

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)
L5 = 6"x4"x3/8"L (150x100x10.0L)
L6 = 7"x4"x3/8"L (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

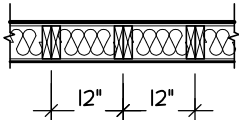
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

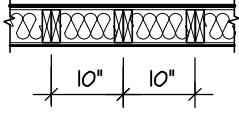
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10"O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

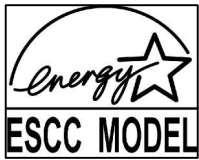
TWO STORY HEIGHT WALL DETAIL

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed drawings to be read in conjunction
with reviewed general notes, constructions
details and specifications



TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-7100
BUILDING: REVIEWED
SCOTT SHERRIFFS JUN 12, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAY 30, 2017
17-7100
BUILDING DIVISION



ENERGY STAR - V 12.7

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
2012 ENERGY STAR V-12.7	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 24/11/14)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1420	Sq. Ft.
SECOND FLOOR AREA	=	1710	Sq. Ft.
TOTAL FLOOR AREA	=	3130	Sq. Ft.
	=	290.79	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3130	Sq. Ft.
	=	290.79	Sq. M.
GROUND FLOOR COVERAGE	=	1420	Sq. Ft.
GARAGE COVERAGE / AREA	=	400	Sq. Ft.
PORCH COVERAGE / AREA	=	78	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1898	Sq. Ft.
	=	176.33	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1820	Sq. Ft.
	=	169.08	Sq. m.

JUNIPER 7-119		ELEV.2		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	861.97	80.08	123.72	11.49	14.35 %
LEFT SIDE	1137.53	105.68	82.90	7.70	7.24 %
RIGHT SIDE	1033.37	96.00	16.33	1.52	1.58 %
REAR	1228.63	114.14	184.23	17.12	14.99 %
TOTAL	4261.50	395.91	407.18	37.83	9.55 %



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and all applicable regulations and requirements
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examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

JUNIPER 7-119
ENERGY STAR



PROJECT NAME
LECCO RIDGE

5.		
4.		
3.		
2.	UPDATED FOR LOT- 119	APR 2017
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

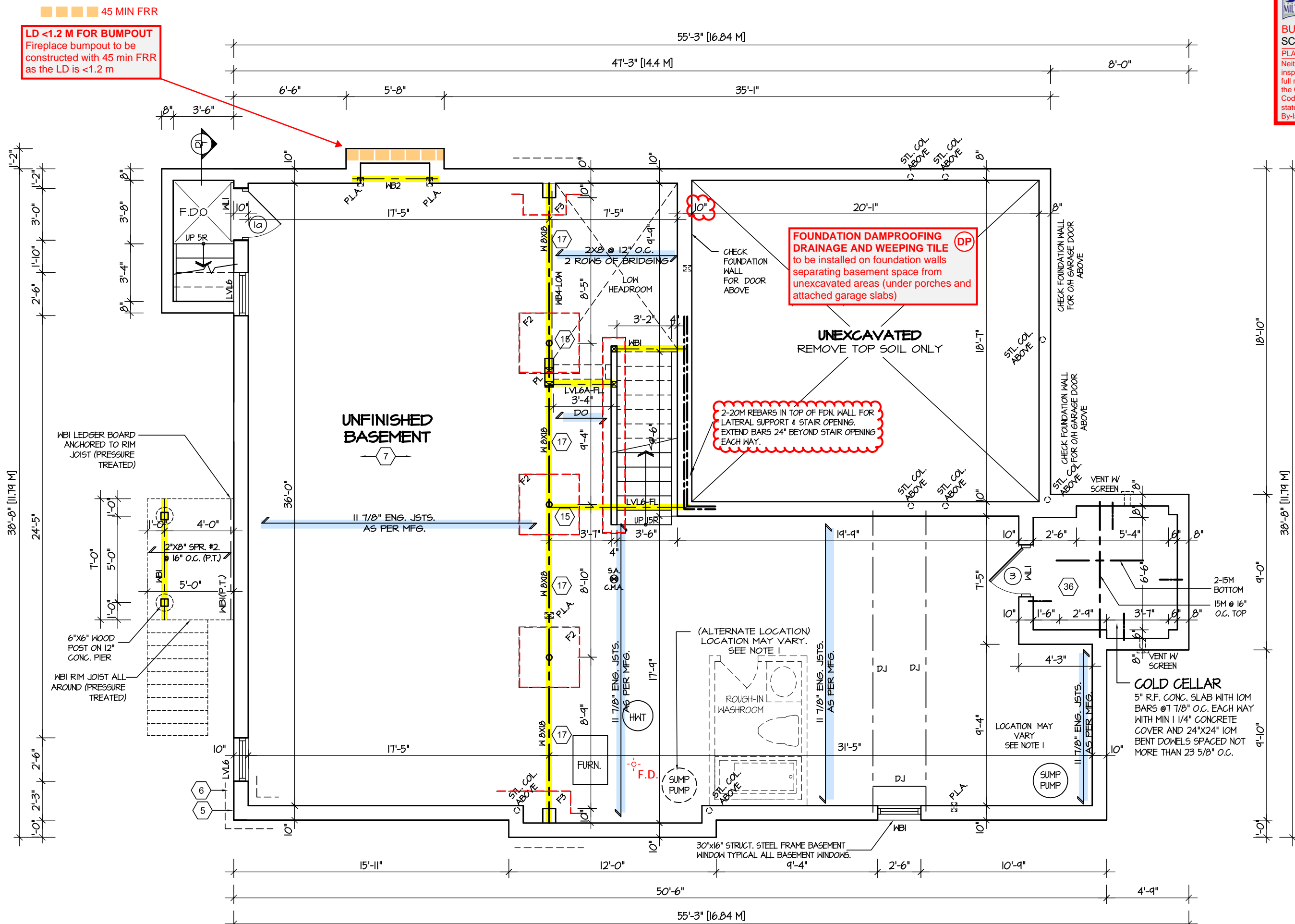
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		
VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE	
AREA CHARTS	
SCALE	BY
3/16"=1'-0"	V.G.
DATE	TYPE
JUL 2016	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No.
3130	0
PROJECT	
02-10-105	



