

**STRIP FOOTINGS -**  
**FOR SINGLES & SEMIS UP TO 2 STOREY**

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

**FOOTINGS ON ENGINEERED FILL**  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.  
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)  
**ASSUME THE LARGER FOOTING SIZE**  
**WHEN TWO CONDITIONS APPLY**

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

**PAD FOOTINGS**

**120 KPa NATIVE SOIL**      **90 KPa ENGINEERED FILL SOIL**  
F1 = 42"x42"x18" CONCRETE PAD      F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD      F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD      F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD      F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD      F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.  
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

**BRICK VENEER LINTELS**

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

**WOOD LINTELS AND BEAMS**

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

**LAMINATED VENEER LUMBER (LVL) BEAMS**

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (3-45x456)

**LOOSE STEEL LINTELS**

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L)  
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)  
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)  
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)  
L5 = 6"x4"x3/8" (150x100x10.0L)  
L6 = 7"x4"x3/8" (175x100x10.0L)

**DOOR SCHEDULE**

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

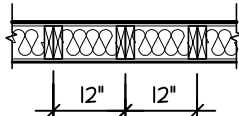
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINISH GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

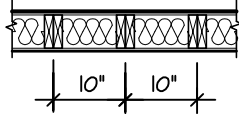
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @12" O.C. FULL HT C/W SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS  
18'-0" AND MAXIMUM SUPPORTED LENGTH OF  
TRUSS IS 40'-0"

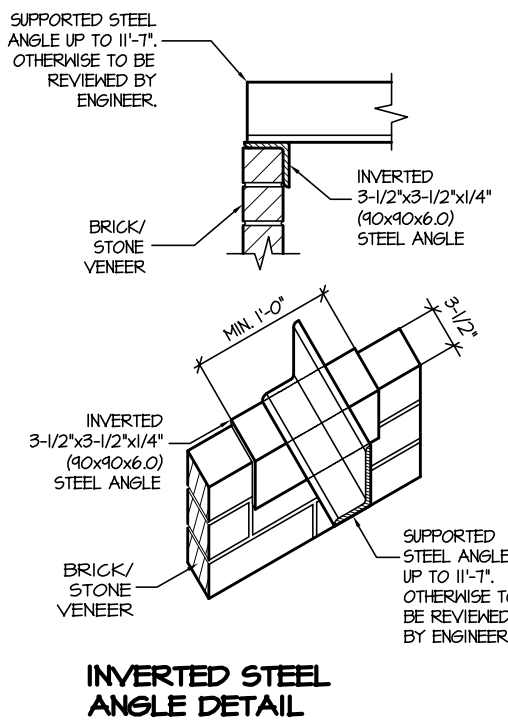
**TWO STORY HEIGHT WALL DETAIL**

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @10" O.C. FULL HT C/W  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

**TWO STORY HEIGHT WALL DETAIL**



**INVERTED STEEL  
ANGLE DETAIL**

**TOWN OF MILTON**  
**PLANNING AND DEVELOPMENT**  
**JUNIPER 8 MODEL**

**BUILDING: REVIEWED**  
**SCOTT SHERRIFFS**      **APR 13, 2017**  
**PLANS EXAMINER**      **DATE**

Neither the issuance of a permit nor carrying out of  
inspections by the Town of Milton relieves the owner from  
full responsibility for compliance with the provisions of the  
Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
By-laws of the Region of Halton and Town of Milton

JUNIPER 8		ELEV.1		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	808.31	75.04	133.10	12.42	16.54 %
LEFT SIDE	1048.90	102.04	71.38	7.14	7.04 %
RIGHT SIDE	1048.90	102.04	45.61	4.24	4.16 %
REAR	803.50	74.65	151.20	14.60	14.56 %
TOTAL	3809.61	353.42	413.95	38.46	10.81 %

JUNIPER 8		ELEV.3		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	842.00	78.22	144.80	13.45	17.20 %
LEFT SIDE	1103.10	102.48	71.30	7.18	7.01 %
RIGHT SIDE	1048.90	102.04	45.60	4.24	4.15 %
REAR	803.50	74.65	151.20	14.60	14.56 %
TOTAL	3841.50	351.44	424.90	39.41	11.04 %

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1473	Sq. Ft.
SECOND FLOOR AREA	=	1854	Sq. Ft.
TOTAL FLOOR AREA	=	3327	Sq. Ft.
		304.09	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3327	Sq. Ft.
		304.09	Sq. M.
GROUND FLOOR COVERAGE	=	1473	Sq. Ft.
GARAGE COVERAGE / AREA	=	387	Sq. Ft.
PORCH COVERAGE / AREA	=	102	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1962	Sq. Ft.
		182.28	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1860	Sq. Ft.
		172.80	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT  
SHALL CONFORM TO THE FOLLOWING

**2012 ENERGY STAR V-12.1**

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 24/0V 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

JUNIPER 8		ELEV.2		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	808.31	75.04	131.60	12.23	16.28 %
LEFT SIDE	1048.90	102.04	71.30	7.18	7.03 %
RIGHT SIDE	1048.90	102.04	45.60	4.24	4.15 %
REAR	803.50	74.65	151.20	14.60	14.56 %
TOTAL	3809.61	353.42	411.70	38.25	10.81 %

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1460	Sq. Ft.
SECOND FLOOR AREA	=	1835	Sq. Ft.
TOTAL FLOOR AREA	=	3295	Sq. Ft.
		306.12	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3295	Sq. Ft.
		306.12	Sq. M.
GROUND FLOOR COVERAGE	=	1460	Sq. Ft.
GARAGE COVERAGE / AREA	=	387	Sq. Ft.
PORCH COVERAGE / AREA	=	85	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1932	Sq. Ft.
		179.49	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1847	Sq. Ft.
		171.59	Sq. m.

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1475	Sq. Ft.
SECOND FLOOR AREA	=	1845	Sq. Ft.
TOTAL FLOOR AREA	=	3320	Sq. Ft.
		308.44	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3320	Sq. Ft.
		308.44	Sq. M.
GROUND FLOOR COVERAGE	=	1475	Sq. Ft.
GARAGE COVERAGE / AREA	=	387	Sq. Ft.
PORCH COVERAGE / AREA	=	85	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1947	Sq. Ft.
		180.88	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1862	Sq. Ft.
		172.99	Sq. m.

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
constructions details and specifications

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

**TOWN OF MILTON**  
**PLANNING AND DEVELOPMENT**  
**RMD1\*223 ZONE**

**ZONING: APPROVED**  
**ROBIN CAMPBELL**      **APR 22, 2017**  
**ZONING OFFICER**      **DATE**

**JUNIPER 8**  
**ENERGY STAR**

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

**VIKAS GAJJAR**      **28770**  
**NAME**      **SIGNATURE**      **BCIN**

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE	
AREA CHARTS	
SCALE	3/16"=1'-0"
DATE	JUL 2016
BY	B.K.
TYPE	

