

STRIP FOOTINGS -  
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.  
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)  
ASSUME THE LARGER FOOTING SIZE  
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL  
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.  
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)  
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)  
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)  
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)  
L5 = 6"x4"x3/8"L (150x100x10.0L)  
L6 = 7"x4"x3/8"L (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

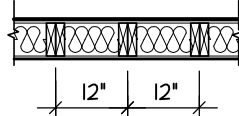
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINISH GRADING PLAN.

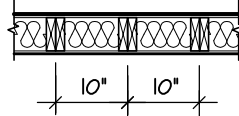
REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @12" O.C. FULL HT C/M SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



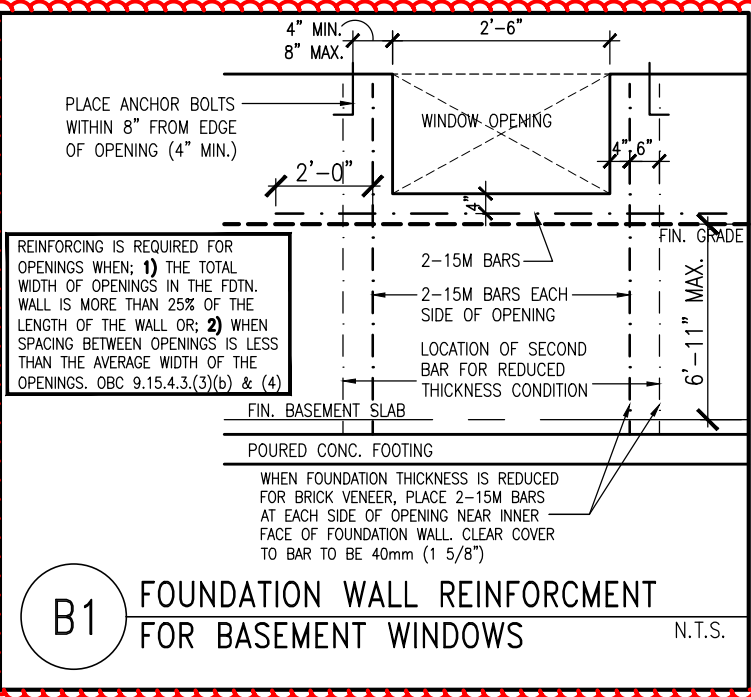
MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS  
18'-0" AND MAXIMUM SUPPORTED LENGTH OF  
TRUSS IS 40'-0"  
**TWO STORY HEIGHT WALL DETAIL**

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @10" O.C. FULL HT C/M  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

**TWO STORY HEIGHT WALL DETAIL**



**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed drawings to be read in conjunction  
with reviewed general notes, constructions  
details and specifications

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-7102  
**BUILDING: REVIEWED**  
**SCOTT SHERRIFFS** JUN 12, 2017  
**PLANS EXAMINER** **DATE**  
Neither the issuance of a permit nor carrying out of  
inspections by the Town of Milton relieves the owner from  
full responsibility for compliance with the provisions of  
the Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
By-laws of the Region of Halton and Town of Milton

**RECEIVED**  
**TOWN OF MILTON**  
**MAY 30, 2017**  
**17-7102**  
**BUILDING DIVISION**

**Energy**  
**ESCC MODEL**  
ENERGY STAR - V 12.7

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1410	Sq. Ft.
SECOND FLOOR AREA	=	1611	Sq. Ft.
TOTAL FLOOR AREA	=	3021	Sq. Ft.
		280.66	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	102	Sq. Ft.
ADD TOTAL OPEN AREAS	=	102	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3123	Sq. Ft.
		290.14	Sq. M.
GROUND FLOOR COVERAGE	=	1410	Sq. Ft.
GARAGE COVERAGE / AREA	=	397	Sq. Ft.
PORCH COVERAGE / AREA	=	68	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1875	Sq. Ft.
		174.19	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1807	Sq. Ft.
		167.88	Sq. m.