BASEMENT FLOOR PLAN '2'
8'6" POUR FOUNDATION WALL
SIDE UPGRADE

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

RECEIVED
TOWN OF MILTON
MAY 30, 2017
17-7100
BUILDING DIVISION

ENGINEERED FLOOR SYSTEM
Drawings to be read in conjunction with reviewed engineered floor system layout



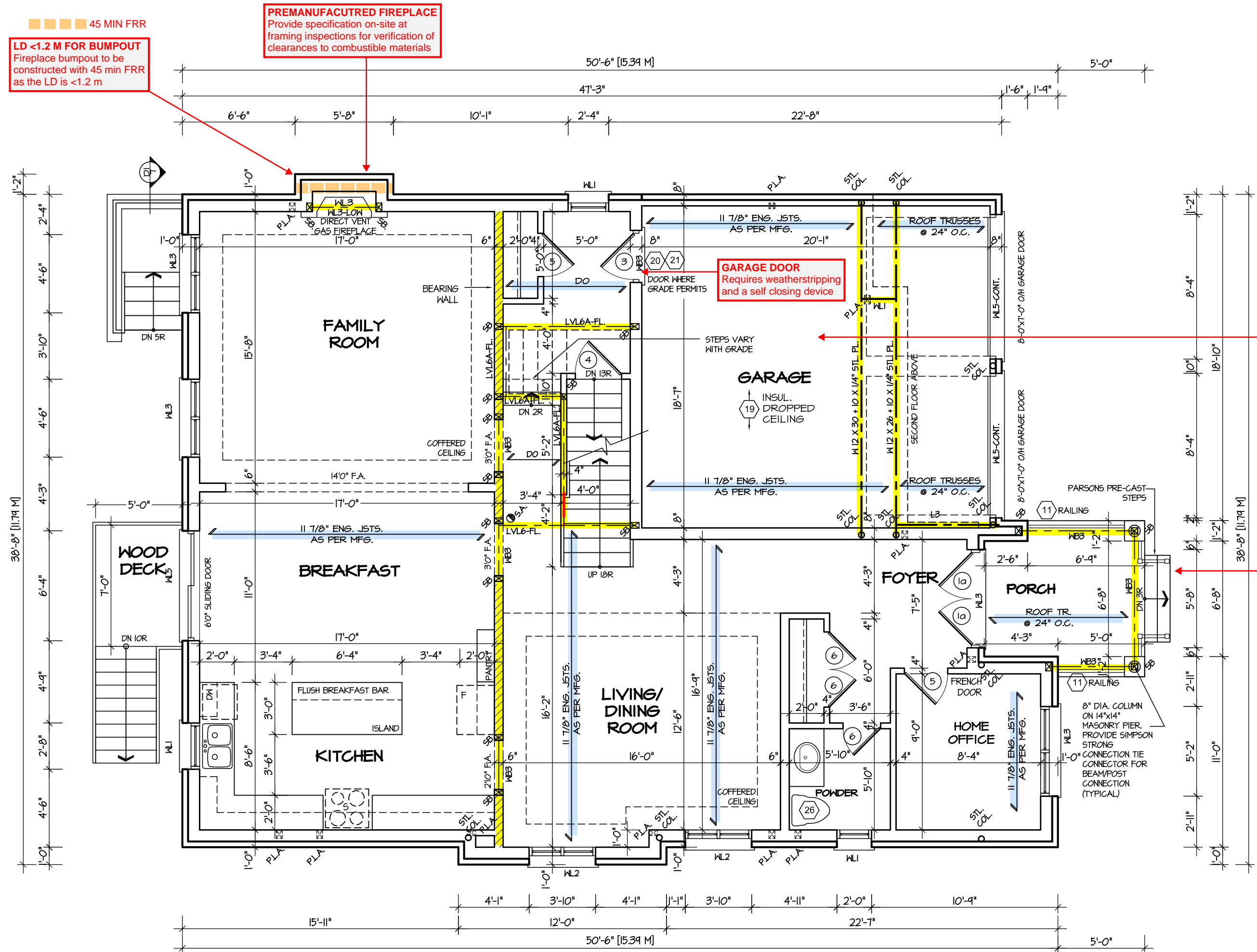
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ARCHITECTURAL REVIEW & APPROVAL
MAY 16 2017
John G. Williams Limited, Architect

JUNIPER 7-119
ENERGY STAR

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
4.					BASEMENT PLAN		ELEV. 2	
3.					SCALE	BY	AREA	PAGE No.
2.					3/16"=1'-0"	V.G.	3130	1-2
1.					ISSUED FOR REVIEW	DATE	PROJECT	
REVISIONS		NAME	SIGNATURE	BCIN	PROJECT NAME		LECCO RIDGE	



FIRST FLOOR PLAN '2'
10 FOOT CEILING
SIDE UPGRADE

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TOWN OF MILTON
MAY 30, 2017
17-7100
BUILDING DIVISION

ENGINEERED FLOOR SYSTEM
Drawings to be read in
conjunction with reviewed
engineered floor system layout



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ARCHITECTURAL REVIEW & APPROVAL
MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-119
ENERGY STAR



PROJECT NAME
LECCO RIDGE

REVISIONS	
5.	
4.	
3.	
2.	UPDATED FOR LOT- 119
1.	ISSUED FOR REVIEW
	APR 2017
	SEP 2016

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
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P (416) 736-4096
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SHEET TITLE
FIRST FLOOR PLAN
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JUL 2016

BY
V.G.

