

Strip Footings - For Singles & Semis up to 2 storey

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

Assume the larger footing size
when two conditions apply

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

Pad Footings

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

Brick Veneer Lintels

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

Wood Lintels and Beams

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

Loose Steel Lintels

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)
L5 = 6"x4"x3/8"L (150x100x10.0L)
L6 = 7"x4"x3/8"L (175x100x10.0L)

Door Schedule

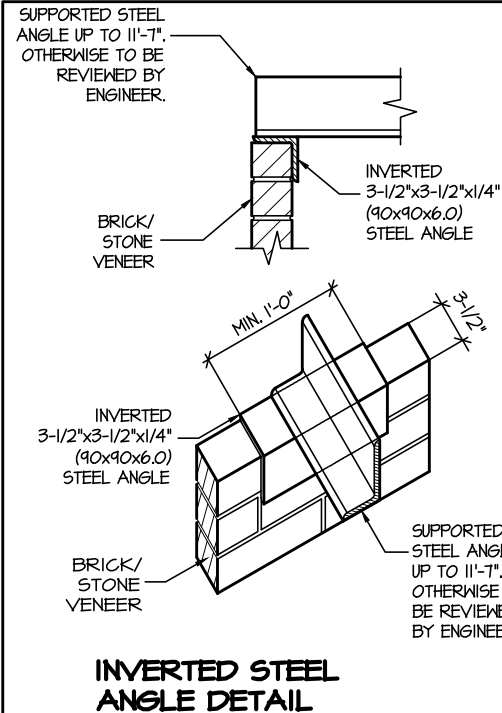
NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS



THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT
SHALL CONFORM TO THE FOLLOWING

2012 ENERGY STAR V-12.7

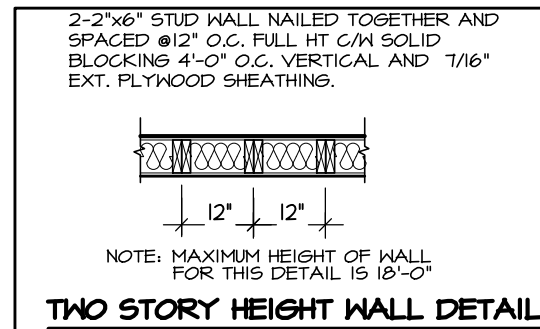
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 29/1V 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL I (2.5 ACH/0.18 NLR) ATTACHED LEVEL I (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

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TOWN OF MILTON
MAR 29, 2017
17-4690
BUILDING DIVISION

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conj unction with reviewed general notes,
constructions details and specifications

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-4690
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
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statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1558	Sq. Ft.
SECOND FLOOR AREA	=	1906	Sq. Ft.
TOTAL FLOOR AREA	=	3464	Sq. Ft.
		321.82	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3474	Sq. Ft.
		322.75	Sq. M.
GROUND FLOOR COVERAGE	=	1558	Sq. Ft.
GARAGE COVERAGE / AREA	=	389	Sq. Ft.
PORCH COVERAGE / AREA	=	40	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1987	Sq. Ft.
		184.60	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1947	Sq. Ft.
		180.88	Sq. m.

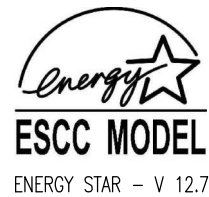
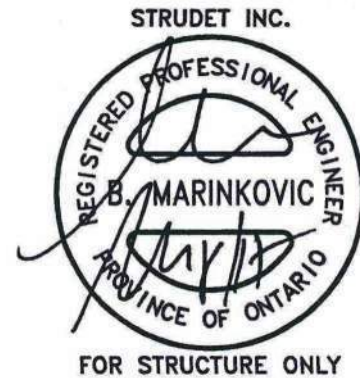


JUNIPER 9		ELEV.3		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	913.12	84.83	142.61	13.25	15.62 %
LEFT SIDE	1375.62	127.80	99.08	9.20	7.20 %
RIGHT SIDE	1323.03	122.91	41.00	3.81	3.10 %
REAR	850.35	79.00	160.68	14.93	18.90 %
TOTAL	4462.12	414.54	443.43	41.20	9.94 %

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with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



JUNIPER 9-100
ENERGY STAR

5.		
4.		
3.		
2.	CUSTOM LOT-100. 9'2" FND, 10' FF	MAR 2017
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

