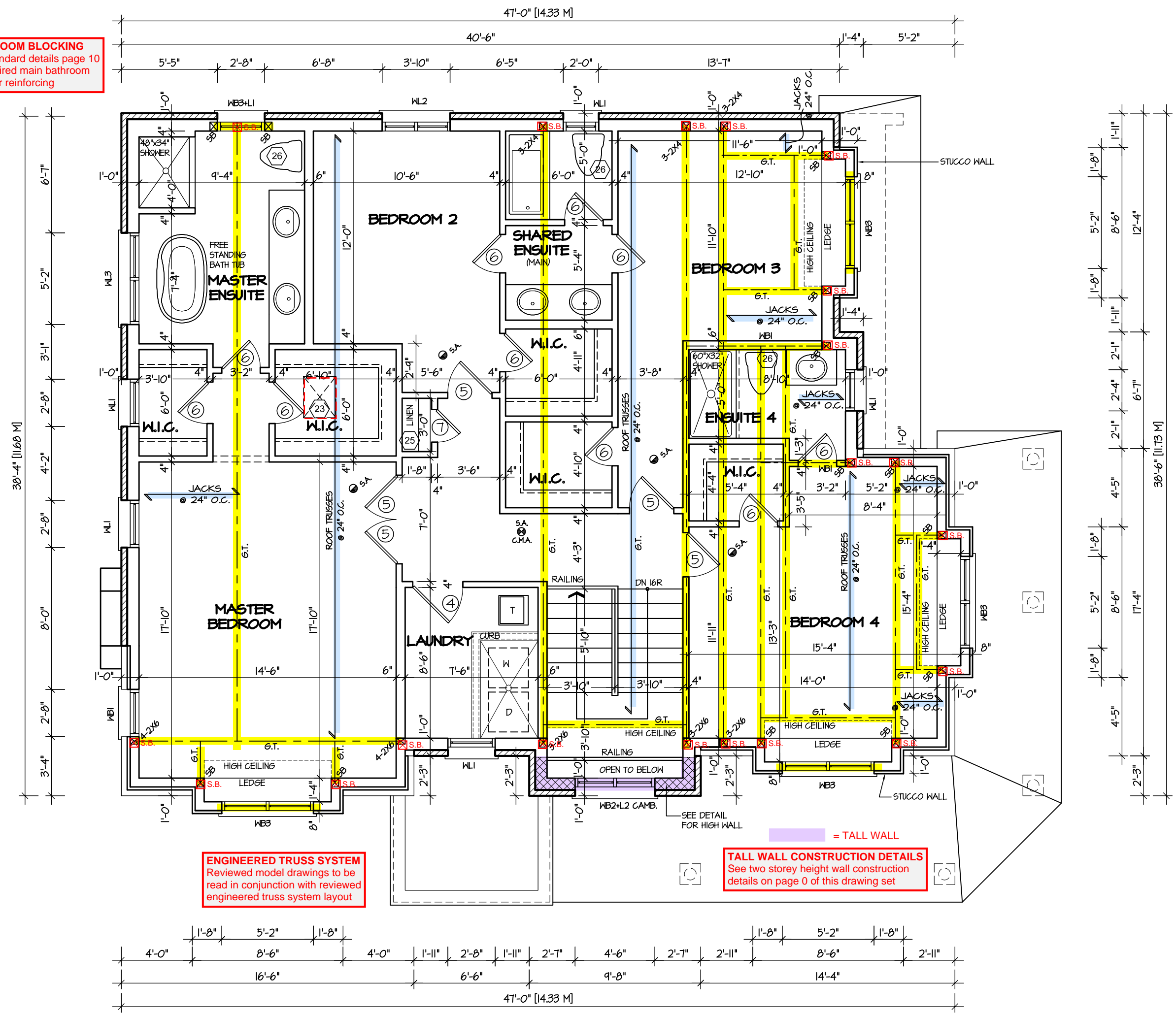
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 11

ENERGY STAR



PROJECT NAME
LECCO RIDGE



BATHROOM BLOCKING
See standard details page 10
for required main bathroom
grab bar reinforcing

ENGINEERED TRUSS SYSTEM
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read in conjunction with reviewed
engineered truss system layout

TALL WALL CONSTRUCTION DETAILS
See two storey height wall construction
details on page 0 of this drawing set

SECOND FLOOR PLAN '2'

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	OCT 2016
REVISIONS		

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE
SECOND FLOOR PLAN
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JUL 2016