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

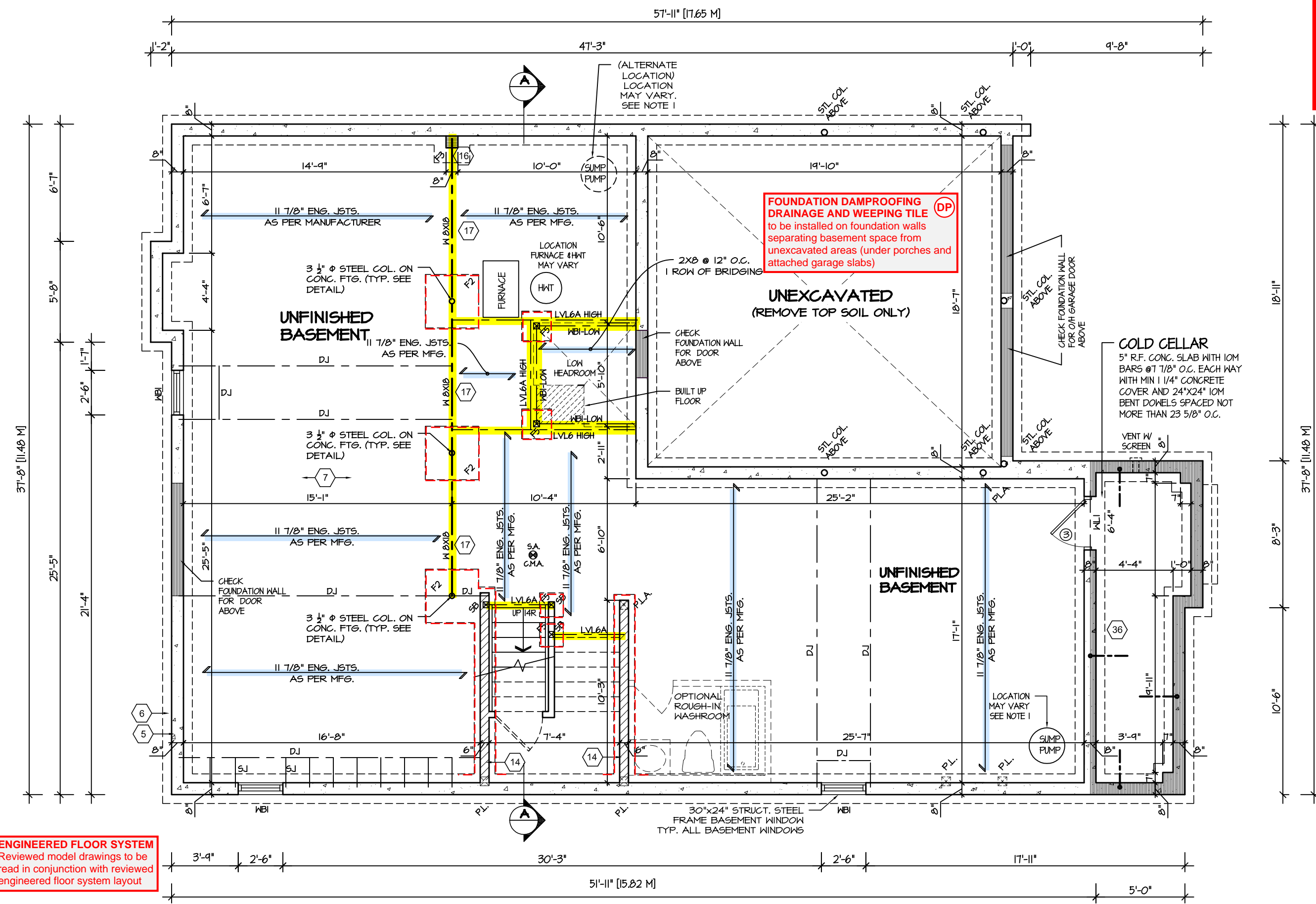
AREA      3405      PAGE No.      0

PROJECT      02-10-05

**Greenpark.**

PROJECT NAME      **LECCO RIDGE**

**RECEIVED**  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



**BASEMENT FLOOR PLAN I**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 8**  
ENERGY STAR



5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE

28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE  
**BASEMENT PLAN**  
ELEV. 1

SCALE  
3/16"=1'-0"

DATE  
JUL 2016

BY  
B.K.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3405

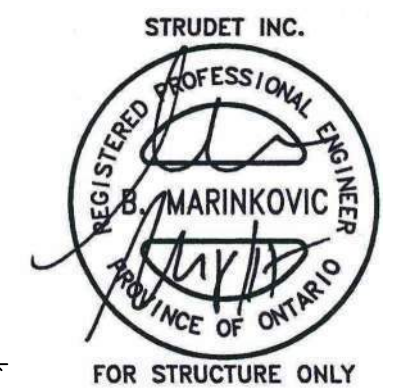
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PROJECT  
02-10-05

PROJECT NAME  
**LECCO RIDGE**



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MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



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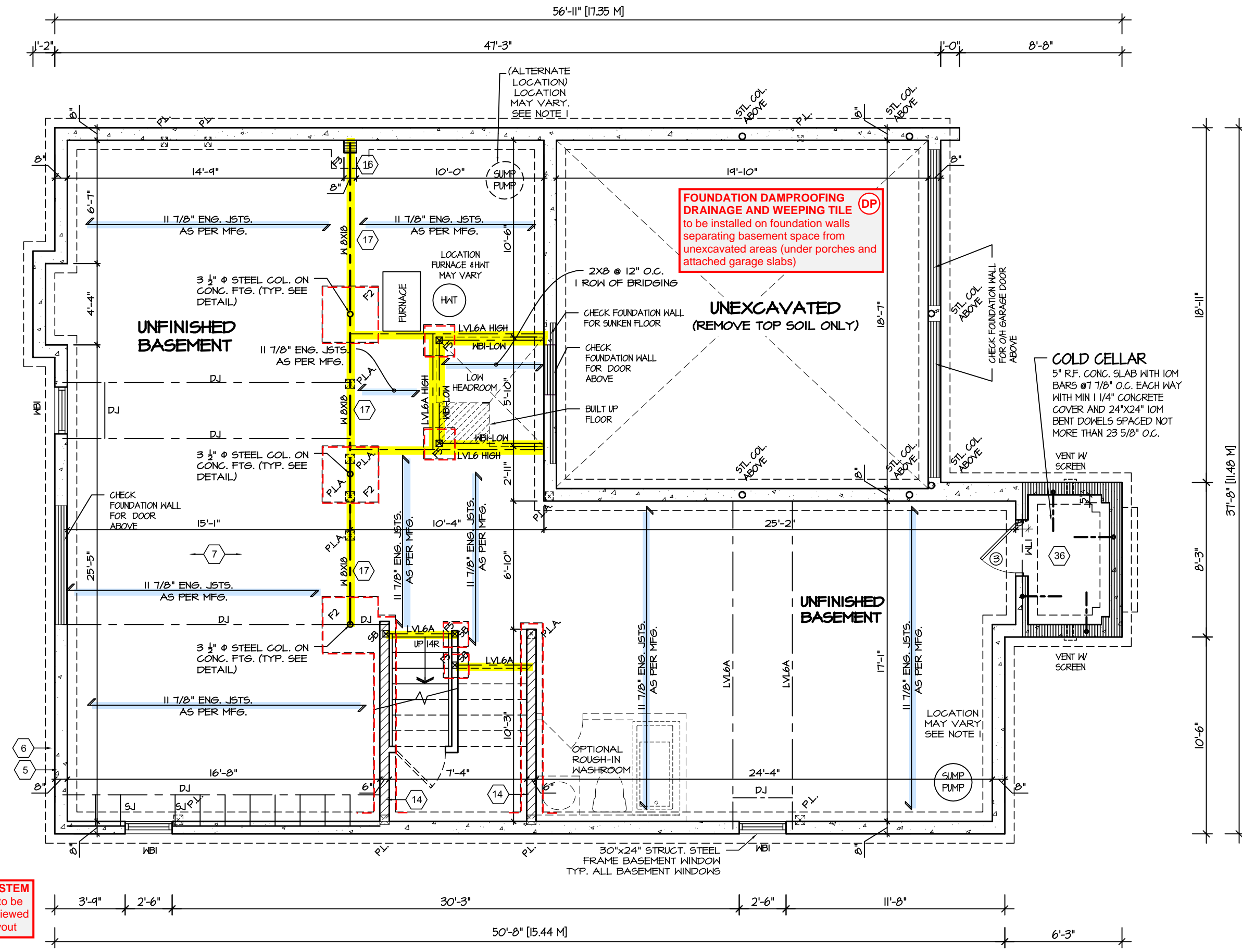
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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 8**  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE



**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

### BASEMENT FLOOR PLAN 2

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE 1:** FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

REVISIONS	
5.	
4.	
3.	
2.	
1. ISSUED FOR REVIEW	JUL 2016

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME  
SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
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SHEET TITLE  
**BASEMENT PLAN**  
ELEV. 2

SCALE  
3/16"=1'-0"

DATE  
JUL 2016

BY  
B.K.