JUNIPER 6		ELEV.2		ENERGY STAR	
ELEVATION	WALL FT <sup>2</sup>	WALL MT <sup>2</sup>	OPENING FT <sup>2</sup>	OPENING MT <sup>2</sup>	PERCENTAGE
FRONT	789.43	73.34	92.02	8.55	11.66 %
LEFT SIDE	1051.45	98.24	80.00	7.43	7.57 %
RIGHT SIDE	1051.45	98.24	45.33	4.21	4.29 %
REAR	778.45	72.32	162.36	15.08	20.86 %
TOTAL	3662.78	342.14	379.71	35.28	10.31 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
2012 ENERGY STAR V-12.7	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 29/0V 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs



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examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

**JUNIPER 6-150**  
ENERGY STAR



PROJECT NAME  
**LECCO RIDGE**

5.		
4.		
3.		
2.	LOT 150 CUSTOM	APR. 2017
1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
**VIKAS GAJJAR** **28770**  
NAME SIGNATURE BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE	
AREA CHARTS	
SCALE 3/16"=1'-0"	BY MB
DATE JUL 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3,123	PAGE No. 0
PROJECT 02-10-107	

**UNSUPPORTED FOUNDATION**  
Foundation wall laterally unsupported below window open. Provide reinforcement as specified in detail B1 (Page No 0)

**UNSUPPORTED FOUNDATION**  
Foundation wall laterally unsupported below window open. Provide reinforcement as specified in detail B1 (Page No 0)

**COLD CELLAR**  
6" R.F. CONC. SLAB WITH 15M BARS @12" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 15M BENT DOWELS SPACED NOT MORE THAN 23 5/8" O.C.

**PRECAST STAIR/LANDING**  
Refer to master specifications for anchorage details for Parsons' precast stair/landing

2-15 REBARS IN TOP OF FOUND. WALL FOR LATERAL SUPPORT & STAIR OPENING. EXTEND BARS 24" BEYOND STAIR OPENING EACH WAY.

**FOUNDATION DAMPROOFING DRAINAGE AND WEeping TILE (DP)**  
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)



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ARCHITECTURAL REVIEW & APPROVAL  
MAY 15 2017  
John G. Williams Limited, Architect

**JUNIPER 6-150**  
ENERGY STAR



PROJECT NAME  
**LECCO RIDGE**

## BASEMENT PLAN ELEV. 2

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-7102  
**BUILDING: REVIEWED**  
SCOTT SHERRIFFS JUN 12, 2017  
PLANS EXAMINER DATE  
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton.

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TOWN OF MILTON  
MAY 30, 2017  
17-7102  
BUILDING DIVISION

**ENGINEERED FLOOR SYSTEM**  
Drawings to be read in conjunction with reviewed engineered floor system layout

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE 1:** FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION  
REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS  
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

5.		
4.		
3.		
2.	LOT 150 CUSTOM	APR.2017
1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

SHEET TITLE  
**BASEMENT PLAN ELEV. 2**  
SCALE 3/16"=1'-0"  
DATE JUL 2016  
BY MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA 3,123  
PAGE No. 1-2  
PROJECT 02-10-107





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May 30, 2017
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**GARAGE AIR BARRIER**  
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