BY
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2955

PAGE No.
3-2

PROJECT
02-10-11

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

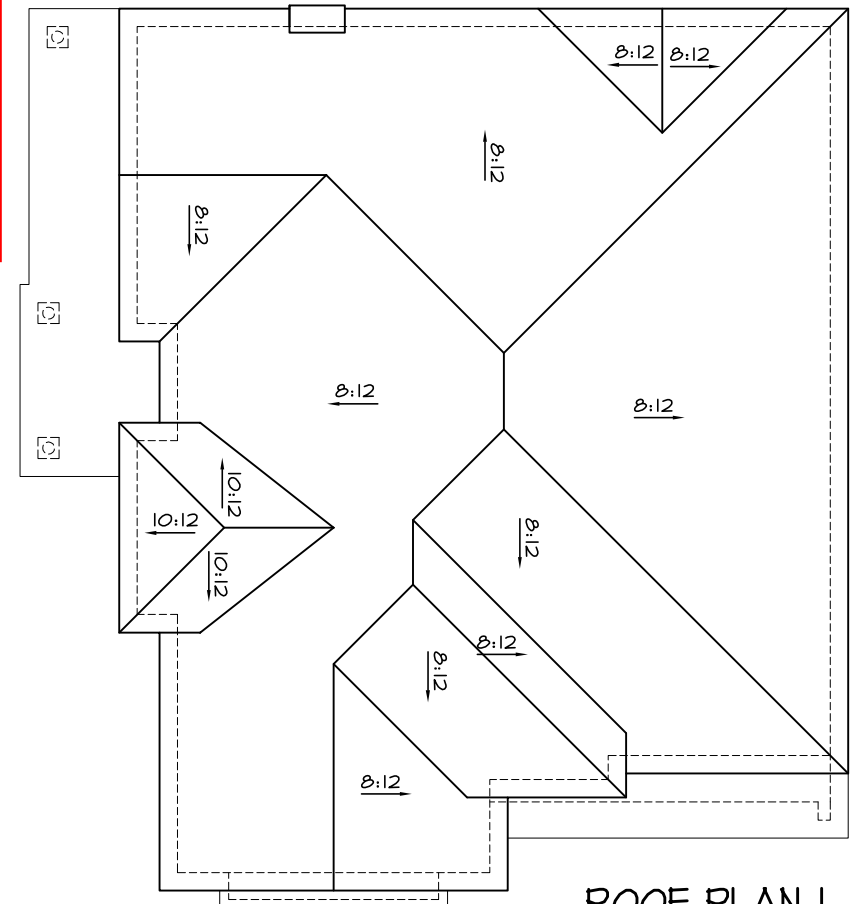


TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 11F MODEL

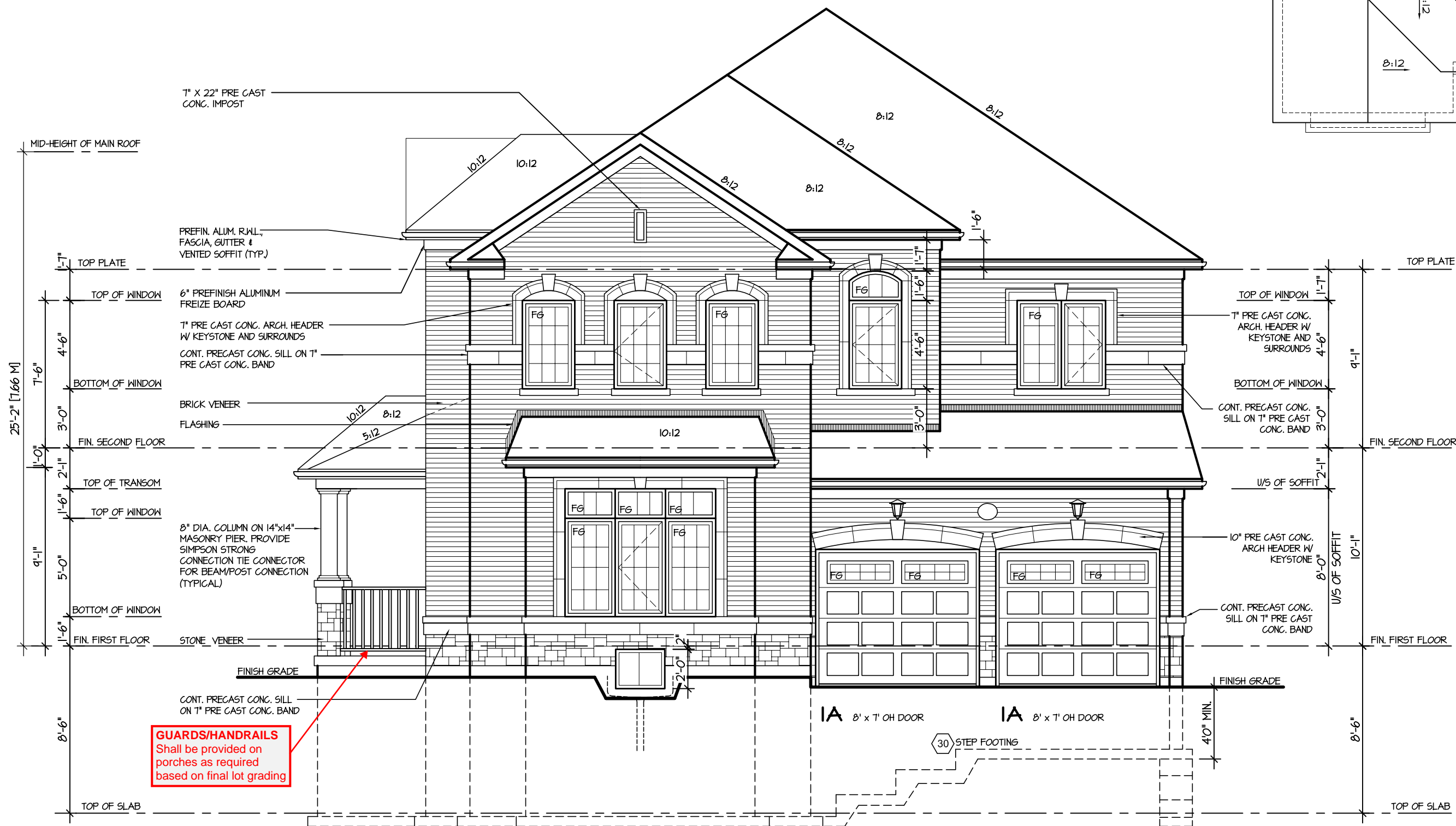
BUILDING: REVIEWED
SCOTT SHERRIFFS

APR 13, 2017
DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



ROOF PLAN I
Scale: N.T.S.



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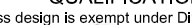
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

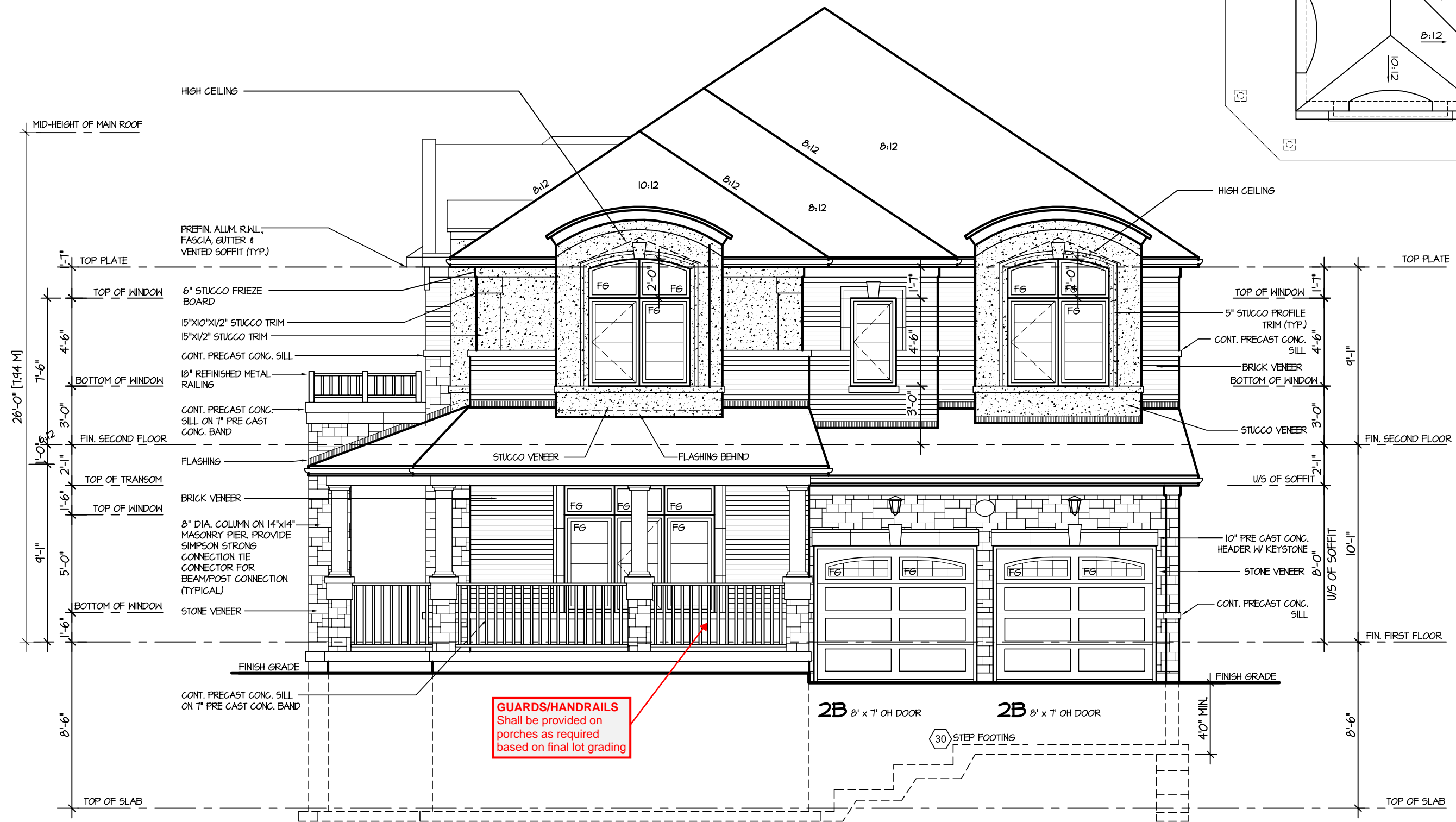
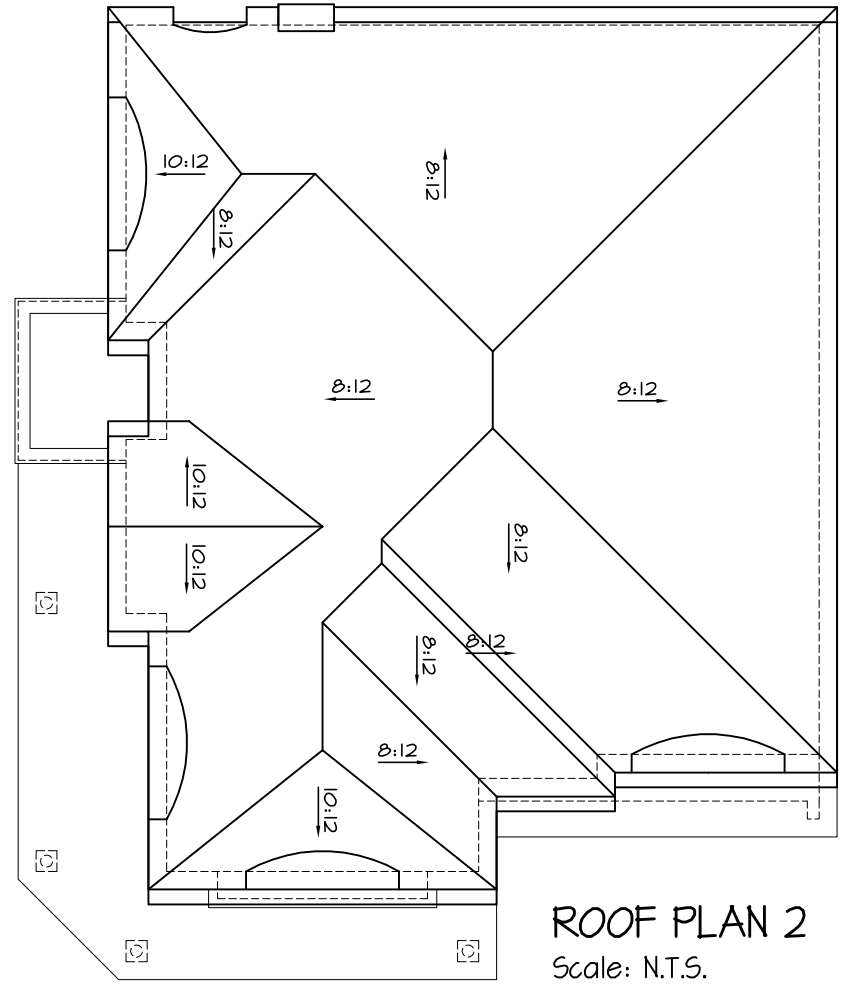
John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR