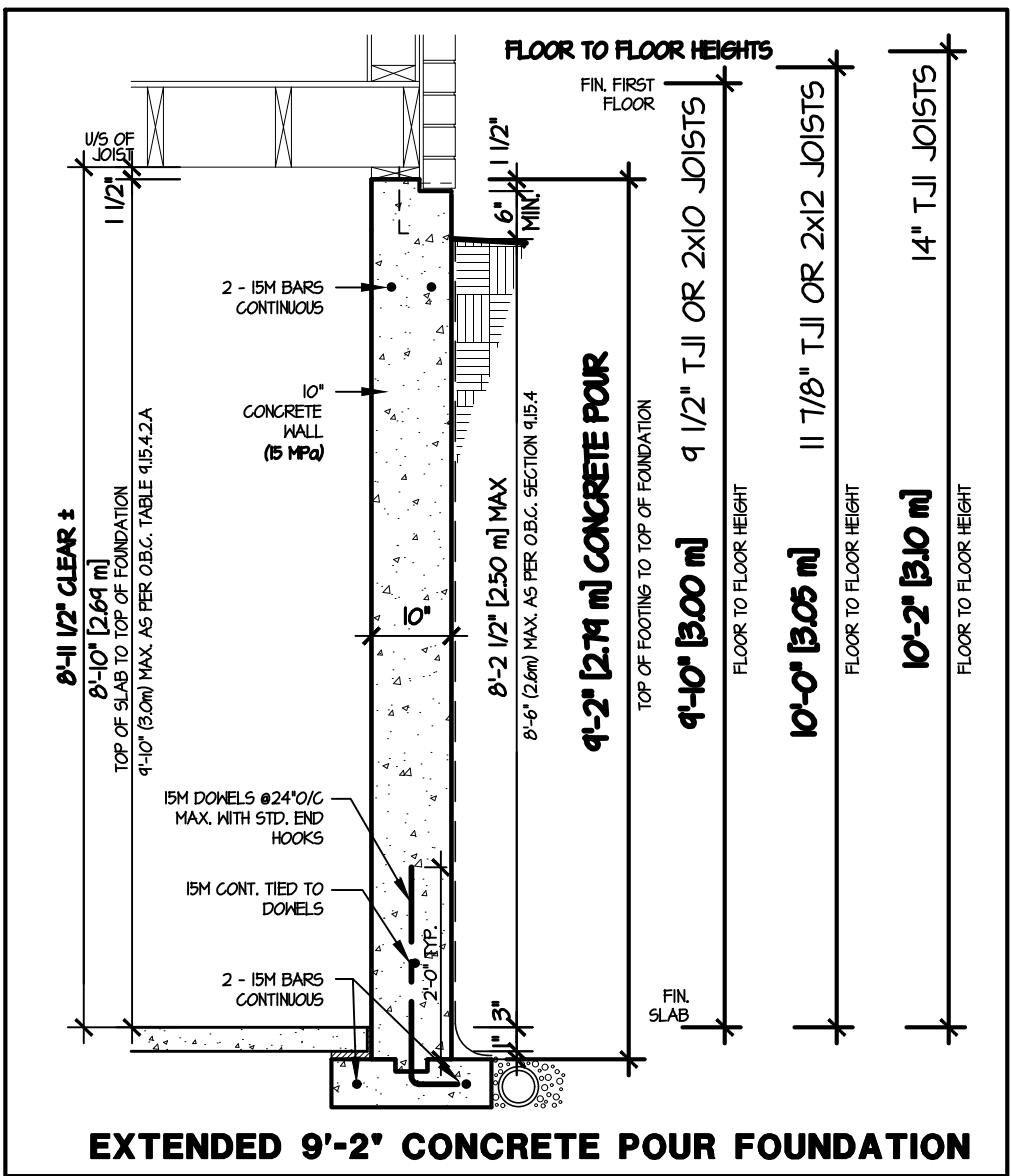
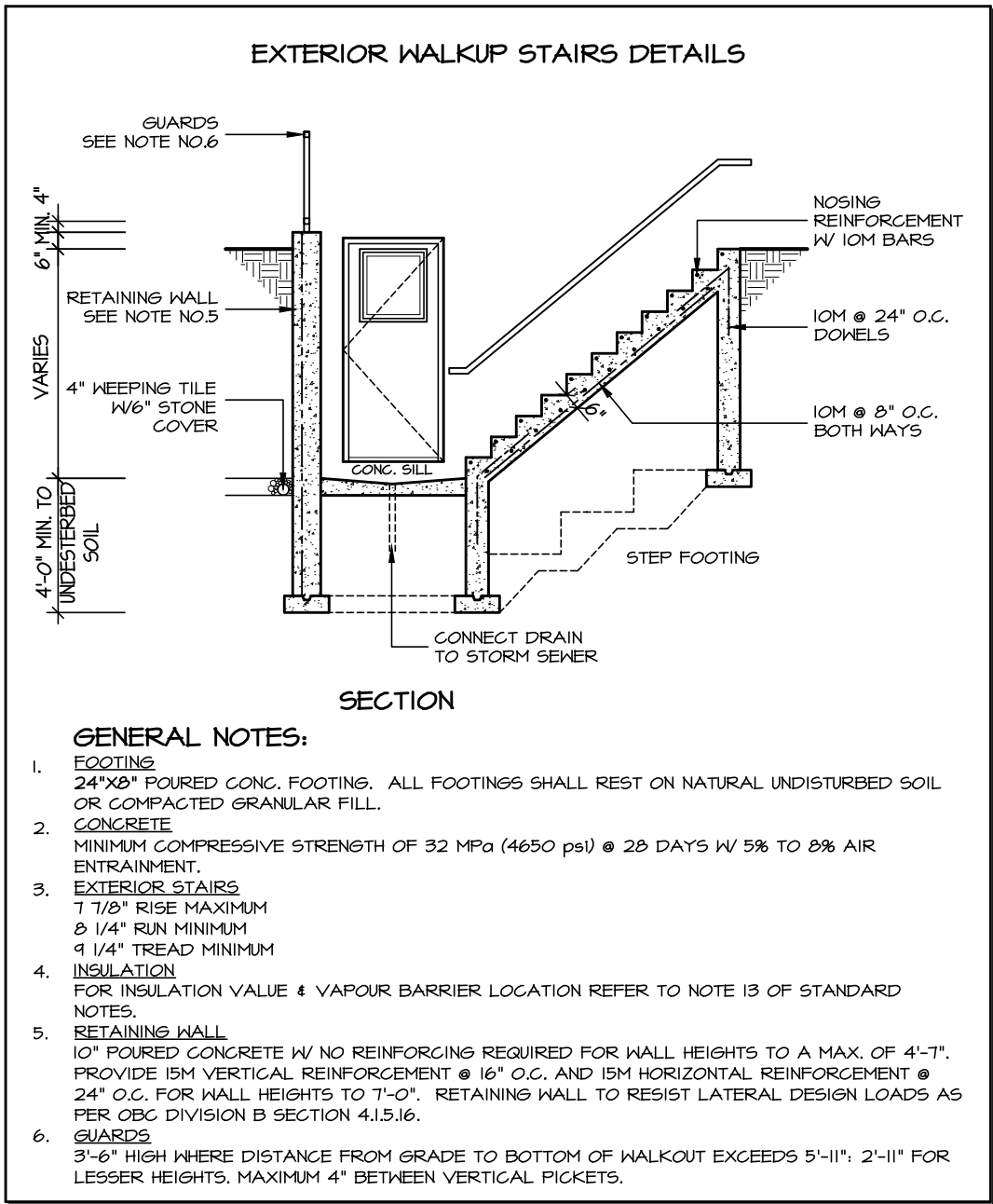
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE	
AREA CHARTS	
SCALE	3/16"=1'-0"
DATE	JUL 2016
BY	V.G.
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA	3485	PAGE No.	0
	PROJECT	02-10-16		

PROJECT NAME
LECCO RIDGE

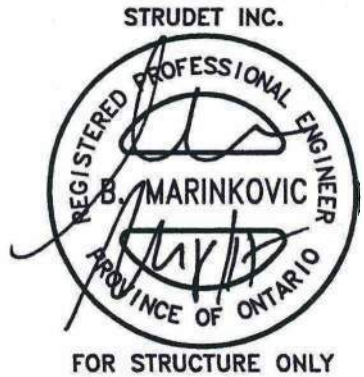


TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-4690

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE
APR 19, 2017

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MAR 29, 2017
17-4690
BUILDING DIVISION