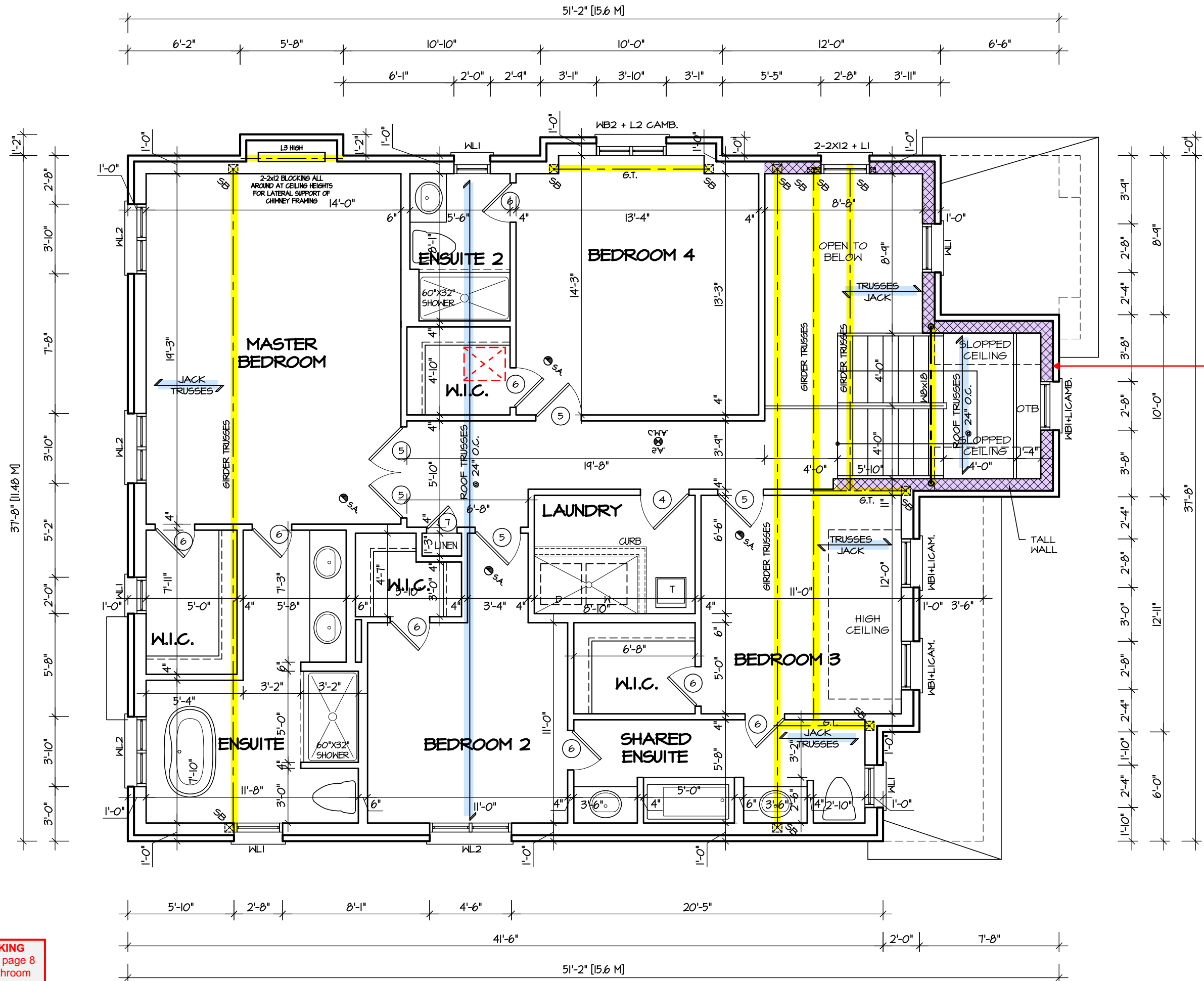
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1.	ISSUED FOR REVIEW	JUL 2016
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SHEET TITLE	
<p align="center"><b>FIRST FLOOR PLAN</b></p> <p align="center"><b>ELEV. 2</b></p>	
SCALE	BY
3/16"=1'-0"	MB
DATE	TYPE
JUL 2016	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3,123	PAGE No. 2-2
PROJECT 02-10-107	

 <b>Greenpark™</b>	
PROJECT NAME	LECCO RIDGE



= TALL WALL  
TALL WALL CONSTRUCTION DETAILS  
See two storey height wall construction details on page 0 of this drawing set



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ARCHITECTURAL REVIEW & APPROVAL  
MAY 15 2017  
John G. Williams Limited, Architect

JUNIPER 6-150  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE

BATHROOM BLOCKING  
See standard details page 8 for required main bathroom grab bar reinforcing

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17-7102  
BUILDING DIVISION

ENGINEERED TRUSS SYSTEM  
Reviewed drawings to be read in conjunction with reviewed engineered truss system layout

SECOND FLOOR PLAN ELEV. 2

5.		
4.		
3.		
2.	LOT 150 CUSTOM	APR.2017
1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

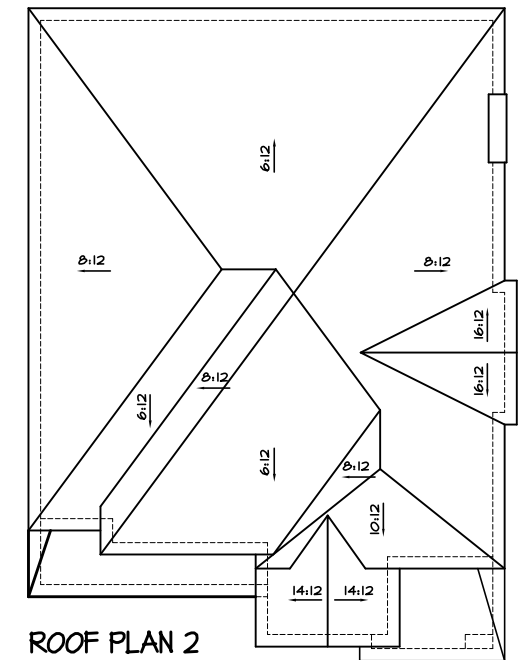
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SHEET TITLE  
SECOND FLOOR PLAN  
ELEV. 2  
SCALE  
3/16"=1'-0"  
DATE  
JUL 2016  
BY  
MB  
TYPE  
PROJECT  
02-10-107

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AREA  
3,123  
PAGE No.  
3-2



ROOF PLAN 2  
Scale: N.T.S.