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4.					ELEV. 1								
3.					SCALE	3/16"=1'-0"	BY	V.G.	AREA	2955		PAGE No.	4
2.					DATE	JUL 2016	TYPE		PROJECT	02-10-11			
1.	ISSUED FOR REVIEW				OCT 2016	PROJECT							
REVISIONS										PROJECT NAME	LECCO RIDGE		

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 11F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton




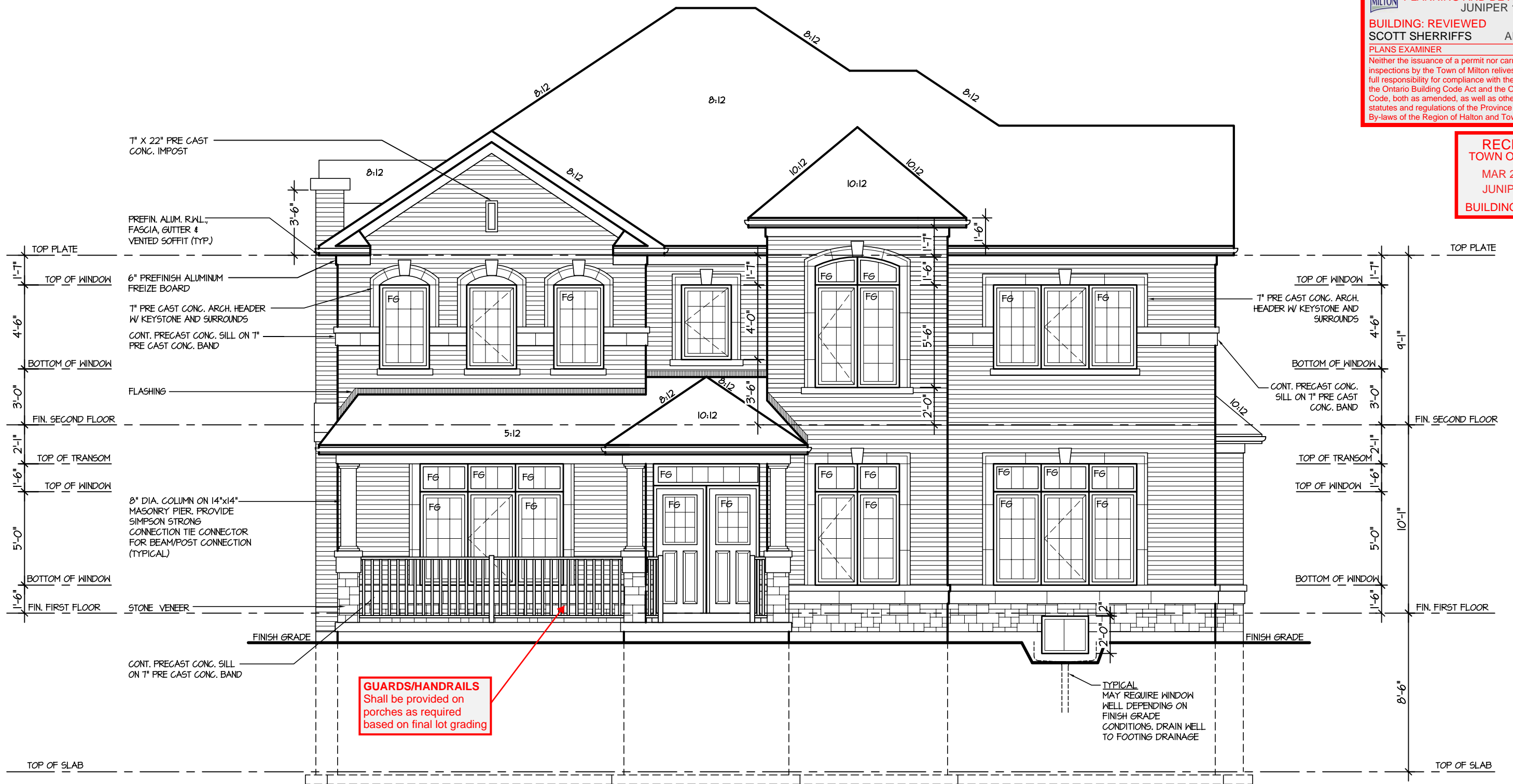
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR

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4.					SCALE	3/16"=1'-0"	BY	V.G.	AREA	2955	PAGE No.	4-2			
3.					DATE	JUL 2016	TYPE		PROJECT	02-10-11					
2.															
1.	ISSUED FOR REVIEW				OCT 2016										
REVISIONS															



FLANKAGE ELEVATION I

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR

5.		
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REVISIONS		

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VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

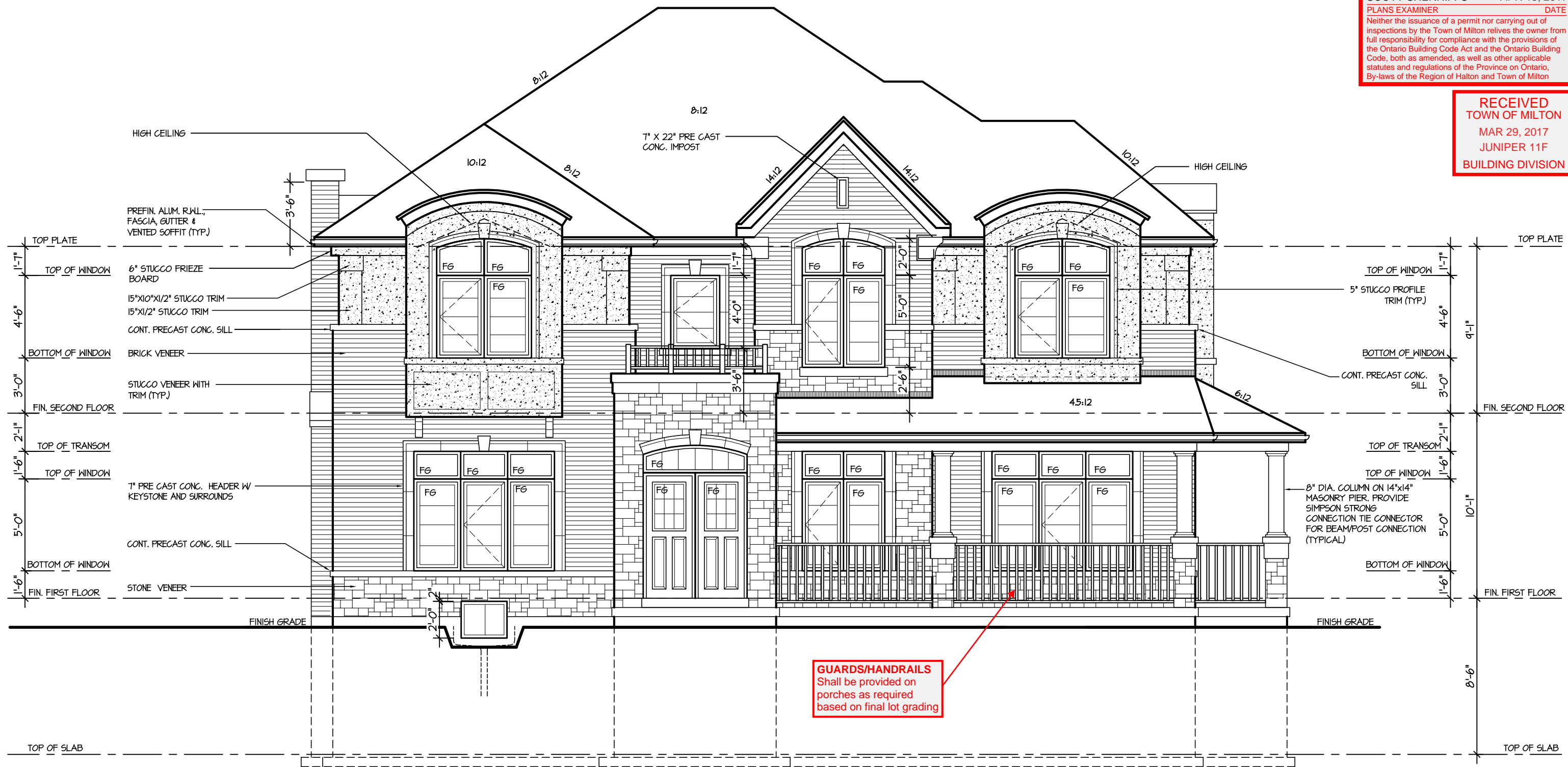
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE	
LEFT SIDE ELEVATION	
ELEV. 1	
SCALE	BY
3/16"=1'-0"	V.G.
DATE	TYPE
JUL 2016	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No.
2955	5
PROJECT	
02-10-11	

