

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)
L5 = 6"x4"x3/8"L (150x100x10.0L)
L6 = 7"x4"x3/8"L (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

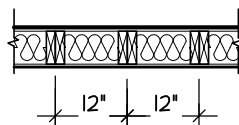
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

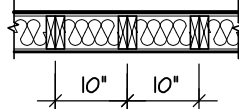
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



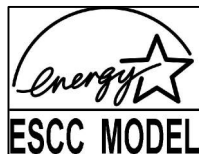
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed drawings to be read in conjunction
with reviewed general notes, constructions
details and specifications

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-7101
BUILDING: REVIEWED
SCOTT SHERRIFFS JUN 12, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAY 30, 2017
17-7101
BUILDING DIVISION



ENERGY STAR - V 12.7

AREA CALCULATIONS		ELEV. I	
GROUND FLOOR AREA	=	1413	Sq. Ft.
SECOND FLOOR AREA	=	1702	Sq. Ft.
TOTAL FLOOR AREA	=	3115	Sq. Ft.
		289.39	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3115	Sq. Ft.
		289.39	Sq. M.
GROUND FLOOR COVERAGE	=	1413	Sq. Ft.
GARAGE COVERAGE / AREA	=	400	Sq. Ft.
PORCH COVERAGE / AREA	=	135	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1948	Sq. Ft.
		180.98	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1813	Sq. Ft.
		168.43	Sq. m.

JUNIPER 7-149		ELEV.I		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	855.21	79.45	158.30	14.71	18.51 %
LEFT SIDE	1165.48	108.28	82.90	7.70	7.11 %
RIGHT SIDE	1138.86	105.80	16.33	1.52	1.43 %
REAR	791.00	73.49	180.67	16.78	22.84 %
TOTAL	3450.55	367.02	438.20	40.71	11.09 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
2012 ENERGY STAR V-12.7	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20+BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 29/11/14)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs



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Guidelines approved by the Town of
MILTON.

JUNIPER 7-149
ENERGY STAR



PROJECT NAME
LECCO RIDGE

5.		
4.		
3.		
2.	UPDATED FOR LOT 149	APR 2017
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

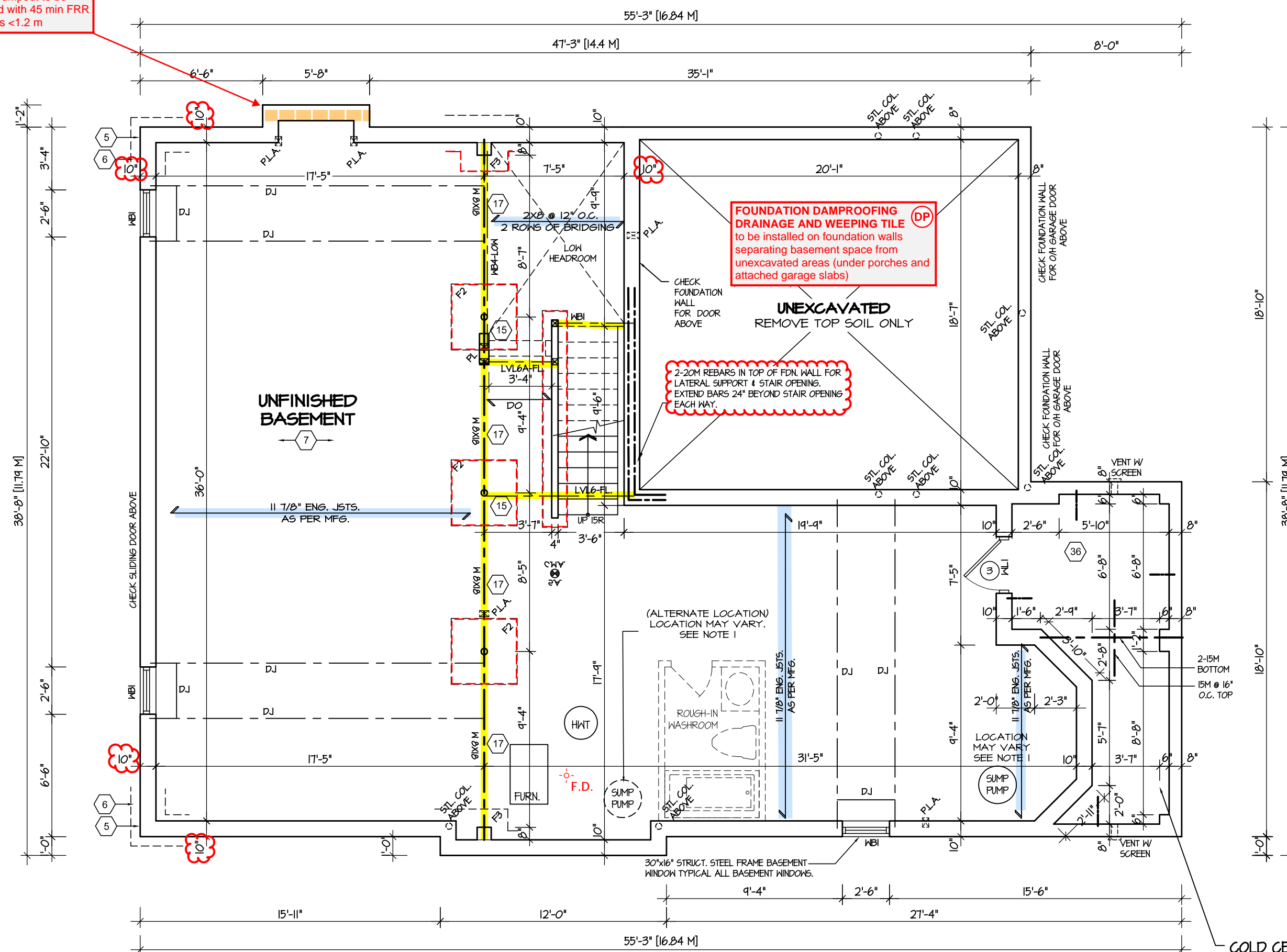
REGION
DESIGN
INC.