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JUNIPER 9-100
ENERGY STAR



5.		
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REVISIONS		

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

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8700 DUFFERIN ST.
CONCORD, ONTARIO
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SHEET TITLE AREA CHARTS	
SCALE 3/16"=1'-0"	BY V.G.
DATE JUL 2016	TYPE

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PROJECT 02-10-16		

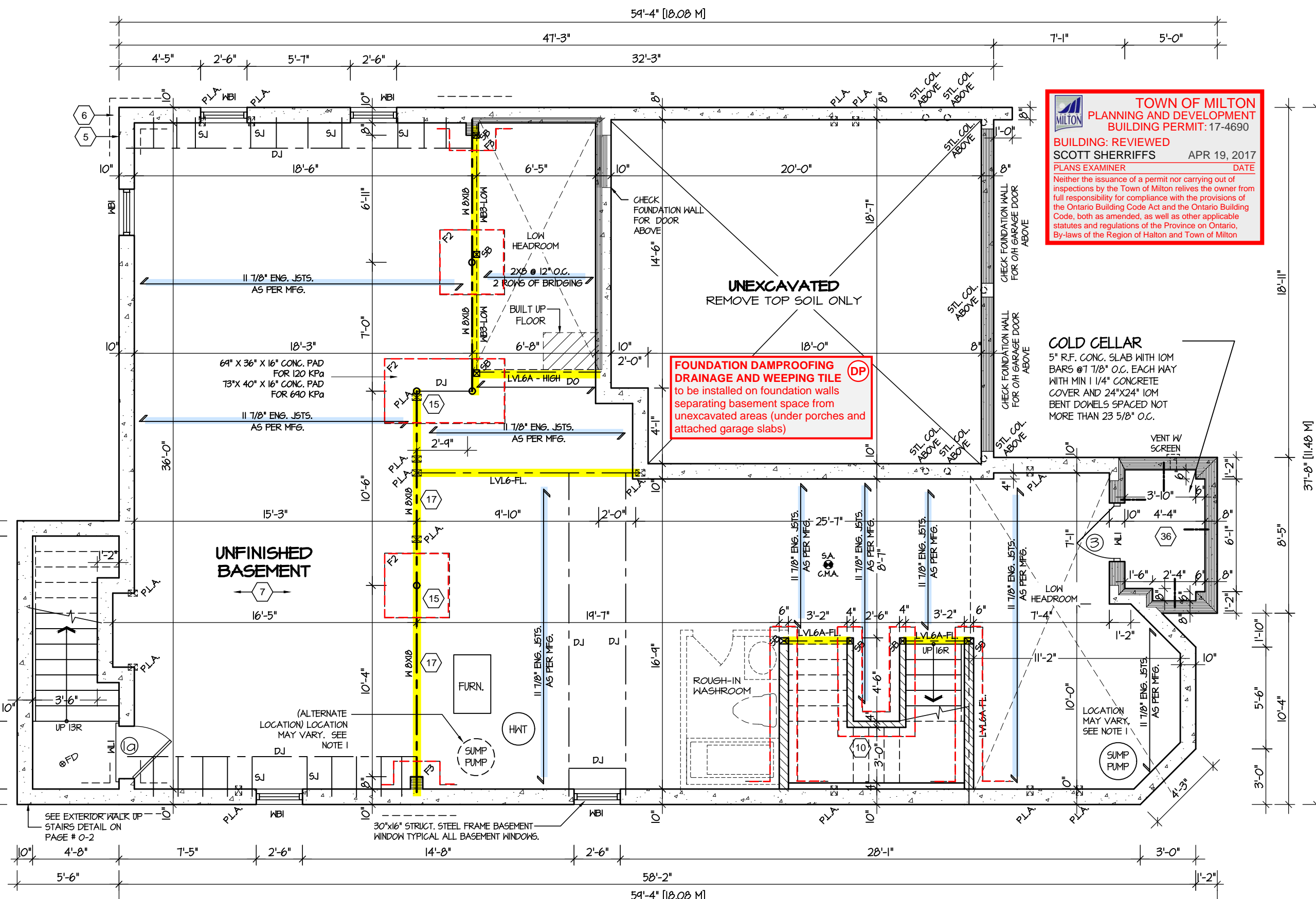
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COLD CELLAR
5" R.F. CONC. SLAB WITH 10M BARS @ 7" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 10M BENT DOWNELS SPACED NOT MORE THAN 23 5/8" O.C.

FOUNDATION DAMPROOFING DRAINAGE AND WEEPING TILE (DP)
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)

UNEXCAVATED
REMOVE TOP SOIL ONLY



BASEMENT FLOOR PLAN '3' 9'-2" CONCRETE POUR FOUNDATION

WALKOUT AREA DRAIN
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system

WALKOUT BSMT. INSULATION
See standard details page 10 for required perimeter slab insulation for walkout basement condition

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

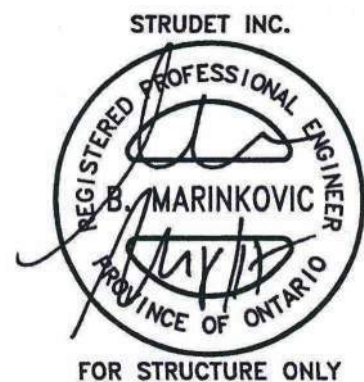
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conj unction with reviewed engineered floor system layout

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION



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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, United, Architect