PROJECT NAME	
LECCO RIDGE	



FLANKAGE ELEVATION 2

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR

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VIKAS GAJJAR
NAME SIGNATURE

28770
BCIN

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JUL 2016

BY
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2955

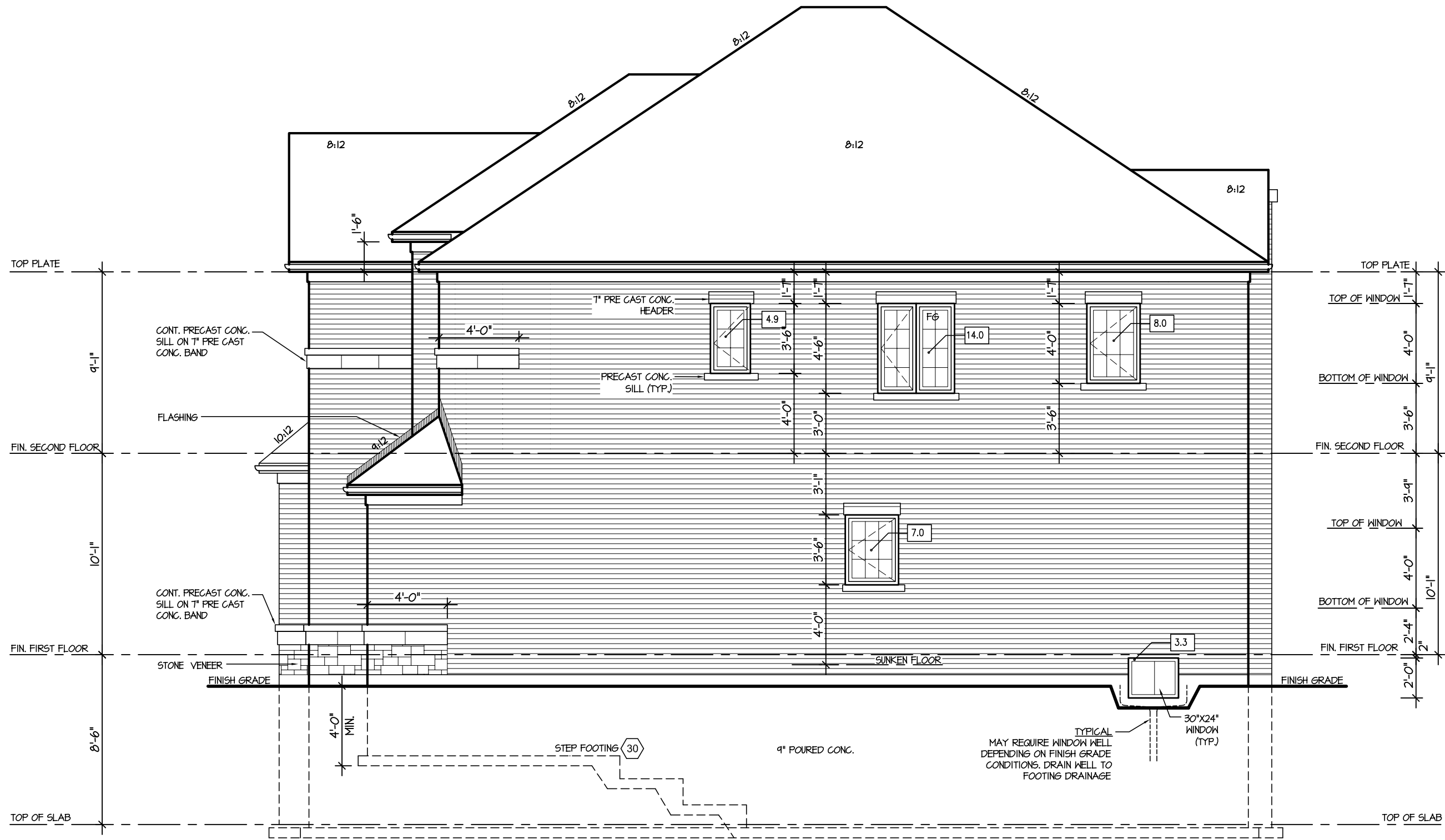
PROJECT
02-10-11

PAGE No.
5-2

PROJECT NAME
LECCO RIDGE

Greenpark

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION



RIGHT ELEVATION I

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	874	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	61.8	Sq. Ft.
ACTUAL GLAZED AREA	=	37.2	Sq. Ft.

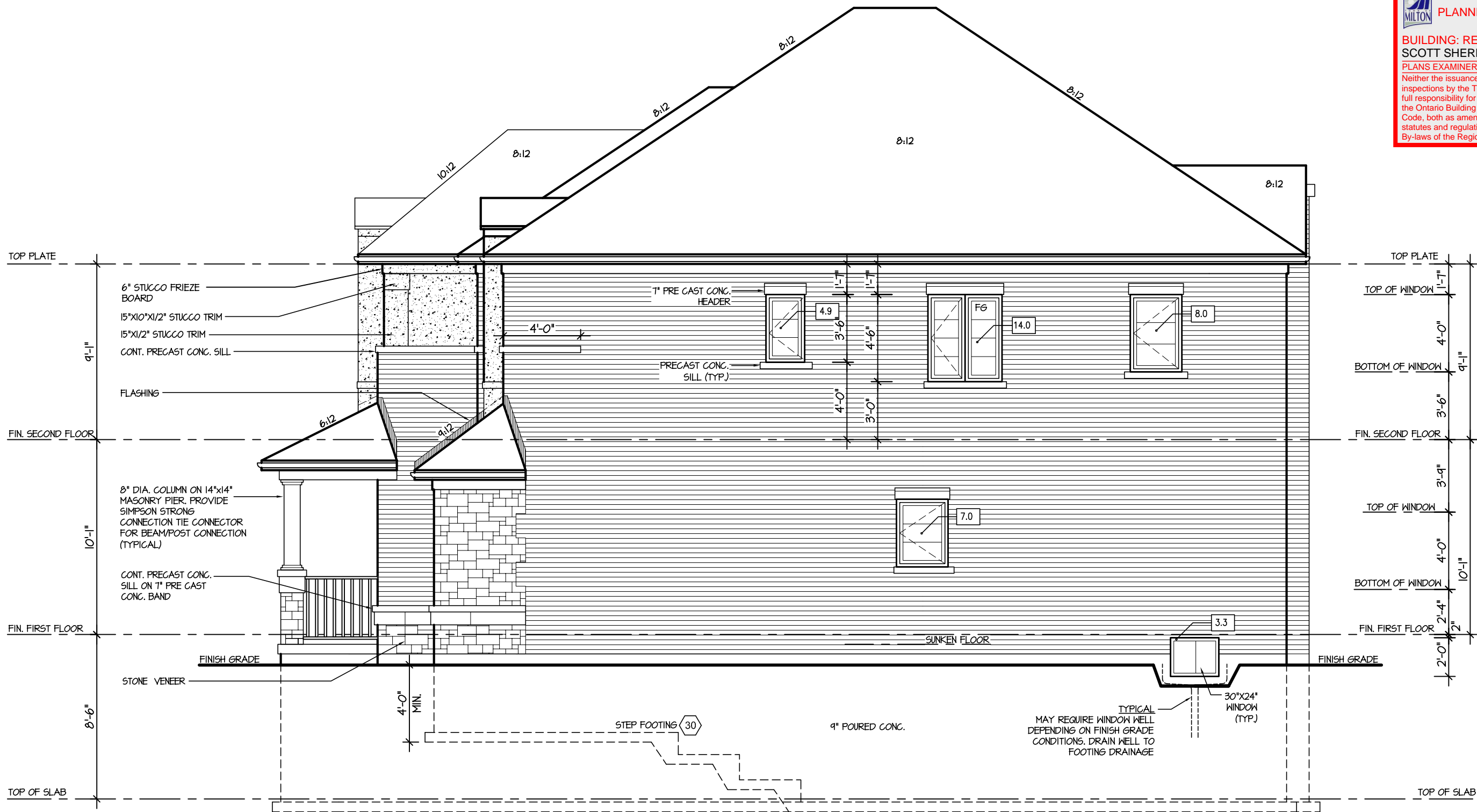
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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JUNIPER 11
ENERGY STAR