SHEET TITLE AREA CHARTS		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
SCALE 3/16"=1'-0"	BY V.G.	AREA 3093	PAGE No. 0
DATE JUL 2016	TYPE	PROJECT 02-10-106	

LD <1.2 M FOR BUMPOUT
Fireplace bumpout to be constructed with 45 min FRR as the LD is <1.2 m

RECEIVED
TOWN OF MILTON
MAY 30, 2017
17-7101
BUILDING DIVISION

	TOWN OF MILTON PLANNING AND DEVELOPMENT BUILDING PERMIT: 17-7101	
	BUILDING: REVIEWED	
	SCOTT SHERRIFFS	JUN 12, 2017
PLANS EXAMINER		DATE
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8'6" POUR FOUNDATION WALL
SIDE UPGRADE

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS
FOR SPANS GREATER THAN 7'

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED
AND NAILED ON THIS FLOOR.

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

COLD CELLAR
5" R.F. CONC. SLAB WITH 10M
BARS @ 7 1/8" O.C. EACH WAY
WITH MIN 1 1/4" CONCRETE
COVER AND 24"X24" 10M
BENT DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.

ENGINEERED FLOOR SYSTEM
Drawings to be read in
conjunction with reviewed
engineered floor system layout

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ARCHITECTURAL REVIEW & APPROVAL

MAY 15 2017

John G. Williams Limited, Architects

JUNIPER 7-149
ENERGY STAR

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div>		
4.					BASEMENT PLAN					1	
3.					ELEV. 1						
2.	UPDATED FOR LOT 149				APR 2017	SCALE	BY	AREA			PAGE No.
1.	ISSUED FOR REVIEW				SEP 2016	3/16"=1'-0"	V.G.	3093			
REVISIONS			DATE		PROJECT						
			JUL 2016		02-10-106						

May 30 2017	10:31:07 AM	M:\PROJECTS\ECCO RIDGE - MIL TON\CUSTOM\JUNIPER 7- 149 E1 8-6 POUR 10 FT\JUNIPER 7-149.DWG
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45 MIN FRR

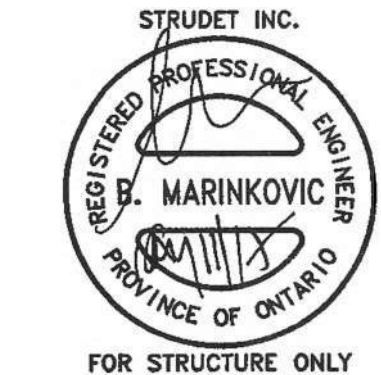
LD <1.2 M FOR BUMPOUT
Fireplace bumpout to be constructed with 45 min FRR as the LD is <1.2 m

PREMANUFACTURED FIREPLACE
Provide specification on-site at framing inspections for verification of clearances to combustible materials

GARAGE DOOR
Requires weatherstripping and a self closing device

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading



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MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-149
ENERGY STAR



