

STRIP FOOTINGS -  
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.  
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)  
ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL  
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.  
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L)  
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)  
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)  
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)  
L5 = 6"x4"x3/8" (150x100x10.0L)  
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

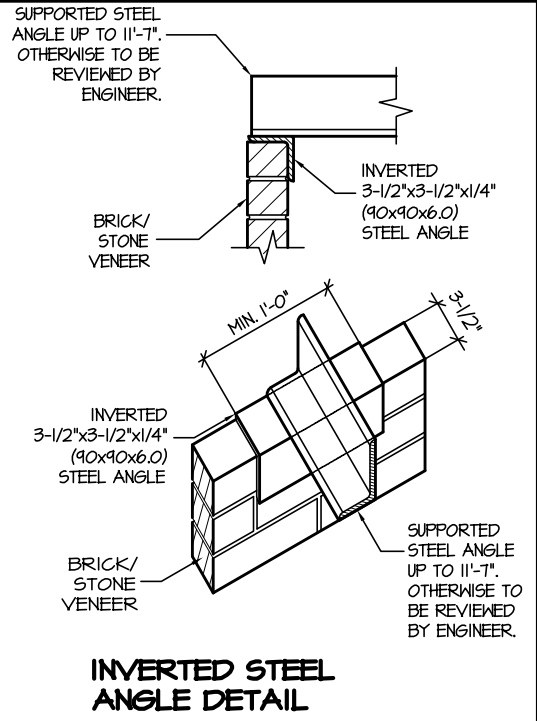
| NOS. | WIDTH  | HEIGHT<br>8'-0" CEILING | HEIGHT<br>10' OR MORE<br>CEILING | TYPE                    |
|------|--------|-------------------------|----------------------------------|-------------------------|
| 1    | 2'-10" | 6'-8"                   | 8'-0"                            | INSULATED ENTRANCE DOOR |
| 1a   | 2'-8"  | 6'-8"                   | 8'-0"                            | INSULATED FRONT DOORS   |
| 2    | 2'-8"  | 6'-8"                   | 8'-0"                            | WOOD & GLASS DOOR       |
| 3    | 2'-8"  | 6'-8"                   | 8'-0"                            | EXTERIOR SLAB DOOR      |
| 4    | 2'-8"  | 6'-8"                   | 8'-0"                            | INTERIOR SLAB DOOR      |
| 5    | 2'-6"  | 6'-8"                   | 8'-0"                            | INTERIOR SLAB DOOR      |
| 6    | 2'-2"  | 6'-8"                   | 8'-0"                            | INTERIOR SLAB DOOR      |
| 7    | 1'-6"  | 6'-8"                   | 8'-0"                            | INTERIOR SLAB DOOR      |

SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS



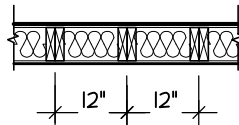
| THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING |   |
|---|---|
| 2012 ENERGY STAR V-12.1   |   |
| COMPONENT   | NOTE  |
| CEILING WITH ATTIC SPACE<br>MINIMUM RSI (R) VALUE   | 8.81<br>(R50)   |
| CEILING WITHOUT ATTIC SPACE<br>MINIMUM RSI (R) VALUE  | 5.46<br>(R31)   |
| EXPOSE FLOOR<br>MINIMUM RSI (R) VALUE   | 5.46<br>(R31)   |
| WALLS ABOVE GRADE<br>MINIMUM RSI (R) VALUE  | 4.4<br>(R20+R5)   |
| BASEMENT WALLS<br>MINIMUM RSI (R) VALUE   | 3.52<br>(R20 BLANKET)   |
| EDGE OF BELOW GRADE SLAB<br>≤ 600mm BELOW GRADE<br>MINIMUM RSI (R) VALUE                          | 1.76<br>(R10)   |
| WINDOWS & SLIDING GLASS DOORS<br>MAXIMUM U-VALUE  | ENERGY STAR ® ZONE C (ER 29/MV 1.4)   |
| SPACE HEATING EQUIPMENT<br>MINIMUM AFUE   | 95% ENERGY STAR ® WITH ECM  |
| GAS FIREPLACE   | ELECTRONIC SPARK IGNITION   |
| HRV<br>MINIMUM EFFICIENCY   | TIER 2 65% SRE ENERGY STAR ® HRV TO<br>BE INTERCONNECTED TO THE FURNACE FAN<br>MUST BE BALANCED INDICATING ON HIGH<br>SPEED FRESH/STALE |
| HOT WATER TANK  | CONDENSING HOT WATER TANK 90% TE<br>ENVIROSENCE   |
| DRAIN WATER HEAT RECOVERY   | ONE SHOWER > 42% STEADY R3-42 OR<br>TD342   |
| AIR TIGHTNESS MUST MEET MINIMUM   | DETACHED LEVEL 1 (2.5 ACH/0.18 NLR)<br>ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)  |
| DUCT SEALING  | ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF<br>RETURN DUCTS  |
| LIGHTS  | 75% CFLs OR LEDs  |

| AREA CALCULATIONS        |   | ELEV. 1 |         |
|--------------------------|---|---------|---------|
| GROUND FLOOR AREA        | = | 1560    | Sq. Ft. |
| SECOND FLOOR AREA        | = | 1896    | Sq. Ft. |
| TOTAL FLOOR AREA         | = | 3456    | Sq. Ft. |
|                          |   | 321.07  | Sq. M.  |
| 1ST FLOOR OPEN AREA      | = | 0       | Sq. Ft. |
| 2ND FLOOR OPEN AREA      | = | 10      | Sq. Ft. |
| ADD TOTAL OPEN AREAS     | = | 10      | Sq. Ft. |
| ADD FIN. BASEMENT AREA   | = | 0       | Sq. Ft. |
| GROSS FLOOR AREA         | = | 3466    | Sq. Ft. |
|                          |   | 322.00  | Sq. M.  |
| GROUND FLOOR COVERAGE    | = | 1560    | Sq. Ft. |
| GARAGE COVERAGE / AREA   | = | 389     | Sq. Ft. |
| PORCH COVERAGE / AREA    | = | 38      | Sq. Ft. |
| TOTAL COVERAGE W/ PORCH  | = | 1987    | Sq. Ft. |
|                          |   | 184.60  | Sq. m.  |
| TOTAL COVERAGE W/O PORCH | = | 1949    | Sq. Ft. |
|                          |   | 181.07  | Sq. m.  |

| AREA CALCULATIONS        |   | ELEV. 2 |         |
|--------------------------|---|---------|---------|
| GROUND FLOOR AREA        | = | 1560    | Sq. Ft. |
| SECOND FLOOR AREA        | = | 1898    | Sq. Ft. |
| TOTAL FLOOR AREA         | = | 3458    | Sq. Ft. |
|                          |   | 321.26  | Sq. M.  |
| 1ST FLOOR OPEN AREA      | = | 0       | Sq. Ft. |
| 2ND FLOOR OPEN AREA      | = | 10      | Sq. Ft. |
| ADD TOTAL OPEN AREAS     | = | 10      | Sq. Ft. |
| ADD FIN. BASEMENT AREA   | = | 0       | Sq. Ft. |
| GROSS FLOOR AREA         | = | 3468    | Sq. Ft. |
|                          |   | 322.19  | Sq. M.  |
| GROUND FLOOR COVERAGE    | = | 1560    | Sq. Ft. |
| GARAGE COVERAGE / AREA   | = | 389     | Sq. Ft. |
| PORCH COVERAGE / AREA    | = | 38      | Sq. Ft. |
| TOTAL COVERAGE W/ PORCH  | = | 1987    | Sq. Ft. |
|                          |   | 184.60  | Sq. m.  |
| TOTAL COVERAGE W/O PORCH | = | 1949    | Sq. Ft. |
|                          |   | 181.07  | Sq. m.  |

| AREA CALCULATIONS        |   | ELEV. 3 |         |
|--------------------------|---|---------|---------|
| GROUND FLOOR AREA        | = | 1558    | Sq. Ft. |
| SECOND FLOOR AREA        | = | 1906    | Sq. Ft. |
| TOTAL FLOOR AREA         | = | 3464    | Sq. Ft. |
|                          |   | 321.82  | Sq. M.  |
| 1ST FLOOR OPEN AREA      | = | 0       | Sq. Ft. |
| 2ND FLOOR OPEN AREA      | = | 10      | Sq. Ft. |
| ADD TOTAL OPEN AREAS     | = | 10      | Sq. Ft. |
| ADD FIN. BASEMENT AREA   | = | 0       | Sq. Ft. |
| GROSS FLOOR AREA         | = | 3474    | Sq. Ft. |
|                          |   | 322.75  | Sq. M.  |
| GROUND FLOOR COVERAGE    | = | 1558    | Sq. Ft. |
| GARAGE COVERAGE / AREA   | = | 389     | Sq. Ft. |
| PORCH COVERAGE / AREA    | = | 40      | Sq. Ft. |
| TOTAL COVERAGE W/ PORCH  | = | 1987    | Sq. Ft. |
|                          |   | 184.60  | Sq. m.  |
| TOTAL COVERAGE W/O PORCH | = | 1947    | Sq. Ft. |
|                          |   | 180.88  | Sq. m.  |

2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @12" O.C. FULL HT C/W SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

| JUNIPER 9  |          | ELEV.1   |             | ENERGY STAR |            |
|------------|----------|----------|-------------|-------------|------------|
| ELEVATION  | WALL FT² | WALL MT² | OPENING FT² | OPENING MT² | PERCENTAGE |
| FRONT      | 831.29   | 77.23    | 1111.6      | 10.33       | 13.37 %    |
| LEFT SIDE  | 1183.54  | 109.95   | 1201.8      | 11.17       | 10.15 %    |
| RIGHT SIDE | 1185.01  | 110.09   | 41.00       | 3.81        | 3.46 %     |
| REAR       | 791.00   | 73.49    | 158.57      | 14.73       | 20.05 %    |
| TOTAL      | 3990.84  | 370.76   | 430.91      | 40.03       | 10.80 %    |

| JUNIPER 9  |          | ELEV.2   |             | ENERGY STAR |            |
|------------|----------|----------|-------------|-------------|------------|
| ELEVATION  | WALL FT² | WALL MT² | OPENING FT² | OPENING MT² | PERCENTAGE |
| FRONT      | 798.36   | 74.17    | 1291.9      | 12.00       | 16.18 %    |
| LEFT SIDE  | 1183.83  | 109.98   | 94.08       | 8.74        | 7.95 %     |
| RIGHT SIDE | 1185.01  | 110.09   | 41.00       | 3.81        | 3.46 %     |
| REAR       | 791.00   | 73.49    | 158.57      | 14.73       | 20.05 %    |
| TOTAL      | 3958.20  | 367.73   | 422.84      | 39.28       | 10.68 %    |

| JUNIPER 9  |          | ELEV.3   |             | ENERGY STAR |            |
|------------|----------|----------|-------------|-------------|------------|
| ELEVATION  | WALL FT² | WALL MT² | OPENING FT² | OPENING MT² | PERCENTAGE |
| FRONT      | 817.26   | 75.93    | 150.23      | 13.96       | 18.38 %    |
| LEFT SIDE  | 1214.28  | 112.81   | 94.08       | 8.74        | 7.15 %     |
| RIGHT SIDE | 1196.25  | 111.14   | 41.00       | 3.81        | 3.43 %     |
| REAR       | 791.00   | 73.49    | 158.57      | 14.73       | 20.05 %    |
| TOTAL      | 4018.79  | 373.36   | 443.88      | 41.24       | 11.05 %    |



BUILDING: REVIEWED  
SCOTT SHERRIFFS APR 13, 2017  
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of  
inspections by the Town of Milton relieves the owner from  
full responsibility for compliance with the provisions of  
the Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
By-laws of the Region of Halton and Town of Milton

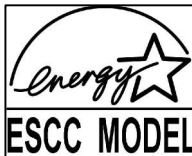
GENERAL NOTES/CONSTRUCTION DETAILS  
Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
constructions details and specifications



ZONING: APPROVED  
ROBIN CAMPBELL APR 22, 2017  
ZONING OFFICER DATE

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.



ENERGY STAR - V 12.7

JUNIPER 9  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE

|           |                   |          |
|-----------|-------------------|----------|
| 5.        |                   |          |
| 4.        |                   |          |
| 3.        |                   |          |
| 2.        |                   |          |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |
| REVISIONS |                   |          |

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



| SHEET TITLE |             |
|-------------|-------------|
| AREA CHARTS |             |
| SCALE       | 3/16"=1'-0" |
| DATE        | JUL 2016    |
| BY          | V.G.        |
| TYPE        |             |

|   |         |          |          |
|---|---------|----------|----------|
| CONTRACTOR SHALL CHECK ALL<br>DIMENSIONS AND ELEVATIONS BEFORE<br>COMMENCING WITH WORK AND REPORT<br>ANY DISCREPANCIES TO THE DESIGNER.<br>PRINTS ARE NOT TO BE SCALED. | AREA    | 3485     | PAGE No. |
|   | PROJECT | 02-10-10 | 0        |

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



**NOTE 1:** FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

FOR STRUCTURE ONLY

ARCHITECTURAL REVIEW & APPROVAL

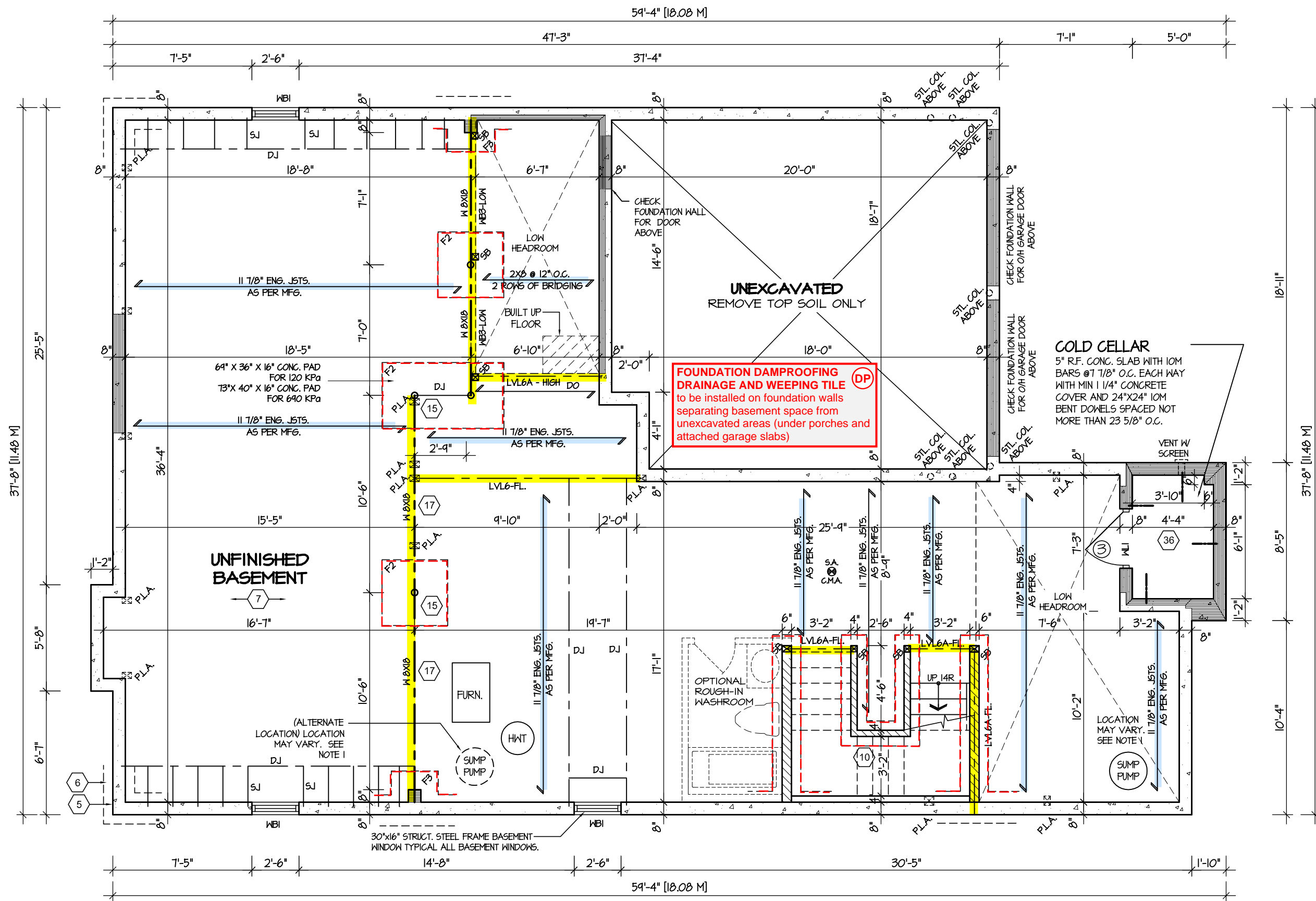
MAR 20 2017

John G. Williams Limited, Architect

# JUNIPER 9

|           |                   |  |   |  |               |             |   |      |  |                          |
|-----------|-------------------|--|---|--|---------------|-------------|---|------|--|--------------------------|
| 5.        |                   | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION<br/>DESIGN<br/>INC.</b></p> | SHEET TITLE   |             | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |      |  <p>PROJECT NAME</p> <p>LECCO RIDGE</p> |                          |
| 4.        |                   |  |   |  | BASEMENT PLAN |             |   |      |  | <p>PAGE No.</p> <p>1</p> |
| 3.        |                   |  |   |  | ELEV. 1       |             |   |      |  |                          |
| 2.        |                   |  |   |  | SCALE         | BY          | AREA  |      |  |                          |
| 1.        | ISSUED FOR REVIEW |  |   |  | SEP 2016      | 3/16"=1'-0" | V.G.  | 3485 |  |                          |
| REVISIONS |                   |  | DATE  | TYPE                                     | PROJECT       |             |   |      |  |                          |
|           |                   |  | JUL 2016  |  | 02-10-10      |             |   |      |  |                          |