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4.					RIGHT SIDE ELEVATION		ELEV. 1		
3.					SCALE	BY	AREA	PAGE No.	
2.					3/16"=1'-0"	V.G.	2955	6	
1.	ISSUED FOR REVIEW				OCT 2016	DATE	TYPE	PROJECT	
REVISIONS			JUL 2016		02-10-11				



RIGHT ELEVATION 2

ALLOWABLE GLAZING (STANDARD PLAN)

WALL AREA	=	874	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	61.8	Sq. Ft.
ACTUAL GLAZED AREA	=	31.2	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR

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NAME SIGNATURE
28770
BCIN

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
RIGHT SIDE ELEVATION
ELEV. 2

SCALE
3/16"=1'-0"
DATE
JUL 2016

BY
V.G.
TYPE

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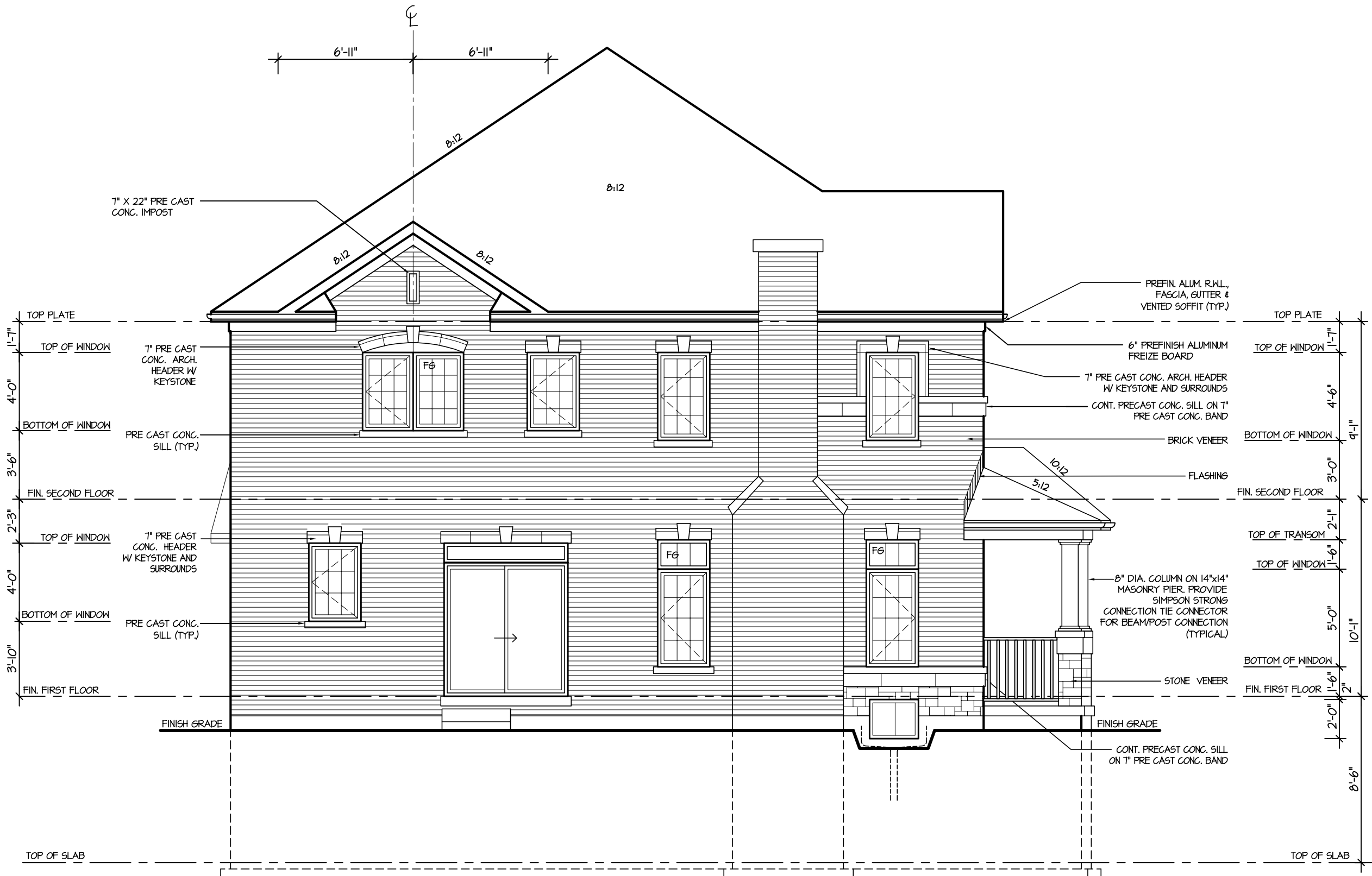
AREA
2955
PROJECT
02-10-11

PAGE No.
6-2

Greenpark.

PROJECT NAME
LECCO RIDGE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION



REAR ELEVATION I

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JUNIPER 11
ENERGY STAR

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4.				REAR ELEVATION				
3.				SCALE	BY	AREA	PAGE No.	
2.				3/16"=1'-0"	V.G.	2955	7	
1.	ISSUED FOR REVIEW			OCT 2016	DATE	TYPE	PROJECT	
REVISIONS		JUL 2016			02-10-11			
		PROJECT NAME				LECCO RIDGE		



REAR ELEVATION 2

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2955	PAGE No. 7-2	PROJECT NAME LECCO RIDGE
4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY V.G.	PROJECT 02-10-11		
3.						DATE JUL 2016	TYPE			
2.										
1.	ISSUED FOR REVIEW	OCT 2016	VIKAS GAJJAR NAME SIGNATURE 28770 BCIN							
REVISIONS										