PROJECT NAME
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1.	ISSUED FOR REVIEW	SEP 2016
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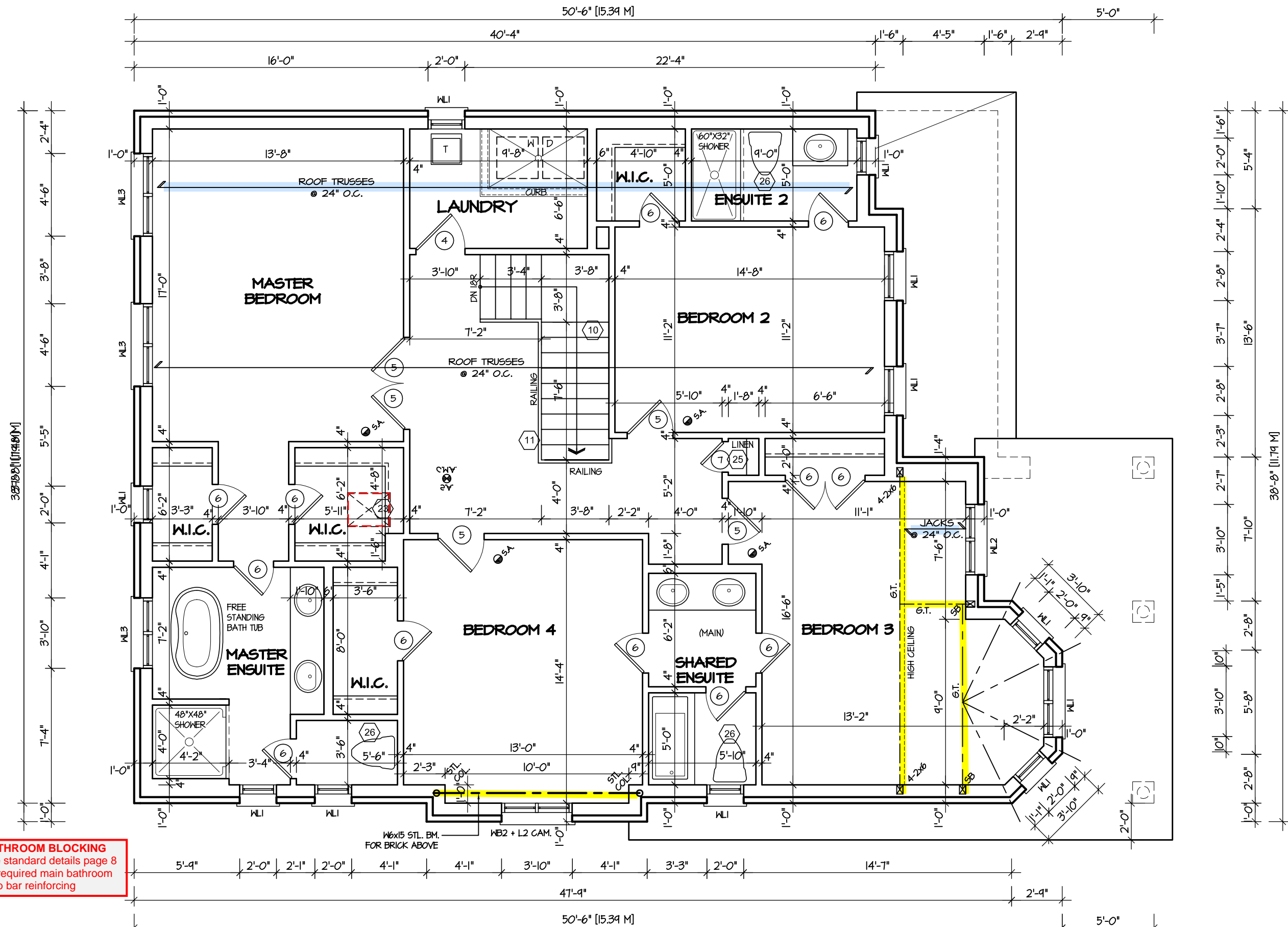
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VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

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SHEET TITLE FIRST FLOOR PLAN ELEV. 1	
SCALE 3/16"=1'-0"	BY V.G.
DATE JUL 2016	TYPE

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AREA 3093	PAGE No. 2
PROJECT 02-10-106	



BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

SECOND FLOOR PLAN "I"-LOT 149
SIDE UPGRADE
10' HIGH FIRST FLOOR

ENGINEERED TRUSS SYSTEM
Reviewed drawings to be read in
conjunction with reviewed
engineered truss system layout