JUNIPER 9-100
ENERGY STAR



REVISIONS	
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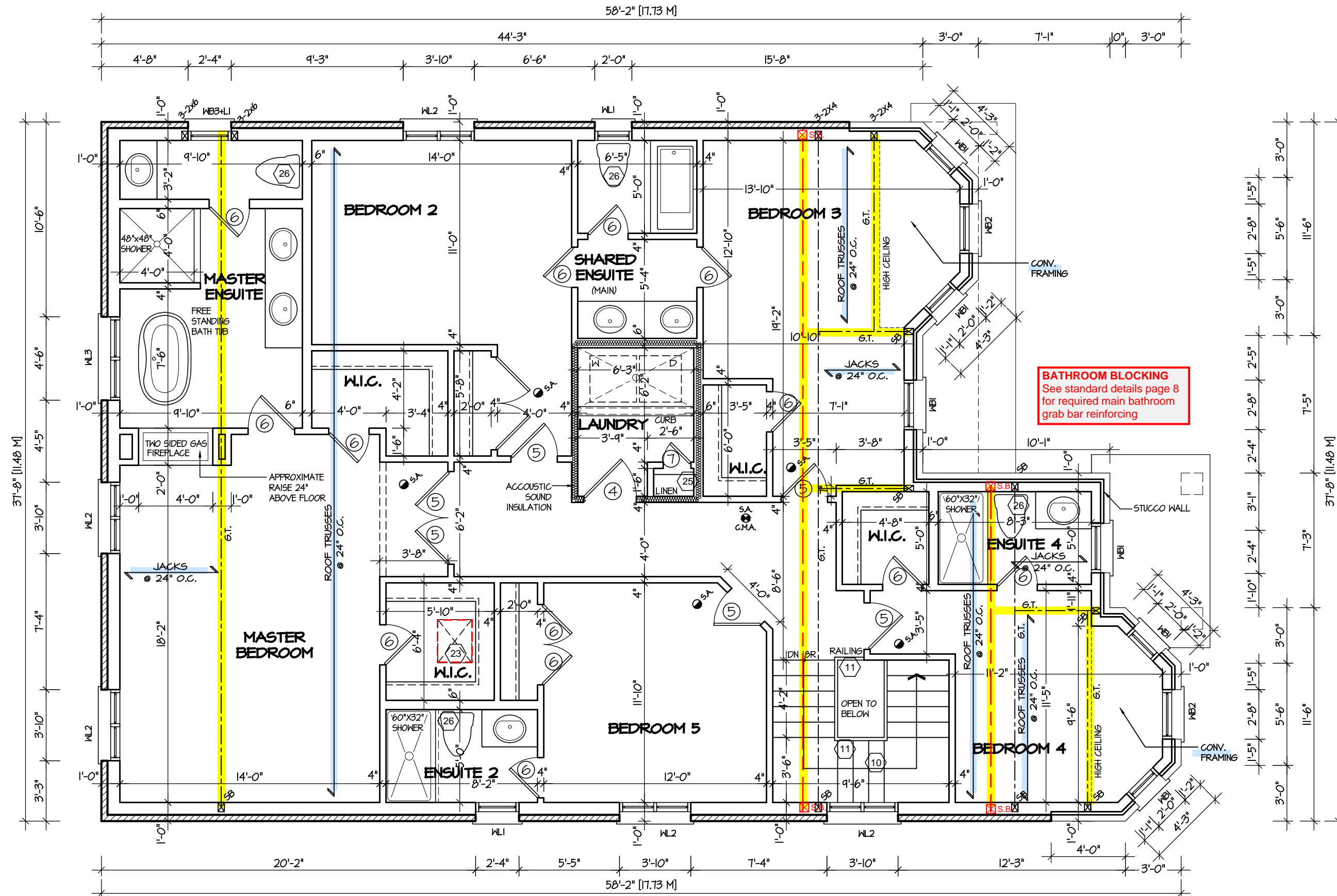
SHEET TITLE
BASEMENT PLAN
ELEV. 3
SCALE 3/16"=1'-0"
DATE JUL 2016
BY V.G.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA 3485
PAGE No. 1-3
PROJECT 02-10-16

PROJECT NAME
LECCO RIDGE

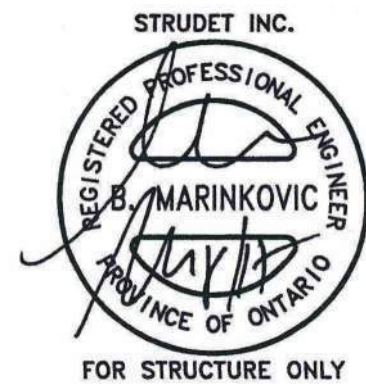
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MAR 29, 2017
17-4690
BUILDING DIVISION

TOWN OF MILTON
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BUILDING PERMIT: 17-4690
BUILDING: REVIEWED
SCOTT SHERRIFFS
APR 19, 2017
PLANS EXAMINER
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SECOND FLOOR PLAN '3'

ENGINEERED TRUSS SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered truss system layout