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-7102

**BUILDING: REVIEWED**  
SCOTT SHERRIFFS  
PLANS EXAMINER

**DATE**  
JUN 12, 2017

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FRONT ELEVATION 2 FOR LOT 150 ONLY

DROPPED FRONT GRADE CONDITION CHANGES:  
- GARAGE ROOF DROPPED 2'-0"  
- GARAGE ROOF SLOPE INCREASED TO 9:12

GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

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ARCHITECTURAL REVIEW & APPROVAL  
MAY 15 2017  
John G. Williams Limited, Architect

JUNIPER 6-150  
ENERGY STAR

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TOWN OF MILTON  
MAY 30, 2017  
17-7102  
BUILDING DIVISION

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		SHEET TITLE FRONT ELEVATION ELEV. 2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME LECCO RIDGE
4.									
3.									
2.	LOT 150 CUSTOM	APR. 2017							
1.	ISSUED FOR REVIEW	JUL 2016							
REVISIONS			VIKAS GAJJAR NAME	 SIGNATURE	28770 BCIN	SCALE 3/16"=1'-0"	BY MB	AREA 3,123	PAGE No. 4-2
						DATE JUL 2016	TYPE	PROJECT 02-10-107	





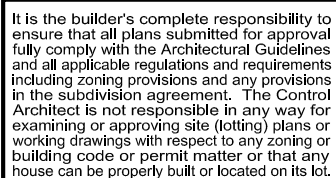
TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 13-3102

BUILDING: REVIEWED

SCOTT SHERRIEFS JUN 12 2017

SCOTT SHERKIFFS	JUN 12, 2017
PLANS EXAMINER	DATE

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ARCHITECTURAL REVIEW &amp; APPROVAL

MAY 15 2017

John G. Williams Limited, Architect

# JUNIPER 6-150

## ENERGY STAR



PROJECT NAME **LECCO RIDGE**

RECEIVED  
TOWN OF MILTON  
MAY 30, 2017  
17-7102  
BUILDING DIVISION

5.		<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 <p>PROJECT NAME</p> <p>LECCO RIDGE</p>		
4.					LEFT SIDE ELEVATION					<p>5-2</p>	
3.					ELEV. 2						
2.	LOT 150 CUSTOM				APR.2017	SCALE	BY	AREA			PAGE No.
1.	ISSUED FOR REVIEW				JUL 2016	3/16"=1'-0"	MB	3,123			
REVISIONS					DATE		PROJECT				
					JUL 2016		02-10-107				

**TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-7102**

BUILDING: REVIEWED

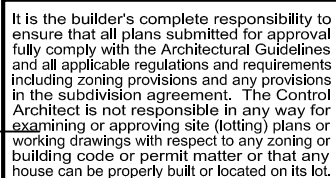
SCOTT SHERRIFFS

JUN 12, 2017

PLANS EXAMINER

DATE \_\_\_\_\_

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton



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John G. Williams Limited, Architect

## ALLOWABLE GLAZING

WALL AREA

ALLOWABLE WINDOW AREA @

7.00 % (1.2 M SIDEYARD)