BASEMENT FLOOR PLAN '2'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

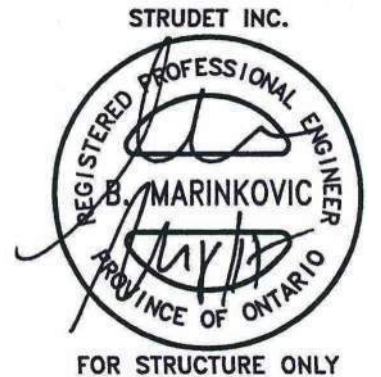
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ENGINEERED FLOOR SYSTEM  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

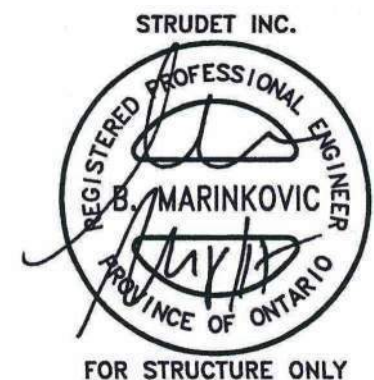
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 9  
ENERGY STAR

|           |                   |   |   |                               |               |              |   |  |      |          |
|-----------|-------------------|---|---|-------------------------------|---------------|--------------|---|--|------|----------|
| 5.        |                   | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR<br/><br/>NAME SIGNATURE</div> <div>28770<br/>BCIN</div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE   |              | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |  |      |          |
| 4.        |                   |   |   |                               | BASEMENT PLAN |              | <div></div>  |  |      |          |
| 3.        |                   |   |   |                               | ELEV. 2       |              |   |  |      |          |
| 2.        |                   |   |   |                               | SCALE         | BY           |   |  | AREA | PAGE No. |
| 1.        | ISSUED FOR REVIEW |   |   |                               | SEP 2016      | 3/16"=1'-0"  |   |  | V.G. | 3485     |
| REVISIONS |                   |   | DATE  | TYPE                          | PROJECT       | PROJECT NAME |   |  |      |          |
|           |                   |   | JUL 2016  |                               | 02-10-10      | LECCO RIDGE  |   |  |      |          |



RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

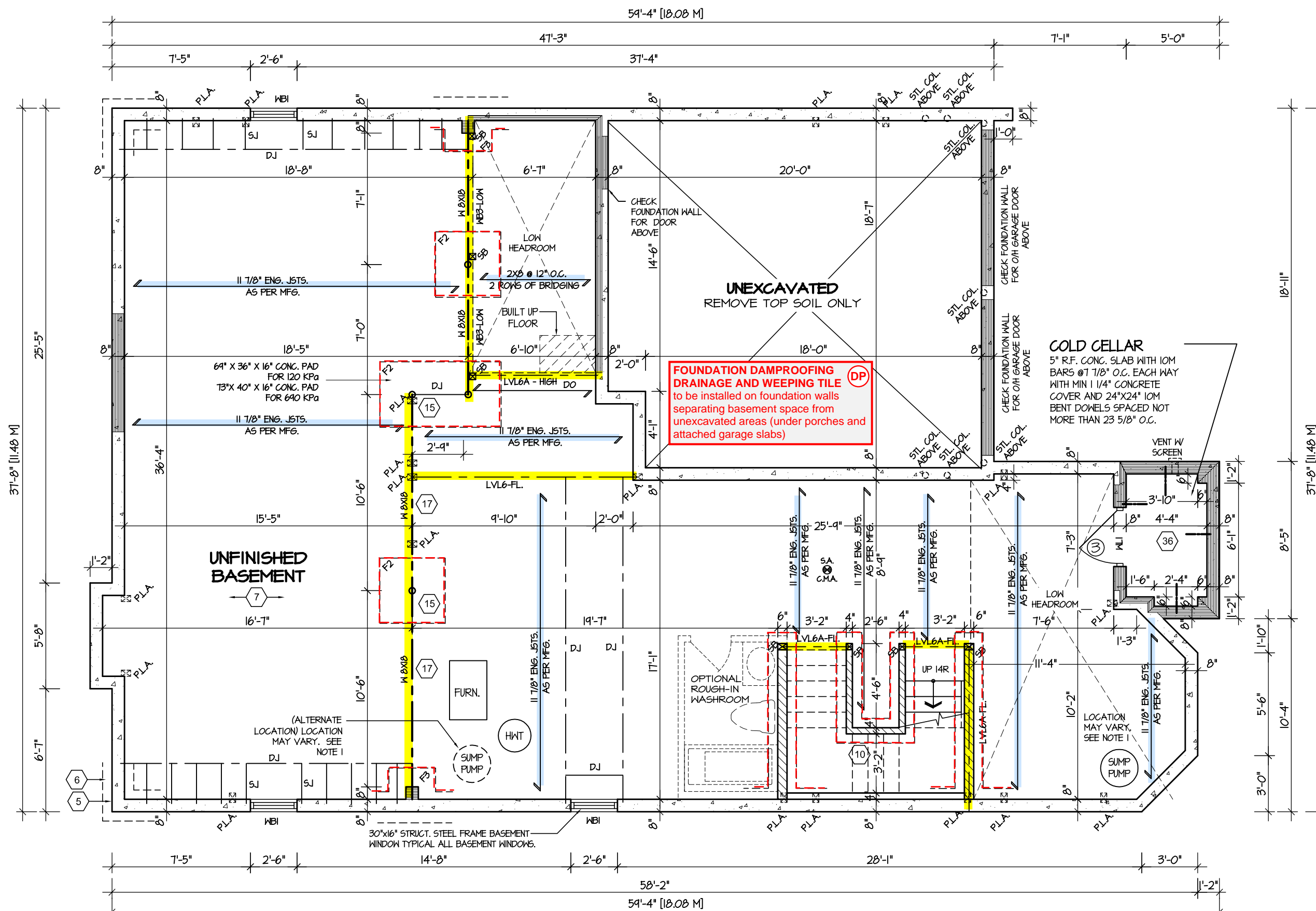
MAR 20 2017

John G. Williams Limited, Architect

**JUNIPER 9**  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE



**BASEMENT FLOOR PLAN '3'**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

**NOTE 1:** FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

|           |                   |          |
|-----------|-------------------|----------|
| 5.        |                   |          |
| 4.        |                   |          |
| 3.        |                   |          |
| 2.        |                   |          |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |
| REVISIONS |                   |          |

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE

28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

SHEET TITLE  
**BASEMENT PLAN  
ELEV. 3**

SCALE  
3/16"=1'-0"

DATE  
JUL 2016

BY  
V.G.

TYPE

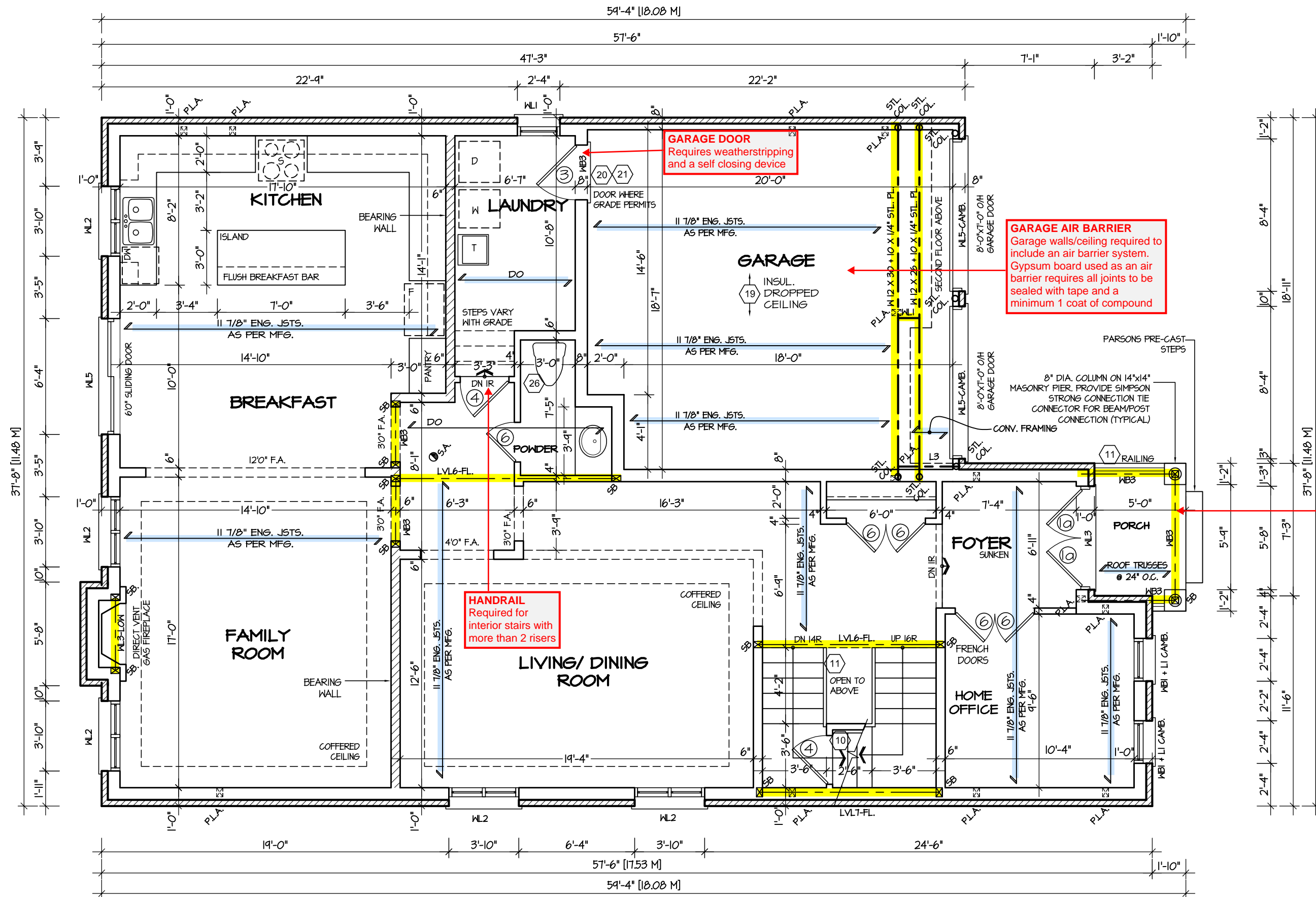
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3485

PAGE No.  
1-3

PROJECT  
02-10-10





FIRST FLOOR PLAN 'I'

**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 9**  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE

|           |                   |          |
|-----------|-------------------|----------|
| 5.        |                   |          |
| 4.        |                   |          |
| 3.        |                   |          |
| 2.        |                   |          |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |
| REVISIONS |                   |          |

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME  
SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE  
FIRST FLOOR PLAN  
ELEV. 1

SCALE  
3/16"=1'-0"

DATE  
JUL 2016

BY  
V.G.

TYPE

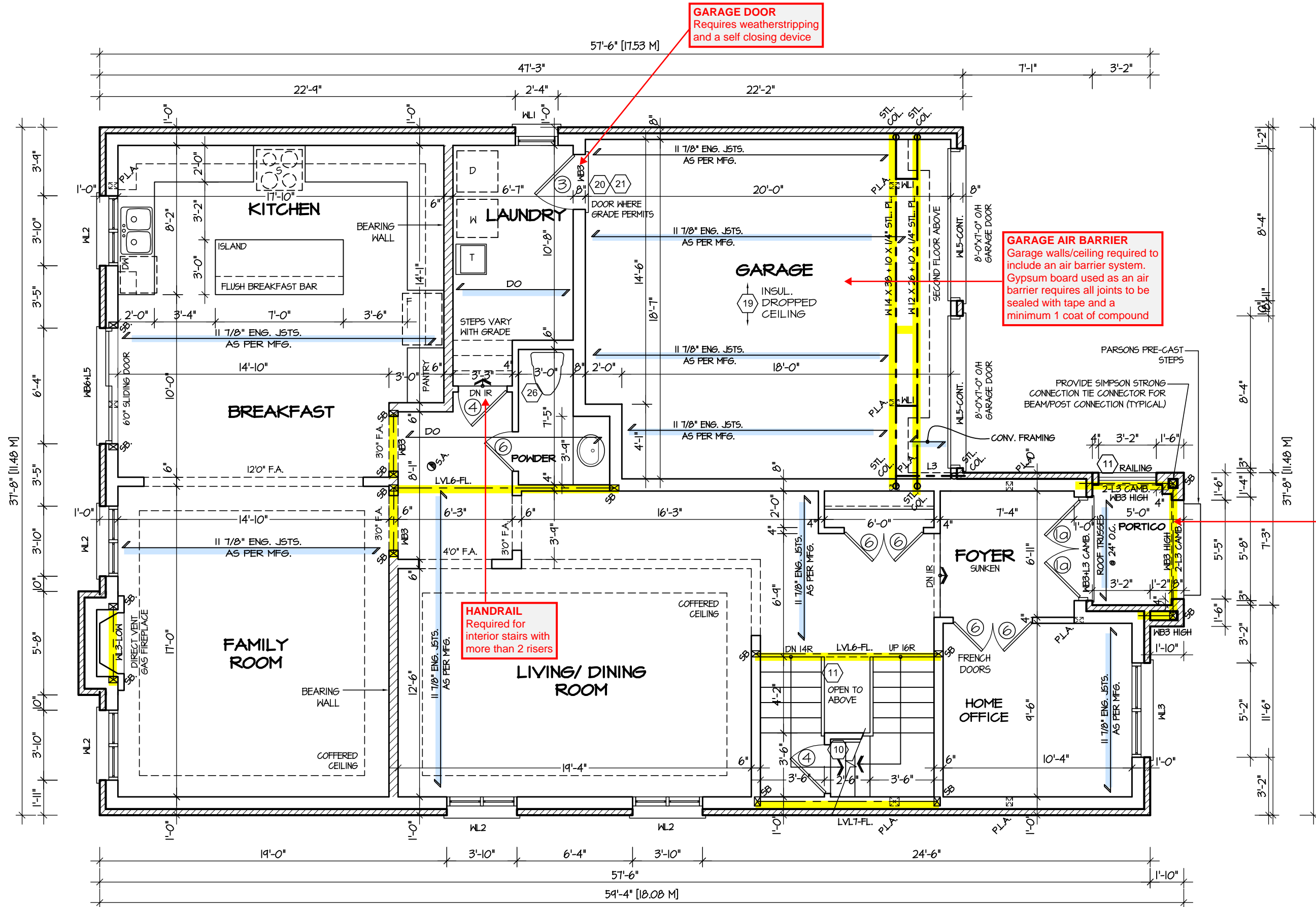
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3485

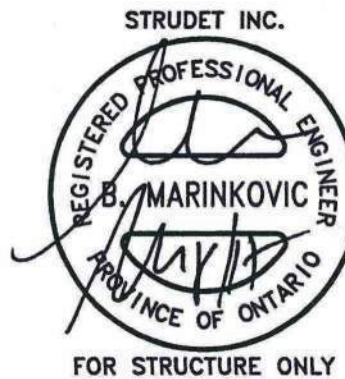
PROJECT  
02-10-10

PAGE No.  
2

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



FIRST FLOOR PLAN '2'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

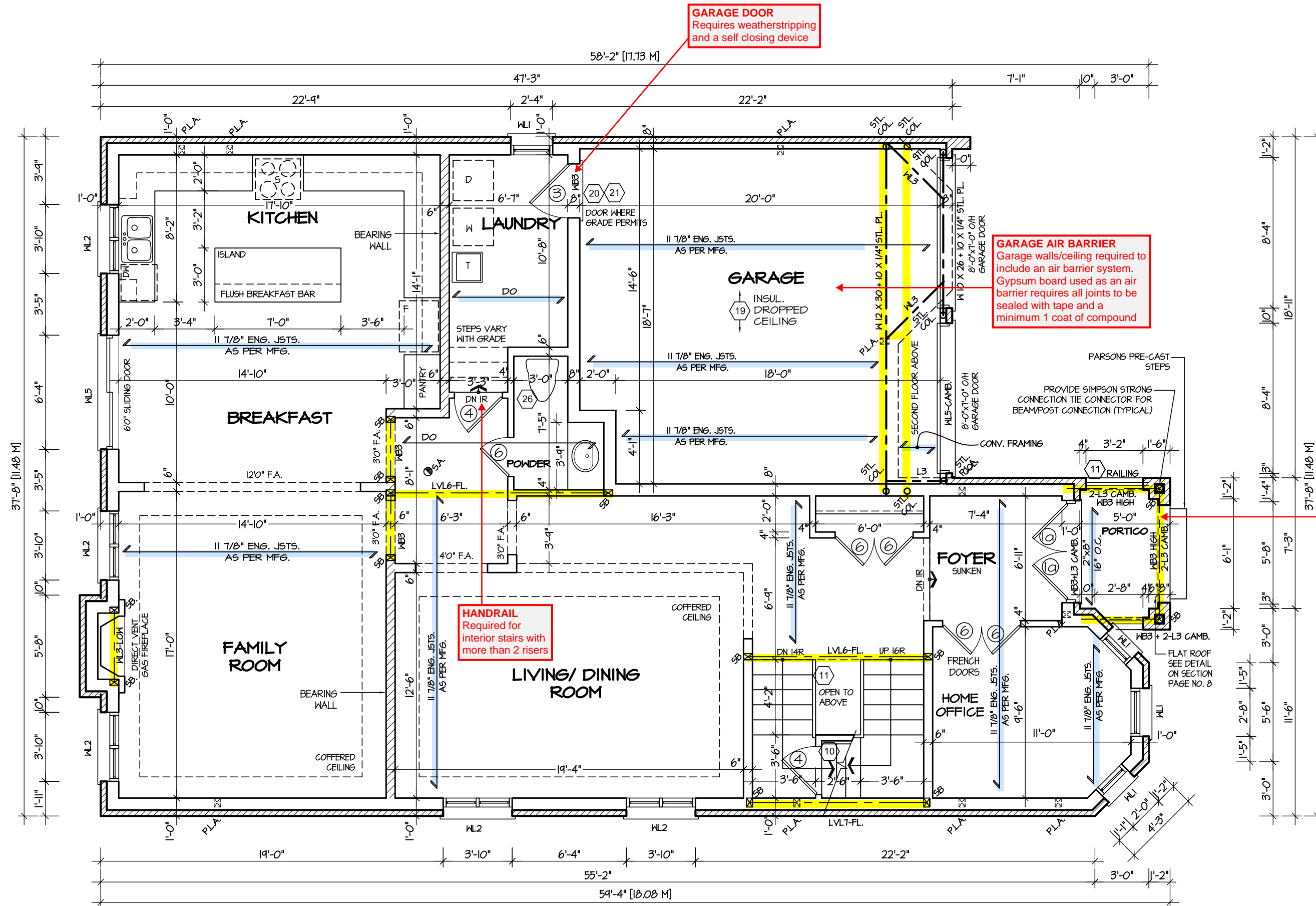
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 9  
ENERGY STAR

|           |                   |  |   |                               |                  |             |   |          |   |
|-----------|-------------------|--|---|-------------------------------|------------------|-------------|---|----------|---|
| 5.        |                   | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE      |             | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          | <div> <b>Greenpark.</b></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div> |
| 4.        |                   |  |   |                               | FIRST FLOOR PLAN |             |   |          |   |
| 3.        |                   |  |   |                               | ELEV. 2          |             |   |          |   |
| 2.        |                   |  |   |                               | SCALE            | BY          | AREA  | PAGE No. |   |
| 1.        | ISSUED FOR REVIEW |  |   |                               | SEP 2016         | 3/16"=1'-0" | V.G.  | 3485     |   |
| REVISIONS |                   |  | DATE  | TYPE                          | PROJECT          |             |   |          |   |
|           |                   |  | JUL 2016  |                               | 02-10-10         |             |   |          |   |