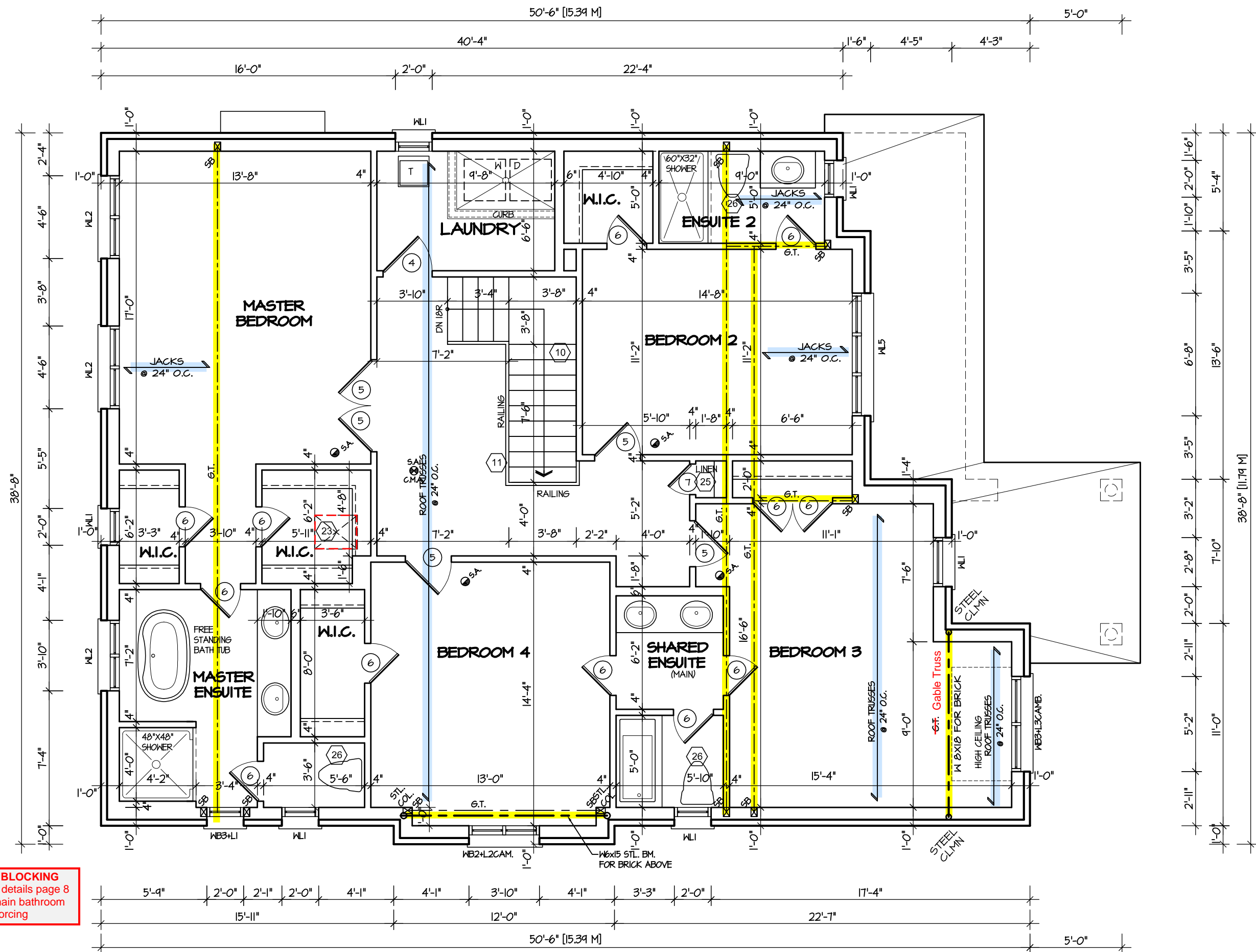
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3130

PAGE No.
2-2

PROJECT
02-10-105



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ARCHITECTURAL REVIEW & APPROVAL
MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-119
ENERGY STAR