TYPE

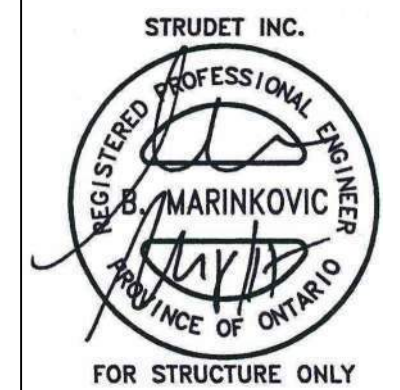
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AREA  
3405

PAGE No.  
1-2

PROJECT  
02-10-05

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



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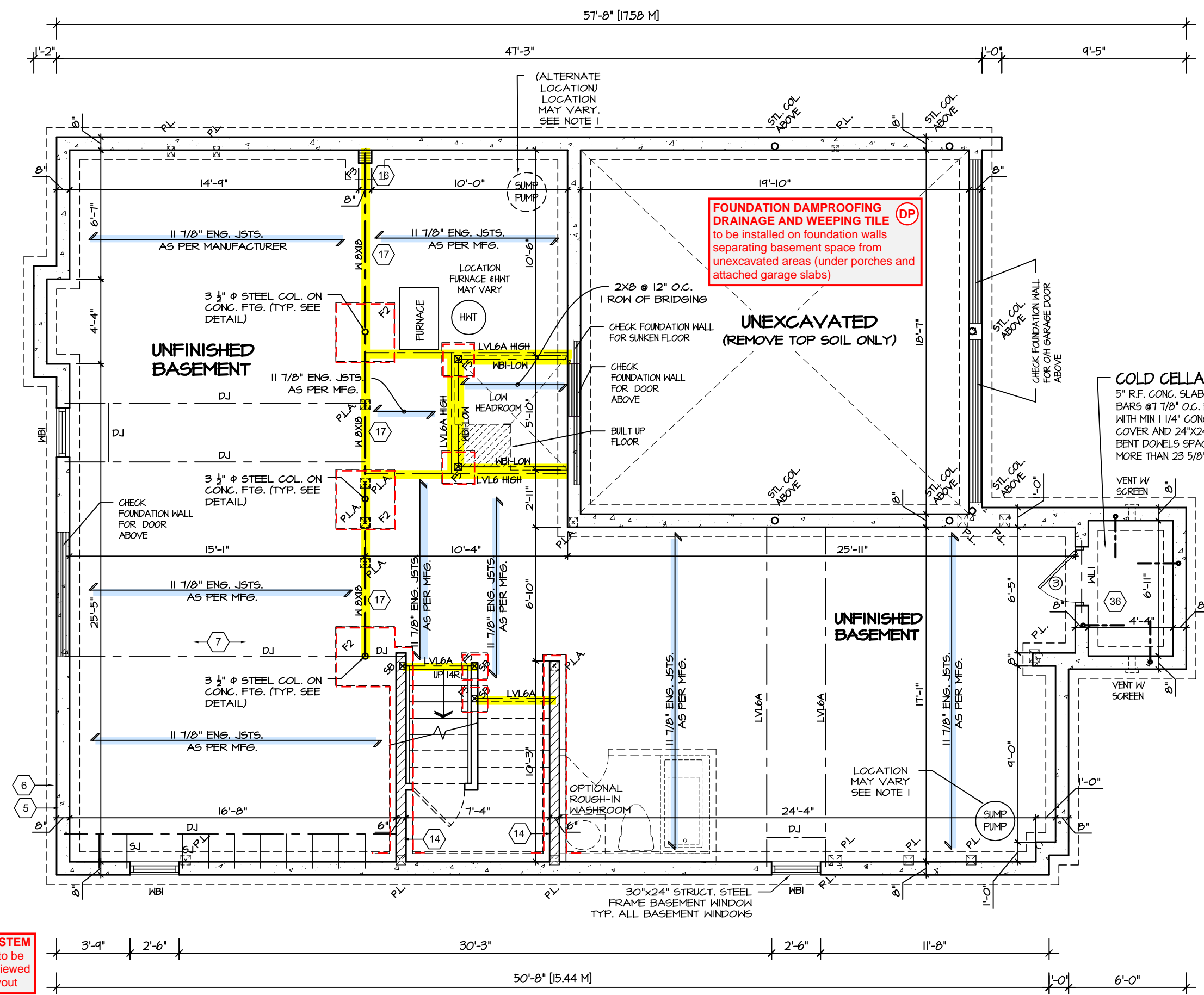
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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 8**  
ENERGY STAR



PROJECT NAME  
**LECCO RIDGE**



**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

**BASEMENT FLOOR PLAN 3**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE 1:** FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

5.		
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1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR      28770  
NAME      SIGNATURE      BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE  
**BASEMENT PLAN**  
ELEV. 3

SCALE  
3/16"=1'-0"

DATE  
JUL 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

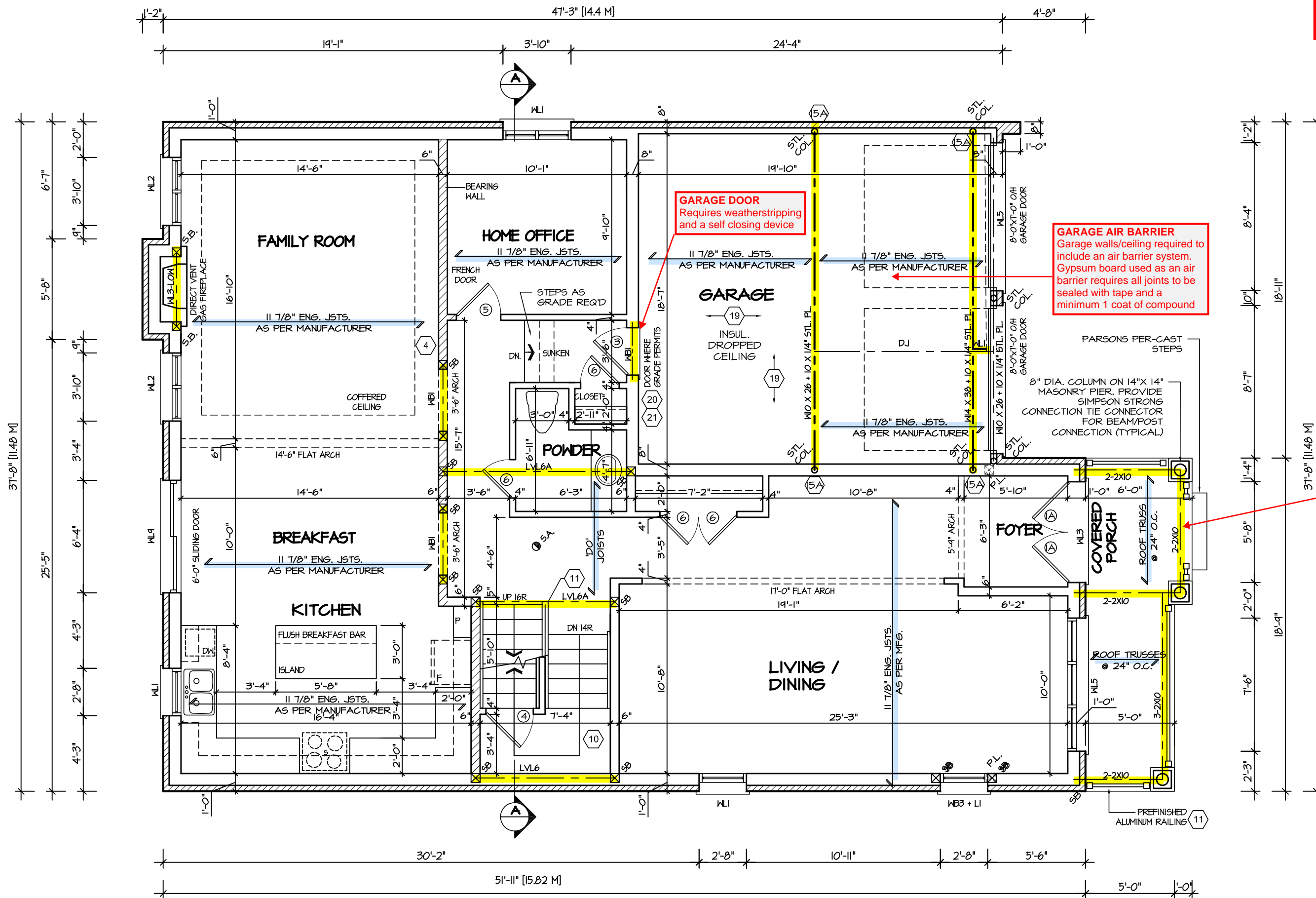
AREA  
3405

PAGE No.  
**1-3**

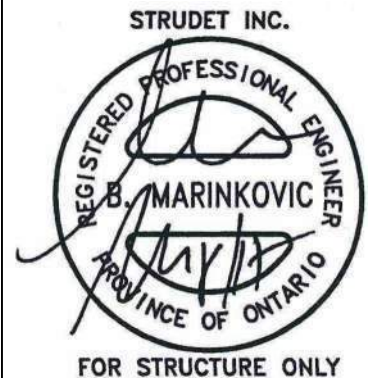
PROJECT  
02-10-05



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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading