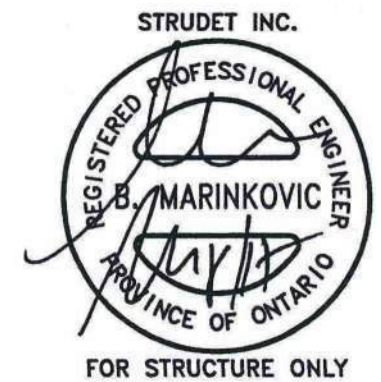
RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



FIRST FLOOR PLAN '3'

ENGINEERED FLOOR SYSTEM  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

GUARDS/HANDRAILS  
Shall be provided on porches as required based on final lot grading




It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams United, Architect

JUNIPER 9  
ENERGY STAR

|           |                   |   |  |  |  |  |   |                     |   |                     |                                 |
|-----------|-------------------|---|--|--|--|--|---|---------------------|---|---------------------|---------------------------------|
| 5.        |                   | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p> | REGION DESIGN INC.<br><br>8700 DUFFERIN ST.<br><br>CONCORD, ONTARIO<br><br>L4K 4S6<br><br>P (416) 736-4096<br><br>F (905) 660-0746 |  REGION DESIGN INC. | SHEET TITLE<br>FIRST FLOOR PLAN<br>ELEV. 3 |  | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |                     |  <b>Greenpark.</b> |                     |                                 |
| 4.        |                   |   |  |  | SCALE<br>3/16"=1'-0"                       |  | BY<br>V.G.  | AREA<br>3485        |   | PAGE No.<br><br>2-3 | PROJECT NAME<br><br>LECCO RIDGE |
| 3.        |                   |   |  |  | DATE<br>JUL 2016                           |  | TYPE  | PROJECT<br>02-10-10 |   |                     |                                 |
| 2.        |                   |   |  |  |  |  |   |                     |   |                     |                                 |
| 1.        | ISSUED FOR REVIEW |   |  |  |  |  |   |                     |   |                     |                                 |
| REVISIONS |                   |   |  |  |  |  |   |                     |   |                     |                                 |

**BATHROOM BLOCKING**  
See standard details page 10  
for required main bathroom  
grab bar reinforcing

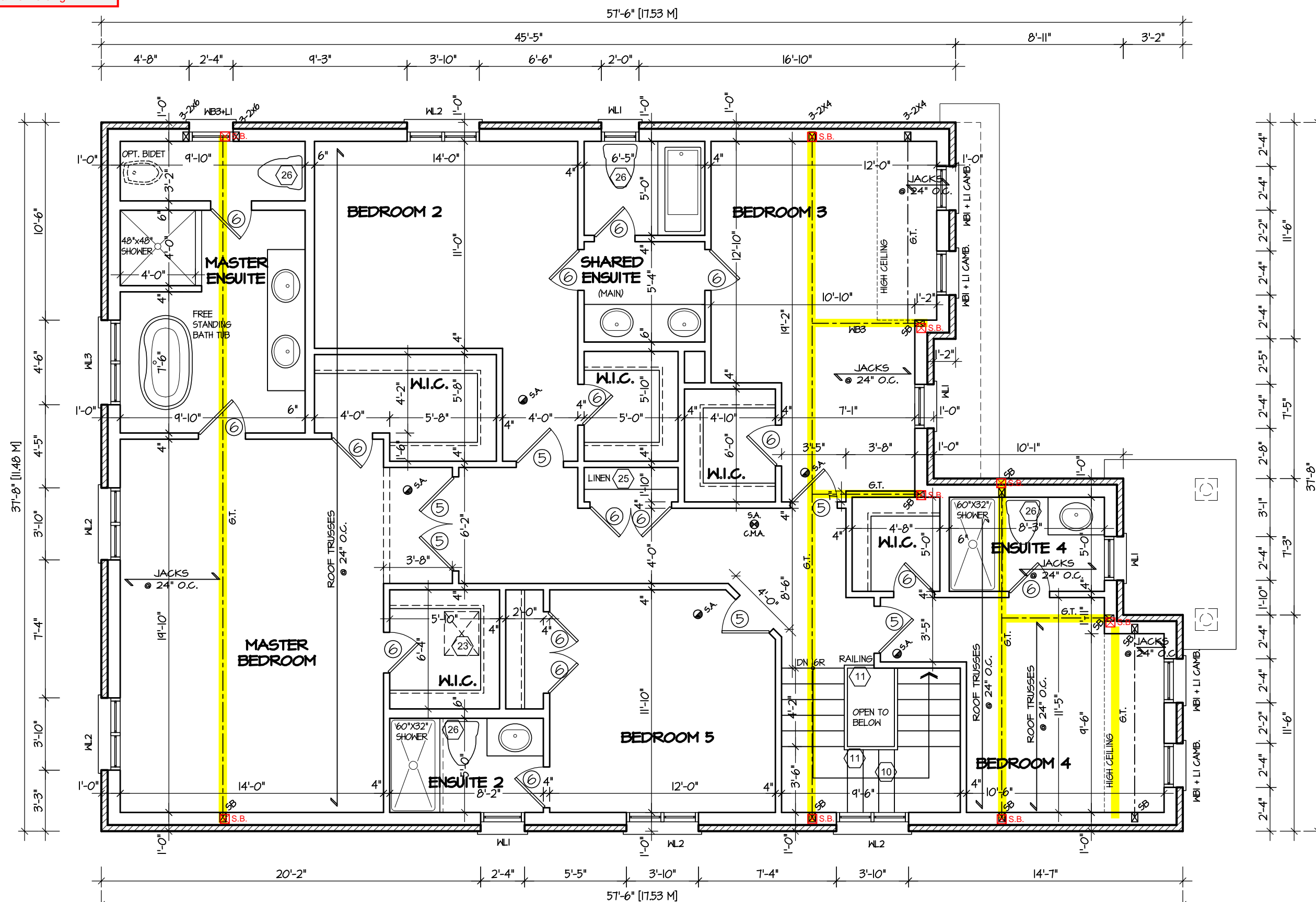
# BUILDING: REVIEWED

## SCOTT SHERRIFFS

### APR 13, 2017

| PLANS EXAMINER   | DATE |
|--|------|
| Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton |      |

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



SECOND FLOOR PLAN "I"

**ENGINEERED TRUSS SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered truss system layout



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MII TON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

# JUNIPER 9

|           |                   |          |   |   |  |                   |         |   |  |  |                                    |
|-----------|-------------------|----------|---|---|--|-------------------|---------|---|--|--|------------------------------------|
| 5.        |                   |          | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION<br/>DESIGN<br/>INC.</b></p> | SHEET TITLE       |         | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |  |  <p>PROJECT NAME</p> <p>LECCO RIDGE</p> |                                    |
| 4.        |                   |          |   |   |  | SECOND FLOOR PLAN |         |   |  |  | <p>AREA 3485</p> <p>PAGE No. 3</p> |
| 3.        |                   |          |   |   |  | ELEV. 1           |         |   |  |  |                                    |
| 2.        |                   |          |   |   |  | SCALE 3/16"=1'-0" | BY V.G. |   |  |  |                                    |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |   |   |  | DATE JUL 2016     | TYPE    | PROJECT 02-10-10  |  |  |                                    |
| REVISIONS |                   |          |   |   |  |                   |         |   |  |  |                                    |



**BATHROOM  
BLOCKING**  
See standard  
details page 10 for  
required main  
bathroom grab bar  
reinforcing



TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
JUNIPER 9 MODEL

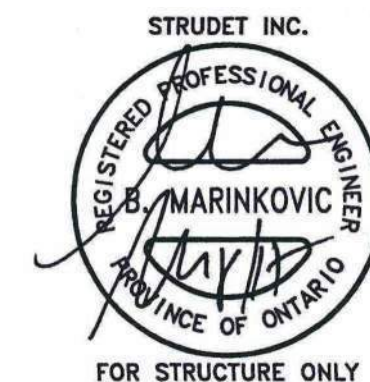
BUILDING: REVIEWED

SCOTT SHERRIFFS APR 13, 2017

|                |      |
|----------------|------|
| PLANS EXAMINER | DATE |
|----------------|------|

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW &amp; APPROVAL

MAR 2/0 201

John G. Williams Limited, Architects

# JUNIPER 9

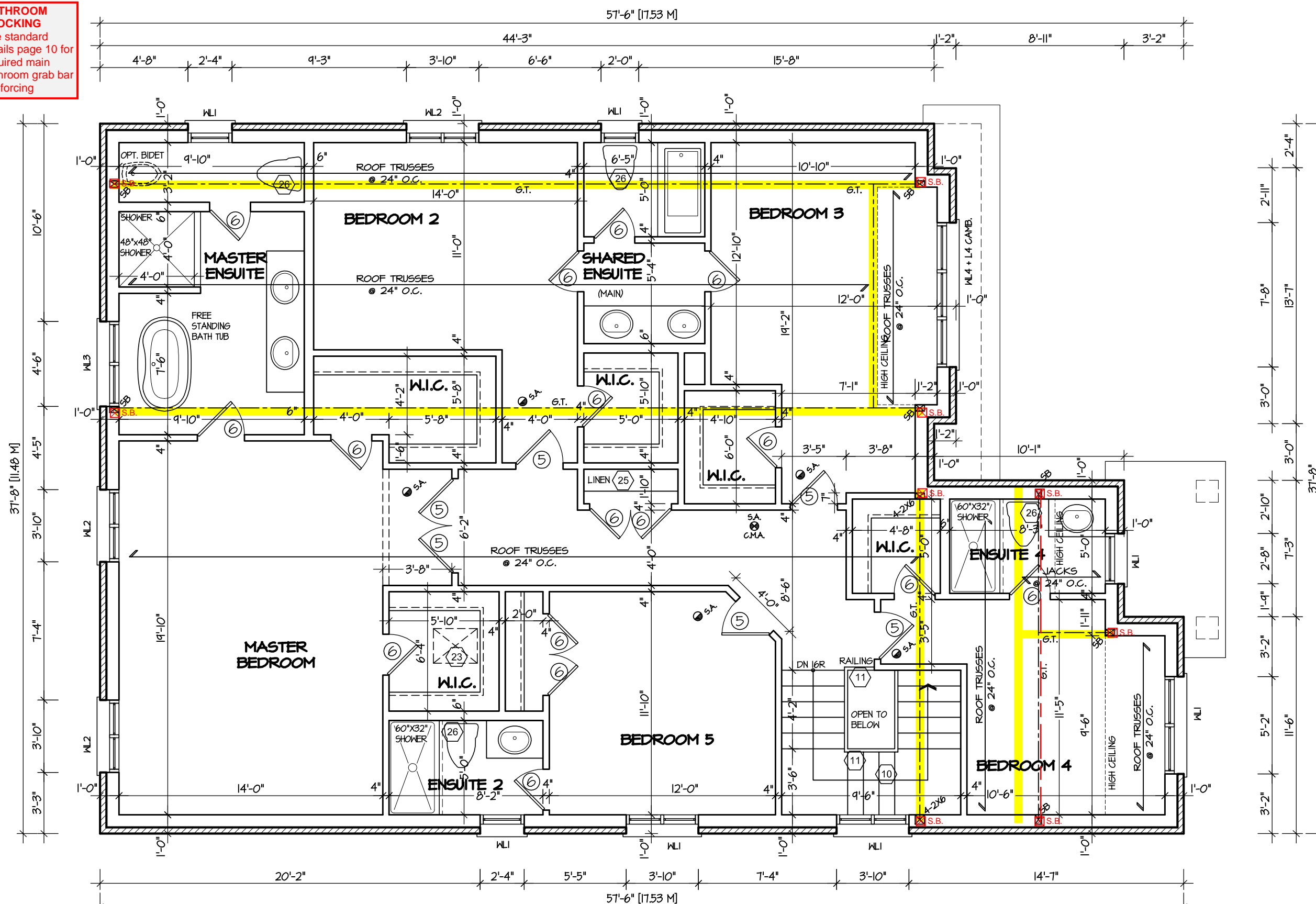


**Greenpark™**

|              |             |
|--------------|-------------|
| PROJECT NAME | LECCO RIDGE |
|--------------|-------------|

10:12:16 AM M:\PROJECTS\LECCO RIDGE - MILL TON\STANDARD PLANS\JUNIPER 9\ACAD-JUNIPER 9 MASTER.DWG

April 7 2017



SECOND FLOOR PLAN '2'

**ENGINEERED TRUSS SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered truss system layout

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

|              |  |       |
|--------------|--|-------|
| VIKAS GAJJAR |  | 28770 |
| NAME         | SIGNATURE  | BCIN  |

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
**SECOND FLOOR PLAN**  
ELEV. 2

|       |             |
|-------|-------------|
| SCALE | 3/16"=1'-0" |
| DATE  | JUL 2016    |

|      |      |
|------|------|
| BY   | V.G. |
| TYPE |      |

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER  
PRINTS ARE NOT TO BE SCALED.

|         |          |
|---------|----------|
| AREA    | 3485     |
| PROJECT | 02-10-10 |

PAGE No. 3-2

|           |                   |          |
|-----------|-------------------|----------|
| 5.        |                   |          |
| 4.        |                   |          |
| 3.        |                   |          |
| 2.        |                   |          |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |
| REVISIONS |                   |          |

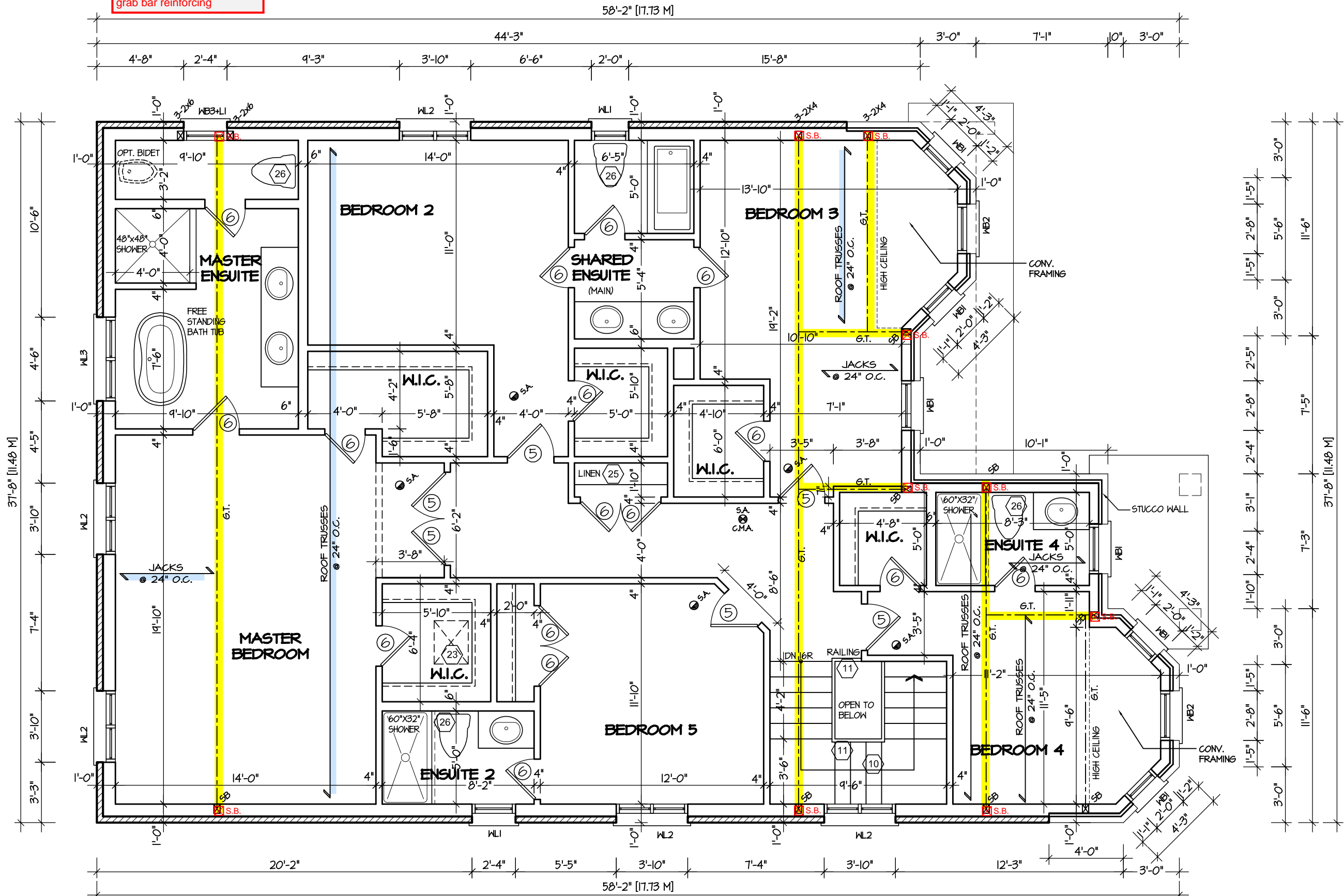
**BATHROOM BLOCKING**  
See standard details page 10  
for required main bathroom  
grab bar reinforcing