105745

74.02

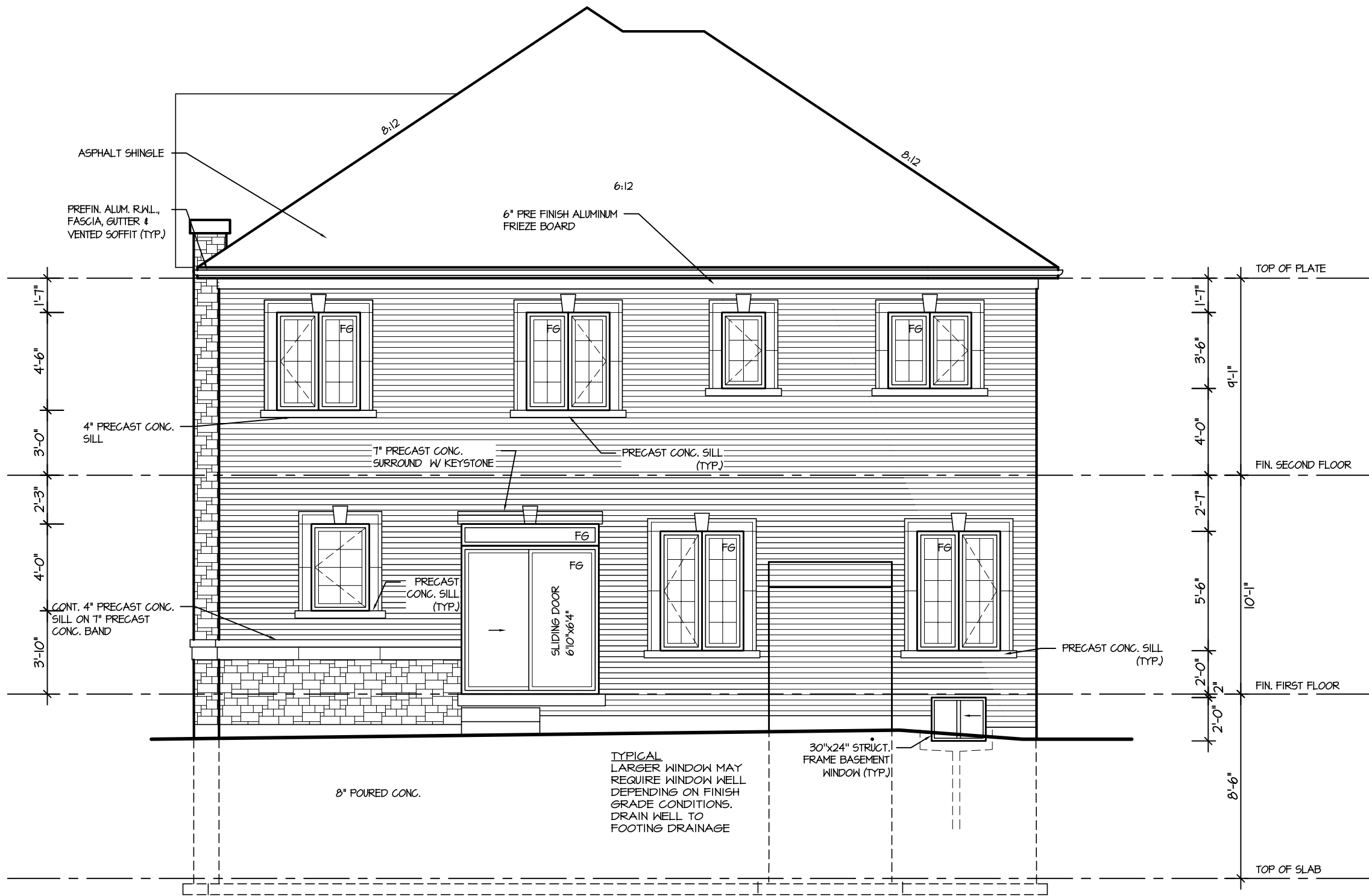
36.20

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4.					RIGHT SIDE ELEVATION					
3.					ELEV. 2					
2.	LOT 150 CUSTOM				APR.2017	SCALE	BY	AREA		PAGE No.
1.	ISSUED FOR REVIEW				JUL 2016	3/16"=1'-0"	MB	3,123		6-2
REVISIONS					PROJECT					
					02-10-107					