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ensure that all plans submitted for approval  
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and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
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with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 8  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE

ENGINEERED FLOOR SYSTEM  
Reviewed model drawings to be  
read in conjunction with reviewed  
engineered floor system layout

GROUND FLOOR PLAN I

REVISIONS	
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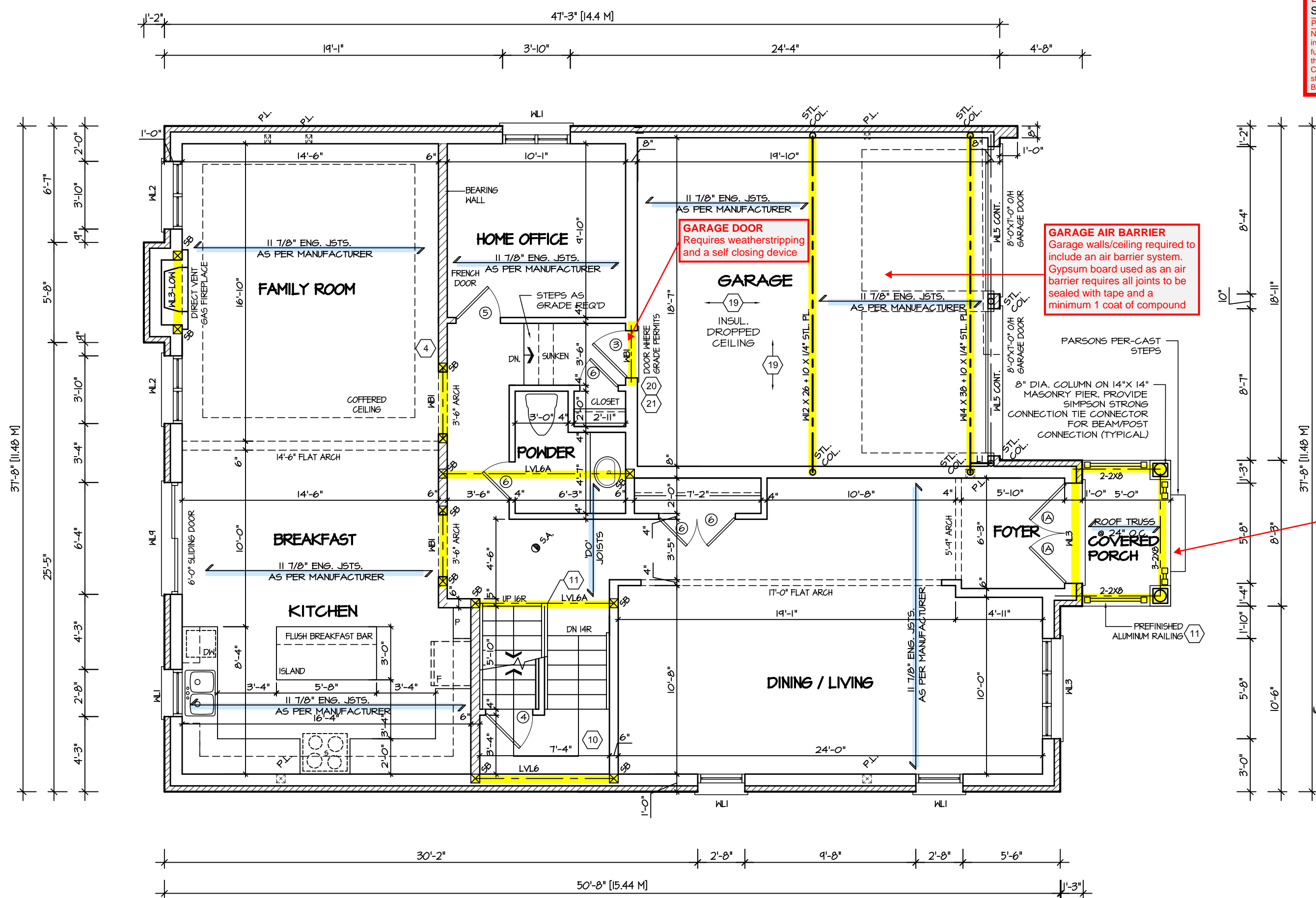
REGION DESIGN INC.  
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CONCORD, ONTARIO  
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SHEET TITLE  
FIRST FLOOR PLAN  
ELEV. 1  
SCALE  
3/16"=1'-0"  
DATE  
JUL 2016  
BY  
B.K.  
TYPE  
PROJECT  
02-10-05

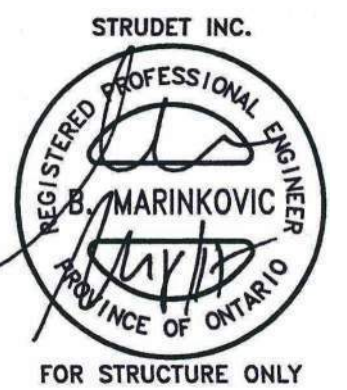
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PRINTS ARE NOT TO BE SCALED.  
AREA  
3405  
PAGE No.  
2

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

GROUND FLOOR PLAN 2



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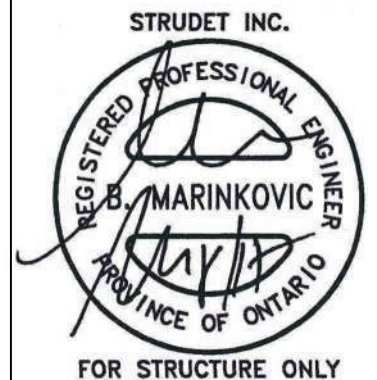
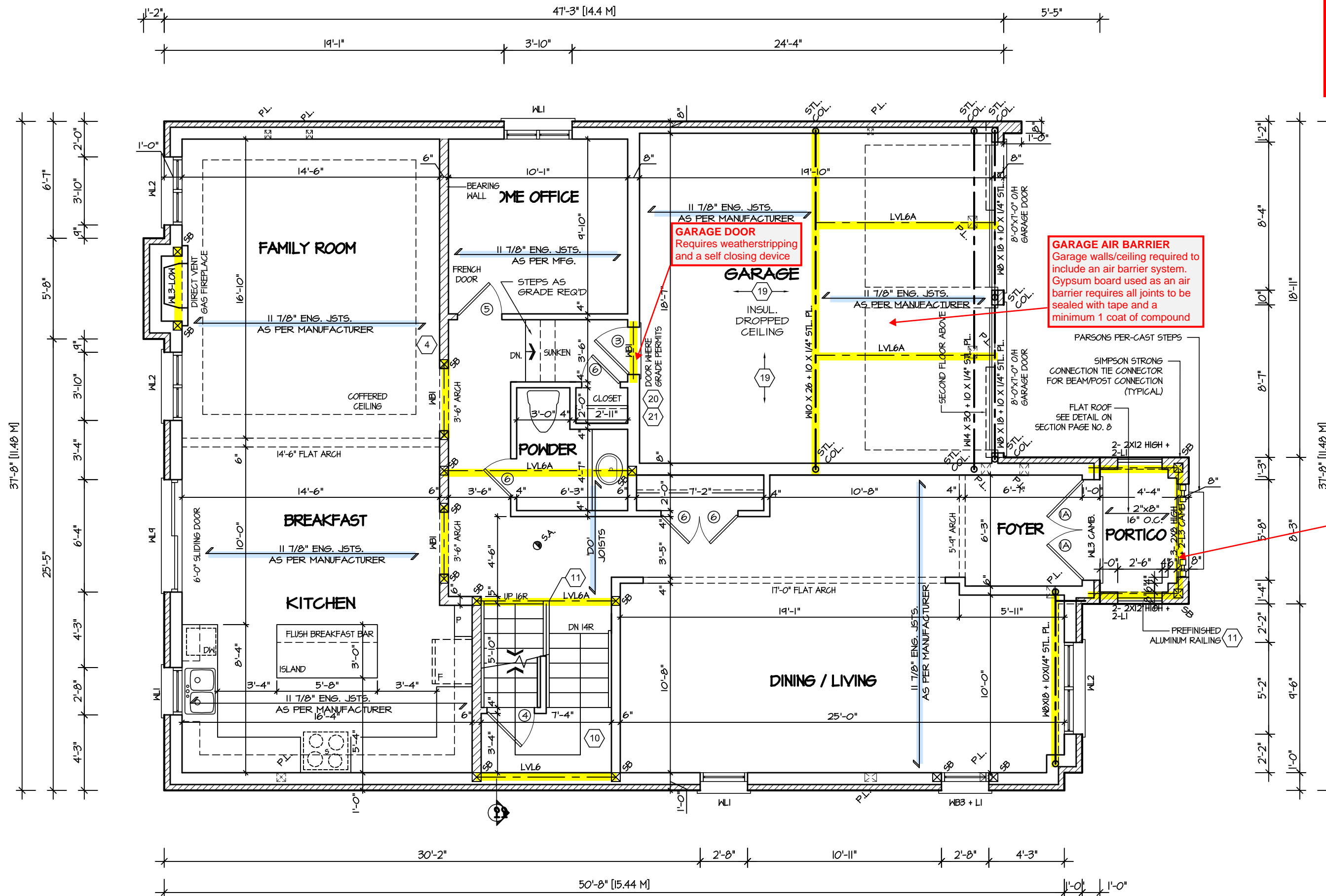
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MAR 20 2017  
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**JUNIPER 8**  
ENERGY STAR