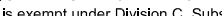


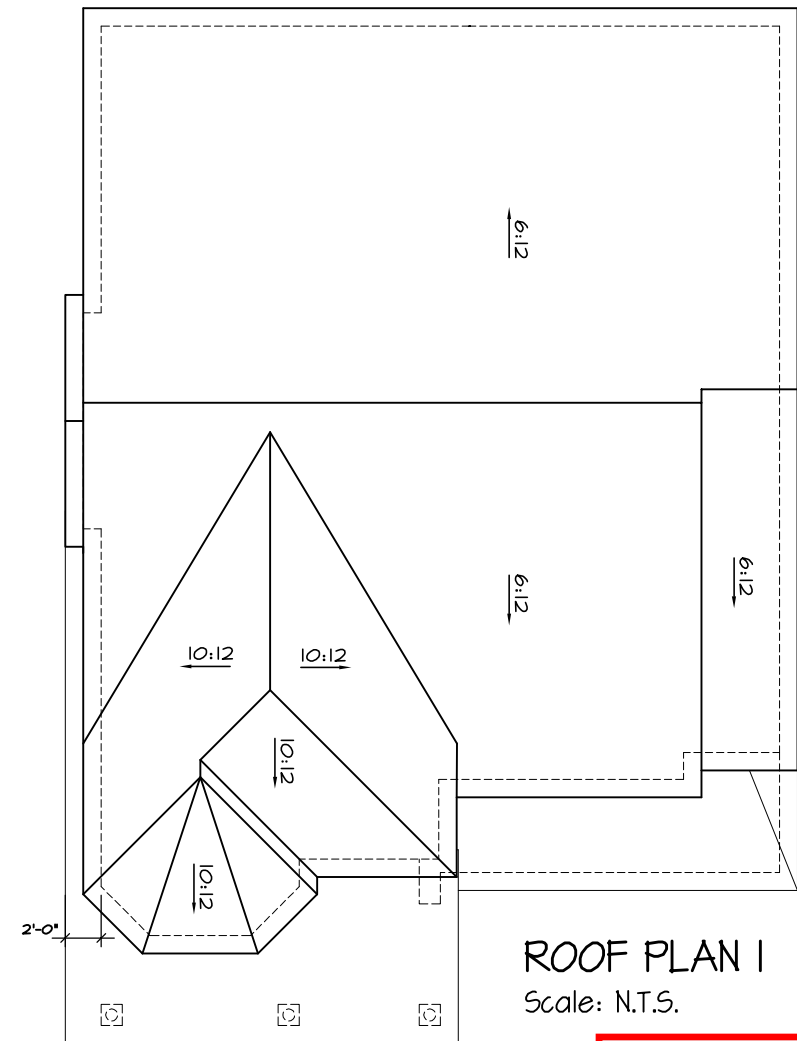
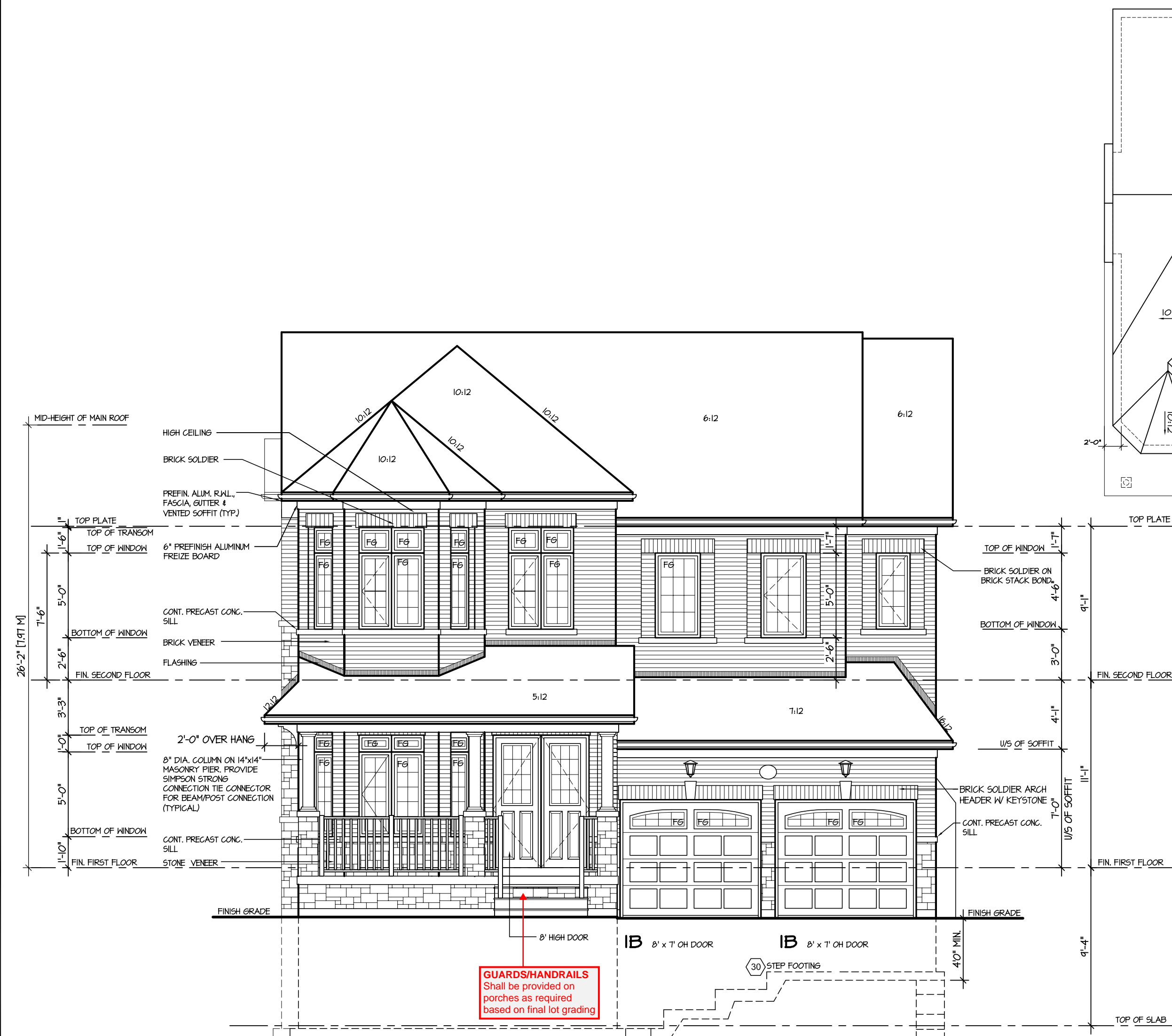
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MAY 15 2017
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JUNIPER 7-149
ENERGY STAR

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4.					SECOND FLOOR PLAN		ELEV. 1			<div>SCALE</div> <div>3/16"=1'-0"</div>	<div>BY</div> <div>V.G.</div>	<div>AREA</div> <div>3093</div>	<div>PAGE No.</div> <div>3</div>		
3.					DATE		JUL 2016							<div>TYPE</div> <div></div>	<div>PROJECT</div> <div>02-10-106</div>
2.					UPDATED FOR LOT 149		APR 2017								
1.					ISSUED FOR REVIEW		SEP 2016								
REVISIONS															



ROOF PLAN I
Scale: N.T.S.