REAR ELEVATION 2  
UPGRADE FOR LOT 150

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VIKAS GAJJAR  
NAME  
SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
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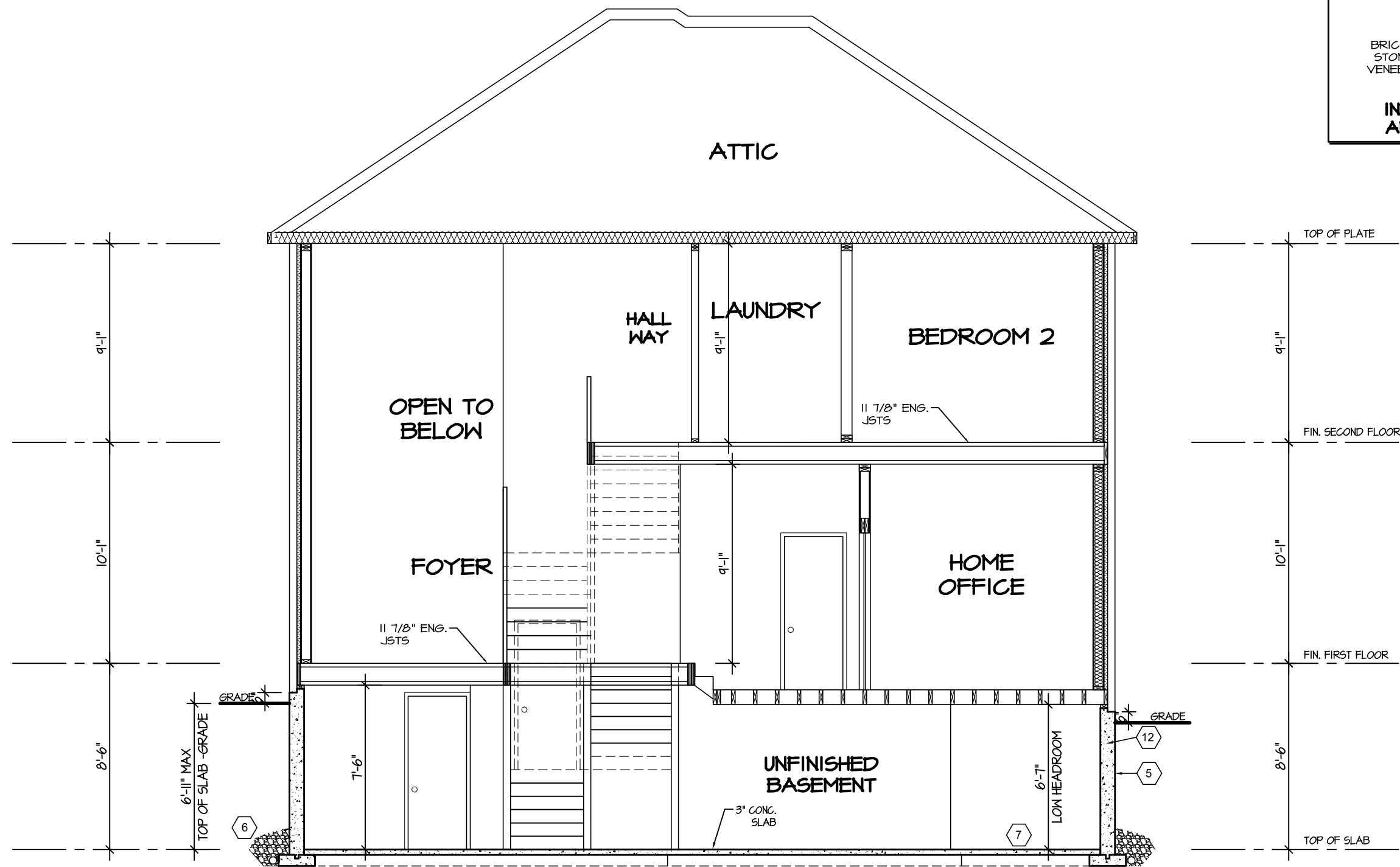
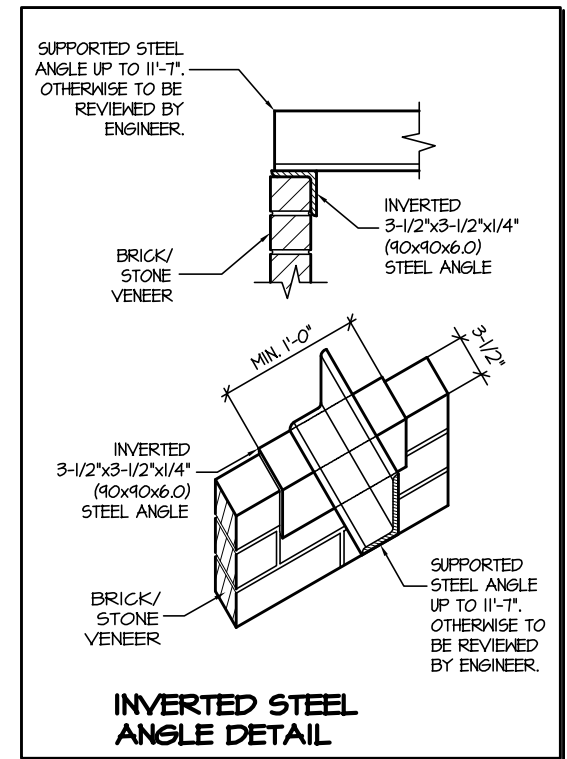
SHEET TITLE  
REAR ELEVATION  
ELEVATION 2  
SCALE  
3/16"=1'-0"  
DATE  
JUL 2016