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4.					FIRST FLOOR PLAN					PROJECT NAME
3.					ELEV. 2					
2.					SCALE	BY	AREA	PAGE No.		
1. ISSUED FOR REVIEW					3/16"=1'-0"	B.K.	3405	2-2		
REVISIONS		DATE		PROJECT		LECCO RIDGE				
		JUL 2016		02-10-05						



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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
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MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 8**  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE

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1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

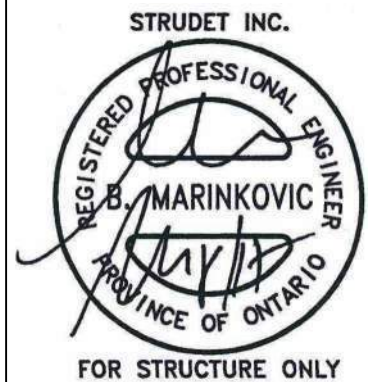
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NAME	SIGNATURE	BCIN

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P (416) 736-4096
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SHEET TITLE	
FIRST FLOOR PLAN	
ELEV. 3	
SCALE	3/16"=1'-0"
DATE	JUL 2016
BY	B.K.
TYPE	

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AREA	3405
PAGE No.	2-3
PROJECT	02-10-05



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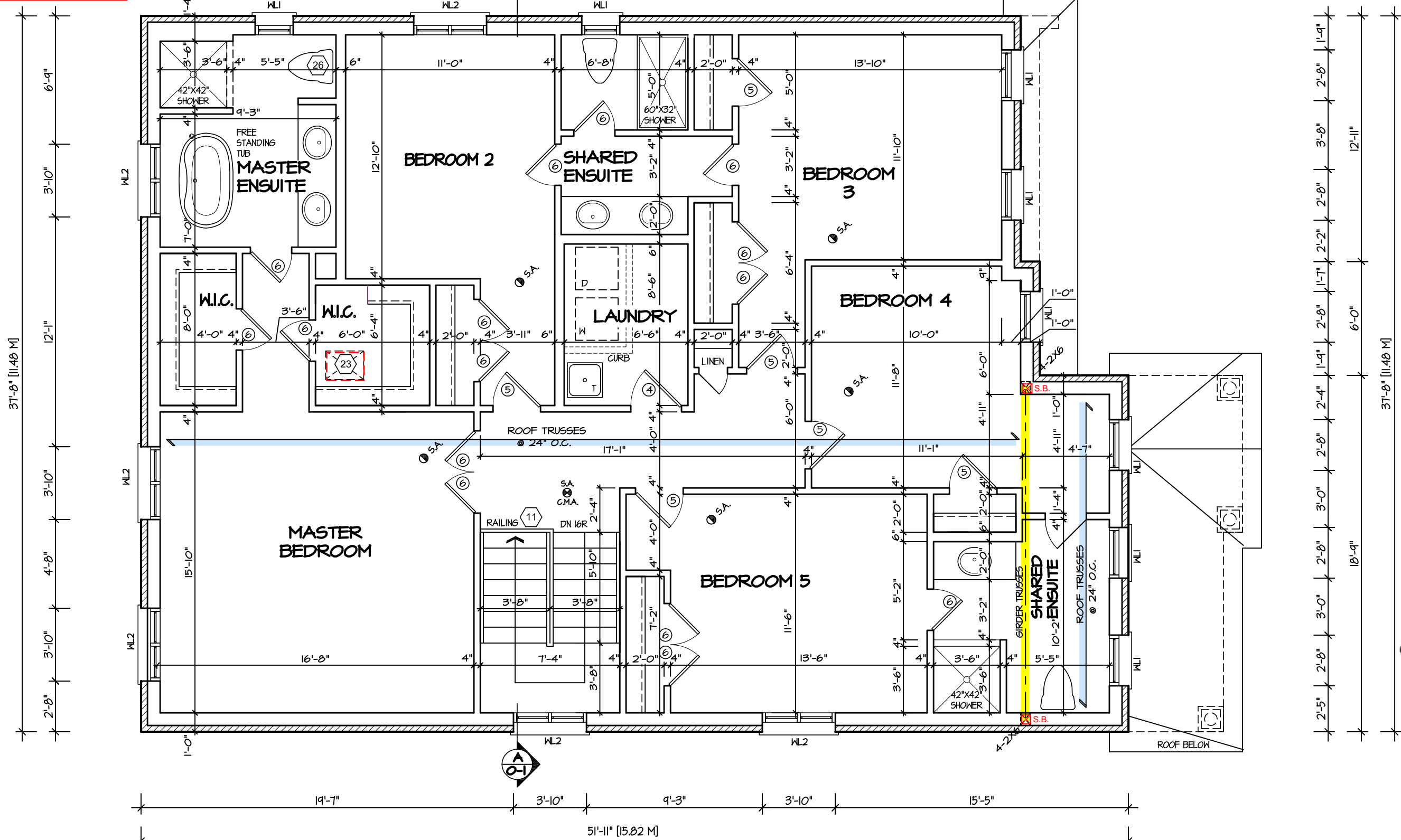
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**JUNIPER 8**  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE

**BATHROOM BLOCKING**  
See standard details page 10  
for required main bathroom  
grab bar reinforcing



## SECOND FLOOR PLAN I

REFER TO TRUSS SHOP DRAWINGS FOR TRUSS LAYOUTS

G.T. = GIRDER TRUSS BY ROOF TRUSS MFG.