PROJECT NAME
LECCO RIDGE

RECEIVED
TOWN OF MILTON
MAY 30, 2017
17-7100
BUILDING DIVISION

REVISIONS	
5.	
4.	
3.	
2.	UPDATED FOR LOT- 119 APR 2017
1.	ISSUED FOR REVIEW SEP 2016

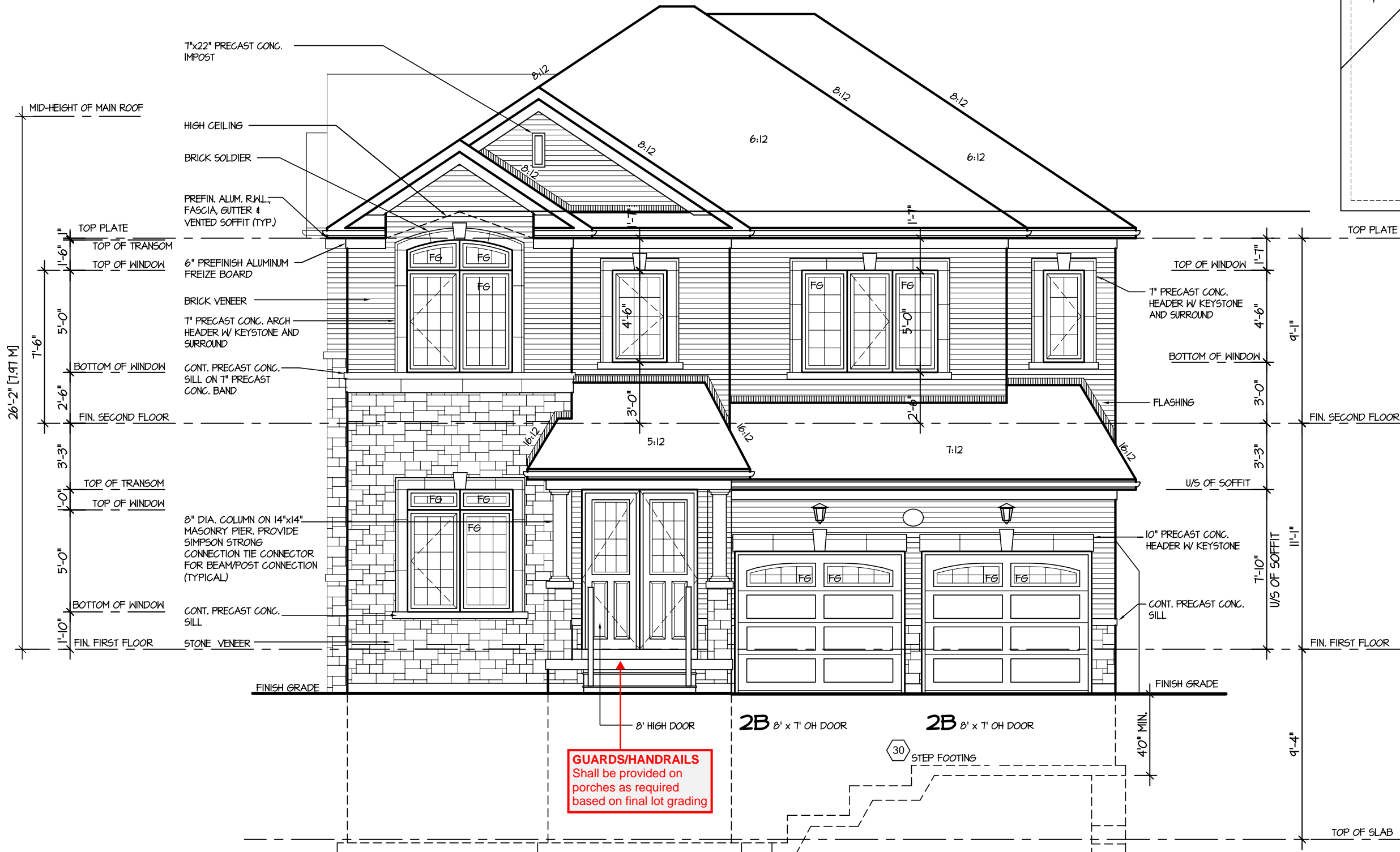
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NAME
SIGNATURE
28770
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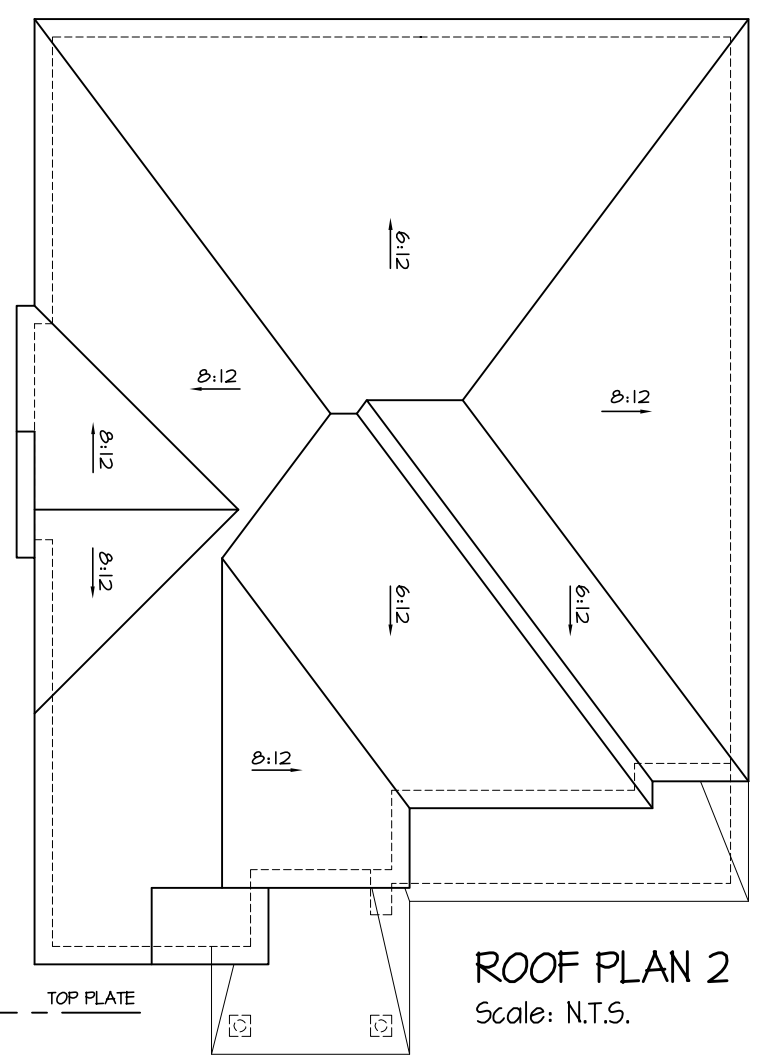
SHEET TITLE
SECOND FLOOR PLAN
ELEV. 2
SCALE
3/16"=1'-0"
DATE
JUL 2016
BY
V.G.
TYPE