BY  
MB  
TYPE

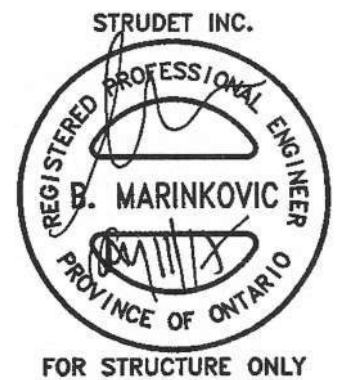
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AREA  
3,123  
PROJECT  
02-10-107

PAGE No.  
7-2





SECTION A-A





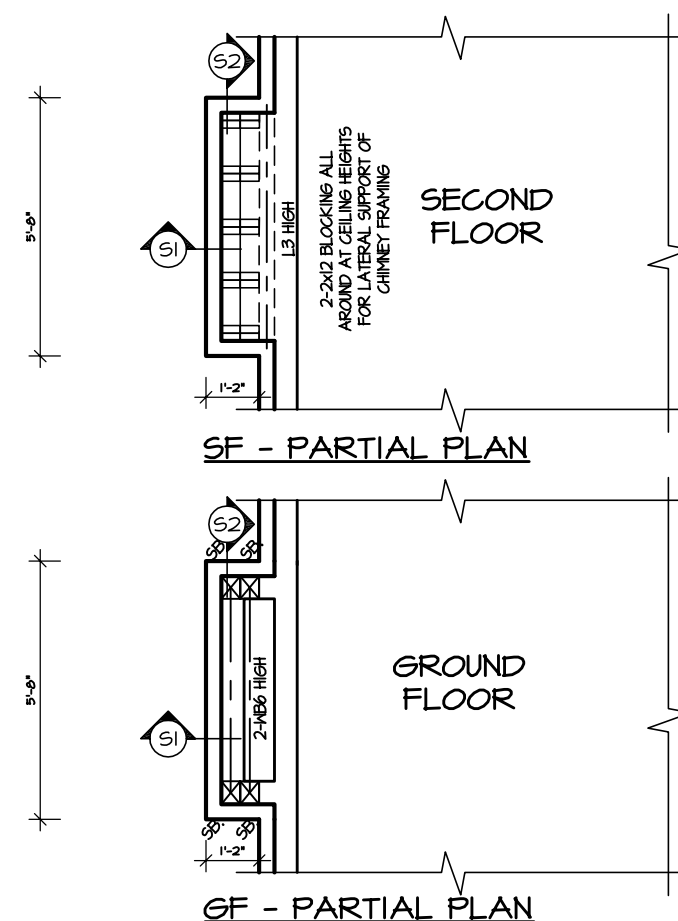
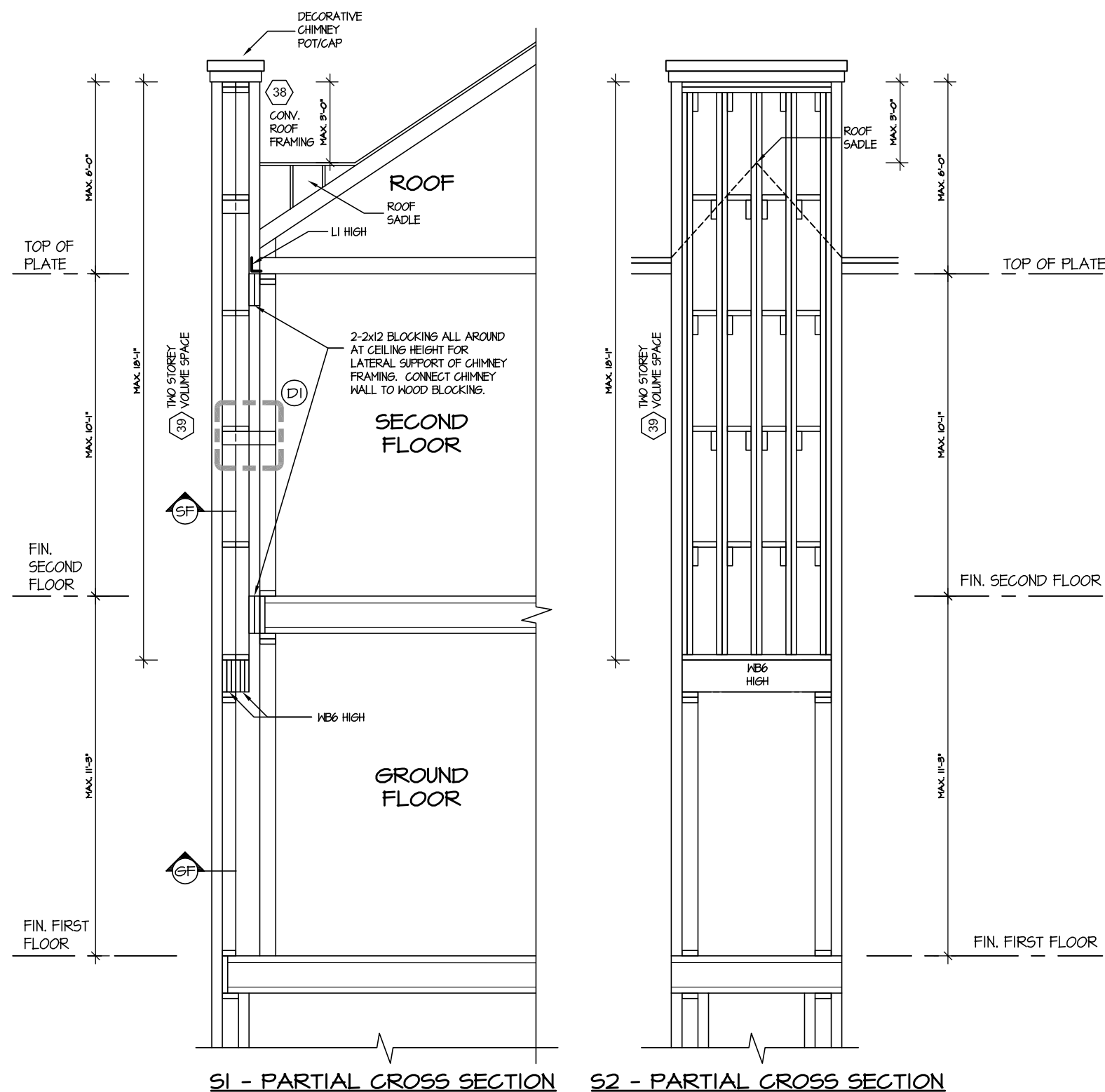
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2.	LOT 150 CUSTOM	APR. 2017			SCALE 3/16"=1'-0"	BY MB	AREA 3,123	PAGE No. 8	PROJECT NAME LECCO RIDGE
1.	ISSUED FOR REVIEW	JUL 2016			DATE JUL 2016	TYPE	PROJECT 02-10-107		
REVISIONS									