**ENGINEERED TRUSS SYSTEM**  
Reviewed model drawings to be  
read in conjunction with reviewed  
engineered truss system layout

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DESIGN  
INC.**

SHEET TITLE  
**SECOND FLOOR PLAN**  
ELEV. 1

SCALE 3/16"=1'-0"	BY B.K.
DATE JUL 2016	TYPE

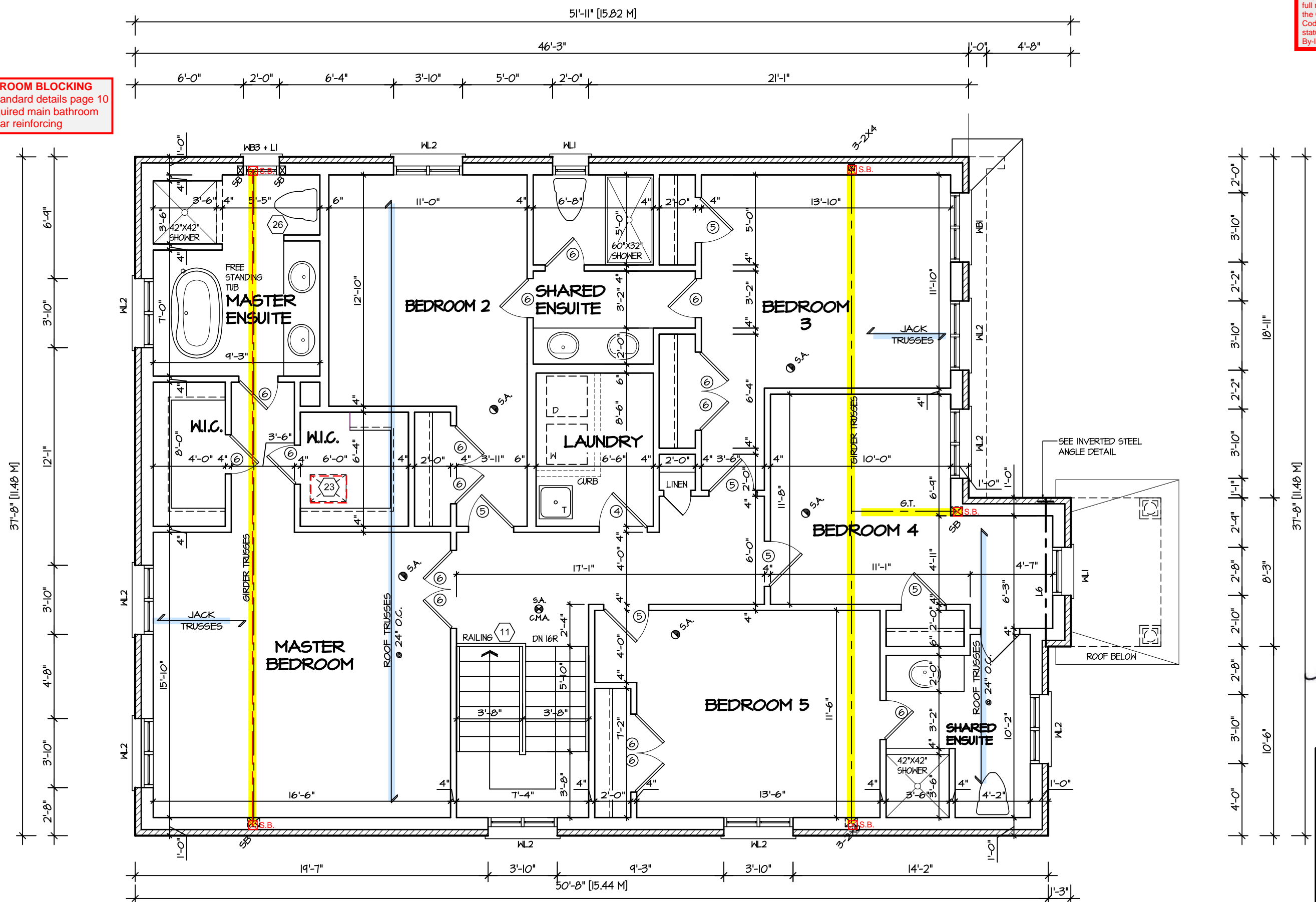
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AREA 3405	PAGE No. 3
PROJECT 02-10-05	



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MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION

**BATHROOM BLOCKING**  
See standard details page 10  
for required main bathroom  
grab bar reinforcing

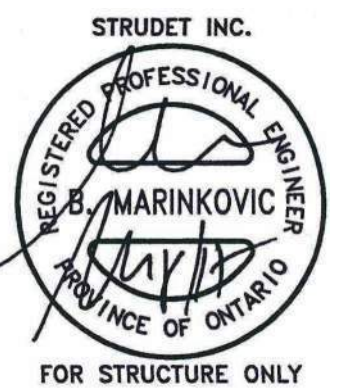


**SECOND FLOOR PLAN 2**

REFER TO TRUSS SHOP DRAWINGS FOR TRUSS LAYOUTS

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**ENGINEERED TRUSS SYSTEM**  
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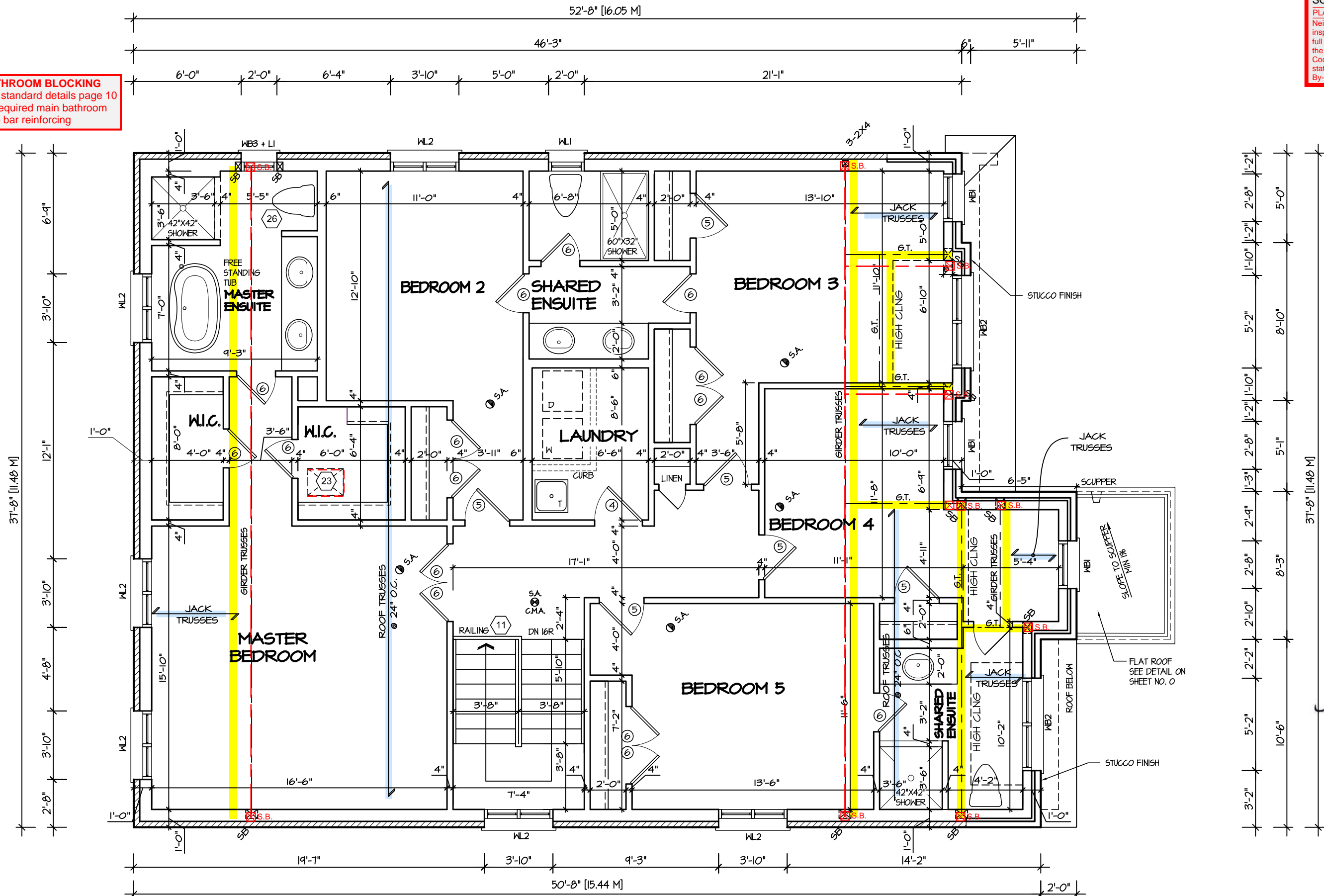
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**JUNIPER 8**  
ENERGY STAR

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4.					SECOND FLOOR PLAN		ELEV. 2			<div>SCALE</div> <div>3/16"=1'-0"</div> <div>BY</div> <div>B.K.</div> <div>AREA</div> <div>3405</div> <div>DATE</div> <div>JUL 2016</div> <div>TYPE</div> <div></div> <div>PAGE No.</div> <div>3-2</div>
3.										
2.										
1.	ISSUED FOR REVIEW				JUL 2016					
REVISIONS										

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MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION

BATHROOM BLOCKING  
See standard details page 10  
for required main bathroom  
grab bar reinforcing

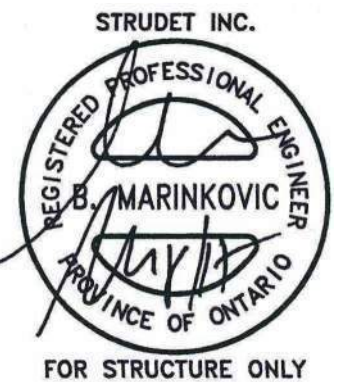


### SECOND FLOOR PLAN 3

REFER TO TRUSS SHOP DRAWINGS FOR TRUSS LAYOUTS

G.T. = GIRDER TRUSS BY ROOF TRUSS MFG.