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AREA
3130
PROJECT
02-10-105
PAGE No.
3-2



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MAY 30, 2017
17-7100
BUILDING DIVISION

FRONT ELEVATION 2
LOT 119

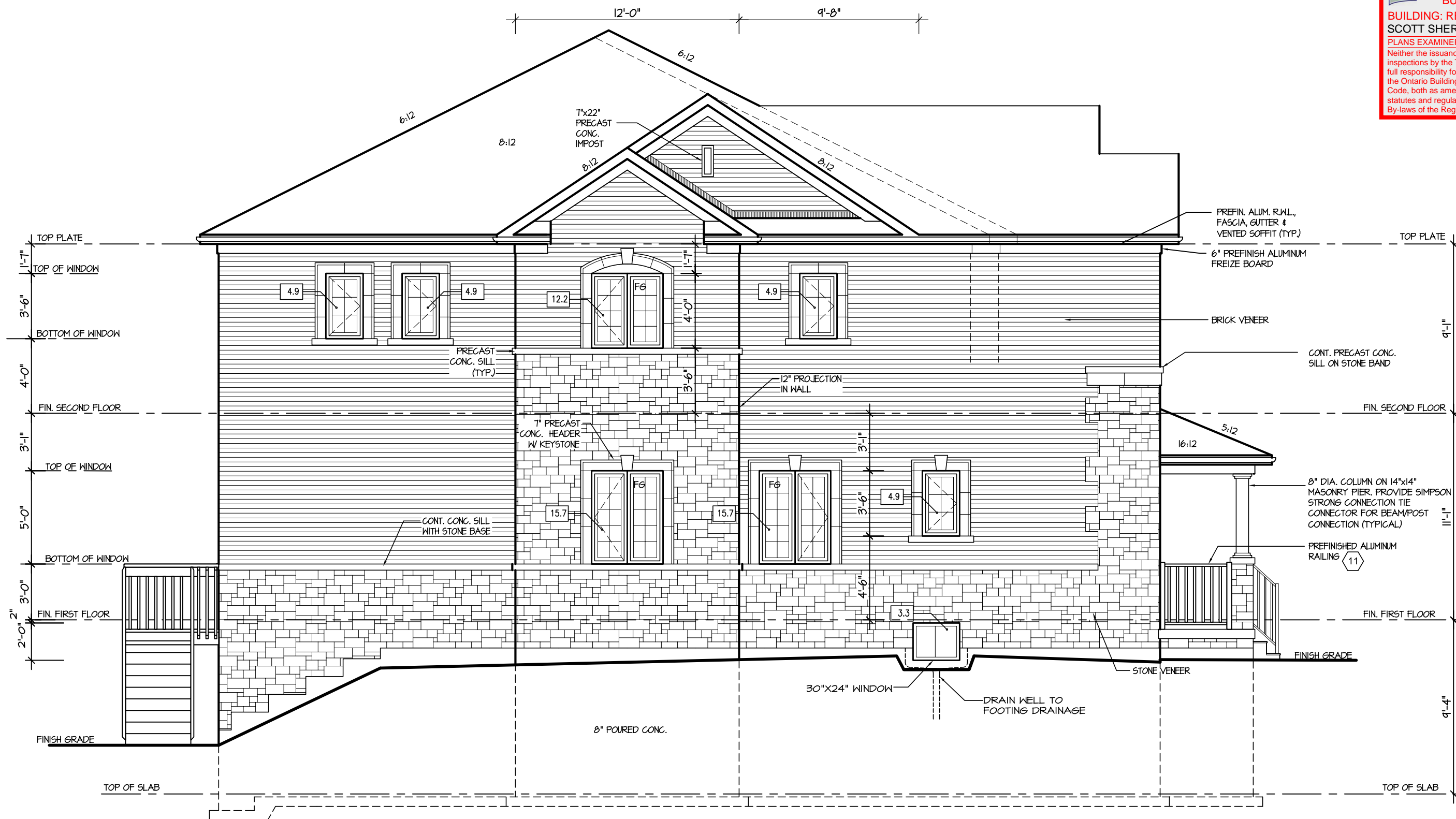


TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-7100
BUILDING: REVIEWED
SCOTT SHERRIFFS JUN 12, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.
ARCHITECTURAL REVIEW & APPROVAL
MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-119
ENERGY STAR

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		FRONT ELEVATION 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div>		
4.					SCALE	3/16"=1'-0"	BY	V.G.	AREA	3130		PAGE No.	4-2
3.					DATE	JUL 2016	TYPE		PROJECT	02-10-105			
2. UPDATED FOR LOT- 119					APR 2017								
1. ISSUED FOR REVIEW					SEP 2016								
REVISIONS													



LEFT ELEVATION 2
UPGRADE FOR LOT 119

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1034	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	12.13	Sq. Ft.
ACTUAL GLAZED AREA	=	66.5	Sq. Ft.