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

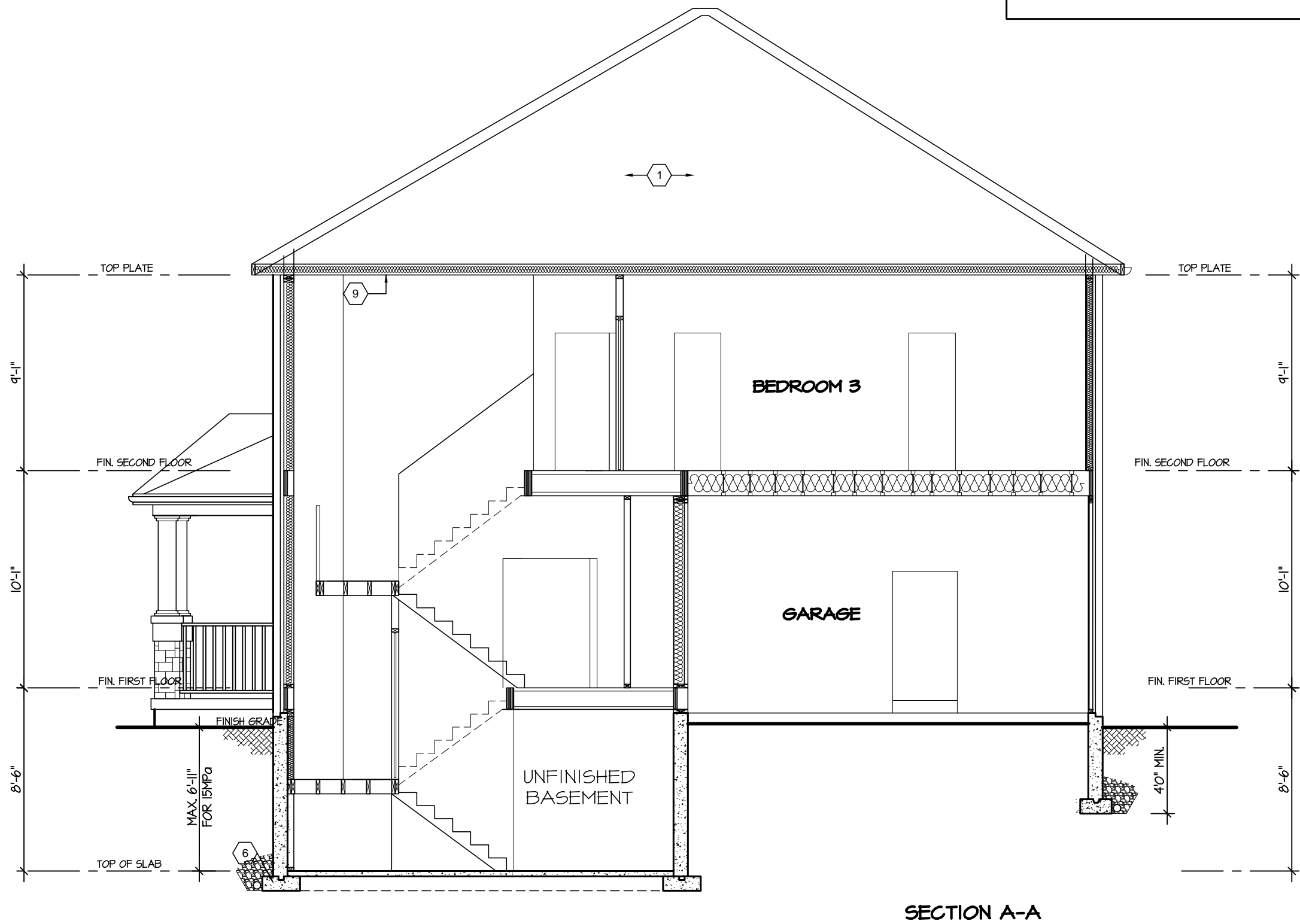
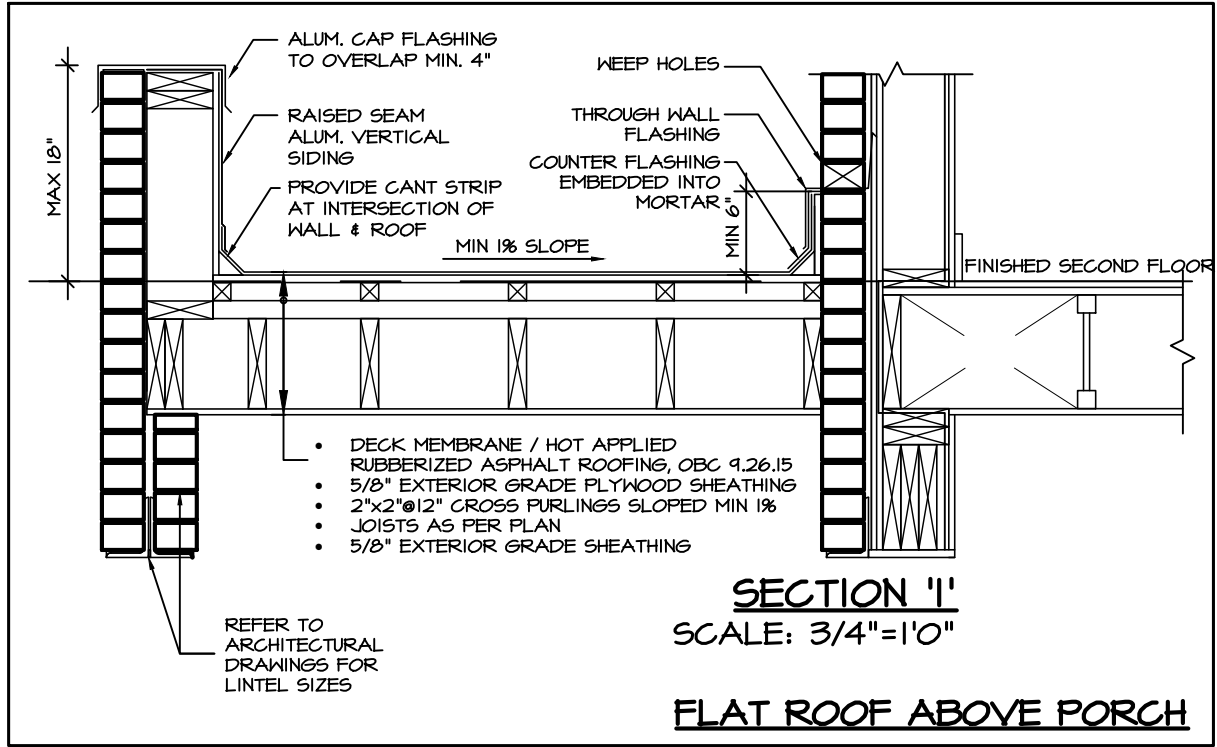


TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 11F MODEL

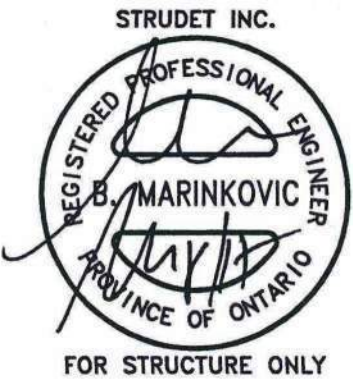
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER

APR 13, 2017
DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



SECTION A-A



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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

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JUNIPER 11
ENERGY STAR

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4.					SCALE	3/16"=1'-0"	BY	V.G.	AREA	2955		PAGE No.	8	PROJECT NAME	LECCO RIDGE
3.					DATE	JUL 2016	TYPE		PROJECT	02-10-11					
2.															
1.	ISSUED FOR REVIEW				OCT 2016										
REVISIONS															