ENGINEERED TRUSS SYSTEM  
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JUNIPER 8  
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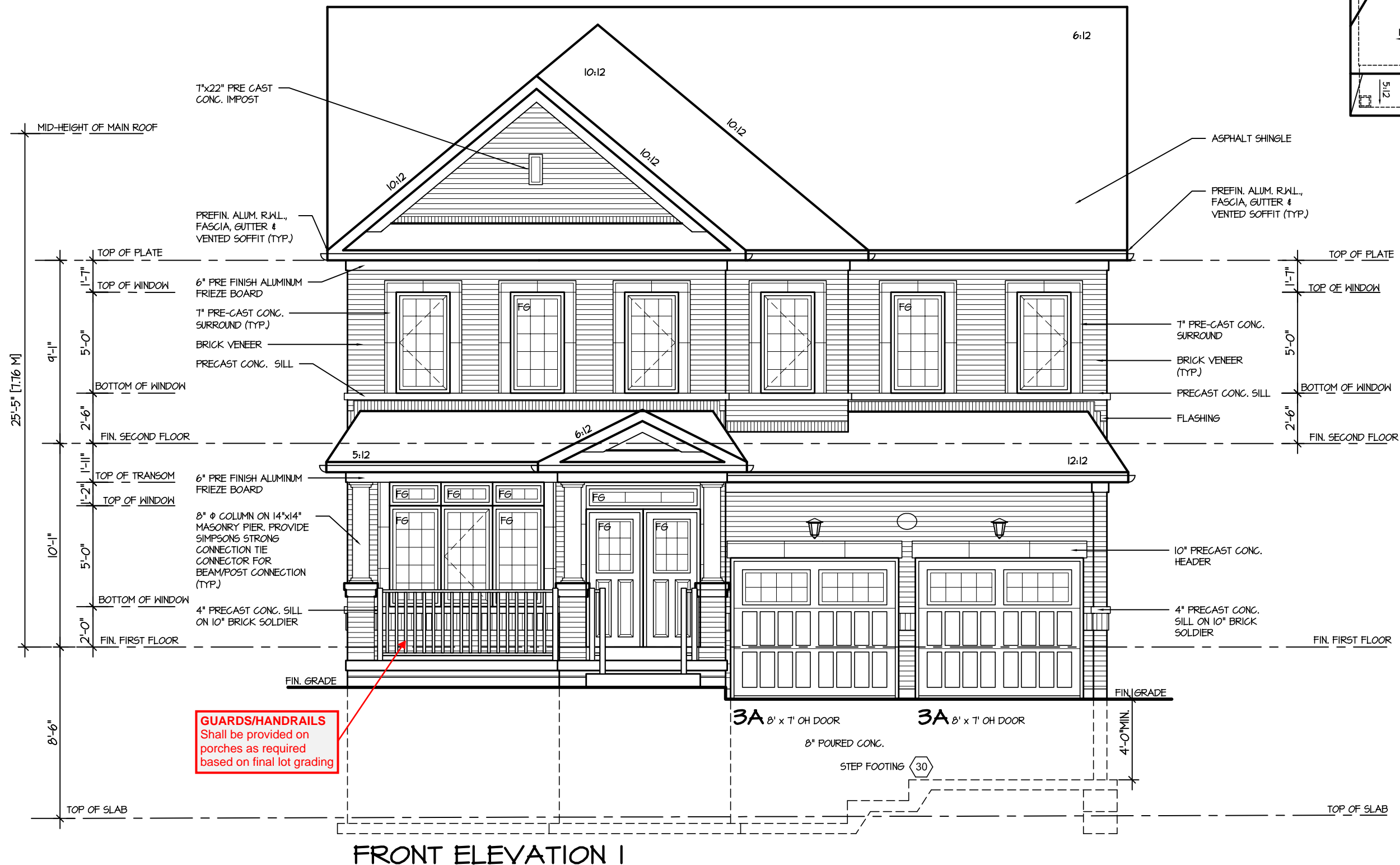
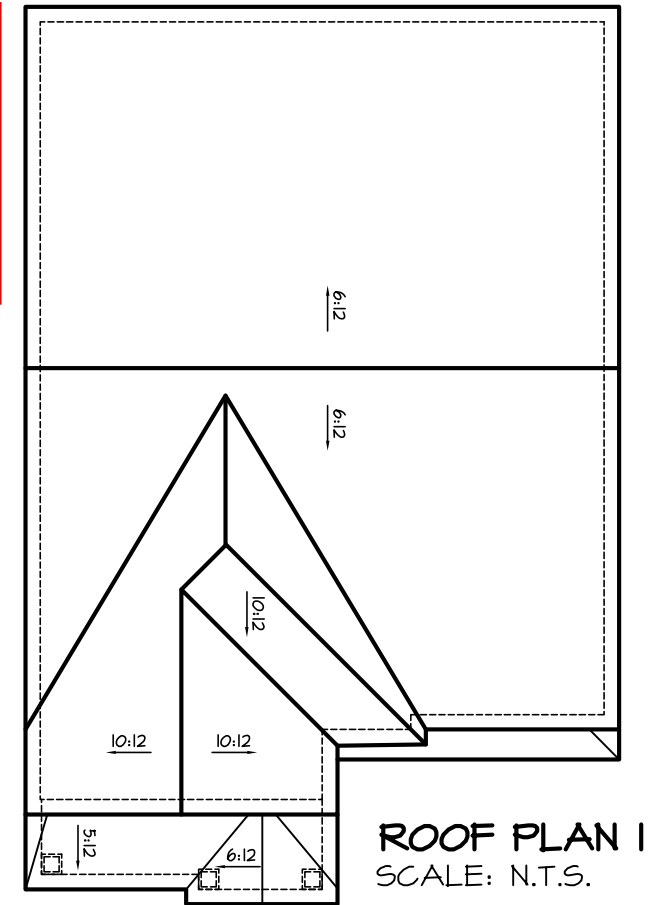
SHEET TITLE SECOND FLOOR PLAN ELEV. 3	
SCALE 3/16"=1'-0"	BY B.K.
DATE JUL 2016	TYPE

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AREA 3405	PAGE No. 3-3
PROJECT 02-10-05	

PROJECT NAME  
LECCO RIDGE



The logo for the Town of Milton Planning and Development features a stylized blue 'M' with a white diagonal line. Below the 'M' is the word 'MILTON' in a blue serif font. To the right of the logo, the text 'TOWN OF MILTON' is in a large, bold, black serif font. Below it, 'PLANNING AND DEVELOPMENT' is in a smaller, bold, black serif font. At the bottom, 'JUNIPER 8 MODEL' is in a large, bold, black serif font.