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TOWN OF MILTON
MAY 30, 2017
17-7101
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-7101
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DESIGN
INC.**

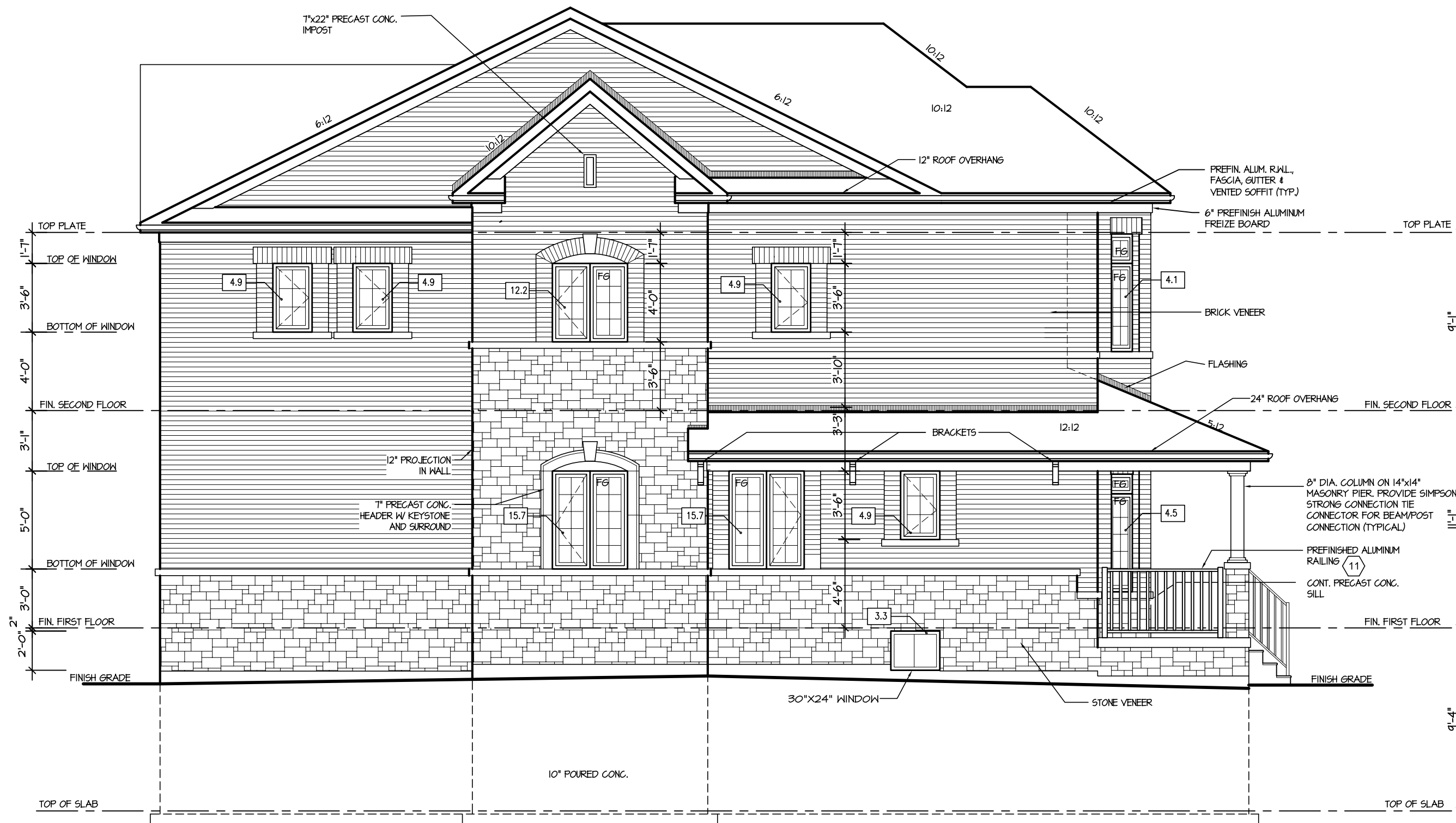
SHEET TITLE
FRONT ELEVATION
ELEV. 1
SCALE 3/16"=1'-0"
DATE JUL 2016
BY V.G.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA 3093
PAGE No. 4
PROJECT 02-10-106

Greenpark.
PROJECT NAME
LECCO RIDGE

RECEIVED
TOWN OF MILTON
MAY 30, 2017
17-7101
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-7101
BUILDING: REVIEWED
SCOTT SHERRIFFS JUN 12, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



LEFT ELEVATION I
UPGRADE FOR LOT 149
8'6" POUR FOUNDATION WALL
SIDE UPGRADE

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1166	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	81.62	Sq. Ft.
ACTUAL GLAZED AREA	=	66.5	Sq. Ft.