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MAR 20 2017
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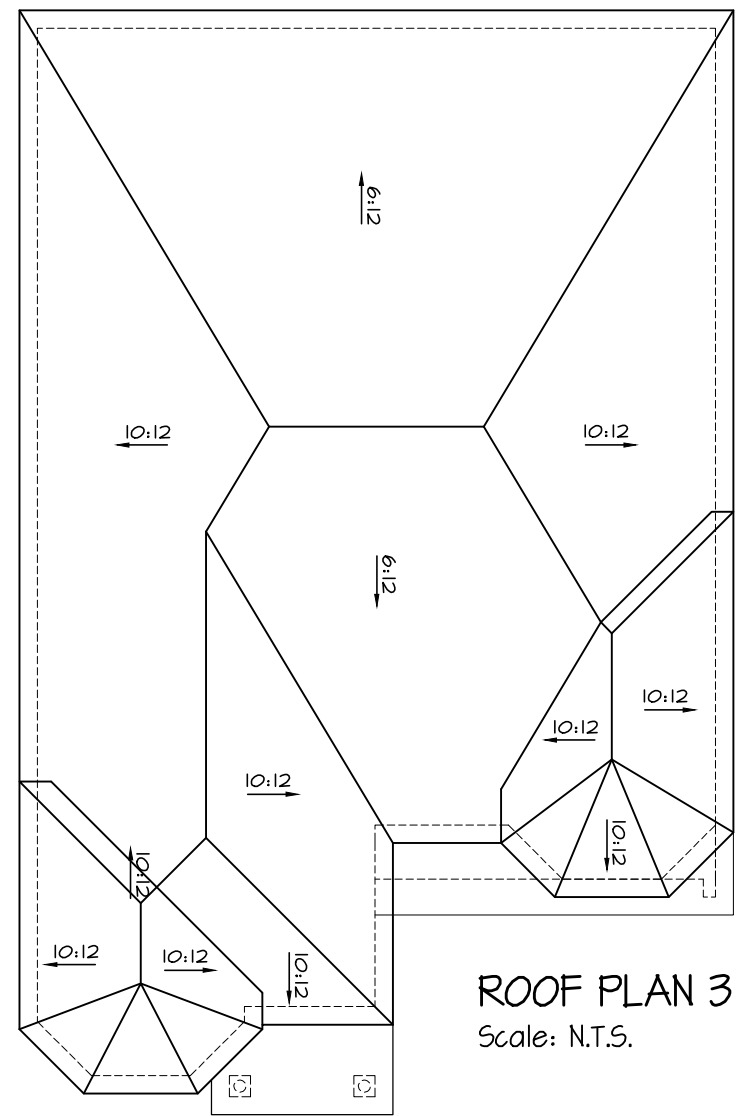
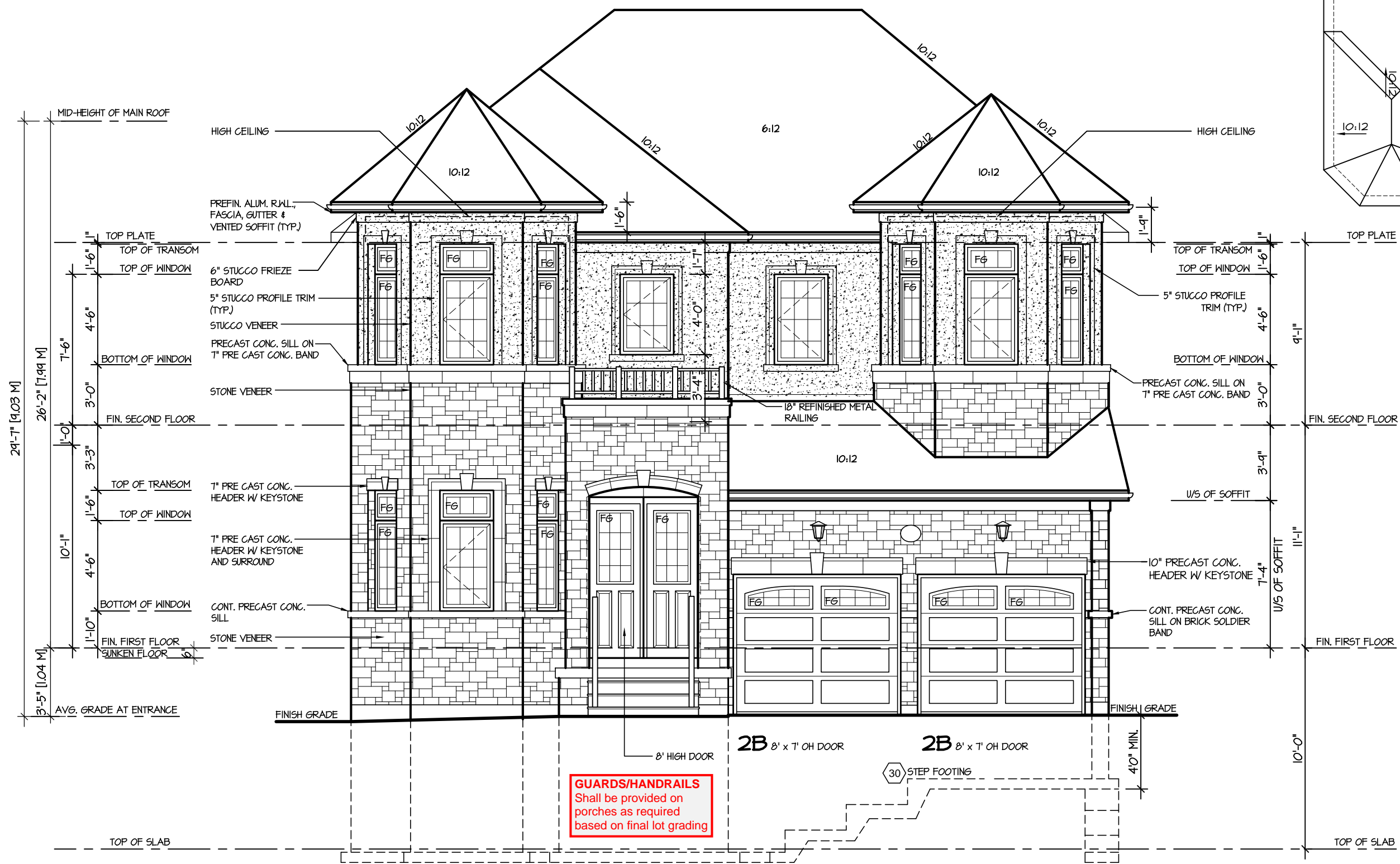
SHEET TITLE
SECOND FLOOR PLAN
ELEV. 3
SCALE
3/16"=1'-0"
DATE
JUL 2016
BY
V.G.
TYPE
PROJECT
02-10-16

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AREA
3485
PAGE No.
3-3

Greenpark
PROJECT NAME
LECCO RIDGE

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ROOF PLAN 3
Scale: N.T.S.

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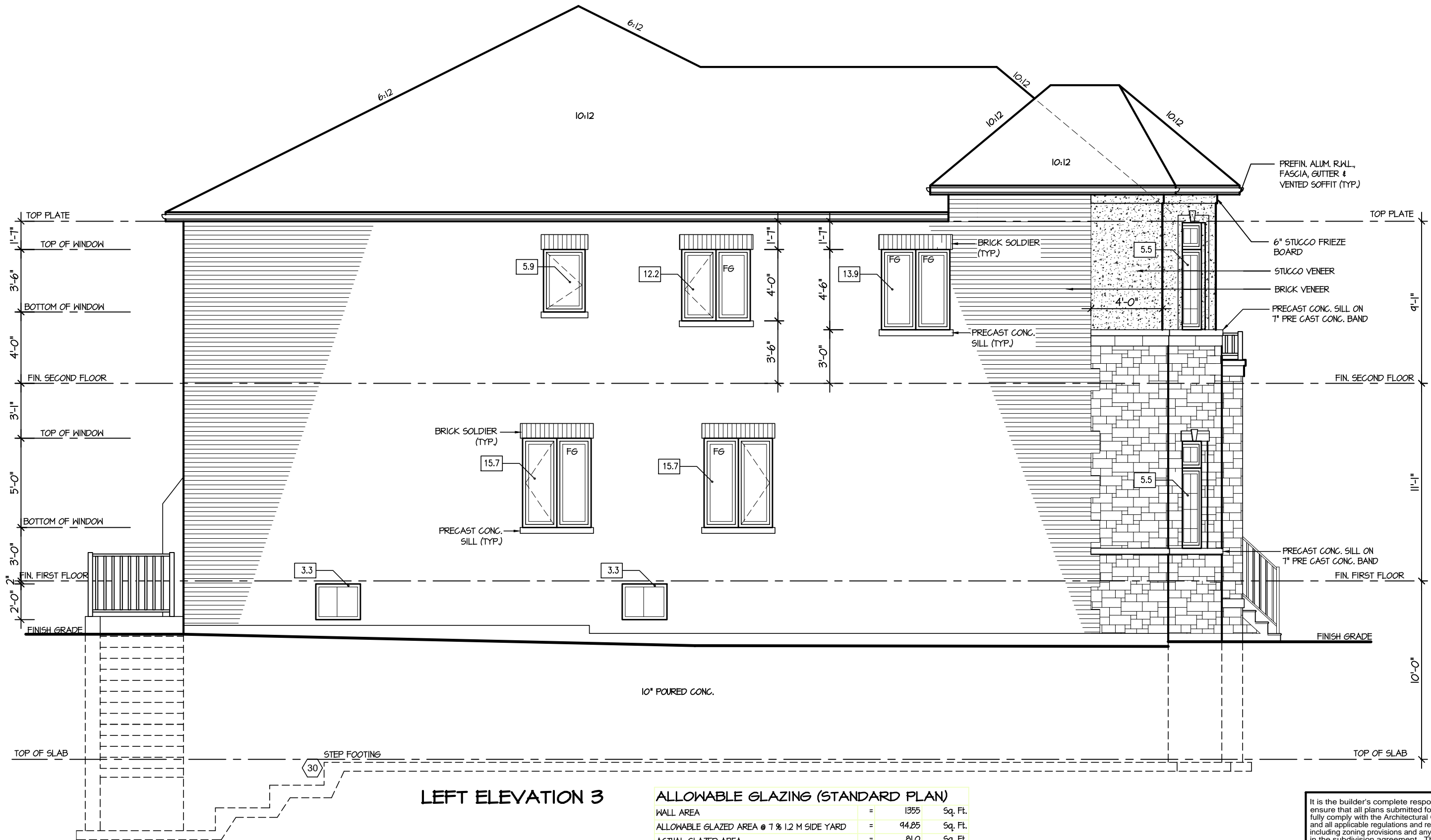
REGION DESIGN INC.