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

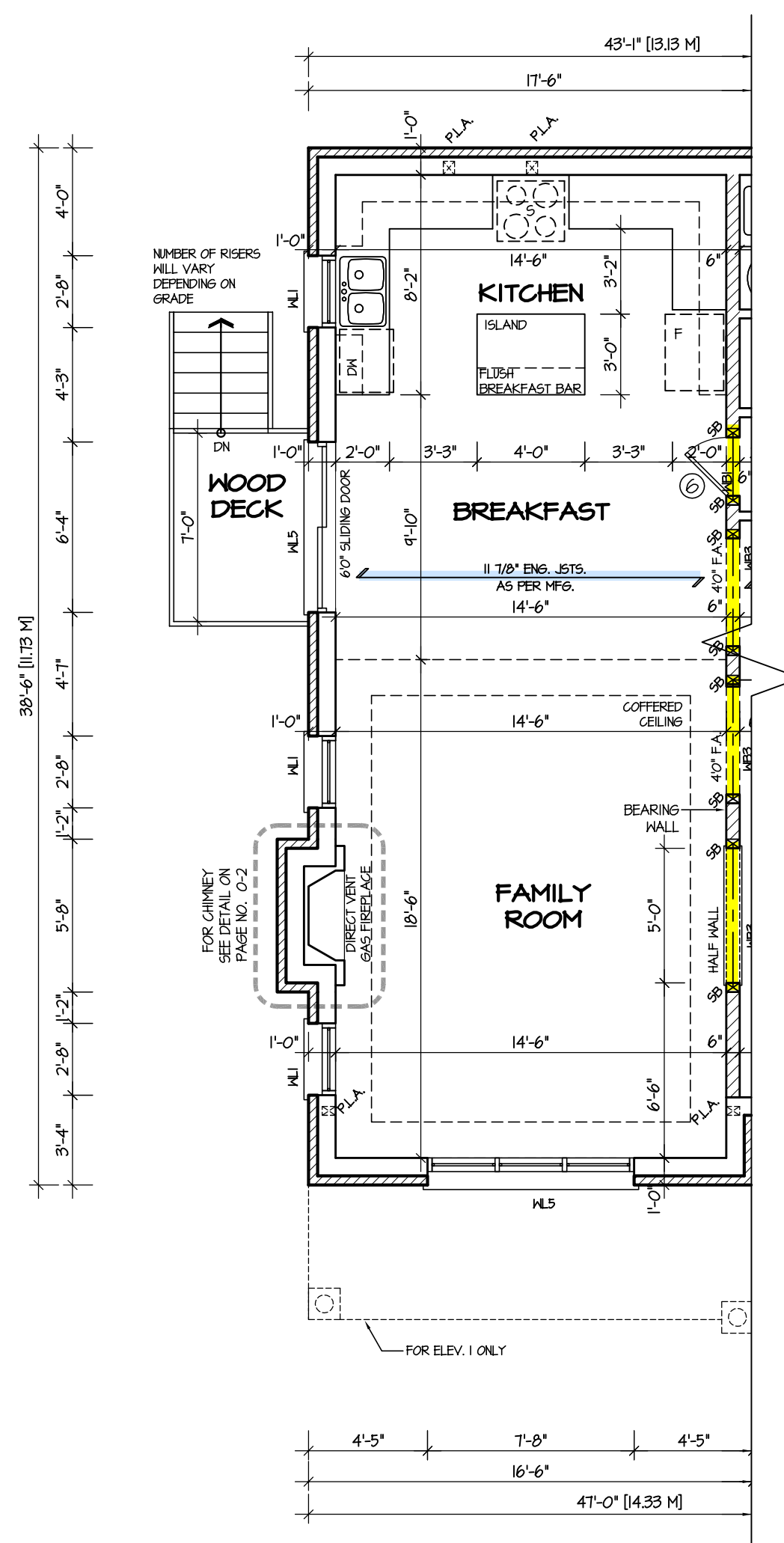


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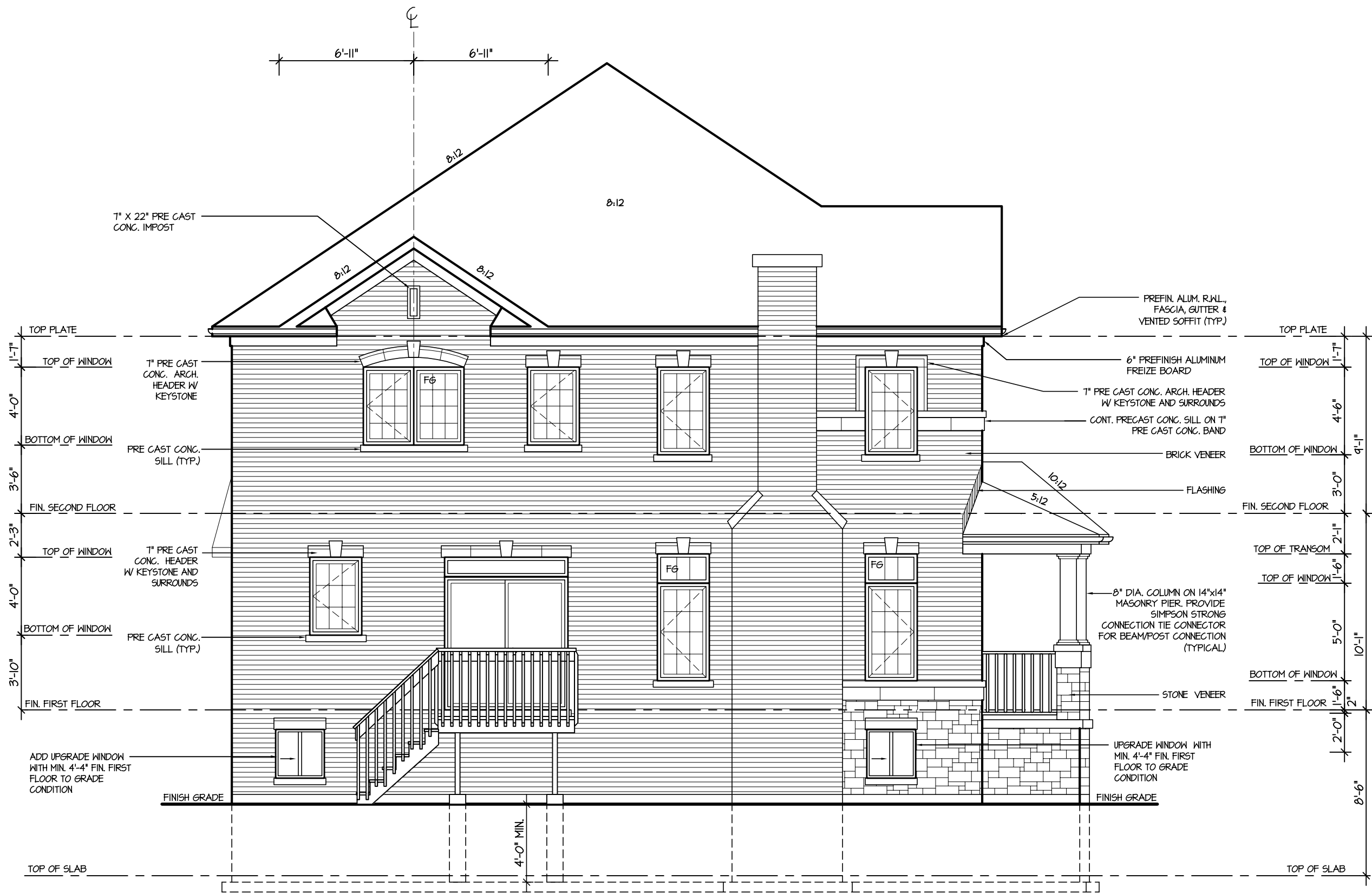
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 11
ENERGY STAR



PARTIAL FIRST FLOOR PLAN FOR DECK CONDITION

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> <div><div>R</div><div>REGION</div><div>D</div><div>DESIGN</div><div>I</div><div>NC.</div></div>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					DECK PLANS					PROJECT NAME
3.					SCALE	BY	AREA	PAGE No.		
2.					3/16"=1'-0"	V.G.	2955	9		
1.	ISSUED FOR REVIEW	OCT 2016			DATE	TYPE	PROJECT			
REVISIONS			JUL 2016		02-10-11		LECCO RIDGE			



REAR ELEVATION I

DECK DETAILS
See standard details pages 8 and 8-2 for additional deck construction details

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MAR 20 2017
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JUNIPER 11
ENERGY STAR

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VIKAS GAJJAR
NAME SIGNATURE

28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
DECK ELEVATION

SCALE 3/16"=1'-0"

DATE JUL 2016

BY V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2955

PROJECT 02-10-11

PAGE No. 9-2

Greenpark.