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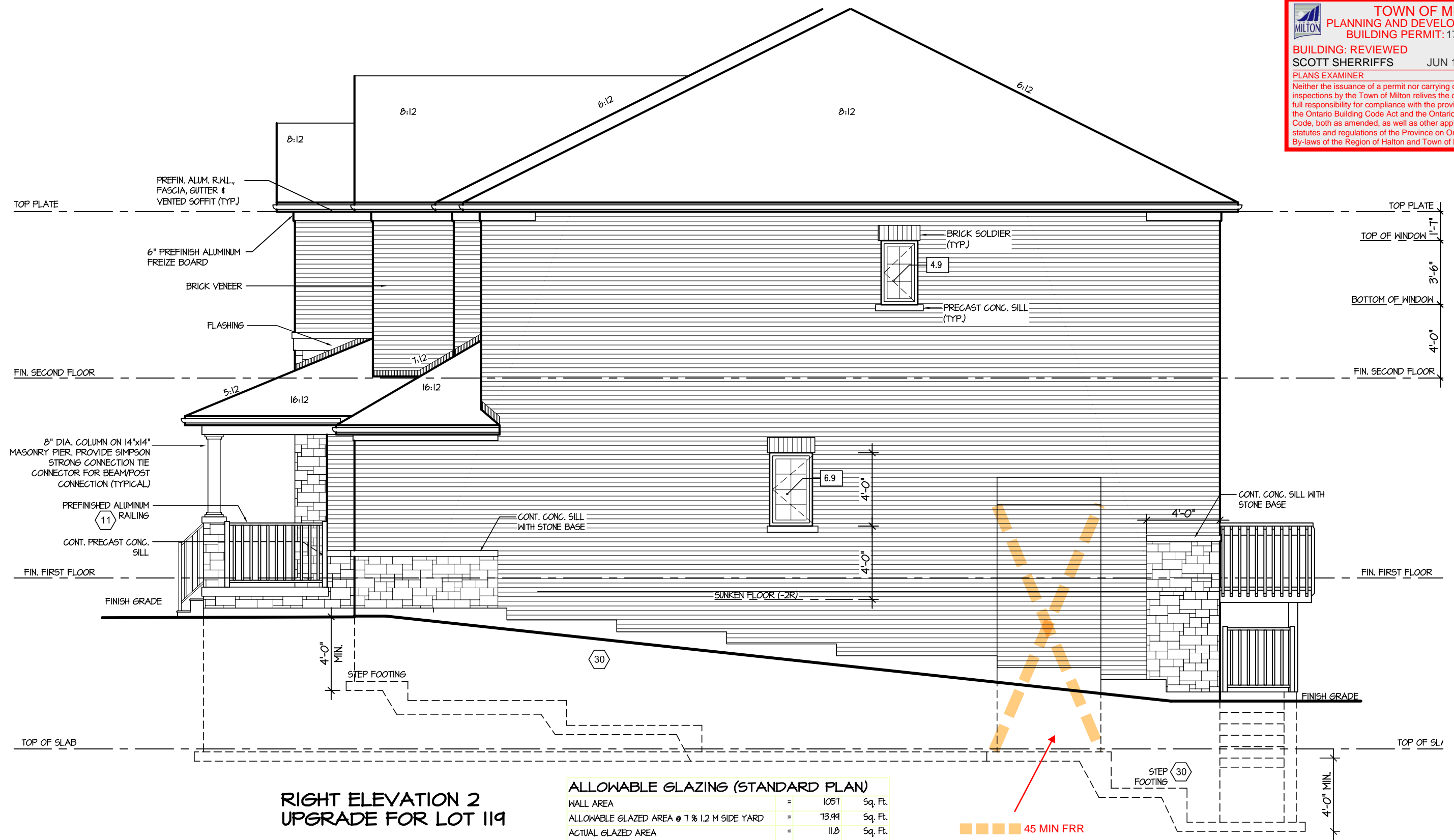
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JUNIPER 7-119
ENERGY STAR

5. 4. 3. 2. UPDATED FOR LOT- 119 APR 2017 1. ISSUED FOR REVIEW SEP 2016		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		REGION DESIGN INC.		SHEET TITLE LEFT SIDE ELEVATION 2 SCALE 3/16"=1'-0" BY V.G. DATE JUL 2016 TYPE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. AREA 3130 PAGE No. 5-2 PROJECT 02-10-105		PROJECT NAME LECCO RIDGE	
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ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1057	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	73.94	Sq. Ft.
ACTUAL GLAZED AREA	=	11.8	Sq. Ft.