SHEET TITLE
FRONT ELEVATION
ELEV. 3
SCALE 3/16"=1'-0"
DATE JUL 2016
BY V.G.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 3485
PAGE No. 4-3
PROJECT 02-10-16

Greenpark.
PROJECT NAME
LECCO RIDGE



LEFT ELEVATION 3

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1355	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	94.85	Sq. Ft.
ACTUAL GLAZED AREA	=	81.0	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-4690
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-4690
BUILDING DIVISION

JUNIPER 9-100
ENERGY STAR

5.		
4.		
3.		
2.	CUSTOM LOT-100. 9'2" FND, 10' FF	MAR 2017
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

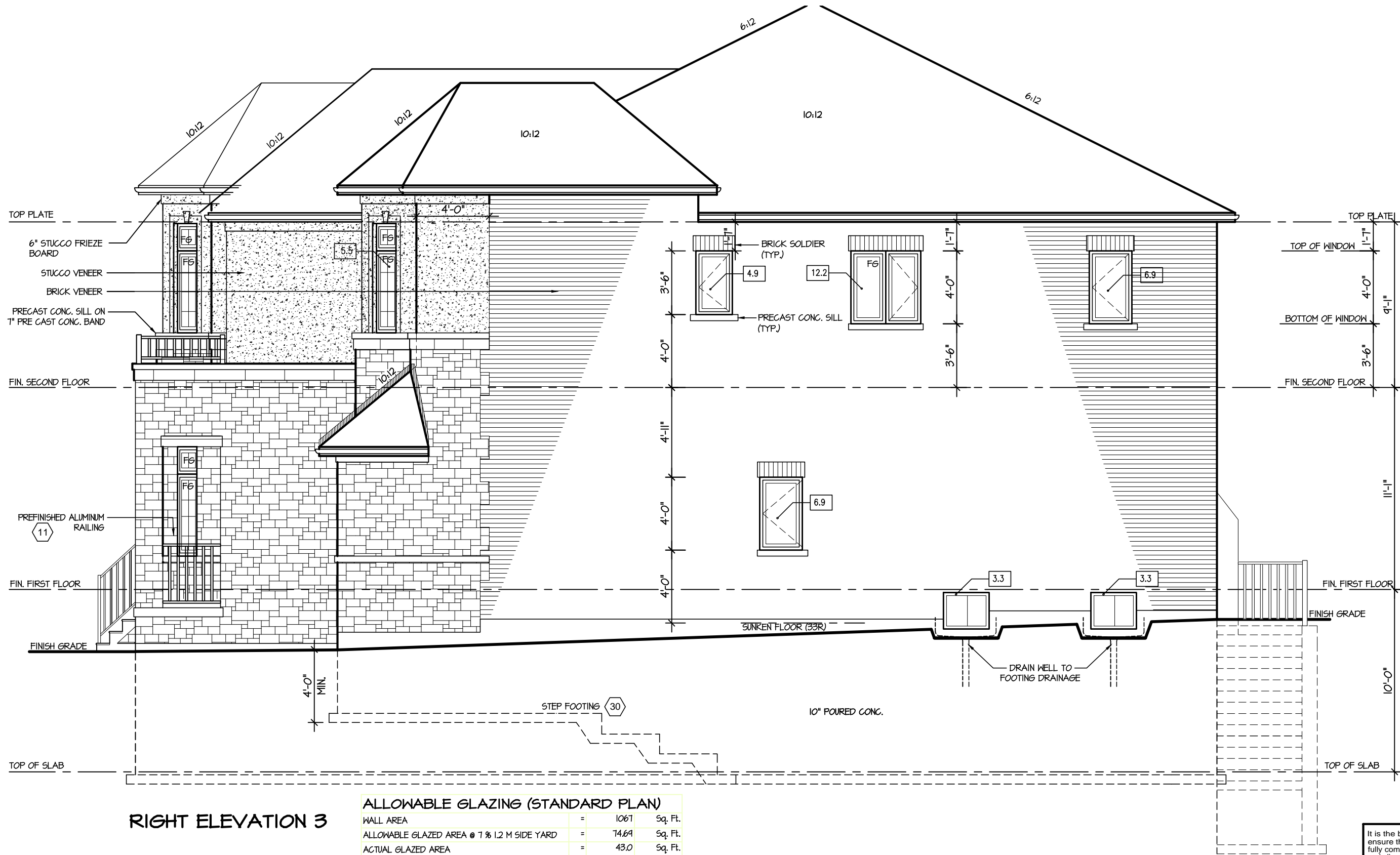
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 3
SCALE 3/16"=1'-0"
DATE JUL 2016
BY V.G.
TYPE

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AREA 3485
PAGE No. 5-3
PROJECT 02-10-16

Greenpark.
PROJECT NAME
LECCO RIDGE



RIGHT ELEVATION 3

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1061	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	74.69	Sq. Ft.
ACTUAL GLAZED AREA	=	43.0	Sq. Ft.