NOTES:

## CONVENTIONAL ROOF FRAMING

38 (\*SEE OBC 9.23.4.2.(1))

FOR MAX. 2240mm (7'-4") SPAN,  
38x89 (2"x4") RAFTERS @400mm  
(16") o.c.. FOR MAX. 3530mm (11'-7")  
SPAN, 38x140 (2"x6") RAFTERS  
@400mm (16") o.c.. RIDGE BOARD  
TO BE 51mm (2") DEEPER, 38x39  
(2"x4") COLLAR TIES AT MIDSPANS.  
CEILING JOISTS TO BE 38x89  
(2"x4") @400mm (16") o.c. FOR MAX.  
2830mm (9'-3") SPAN & 38x140  
(2"x6") @ 400 (16") o.c. FOR MAX.  
4450mm (14'-7") SPAN. RAFTERS  
FOR BUILT-UP ROOF TO BE 38x89  
(2"x4") @600mm (24") o.c. WITH A  
38x89 (2"x4") CENTER POST TO THE  
TRUSS BELOW, LATERALLY BRACED  
@1800mm (6'-0") o.c. VERTICALLY.

## TWO STOREY VOLUME SPACES

39 FOR A MAXIMUM 5490mm (18'-0")  
HEIGHT, PROVIDE 2-38x140  
(2-2"x6") CONTINUOUS STUDS  
@300mm (12") o.c. FOR BRICK AND  
400mm (16") o.c. FOR SIDING.  
PROVIDE SOLID WOOD BLOCKING  
BETWEEN STUDS @1220mm (4'-0")  
o.c. VERT. 7/16" EXT. PLYWOOD.



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NAME	SIGNATURE	BCIN

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8700 DUFFERIN ST.  
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SHEET TITLE	CHIMNEY DETAIL
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CONTRACTOR SHALL CHECK ALL  
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SCALE  
3/16"=1'-0"

DATE  
JUL 2016

BY	MB
TYPE	

AREA	3,123
PROJECT	02-10-10

	PAGE No.