45 MIN FRR
LD <1.2 M FOR BUMPOUT
Fireplace bumpout to be constructed with 45 min FRR as the LD is <1.2 m

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-119
ENERGY STAR



PROJECT NAME
LECCO RIDGE

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TOWN OF MILTON
MAY 30, 2017
17-7100
BUILDING DIVISION

5.		
4.		
3.		
2.	UPDATED FOR LOT- 119	APR 2017
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

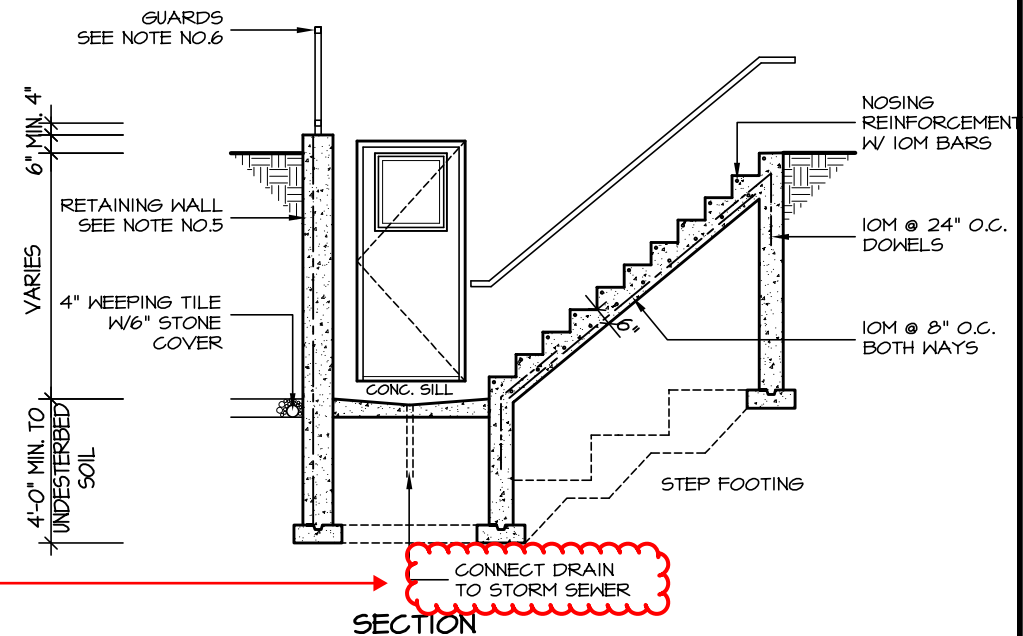
**REGION
DESIGN
INC.**

SHEET TITLE
**RIGHT SIDE
ELEVATION 2**
SCALE 3/16"=1'-0"
BY V.G.
DATE JUL 2016
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA 3130
PAGE No. 6-2
PROJECT 02-10-105

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-7100
BUILDING: REVIEWED
SCOTT SHERRIFFS JUN 12, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

WALKOUT AREA DRAIN
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system



GENERAL NOTES:

- FOOTING**
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
- CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS**
7 1/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
- INSULATION**
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
- RETAINING WALL**
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0". 15M HORIZONTAL & VERTICAL REINFORCEMENT @ 12" O.C. EACH FACE FOR WALL HEIGHTS FROM 7'-0" TO 9'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
- GUARDS**
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

DI - EXTERIOR WALKUP STAIRS DETAILS

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details

WALKOUT BSMT. INSULATION
See standard details page 10 for required perimeter slab insulation for walkout basement condition