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**REGION
DESIGN
INC.**

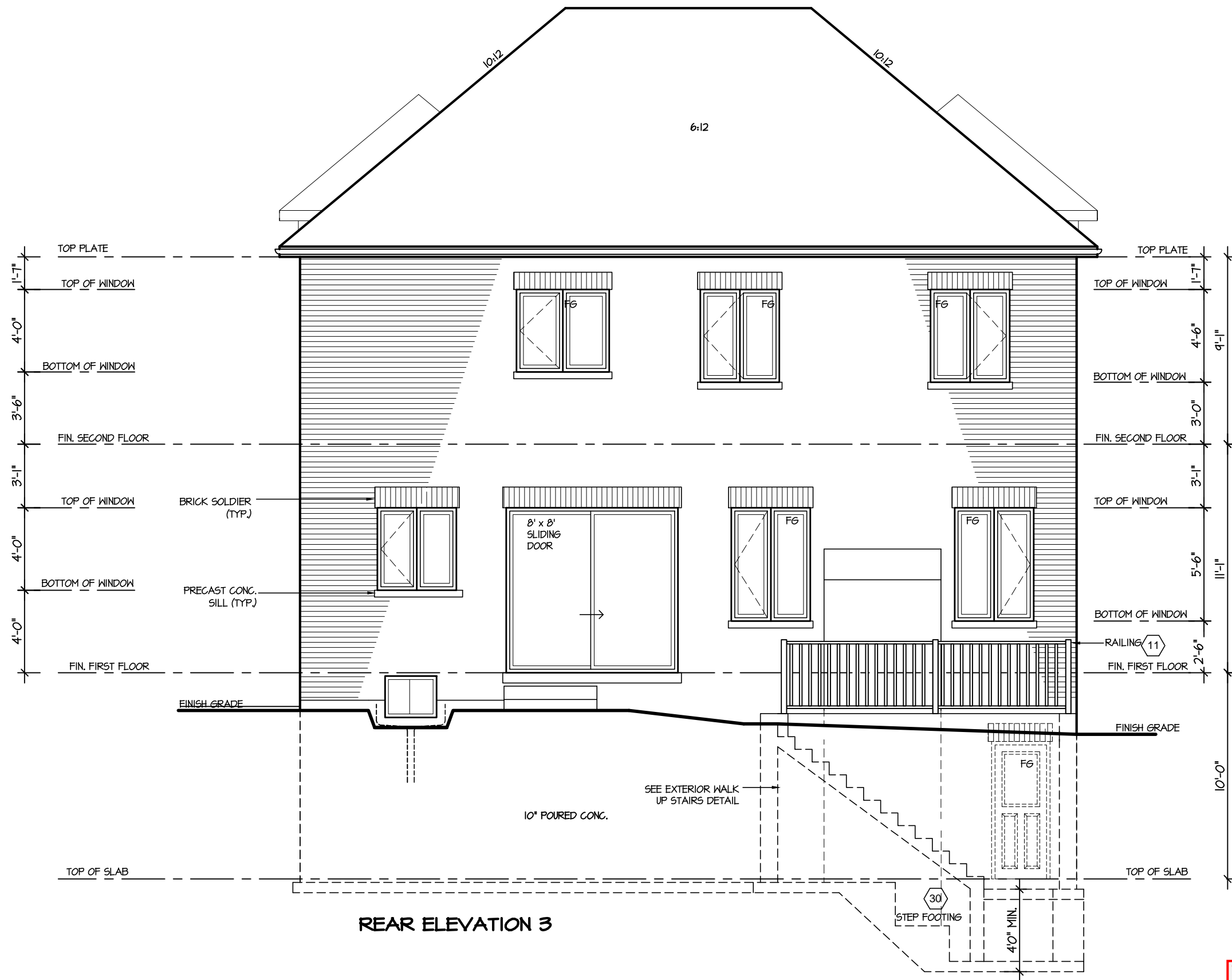
SHEET TITLE
**RIGHT SIDE ELEVATION
ELEV. 3**
SCALE 3/16"=1'-0"
DATE JUL 2016
BY V.G.
TYPE
PROJECT 02-10-16

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AREA 3485
PAGE No. 6-3

Greenpark.
PROJECT NAME
LECCO RIDGE

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TOWN OF MILTON
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WALKOUT STAIR DETAILS
See page 2 of this drawing set for addition walkout basement stair construction details

WALKOUT BSMT. INSULATION
See standard details page 10 for required perimeter slab insulation for walkout basement condition

WALKOUT AREA DRAIN
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

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VIKAS GAJJAR		28770
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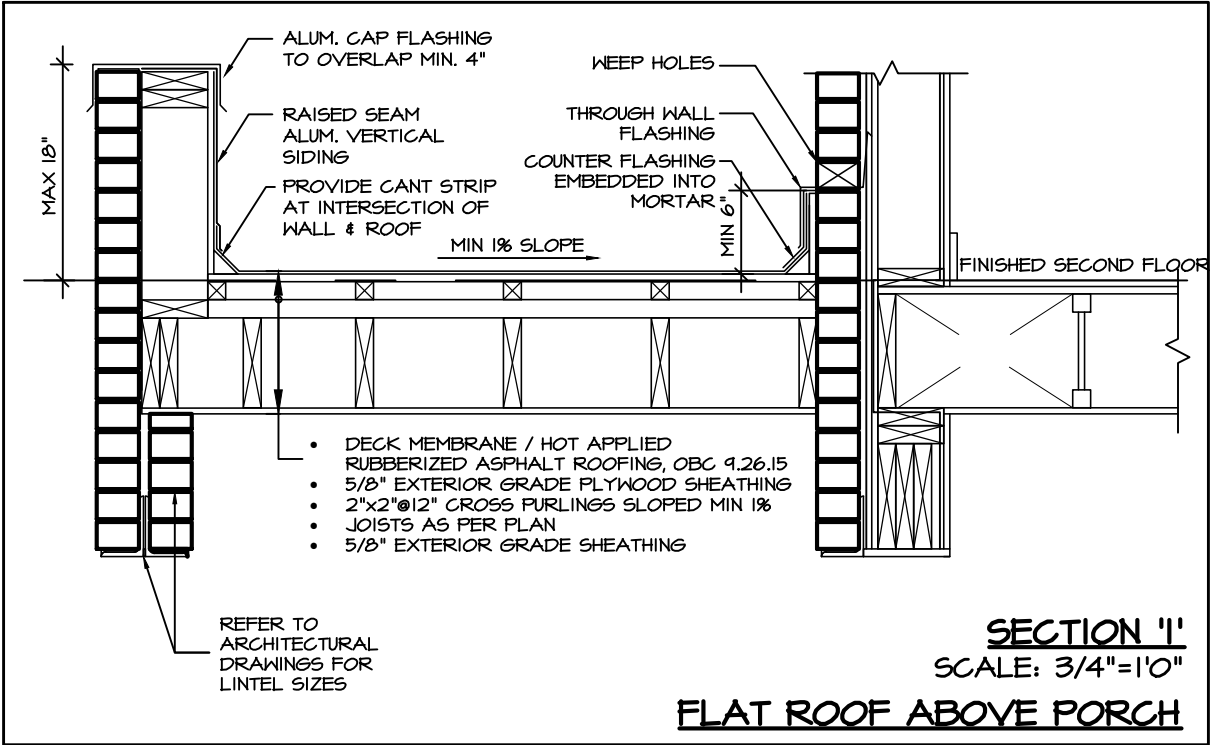