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
JUNIPER 9 MODEL

**BUILDING: REVIEWED**  
SCOTT SHERRIFFS APR 13, 2017  
PLANS EXAMINER DATE

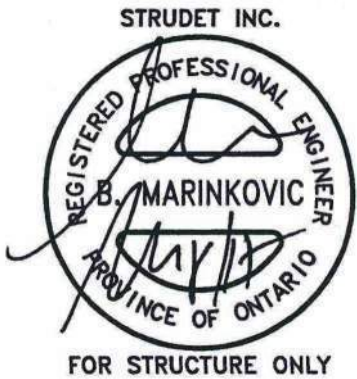
Neither the issuance of a permit nor carrying out of  
inspections by the Town of Milton relieves the owner from  
full responsibility for compliance with the provisions of  
the Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
By-laws of the Region of Halton and Town of Milton

**RECEIVED**  
**TOWN OF MILTON**  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



SECOND FLOOR PLAN '3'

**ENGINEERED TRUSS SYSTEM**  
Reviewed model drawings to be  
read in conjunction with reviewed  
engineered truss system layout



It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 9**  
ENERGY STAR

|           |                   |          |
|-----------|-------------------|----------|
| 5.        |                   |          |
| 4.        |                   |          |
| 3.        |                   |          |
| 2.        |                   |          |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |
| REVISIONS |                   |          |

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

|              |           |
|--------------|-----------|
| VIKAS GAJJAR | 28770     |
| NAME         | SIGNATURE |
|              | BCIN      |

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**SECOND FLOOR PLAN  
ELEV. 3**

|                      |            |
|----------------------|------------|
| SCALE<br>3/16"=1'-0" | BY<br>V.G. |
| DATE<br>JUL 2016     | TYPE       |

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

|                     |                 |
|---------------------|-----------------|
| AREA<br>3485        | PAGE No.<br>3-3 |
| PROJECT<br>02-10-10 |                 |

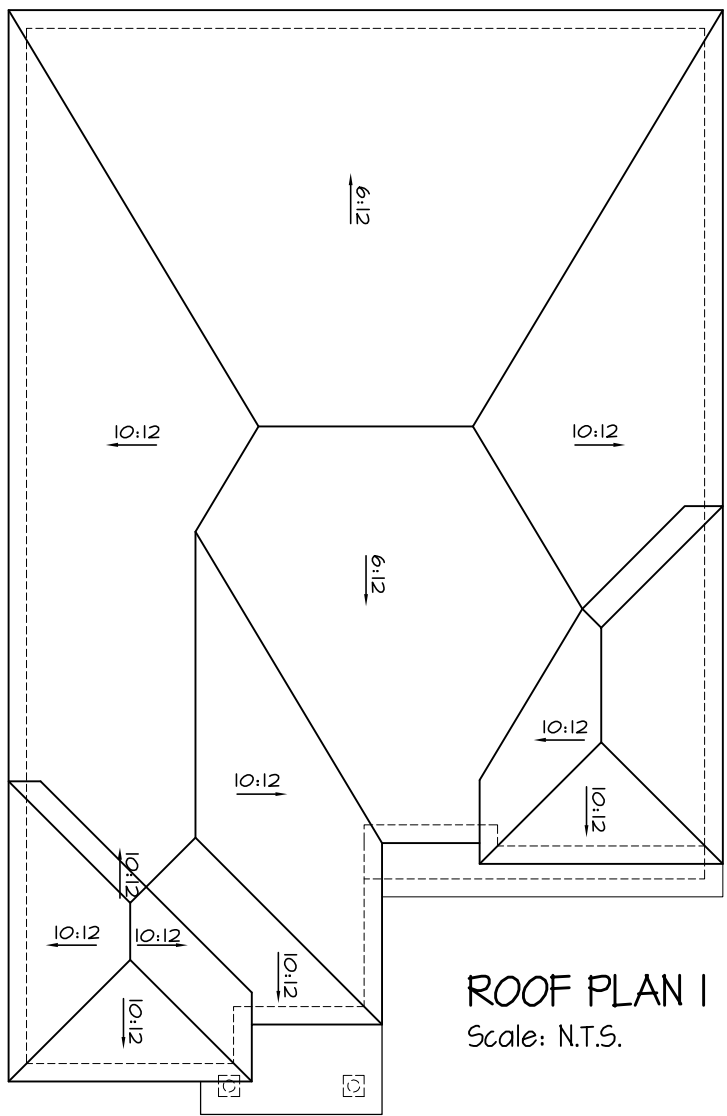
**Greenpark.**

PROJECT NAME  
**LECCO RIDGE**

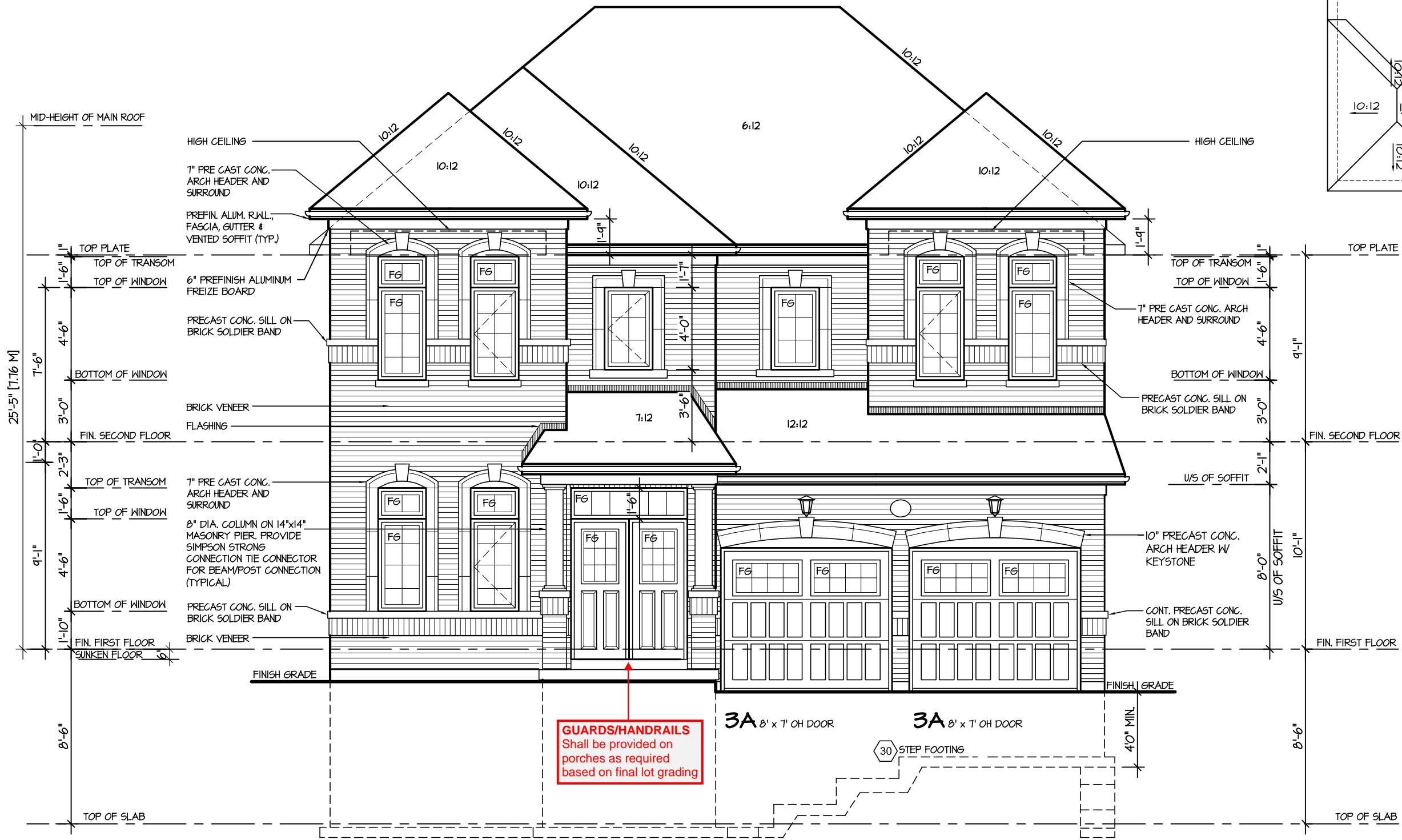


RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
JUNIPER 9 MODEL  
BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
DATE  
APR 13, 2017  
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



ROOF PLAN I  
Scale: N.T.S.



FRONT ELEVATION I

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

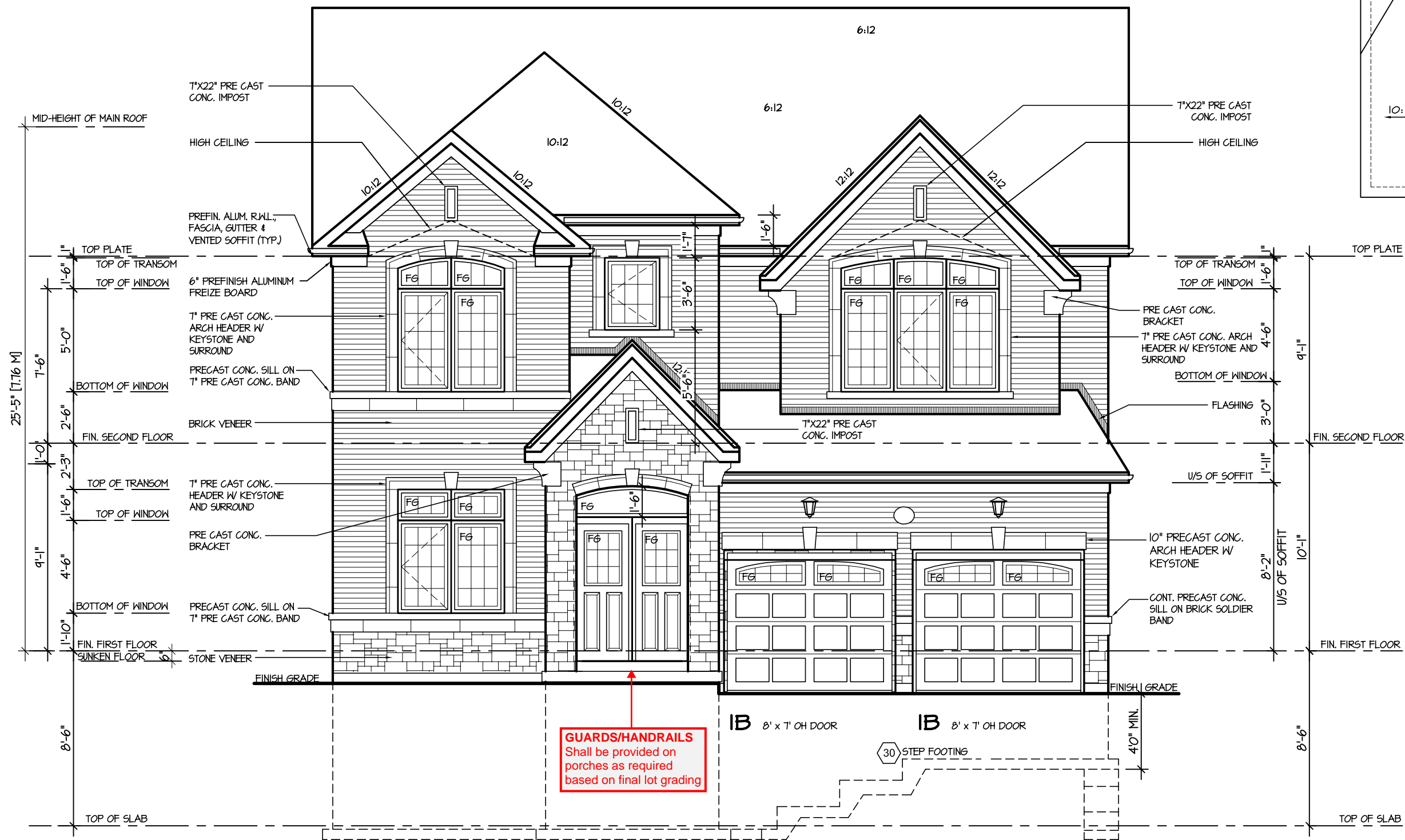
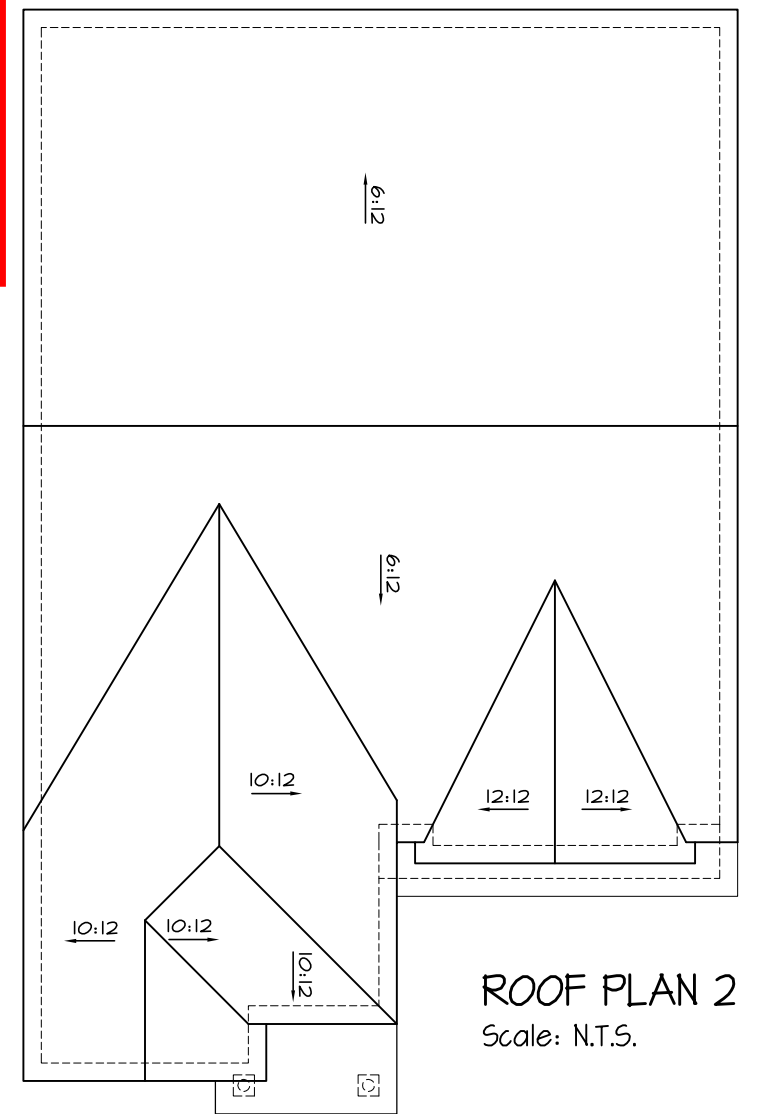
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams United, Architect

JUNIPER 9  
ENERGY STAR

|           |                   |   |   |                               |             |             |                 |      |         |          |   |   |   |
|-----------|-------------------|---|---|-------------------------------|-------------|-------------|-----------------|------|---------|----------|---|---|---|
| 5.        |                   | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div>NAME</div><div><div></div><div>SIGNATURE</div><div>28770</div><div>BCIN</div></div></div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE |             | FRONT ELEVATION |      | ELEV. 1 |          | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |   | <div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div> |
| 4.        |                   |   |   |                               | SCALE       | 3/16"=1'-0" | BY              | V.G. | AREA    | 3485     | PAGE No.  | 4 |   |
| 3.        |                   |   |   |                               | DATE        | JUL 2016    | TYPE            |      | PROJECT | 02-10-10 |   |   |   |
| 2.        |                   |   |   |                               |             |             |                 |      |         |          |   |   |   |
| 1.        | ISSUED FOR REVIEW |   |   |                               | SEP 2016    |             |                 |      |         |          |   |   |   |
| REVISIONS |                   |   |   |                               |             |             |                 |      |         |          |   |   |   |

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
JUNIPER 9 MODEL  
BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
APR 13, 2017  
DATE  
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



FRONT ELEVATION 2

ROOF PLAN 2  
Scale: N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams United, Architect