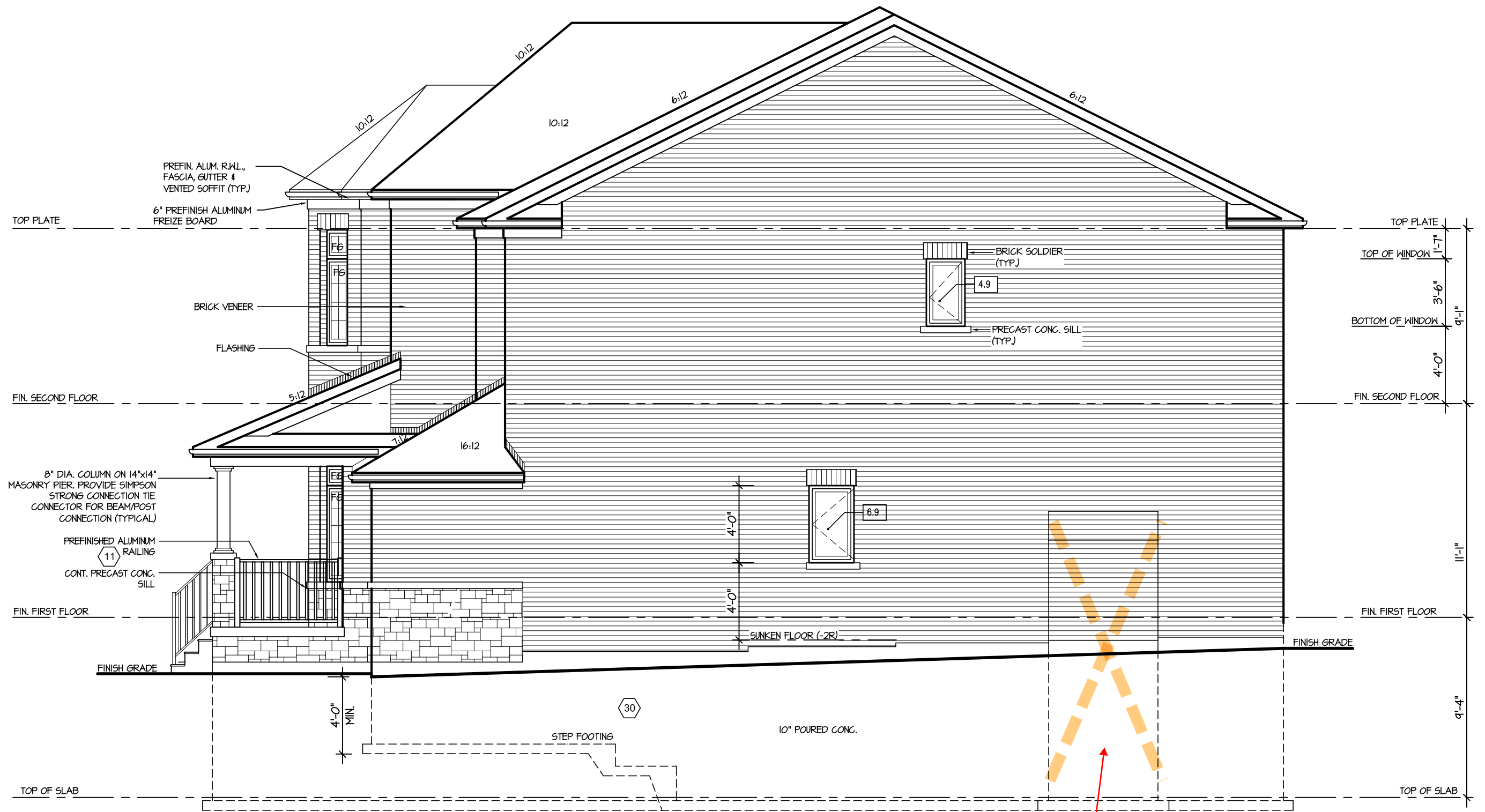
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-149
ENERGY STAR

5.			<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR<div></div>28770</div> <div>NAMESIGNATUREBCIN</div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		LEFT SIDE ELEVATION		ELEV. 1		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div>
4.						SCALE	3/16"=1'-0"	BY	V.G.	AREA	3093	PAGE No.	5	
3.						DATE	JUL 2016	TYPE		PROJECT	02-10-106			
2.	UPDATED FOR LOT 149	APR 2017												
1.	ISSUED FOR REVIEW	SEP 2016												
REVISIONS														



LEFT ELEVATION I
8'6" POUR FOUNDATION WALL
SIDE UPGRADE

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	919	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	68.53	Sq. Ft.
ACTUAL GLAZED AREA	=	11.8	Sq. Ft.