SHEET TITLE	
REAR ELEVATION	
SCALE	3/16"=1'-0"
DATE	JUL 2016
BY	V.G.
TYPE	

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AREA	3485
PAGE No.	7
PROJECT	02-10-16

PROJECT NAME	
LECCO RIDGE	



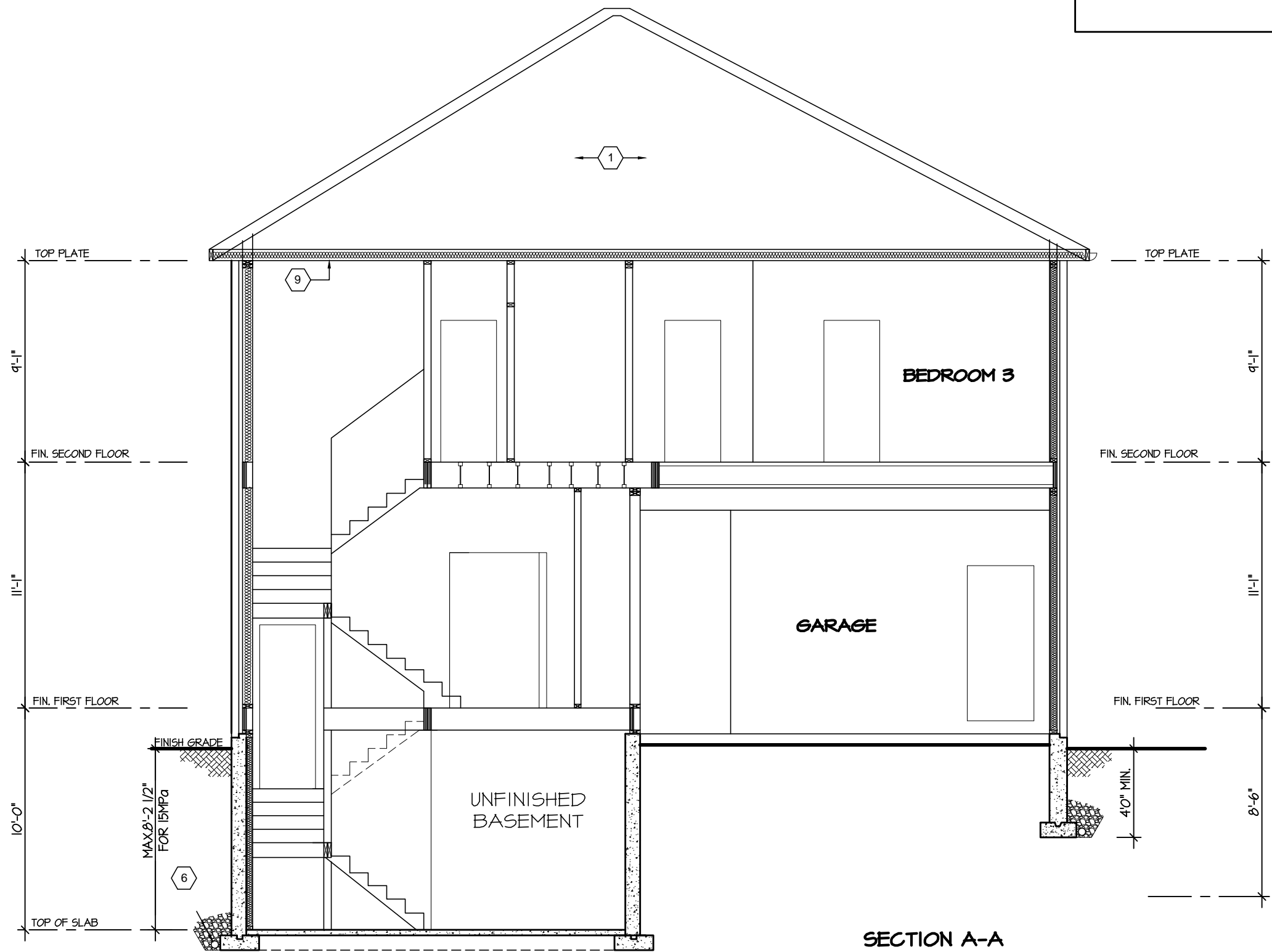


TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-4690

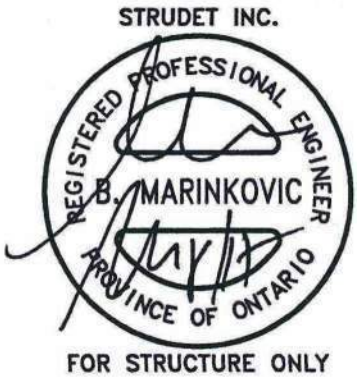
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TOWN OF MILTON
MAR 29, 2017
17-4690
BUILDING DIVISION



SECTION A-A



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SHEET TITLE
CROSS SECTION

SCALE
3/16"=1'-0"

DATE
JUL 2016

BY
V.G.

TYPE

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AREA
3485

PROJECT
02-10-16

PAGE No.
8



PROJECT NAME
LECCO RIDGE