JUNIPER 9  
ENERGY STAR

|           |                   |          |
|-----------|-------------------|----------|
| 5.        |                   |          |
| 4.        |                   |          |
| 3.        |                   |          |
| 2.        |                   |          |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |
| REVISIONS |                   |          |

|   |           |      |
|---|-----------|------|
| The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. |           |      |
| QUALIFICATION INFORMATION   |           |      |
| Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  |           |      |
| VIKAS GAJJAR  | 28770     |      |
| NAME  | SIGNATURE | BCIN |

|                    |
|--------------------|
| REGION DESIGN INC. |
| 8700 DUFFERIN ST.  |
| CONCORD, ONTARIO   |
| L4K 4S6            |
| P (416) 736-4096   |
| F (905) 660-0746   |



|                         |             |
|-------------------------|-------------|
| SHEET TITLE             |             |
| FRONT ELEVATION ELEV. 2 |             |
| SCALE                   | 3/16"=1'-0" |
| DATE                    | JUL 2016    |
| BY                      | V.G.        |
| TYPE                    |             |

|   |          |
|---|----------|
| CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |
| AREA  | 3485     |
| PROJECT   | 02-10-10 |
| PAGE No.  | 4-2      |

|              |  |
|--------------|--|
|              |  |
| PROJECT NAME |  |
| LECCO RIDGE  |  |

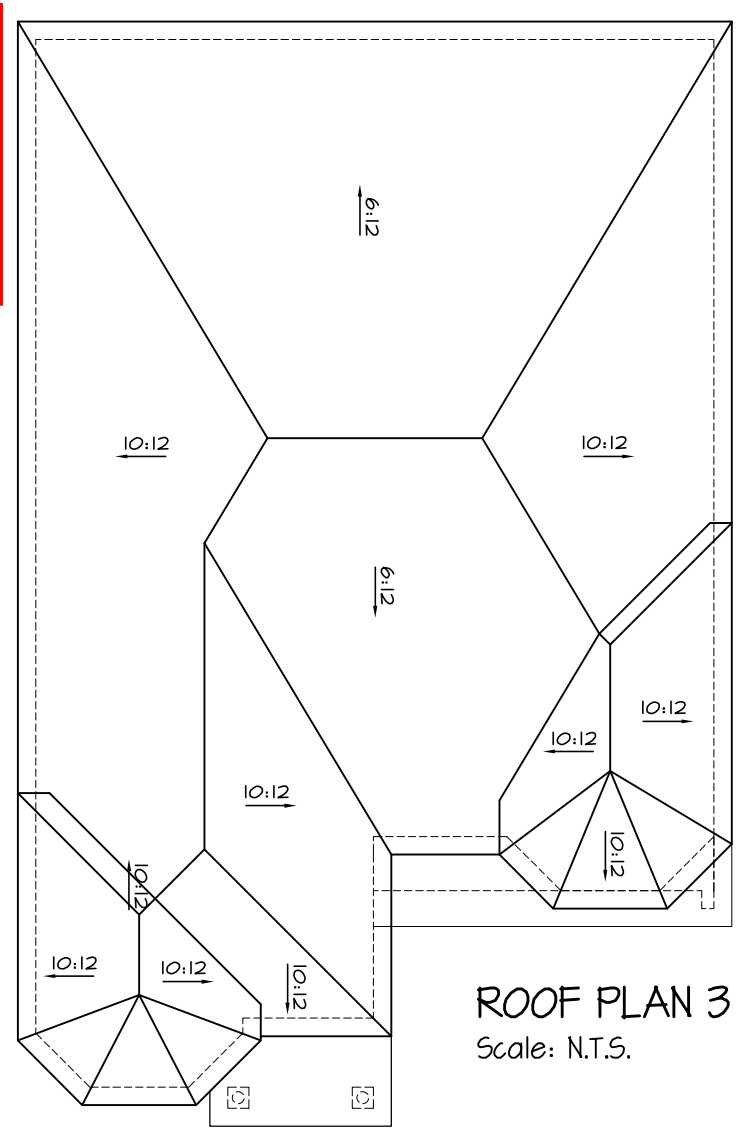


RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
JUNIPER 9 MODEL

**BUILDING: REVIEWED**  
SCOTT SHERRIFFS  
PLANS EXAMINER  
DATE  
APR 13, 2017

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



ROOF PLAN 3  
Scale: N.T.S.



FRONT ELEVATION 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

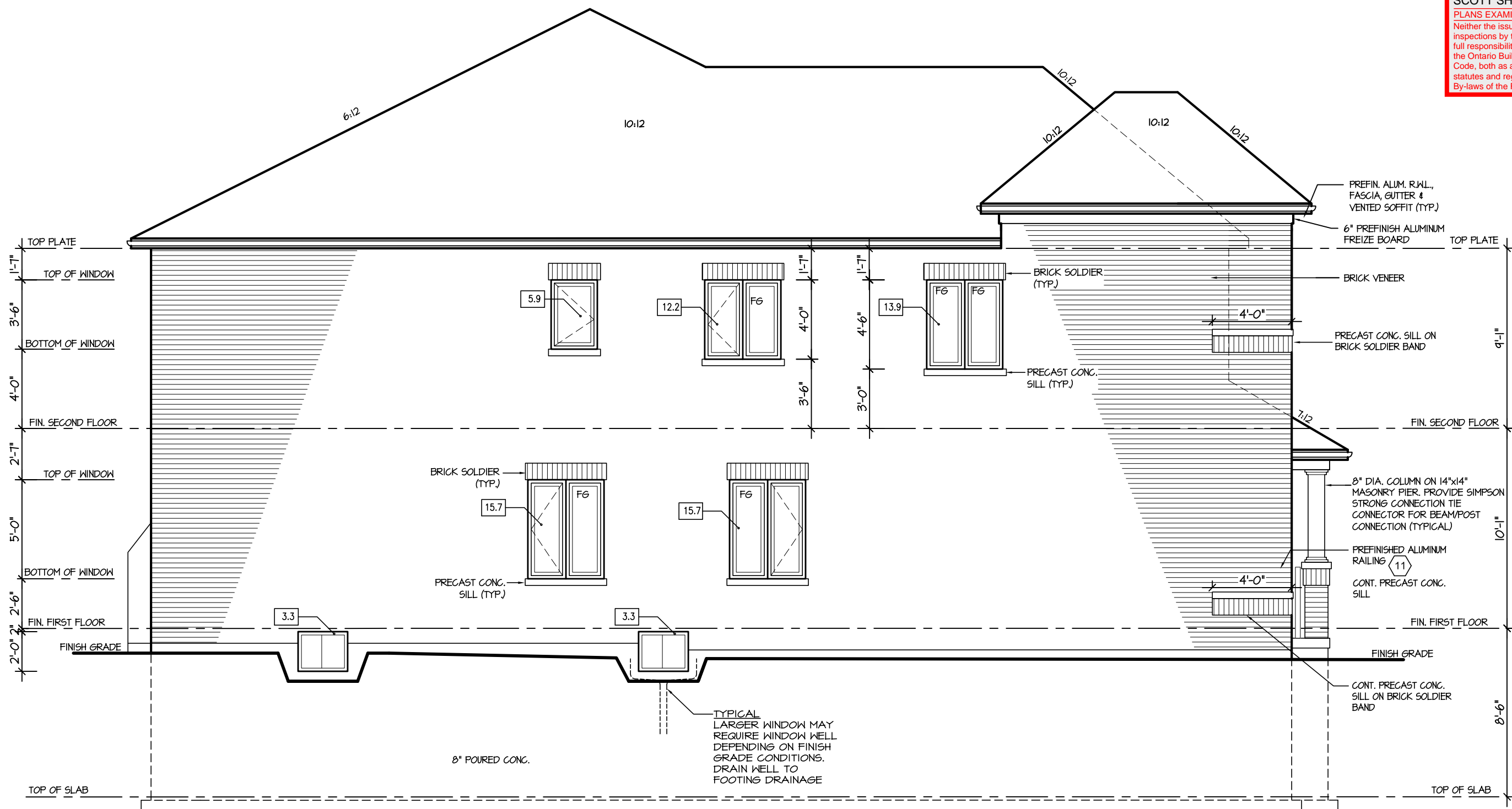
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams United, Architect

JUNIPER 9  
ENERGY STAR

|              |                   |   |  |                           |   |  |   |                 |  |                             |
|--------------|-------------------|---|--|---------------------------|---|--|---|-----------------|--|-----------------------------|
| 5. REVISIONS |                   | The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.<br>QUALIFICATION INFORMATION<br>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code<br>VIKAS GAJJAR<br>NAME SIGNATURE<br>28770<br>BCIN | REGION DESIGN INC.<br>8700 DUFFERIN ST.<br>CONCORD, ONTARIO<br>L4K 4S6<br>P (416) 736-4096<br>F (905) 660-0746 | <b>REGION DESIGN INC.</b> | SHEET TITLE<br>FRONT ELEVATION<br>ELEV. 3 |  | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |                 |  | PROJECT NAME<br>LECCO RIDGE |
| 4.           |                   |   |  |                           |   |  | SCALE<br>3/16"=1'-0"  | BY<br>V.G.      |  |                             |
| 3.           |                   |   |  |                           |   |  | DATE<br>JUL 2016  | TYPE            |  |                             |
| 2.           |                   |   |  |                           |   |  | AREA<br>3485  | PAGE No.<br>4-3 |  |                             |
| 1.           | ISSUED FOR REVIEW | SEP 2016  |  |                           |   |  | PROJECT<br>02-10-10   |                 |  |                             |

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



LEFT ELEVATION I

| ALLOWABLE GLAZING (STANDARD PLAN)           |   |       |         |
|---|---|-------|---------|
| WALL AREA                                   | = | 1183  | Sq. Ft. |
| ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD | = | 82.81 | Sq. Ft. |
| ACTUAL GLAZED AREA                          | = | 70.0  | Sq. Ft. |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

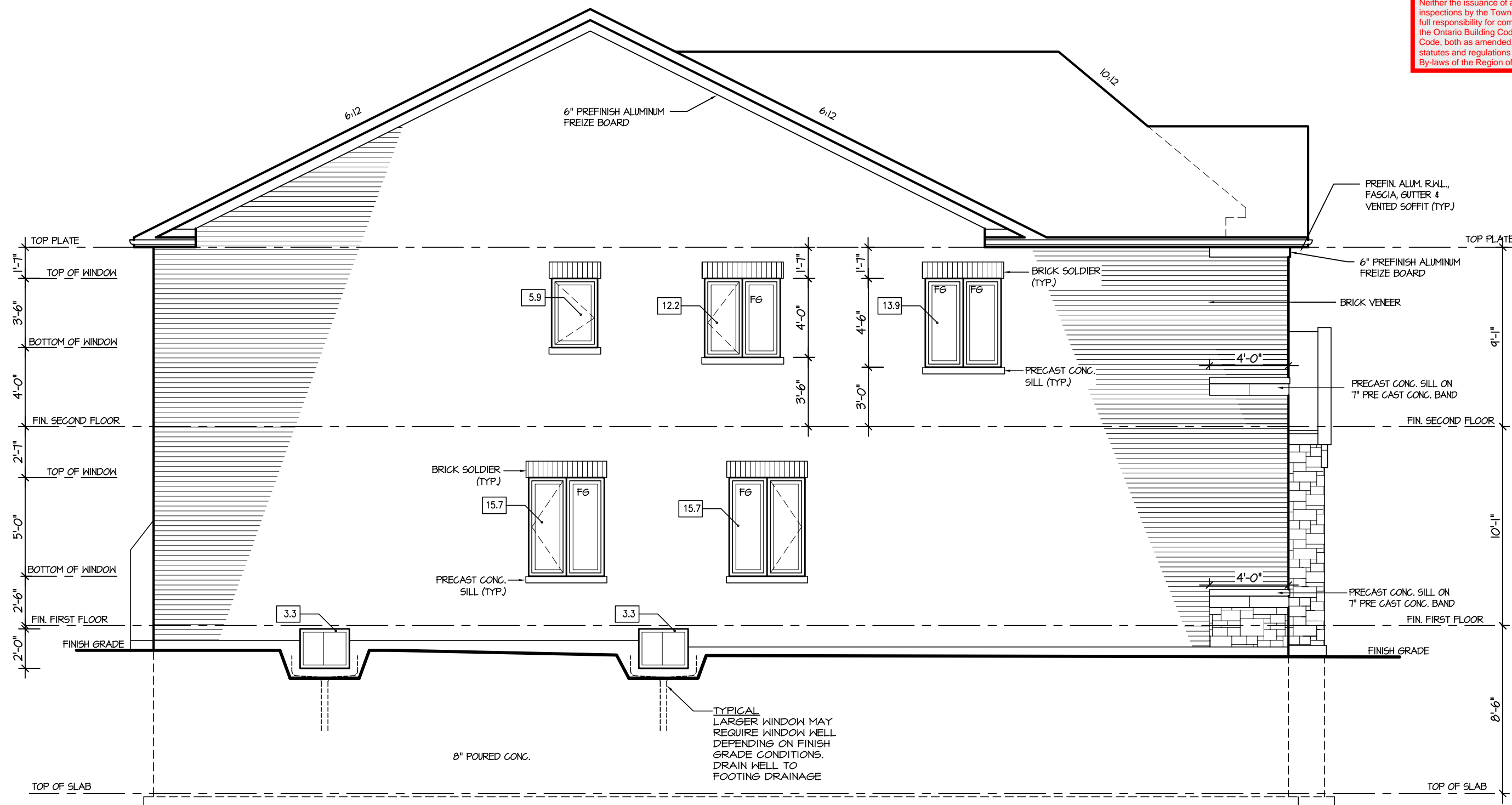
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 9**  
ENERGY STAR

|           |                   |  |   |                               |                             |      |   |          |   |
|-----------|-------------------|--|---|-------------------------------|-----------------------------|------|---|----------|---|
| 5.        |                   | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE                 |      | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          | <div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div> |
| 4.        |                   |  |   |                               | LEFT SIDE ELEVATION ELEV. 1 |      |   |          |   |
| 3.        |                   |  |   |                               | SCALE                       | BY   | AREA  | PAGE No. |   |
| 2.        |                   |  |   |                               | 3/16"=1'-0"                 | V.G. | 3485  | 5        |   |
| 1.        | ISSUED FOR REVIEW |  |   |                               | SEP 2016                    | DATE | TYPE  | PROJECT  |   |
| REVISIONS |                   |  | JUL 2016  |                               | 02-10-10                    |      |   |          |   |



RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



LEFT ELEVATION 2

| ALLOWABLE GLAZING (STANDARD PLAN)          |   |       |         |
|--|---|-------|---------|
| WALL AREA                                  | = | 1103  | Sq. Ft. |
| ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD | = | 82.81 | Sq. Ft. |
| ACTUAL GLAZED AREA                         | = | 70.0  | Sq. Ft. |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

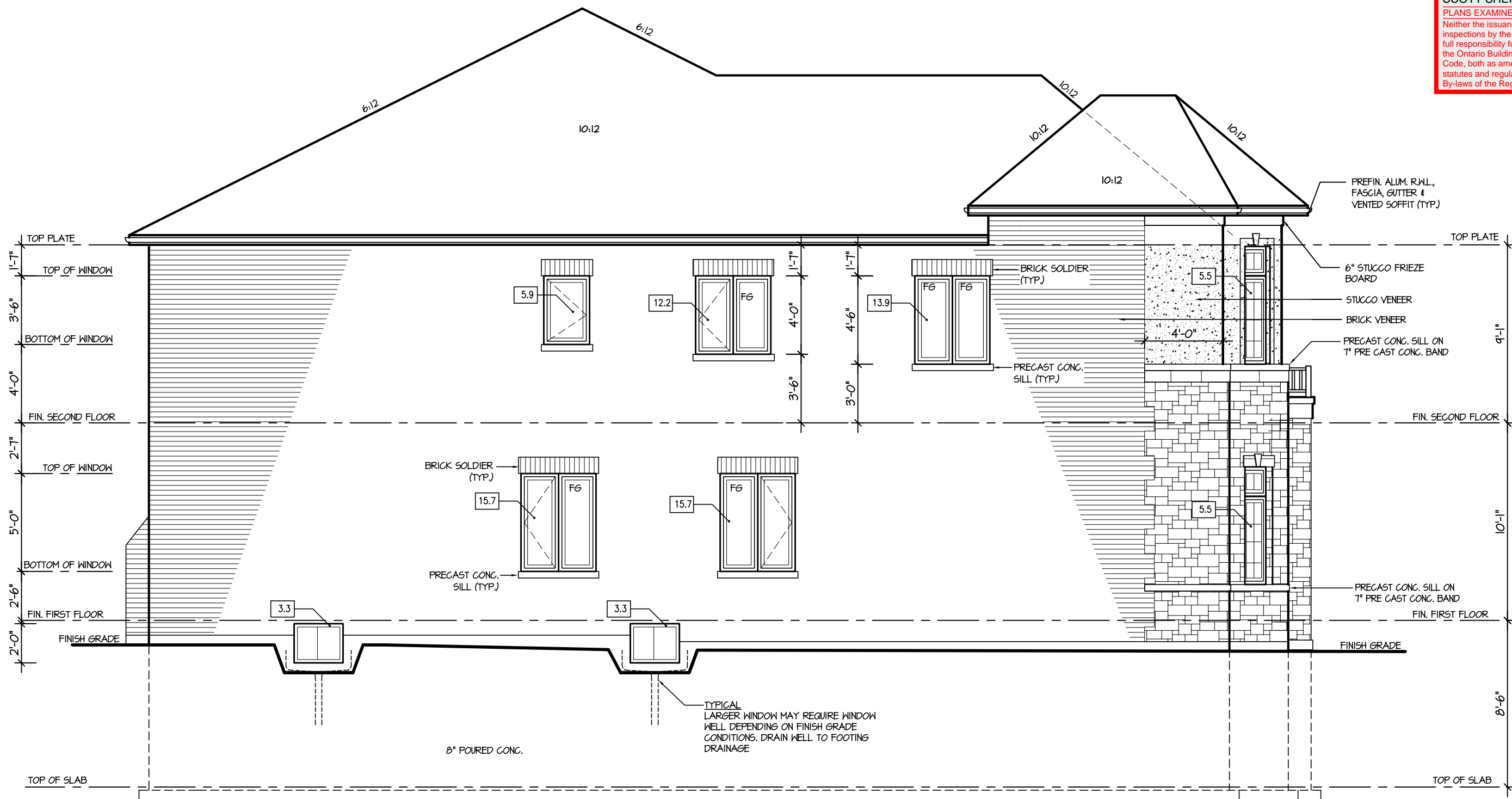
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Architect