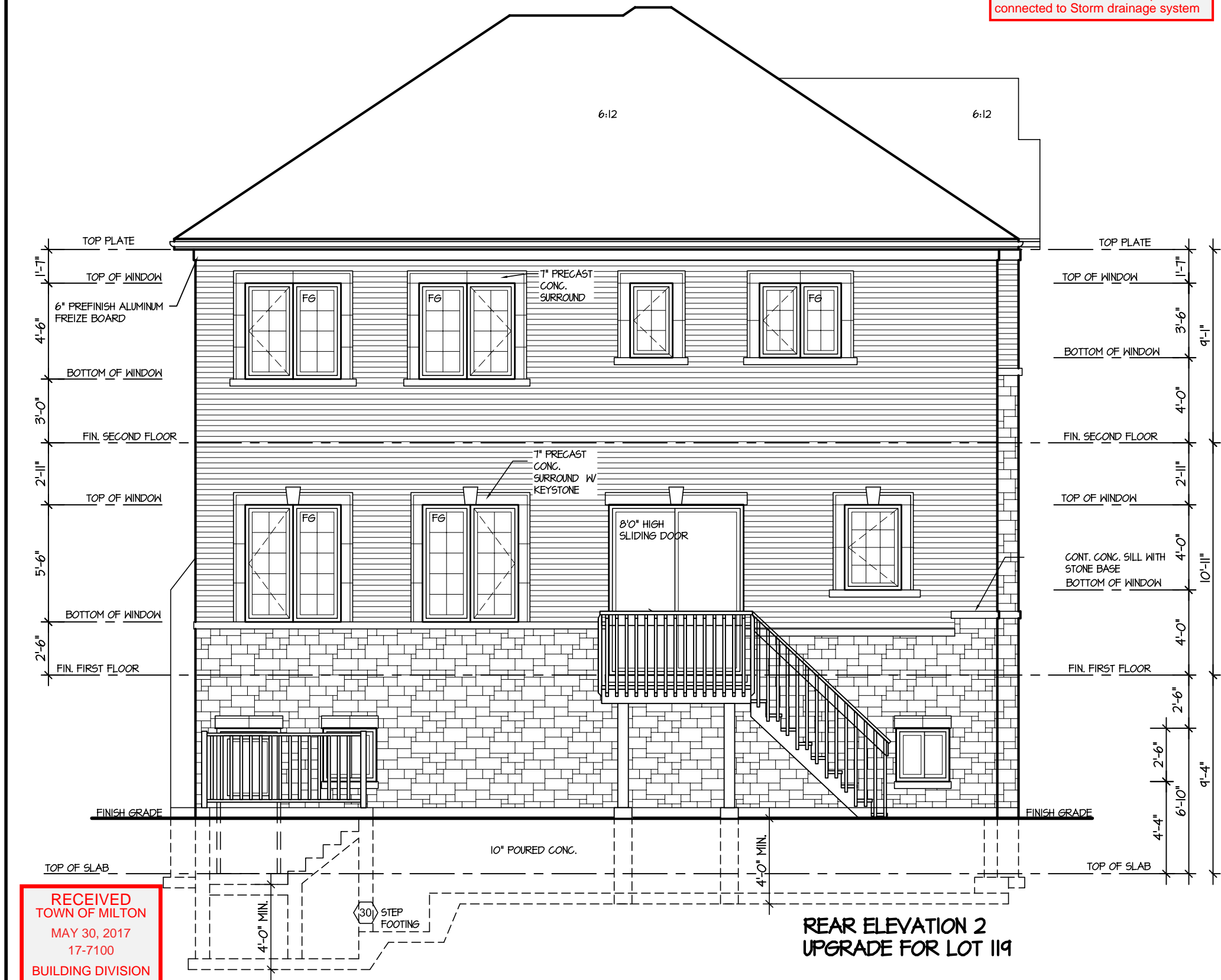


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ARCHITECTURAL REVIEW & APPROVAL
MAY 15 2017
John G. Williams Limited, Architect

JUNIPER 7-119
ENERGY STAR



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2. UPDATED FOR LOT- 119		APR 2017		VIKAS GAJJAR		SCALE 3/16"=1'-0"		AREA 3130		PROJECT 02-10-105	
1. ISSUED FOR REVIEW		SEP 2016		SIGNATURE		BY V.G.		PAGE No. 7			
				NAME		DATE JUL 2016		TYPE			
				28770							
				BCIN							

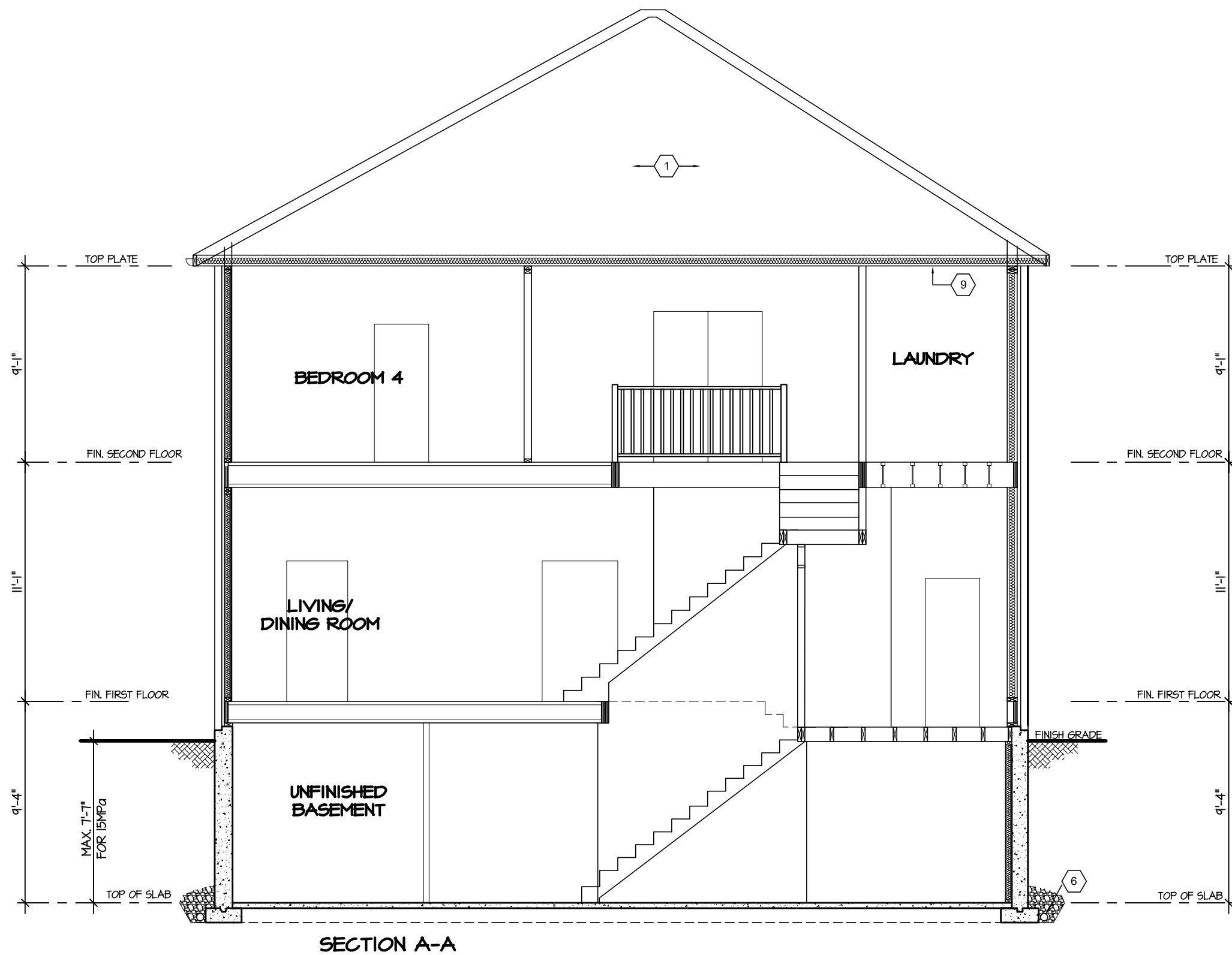
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