PROJECT NAME
LECCO RIDGE



REAR ELEVATION 2


DECK DETAILS
See standard details pages 8
and 8-2 for additional deck
construction details

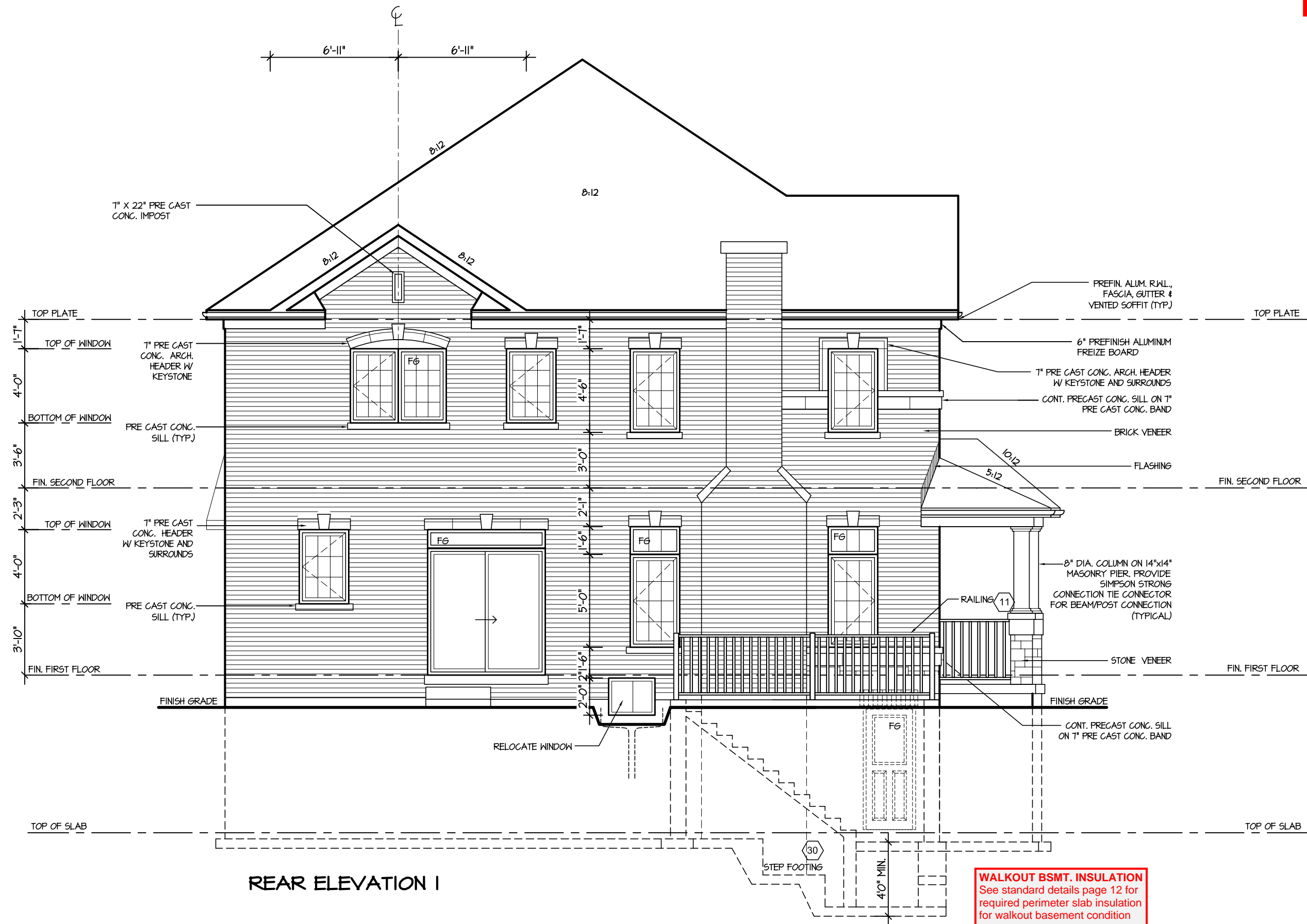
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					CONCORD, ONTARIO		SCALE		AREA					
					L4K 4S6		3/16"=1'-0"		2955					
					P (416) 736-4096		BY		9-2A					
					F (905) 660-0746		DATE		PROJECT					
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VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

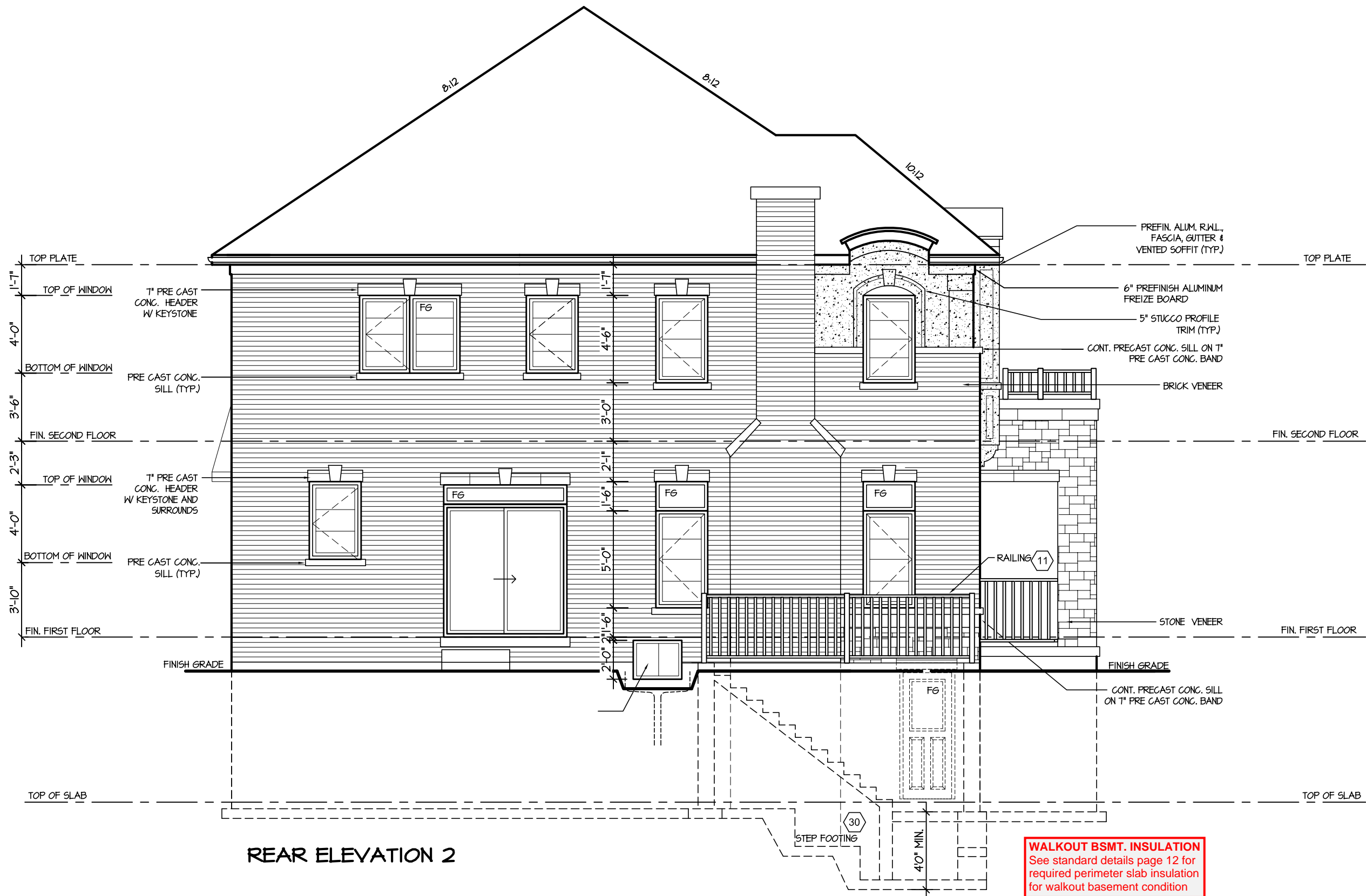
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE	
WALK UP ELEVATION	
SCALE	BY
3/16"=1'-0"	V.G.
DATE	TYPE
JUL 2016	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No.
2955	10-2
PROJECT	
02-10-11	

PROJECT NAME	
LECCO RIDGE	



REAR ELEVATION 2

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REGION
DESIGN
INC.

SHEET TITLE
WALK UP ELEVATION

SCALE 3/16"=1'-0"
DATE JUL 2016

BY V.G.
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AREA 2955
PROJECT 02-10-11

PAGE No.
10-2A

Greenpark.

PROJECT NAME
LECCO RIDGE