**JUNIPER 9**  
ENERGY STAR

|           |                   |  |  |  |             |  |      |   |          |          |              |
|-----------|-------------------|--|--|--|-------------|--|------|---|----------|----------|--------------|
| 5.        |                   | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> <p><b>REGION DESIGN INC.</b></p> | <p>SHEET TITLE</p> <p>LEFT SIDE ELEVATION</p> <p>ELEV. 2</p> |             | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> |      |  |          |          |              |
| 4.        |                   |  |  |  |             |  |      |   |          |          |              |
| 3.        |                   |  |  |  |             |  |      |   |          |          |              |
| 2.        |                   |  |  |  |             |  |      |   |          |          |              |
| 1.        | ISSUED FOR REVIEW |  |  |  |             |  |      |   | SEP 2016 |          |              |
| REVISIONS |                   |  |  |  |             |  |      |   |          |          |              |
|           |                   |  |  |  | SCALE       |  | BY   |   | AREA     | PAGE No. | PROJECT NAME |
|           |                   |  |  |  | 3/16"=1'-0" |  | V.G. |   | 3485     | 5-2      |              |
|           |                   |  |  |  | DATE        |  | TYPE |   | PROJECT  |          |              |
|           |                   |  |  |  | JUL 2016    |  |      |   | 02-10-10 |          | LECCO RIDGE  |

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



LEFT ELEVATION 3

| ALLOWABLE GLAZING (STANDARD PLAN)          |   |       |         |
|--|---|-------|---------|
| WALL AREA                                  | = | 1194  | Sq. Ft. |
| ALLOWABLE GLAZED AREA @ 1% 1.2 M SIDE YARD | = | 83.58 | Sq. Ft. |
| ACTUAL GLAZED AREA                         | = | 81.0  | Sq. Ft. |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

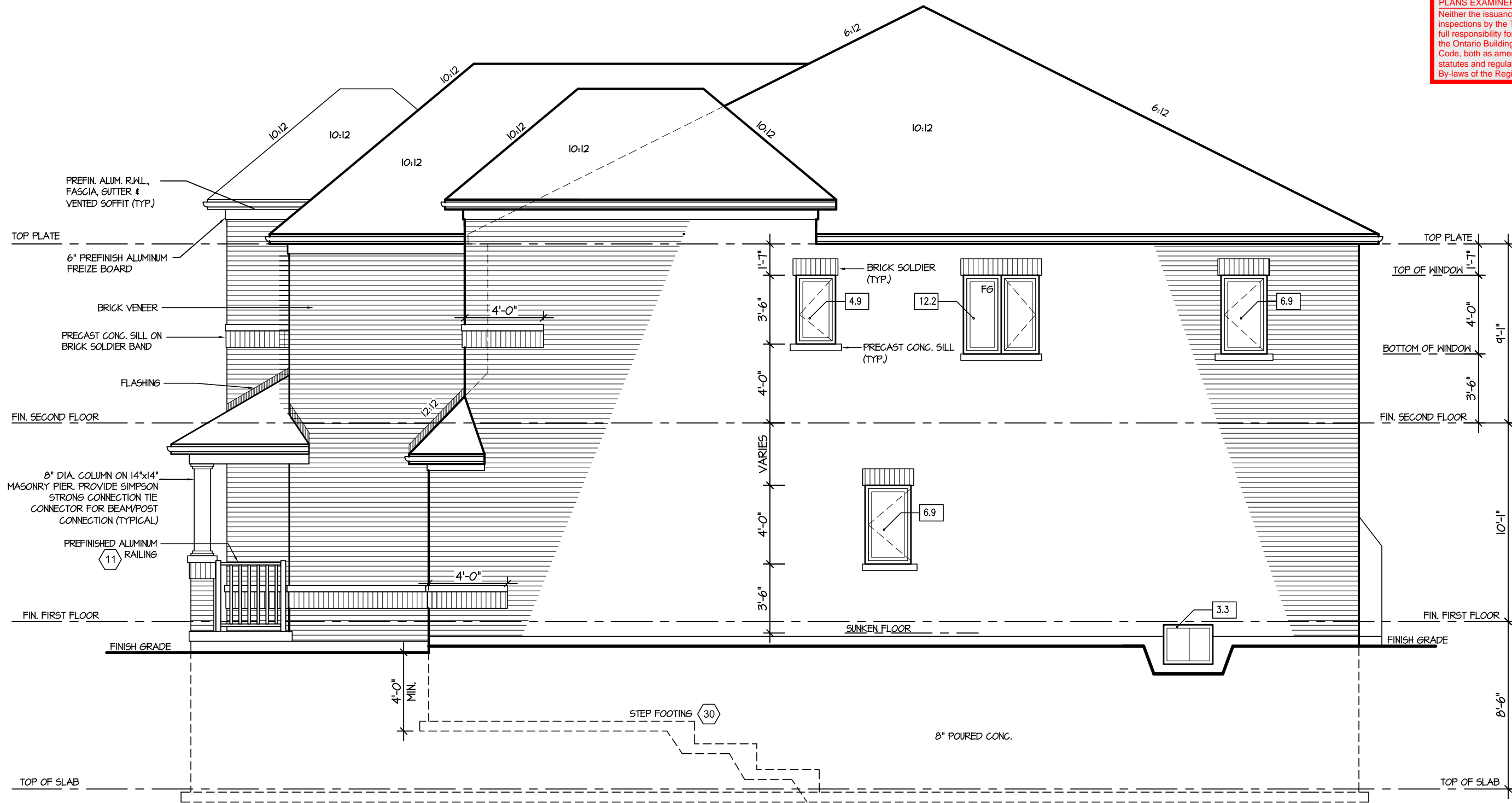
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 9**  
ENERGY STAR

|           |                   |          |  |   |   |  |  |  |   |                        |
|-----------|-------------------|----------|--|---|---|--|--|--|---|------------------------|
| 5.        |                   |          | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.<br/>8700 DUFFERIN ST.<br/>CONCORD, ONTARIO<br/>L4K 4S6<br/>P (416) 736-4096<br/>F (905) 660-0746</p> <p><b>REGION DESIGN INC.</b></p> | <p>SHEET TITLE<br/><b>LEFT SIDE ELEVATION<br/>ELEV. 3</b></p> |  | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> |  |  |                        |
| 4.        |                   |          |  |   |   |  |  |  |   |                        |
| 3.        |                   |          |  |   |   |  |  |  |   |                        |
| 2.        |                   |          |  |   |   |  |  |  |   |                        |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |  |   |   |  |  |  |   |                        |
| REVISIONS |                   |          |  |   |   |  |  |  |   |                        |
|           |                   |          |  |   | SCALE 3/16"=1'-0"   |  | BY V.G.  |  | AREA 3485   | PAGE No.<br><b>5-3</b> |
|           |                   |          |  |   | DATE JUL 2016   |  | TYPE   |  |   |                        |
|           |                   |          |  |   |   |  | PROJECT 02-10-10   |  |   |                        |



RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



RIGHT ELEVATION I

| ALLOWABLE GLAZING (STANDARD PLAN)           |   |       |         |
|---|---|-------|---------|
| WALL AREA                                   | = | 945   | Sq. Ft. |
| ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD | = | 66.15 | Sq. Ft. |
| ACTUAL GLAZED AREA                          | = | 34.2  | Sq. Ft. |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 9  
ENERGY STAR

|    |                   |          |
|----|-------------------|----------|
| 5. |                   |          |
| 4. |                   |          |
| 3. |                   |          |
| 2. |                   |          |
| 1. | ISSUED FOR REVIEW | SEP 2016 |

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR      28770  
NAME      SIGNATURE      BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**RIGHT SIDE ELEVATION  
ELEV. 1**

SCALE 3/16"=1'-0"  
DATE JUL 2016

BY V.G.  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

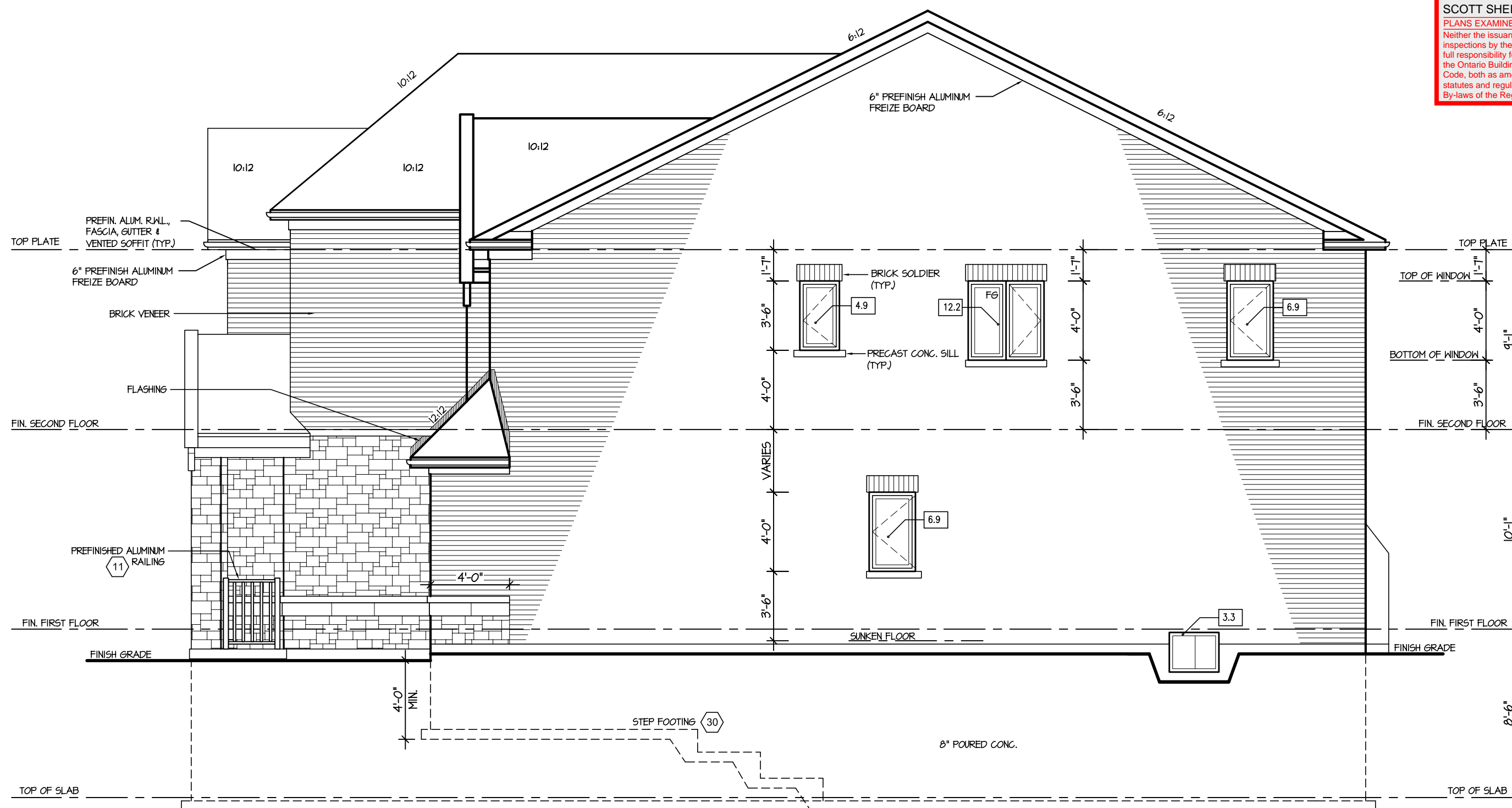
AREA 3485  
PROJECT 02-10-10

PAGE No. 6

**Greenpark.**

PROJECT NAME  
LECCO RIDGE

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



RIGHT ELEVATION 2

| ALLOWABLE GLAZING (STANDARD PLAN)          |   |       |         |
|--|---|-------|---------|
| WALL AREA                                  | = | 945   | Sq. Ft. |
| ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD | = | 66.15 | Sq. Ft. |
| ACTUAL GLAZED AREA                         | = | 34.2  | Sq. Ft. |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MII TON

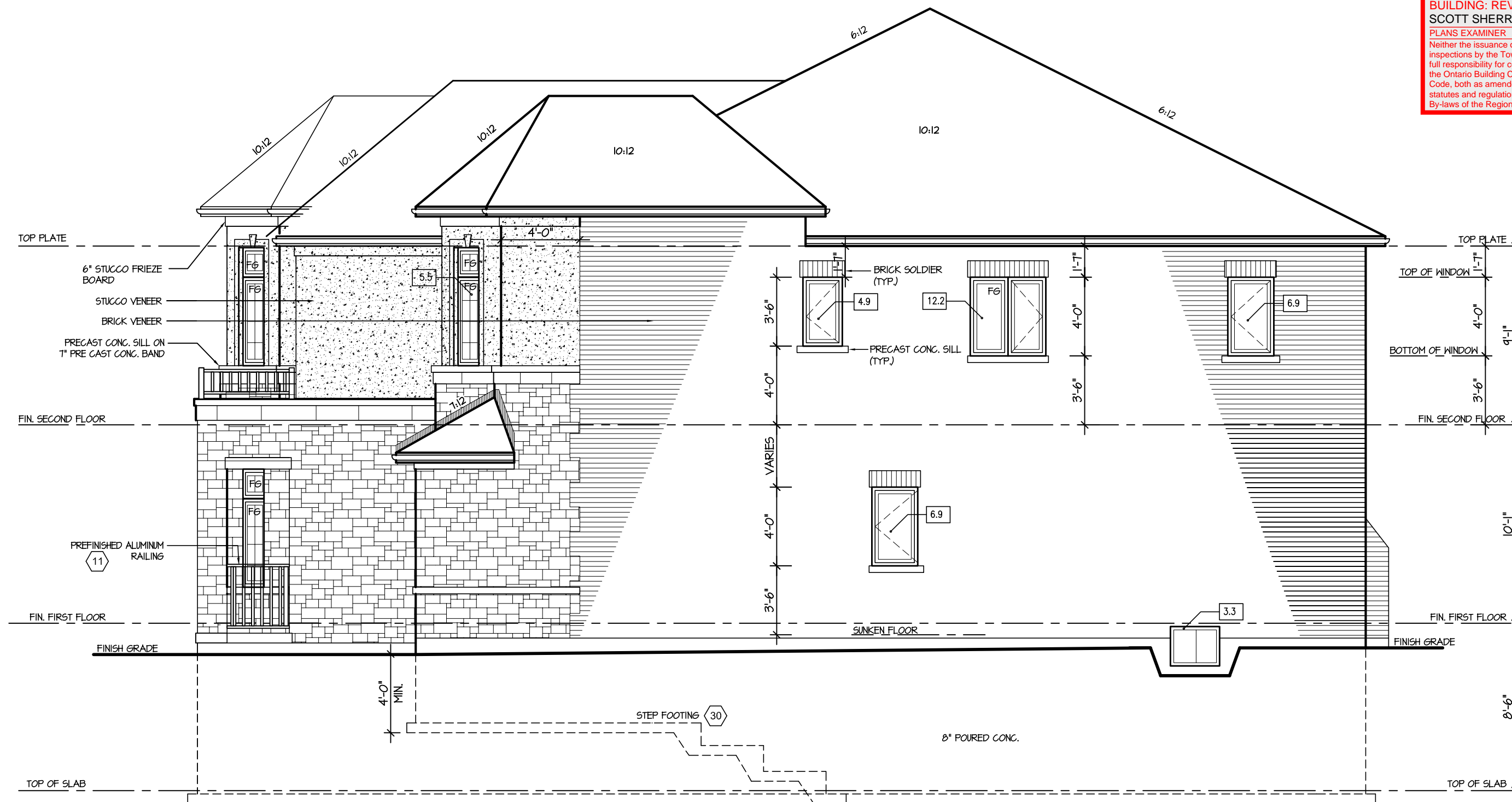
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 9**  
ENERGY STAR

|           |                   |  |   |                               |             |  |                      |  |         |  |   |  |   |         |  |          |  |          |  |     |  |
|-----------|-------------------|--|---|-------------------------------|-------------|--|----------------------|--|---------|--|---|--|---|---------|--|----------|--|----------|--|-----|--|
| 5.        |                   | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE |  | RIGHT SIDE ELEVATION |  | ELEV. 2 |  | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |  | <div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div> |         |  |          |  |          |  |     |  |
| 4.        |                   |  |   |                               | SCALE       |  | 3/16"=1'-0"          |  | BY      |  | V.G.  |  |   | AREA    |  | 3485     |  | PAGE No. |  | 6-2 |  |
| 3.        |                   |  |   |                               | DATE        |  | JUL 2016             |  | TYPE    |  |   |  |   | PROJECT |  | 02-10-10 |  |          |  |     |  |
| 2.        |                   |  |   |                               |             |  |                      |  |         |  |   |  |   |         |  |          |  |          |  |     |  |
| 1.        | ISSUED FOR REVIEW |  |   |                               | SEP 2016    |  |                      |  |         |  |   |  |   |         |  |          |  |          |  |     |  |
| REVISIONS |                   |  |   |                               |             |  |                      |  |         |  |   |  |   |         |  |          |  |          |  |     |  |



RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



RIGHT ELEVATION 3

| ALLOWABLE GLAZING (STANDARD PLAN)           |   |       |         |
|---|---|-------|---------|
| WALL AREA                                   | = | 970   | Sq. Ft. |
| ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD | = | 67.90 | Sq. Ft. |
| ACTUAL GLAZED AREA                          | = | 39.7  | Sq. Ft. |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 9**  
ENERGY STAR

|    |                   |  |   |                                  |                      |           |   |                       |   |                        |
|----|-------------------|--|---|----------------------------------|----------------------|-----------|---|-----------------------|---|------------------------|
| 5. |                   | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION DESIGN INC.</b></p> | SHEET TITLE          |           | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |                       |  |                        |
| 4. |                   |  |   |                                  | RIGHT SIDE ELEVATION |           |   |                       |   | PAGE No.<br><b>6-3</b> |
| 3. |                   |  |   |                                  | ELEV. 3              |           |   |                       |   |                        |
| 2. |                   |  |   |                                  | SCALE 3/16"=1'-0"    | BY V.G.   | AREA 3485   |                       |   |                        |
| 1. | ISSUED FOR REVIEW |  |   |                                  | SEP 2016             | REVISIONS | DATE JUL 2016   | TYPE PROJECT 02-10-10 |   |                        |

|              |  |             |
|--------------|--|-------------|
| PROJECT NAME |  | LECCO RIDGE |
|--------------|--|-------------|

RECEIVED

TOWN OF MILTON

MAR 29, 2017

JUNIPER 9

BUILDING DIVISION



REAR ELEVATION 1, 2 & 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 9  
ENERGY STAR

|           |                   |          |  |   |                               |                |             |   |          |   |
|-----------|-------------------|----------|--|---|-------------------------------|----------------|-------------|---|----------|---|
| 5.        |                   |          | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR28770</div> <div>NAMESIGNATUREBCIN</div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE    |             | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |  |
| 4.        |                   |          |  |   |                               | REAR ELEVATION |             |   |          |   |
| 3.        |                   |          |  |   |                               | SCALE          | BY          | AREA  | PAGE No. | PROJECT NAME  |
| 2.        |                   |          |  |   |                               | 3/16"=1'-0"    | V.G.        | 3485  | 7        |   |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |  |   |                               | DATE           | TYPE        | PROJECT   |          |   |
| REVISIONS |                   |          |  |   | 02-10-10                      |                | LECCO RIDGE |   |          |   |

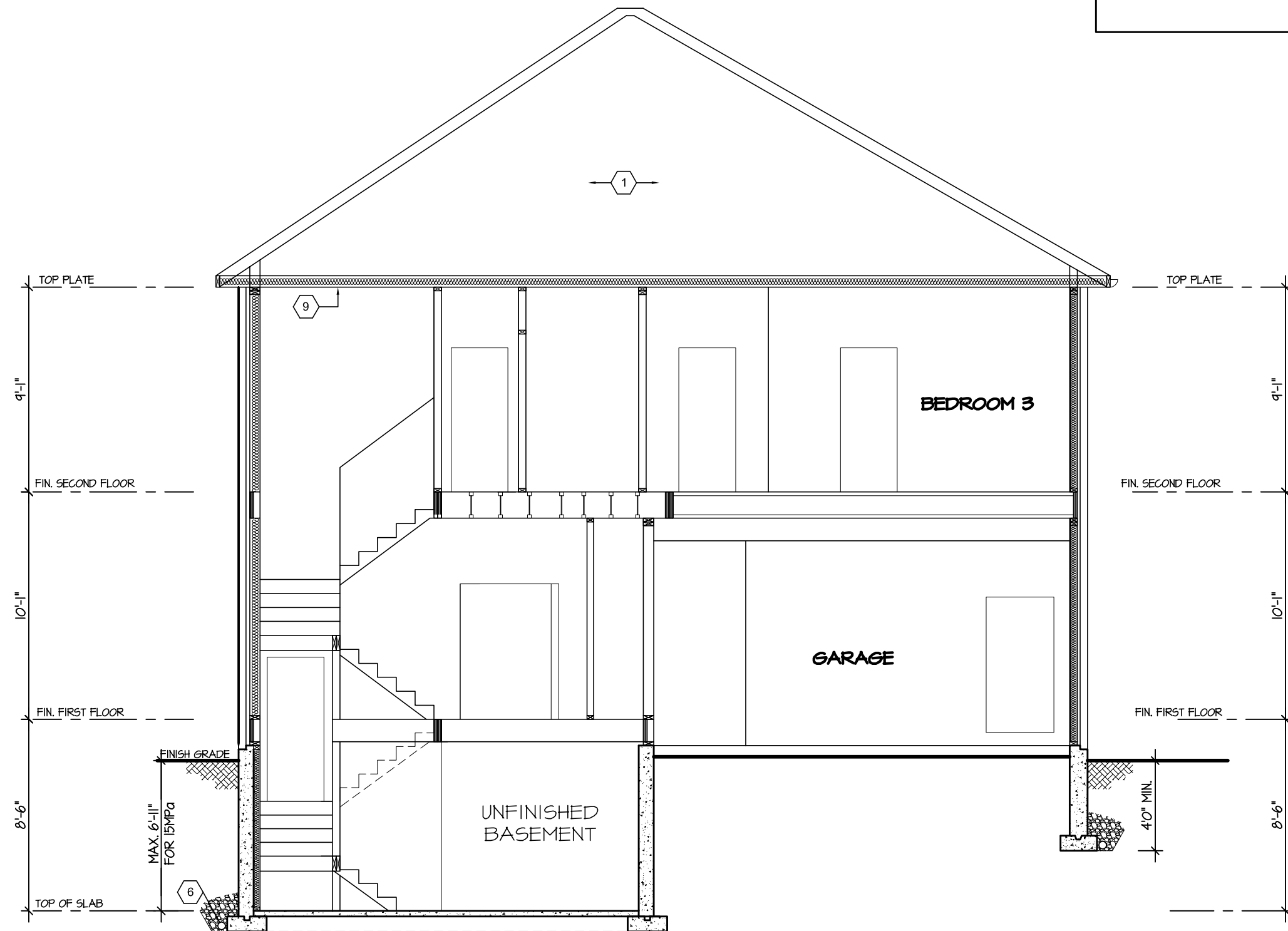
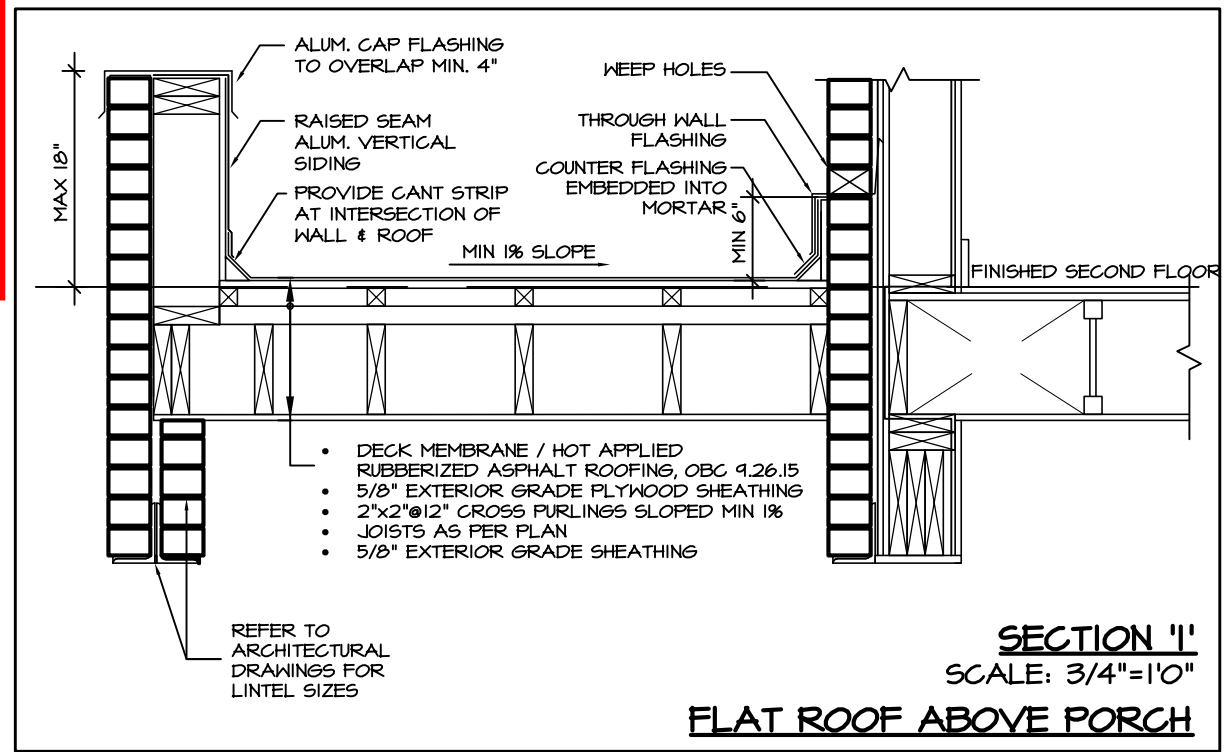


RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION

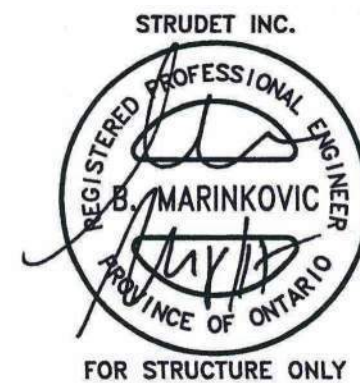
TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
JUNIPER 9 MODEL

BUILDING: REVIEWED  
SCOTT SHERRIFFS      APR 13, 2017  
PLANS EXAMINER      DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



SECTION A-A



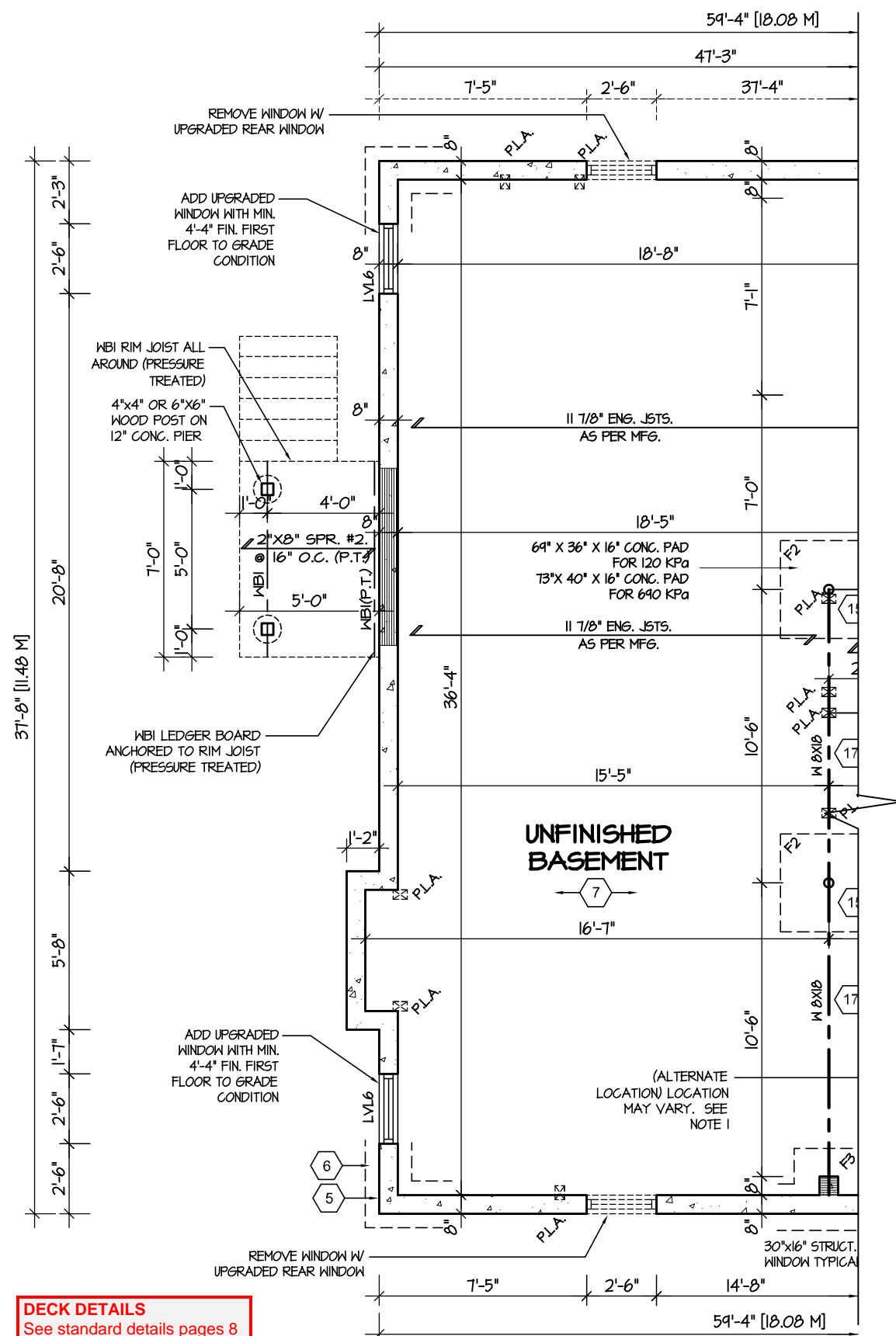
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

JUNIPER 9  
ENERGY STAR

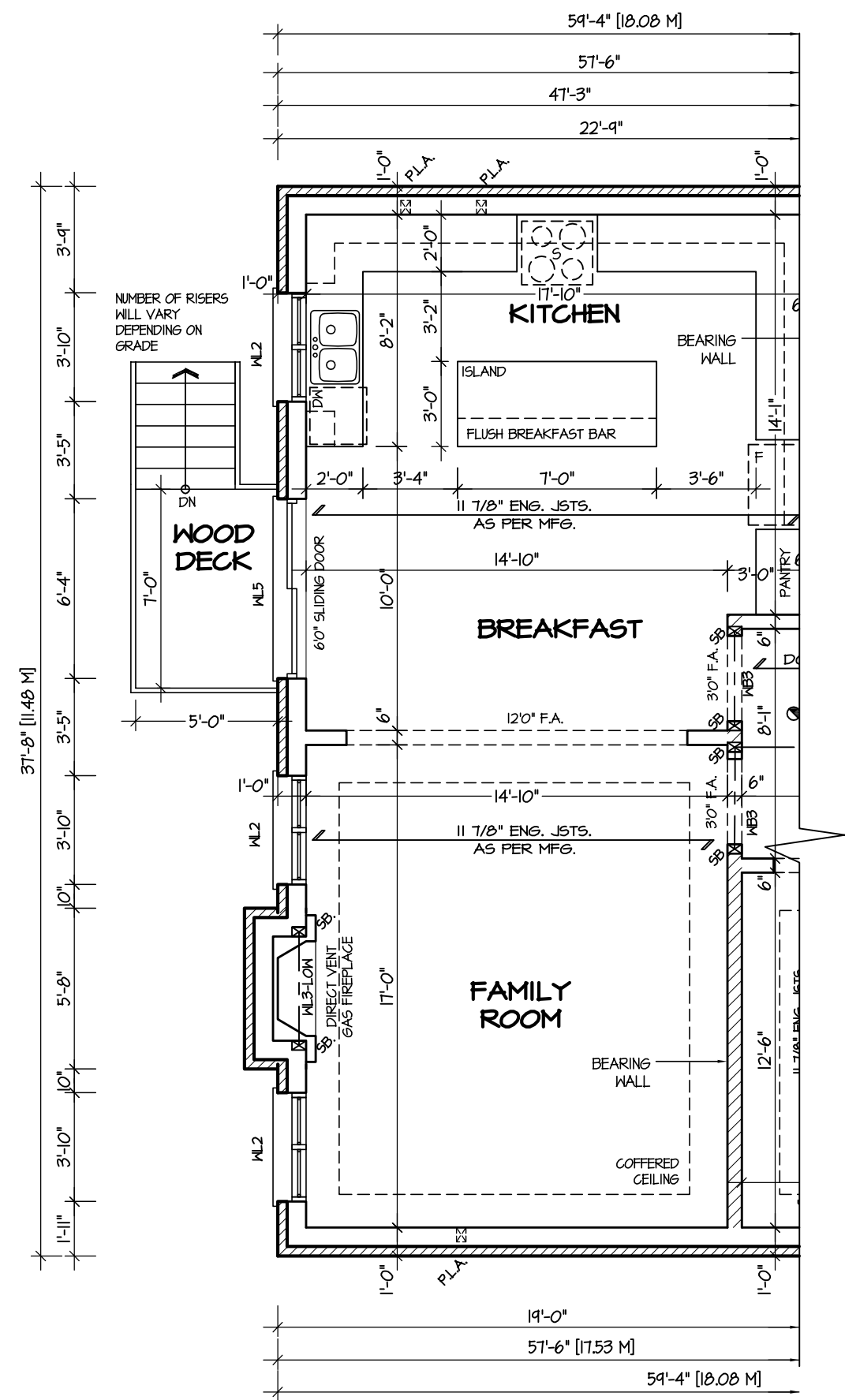
|           |                   |  |   |  |             |      |   |          |   |              |
|-----------|-------------------|--|---|--|-------------|------|---|----------|---|--------------|
| 5.        |                   | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION<br/>DESIGN<br/>INC.</b></p> | SHEET TITLE |      | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |  |              |
| 4.        |                   |  |   |  | SCALE       | BY   | AREA  | PAGE No. |   | PROJECT NAME |
| 3.        |                   |  |   |  | 3/16"=1'-0" | V.G. | 3485  | 8        |   |              |
| 2.        |                   |  |   |  | DATE        | TYPE | PROJECT   |          |   |              |
| 1.        | ISSUED FOR REVIEW |  |   |  | JUL 2016    |      | 02-10-10  |          |   |              |
| REVISIONS |                   |  |   |  |             |      |   |          |   |              |

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



**DECK DETAILS**  
See standard details pages 8 and 8-2 for additional deck construction details

PARTIAL BASEMENT  
FLOOR PLAN FOR  
DECK CONDITION



PARTIAL FIRST  
FLOOR PLAN FOR  
DECK CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 9**  
ENERGY STAR

|    |                   |          |
|----|-------------------|----------|
| 5. |                   |          |
| 4. |                   |          |
| 3. |                   |          |
| 2. |                   |          |
| 1. | ISSUED FOR REVIEW | SEP 2016 |