45 MIN FRR

LD <1.2 M FOR BUMPOUT
Fireplace bumpout to be
constructed with 45 min FRR
as the LD is <1.2 m

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MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-149
ENERGY STAR

5.		
4.		
3.		
2.	UPDATED FOR LOT 149	APR 2017
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

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QUALIFICATION INFORMATION		
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		
VIKAS GAJJAR	28770	
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE	
RIGHT SIDE ELEVATION 1	
SCALE 3/16"=1'-0"	BY V.G.
DATE JUL 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.	
AREA 3093	PAGE No. 6
PROJECT 02-10-106	

PROJECT NAME LECCO RIDGE	
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Greenpark.

RECEIVED
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TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-7101

BUILDING: REVIEWED

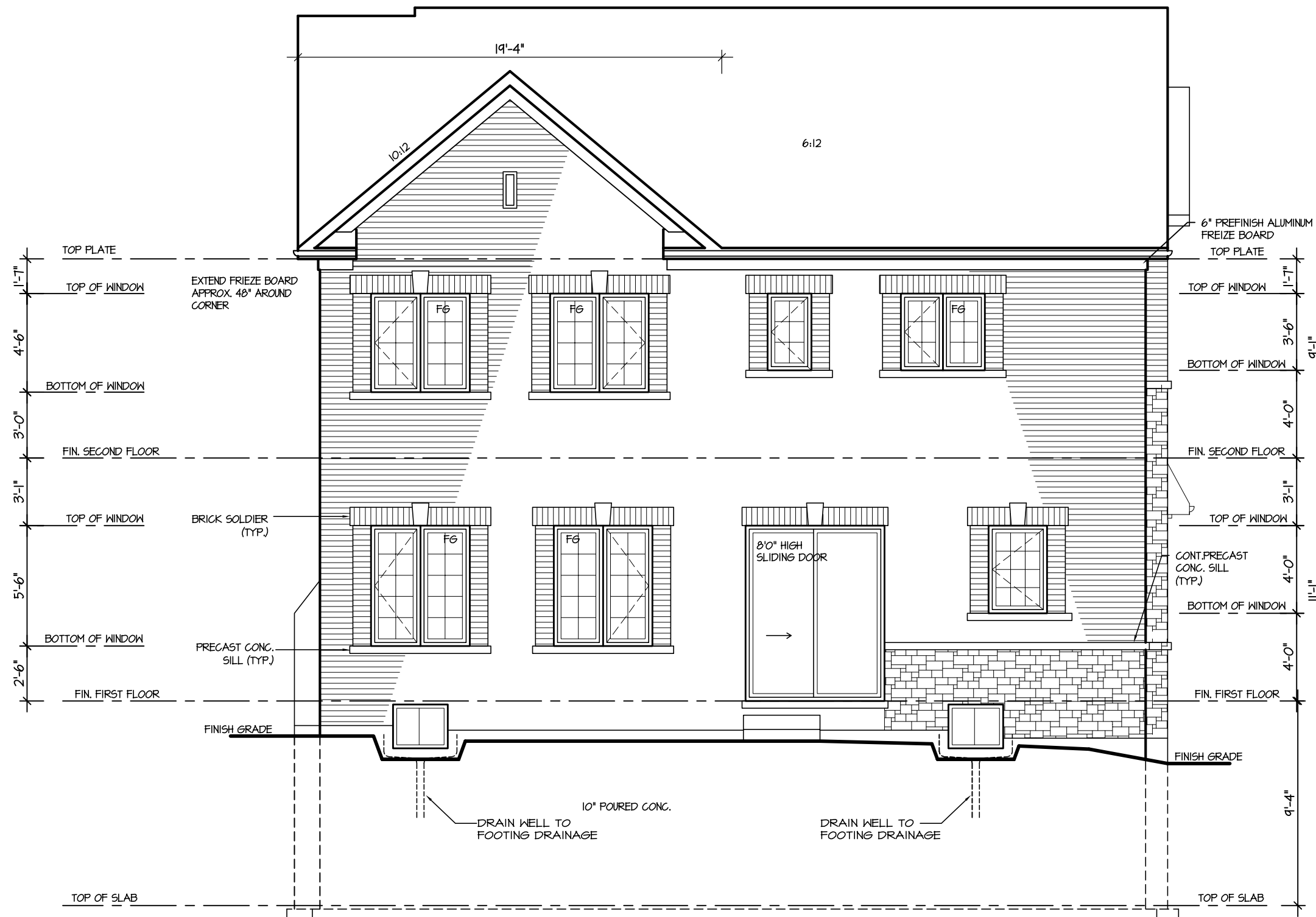
SCOTT SHERRIFFS

PLANS EXAMINER

JUN 12, 2017

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REAR ELEVATION I
UPGRADE FOR LOT 149
8'6" POUR FOUNDATION WALL

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ARCHITECTURAL REVIEW & APPROVAL
MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-149
ENERGY STAR

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4.						REAR ELEVATION 1						
3.						SCALE	BY	AREA	PAGE No.			
2.	UPDATED FOR LOT 149	APR 2017				3/16"=1'-0"	V.G.	3093	7			
1.	ISSUED FOR REVIEW	SEP 2016	DATE	TYPE	PROJECT							
REVISIONS			JUL 2016		02-10-106	LECCO RIDGE						
			VIKAS GAJJAR		28770							
			NAME	SIGNATURE	BCIN							

RECEIVED
TOWN OF MILTON
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BUILDING DIVISION



TOWN OF MILTON
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BUILDING PERMIT: 17-7101

BUILDING: REVIEWED

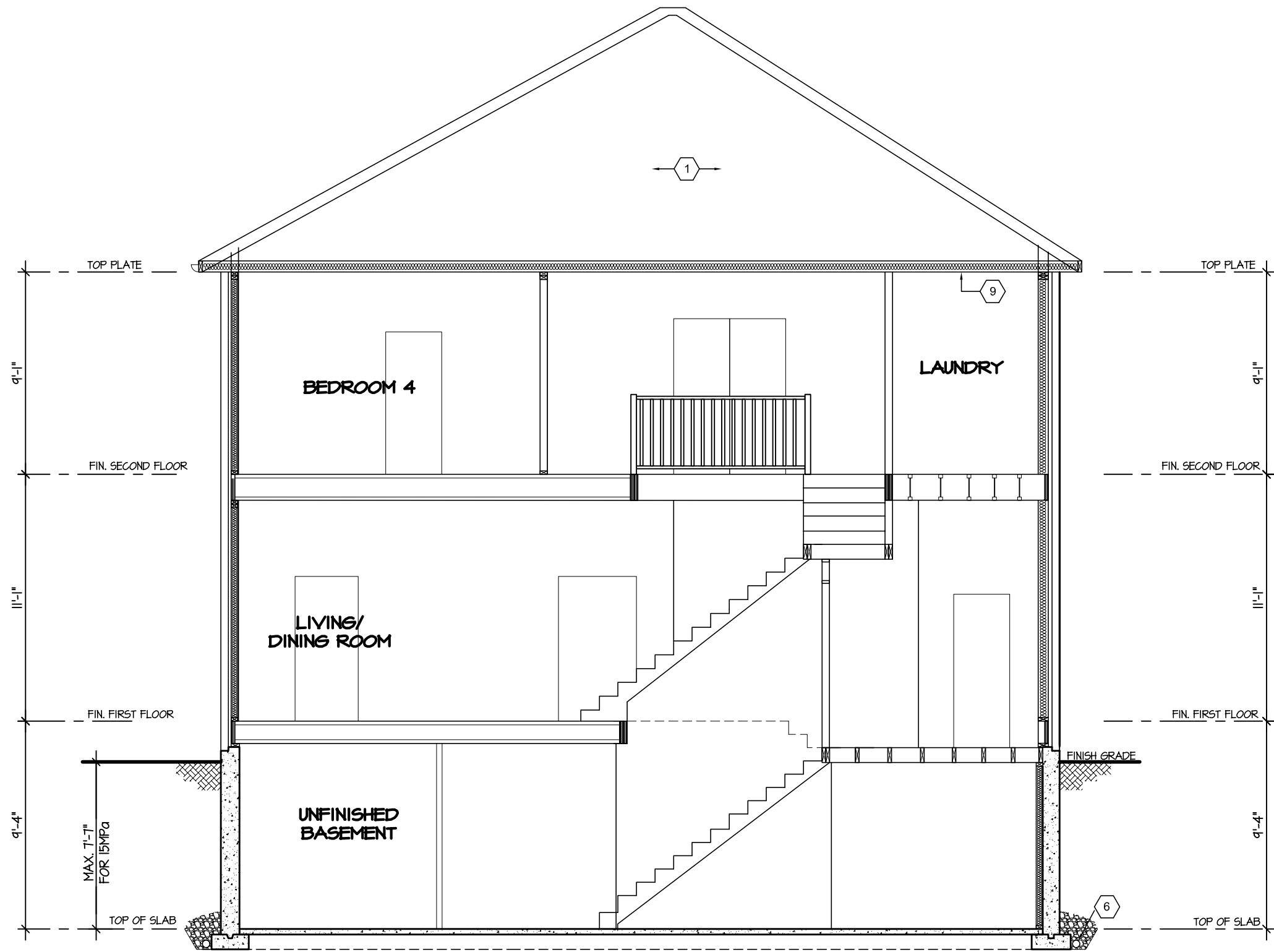
SCOTT SHERRIFFS

JUN 12, 2017

PLANS EXAMINER

DATE

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SECTION A-A
8'6" POUR FOUNDATION WALL



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4.						SCALE 3/16"=1'-0"	BY V.G.	AREA 3093	PAGE No. 8		
3.						DATE JUL 2016	TYPE	PROJECT 02-10-106			
2.	UPDATED FOR LOT 149	APR 2017				REVISIONS					
1.	ISSUED FOR REVIEW	SEP 2016	VIKAS GAJJAR NAME	 SIGNATURE	28770 BCIN						