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR      28770  
NAME      SIGNATURE      BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**DECK PLANS**

SCALE  
3/16"=1'-0"

DATE  
JUL 2016

BY  
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3485

PAGE No.  
**9**

PROJECT  
02-10-10

**Greenpark.**

PROJECT NAME  
**LECCO RIDGE**



RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



REAR ELEVATION 1, 2 & 3

DECK DETAILS  
See standard details pages 8  
and 8-2 for additional deck  
construction details

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

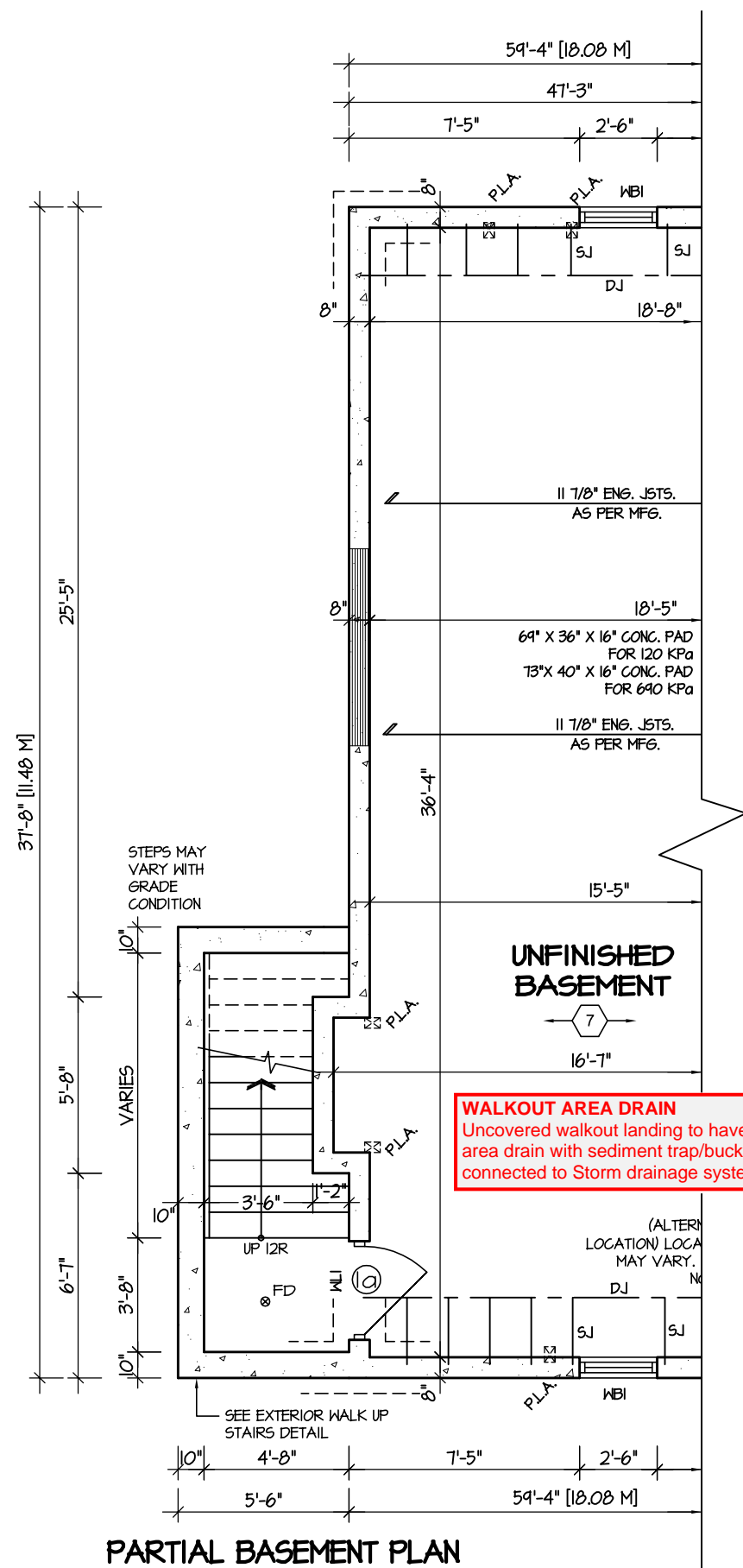
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 9  
ENERGY STAR

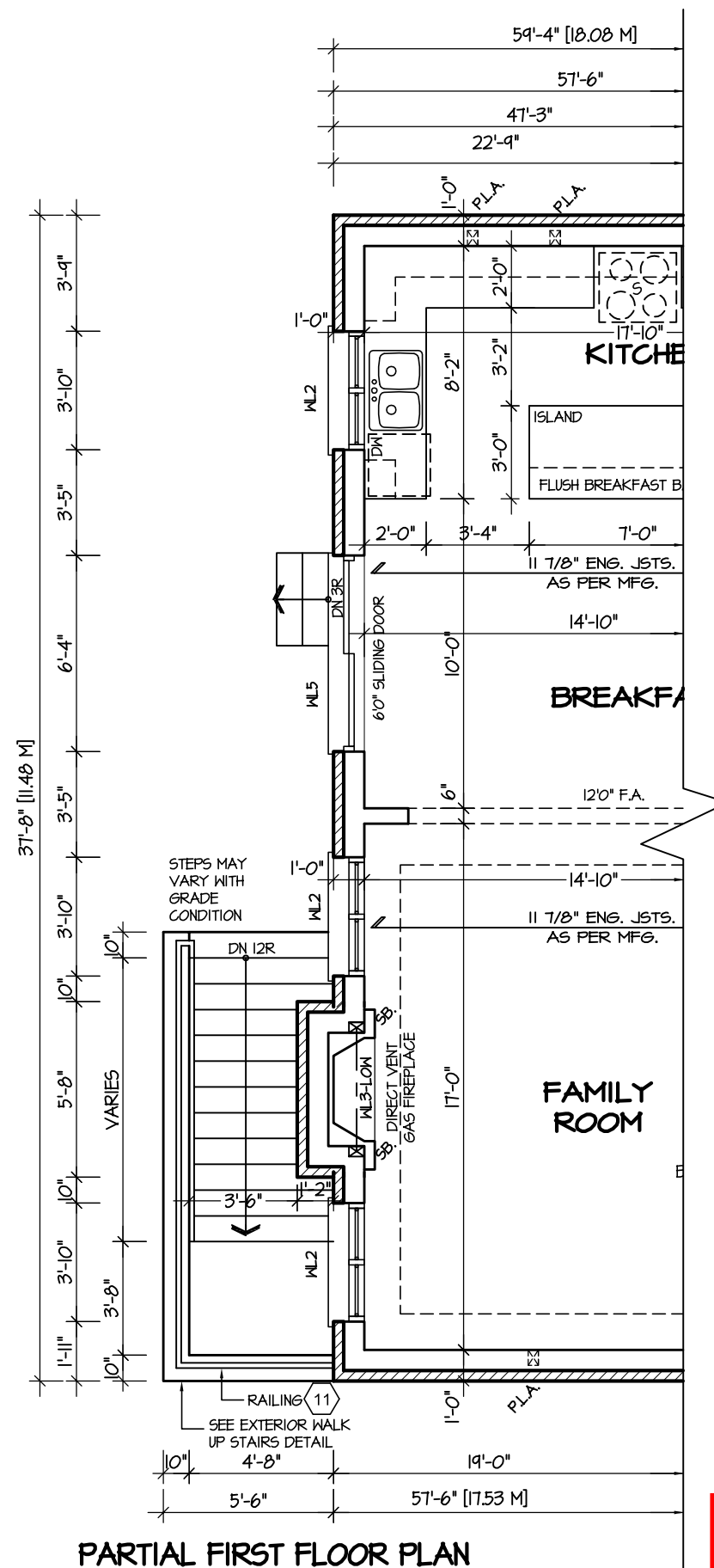
|           |                   |          |   |   |  |             |             |                |      |   |          |   |             |
|-----------|-------------------|----------|---|---|--|-------------|-------------|----------------|------|---|----------|---|-------------|
| 5.        |                   |          | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION<br/>DESIGN<br/>INC.</b></p> | SHEET TITLE |             | DECK ELEVATION |      | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |  |             |
| 4.        |                   |          |   |   |  | SCALE       | 3/16"=1'-0" | BY             | V.G. | AREA  | 3485     |   | PAGE No.    |
| 3.        |                   |          |   |   |  | DATE        | JUL 2016    | TYPE           |      | PROJECT   | 02-10-10 | PROJECT NAME  | LECCO RIDGE |
| 2.        |                   |          |   |   |  |             |             |                |      |   |          |   |             |
| 1.        | ISSUED FOR REVIEW | SEP 2016 |   |   |  |             |             |                |      |   |          |   |             |
| REVISIONS |                   |          |   |   |  |             |             |                |      |   |          |   |             |
|           |                   |          |   |   |  |             |             |                |      |   |          |   |             |



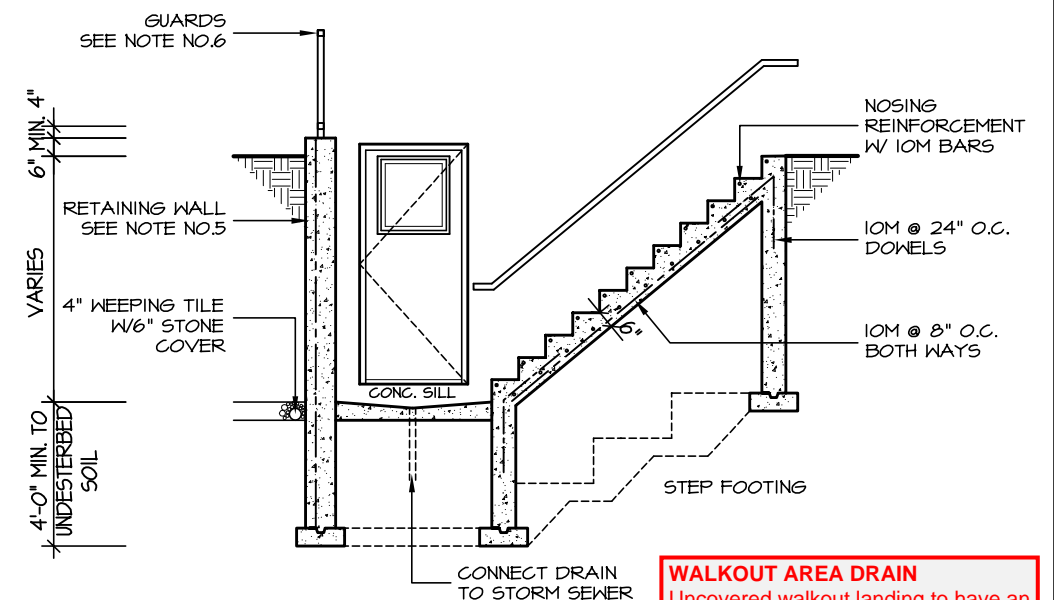


**WALKOUT AREA DRAIN**  
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system

**WALKOUT BSMT. INSULATION**  
See standard details page 12 for  
required perimeter slab insulation  
for walkout basement condition



## EXTERIOR WALKUP STAIRS DETAILS



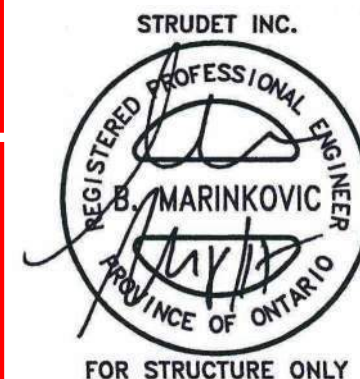
## SECTION

GENERAL NOTES:

1. FOOTING  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE  
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
4. INSULATION  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
5. RETAINING WALL  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER CBC DIVISION B SECTION 4.1.5.16.
6. GUARDS  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION

The logo for the Town of Milton Planning and Development features a stylized 'M' inside a square frame on the left. To the right of the frame, the text 'TOWN OF MILTON' is written in a large, bold, sans-serif font. Below this, 'PLANNING AND DEVELOPMENT' is written in a smaller, bold, sans-serif font. At the bottom, 'JUNIPER 9 MODEL' is written in a bold, sans-serif font.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

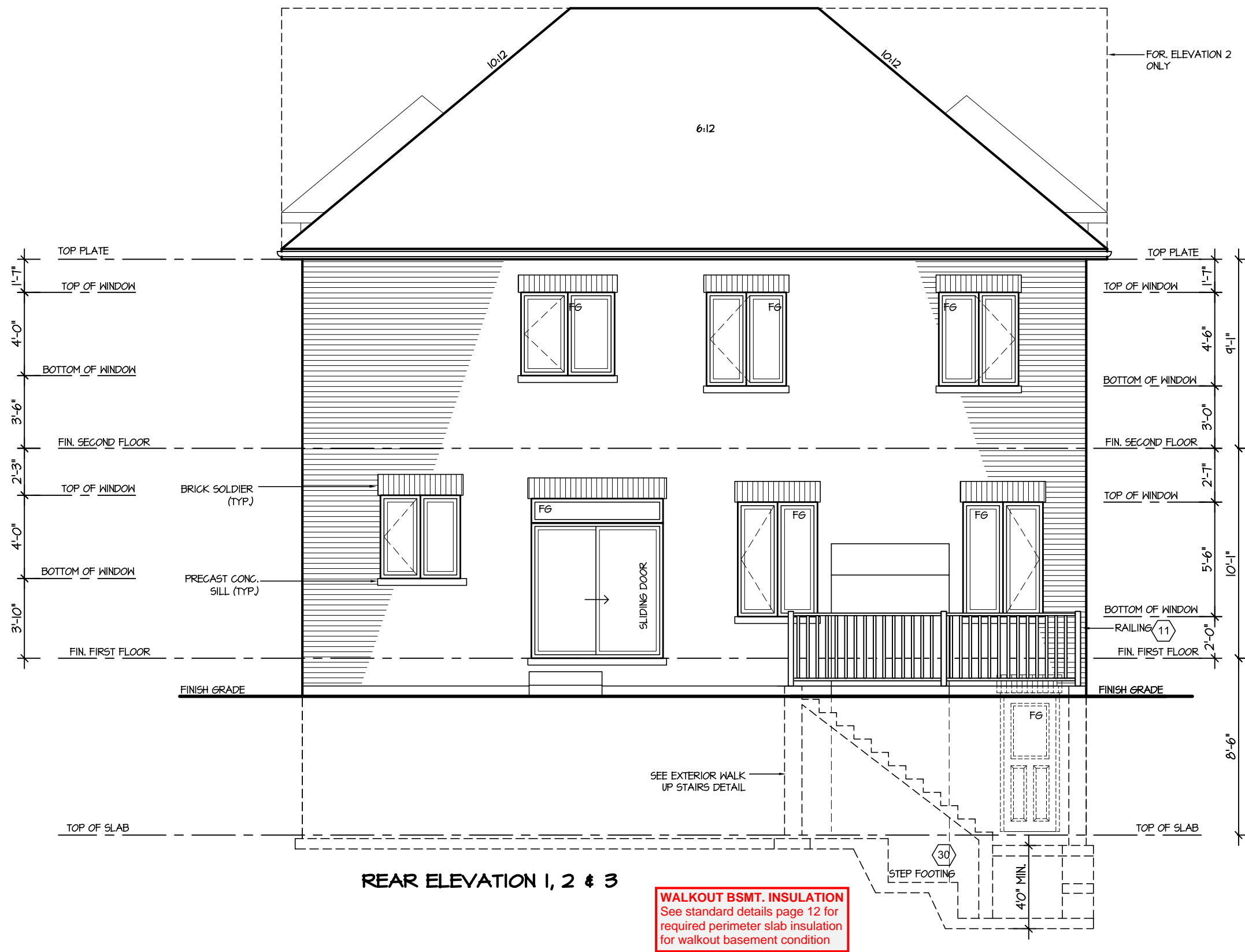
John G. Williams Limited, Architect

# JUNIPER 9

## ENERGY STAR

|           |                   |   |   |                                  |                  |      |   |          |   |                                 |
|-----------|-------------------|---|---|----------------------------------|------------------|------|---|----------|---|---------------------------------|
| 5.        |                   | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION DESIGN INC.</b></p> | SHEET TITLE      |      | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |  |                                 |
| 4.        |                   |   |   |                                  | WALK UP BASEMENT |      |   |          |   | PROJECT NAME<br><br>LECCO RIDGE |
| 3.        |                   |   |   |                                  | SCALE            | BY   | AREA  | PAGE No. |   |                                 |
| 2.        |                   |   |   |                                  | 3/16"=1'-0"      | V.G. | 3485  | 10       |   |                                 |
| 1.        | ISSUED FOR REVIEW |   |   |                                  | SEP 2016         | DATE | TYPE  | PROJECT  |   |                                 |
| REVISIONS |                   |   | JUL 2016  |                                  | 02-10-10         |      |   |          |   |                                 |

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 9  
BUILDING DIVISION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 9  
ENERGY STAR

|           |                   |  |   |  |                  |             |   |          |   |              |
|-----------|-------------------|--|---|--|------------------|-------------|---|----------|---|--------------|
| 5.        |                   | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION<br/>DESIGN<br/>INC.</b></p> | SHEET TITLE      |             | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |  | PROJECT NAME |
| 4.        |                   |  |   |  | WALK UP BASEMENT |             |   |          |   |              |
| 3.        |                   |  |   |  | SCALE            | BY          | AREA  | PAGE No. |   |              |
| 2.        |                   |  |   |  | 3/16"=1'-0"      | V.G.        | 3485  | 10-2     |   |              |
| 1.        | ISSUED FOR REVIEW |  |   |  | SEP 2016         | DATE        | TYPE  | PROJECT  |   |              |
| REVISIONS |                   |  | JUL 2016  |  | 02-10-10         | LECCO RIDGE |   |          |   |              |