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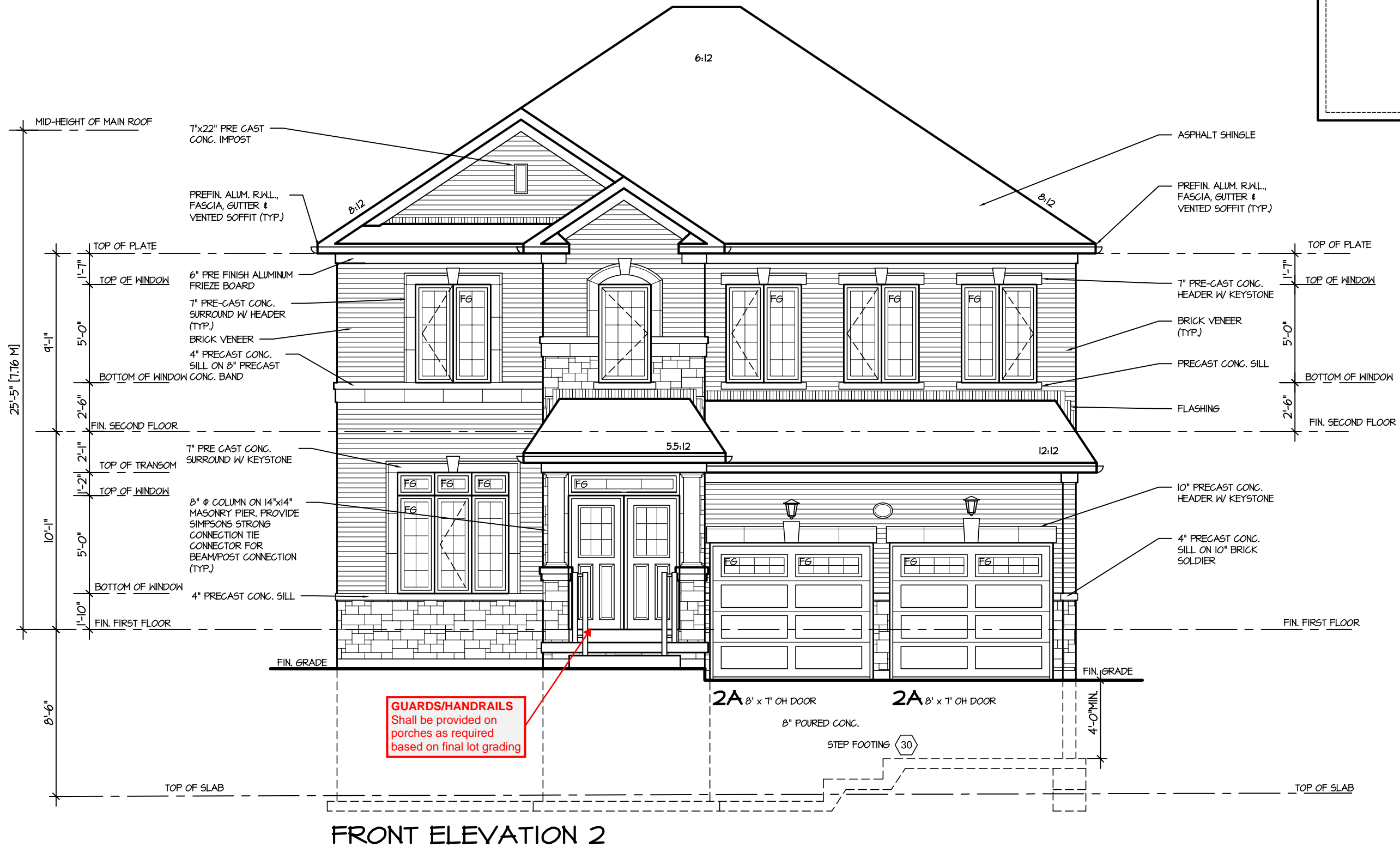
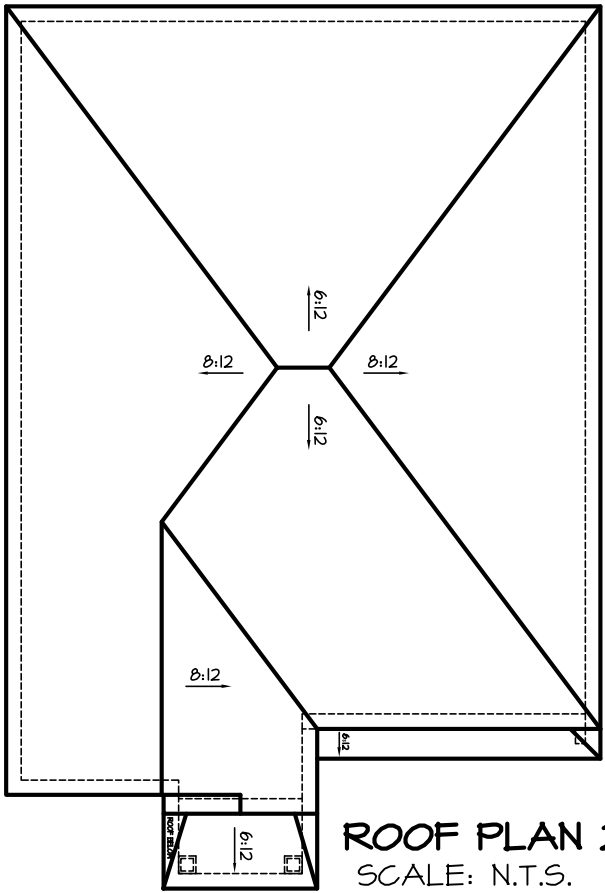
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**JUNIPER 8**  
ENERGY STAR

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4.					FRONT ELEVATION				
3.					ELEV. 1				
2.					SCALE	BY	AREA	PAGE No.	
1.	ISSUED FOR REVIEW				JUL 2016	3/16"=1'-0"	B.K.	3405	
REVISIONS			DATE	TYPE	PROJECT				
			JUL 2016		02-10-05				

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
JUNIPER 8 MODEL  
BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
DATE  
APR 13, 2017  
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



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**JUNIPER 8**  
ENERGY STAR

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DESIGN  
INC.**

SHEET TITLE  
**FRONT ELEVATION  
ELEV. 2**  
SCALE  
3/16"=1'-0"  
DATE  
JUL 2016  
BY  
B.K.  
TYPE

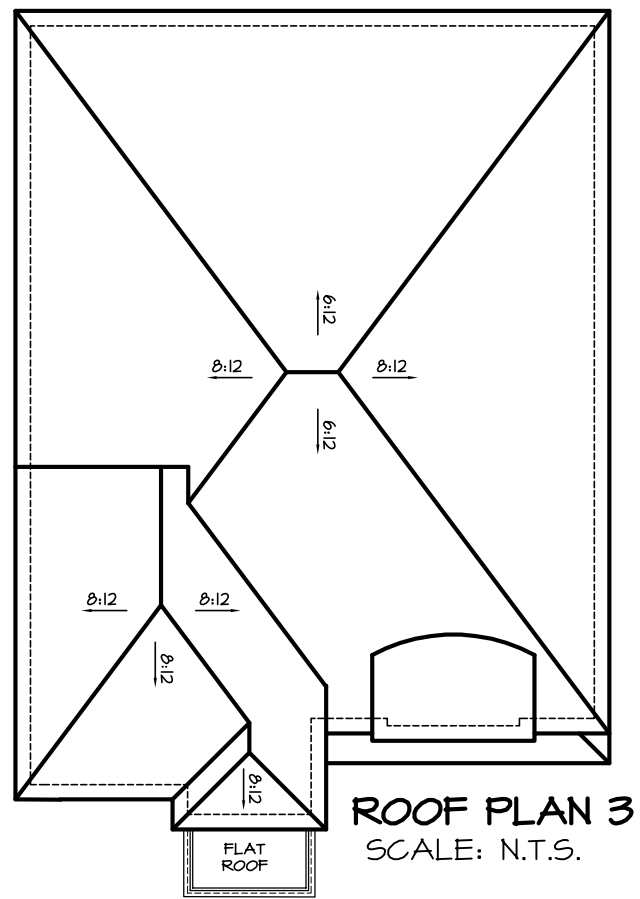
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AREA  
3405  
PROJECT  
02-10-05  
PAGE No.  
**4-2**

**Greenpark.**  
PROJECT NAME  
LECCO RIDGE



RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION

TOWN OF MILTON  
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JUNIPER 8 MODEL  
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ROOF PLAN 3  
SCALE: N.T.S.



FRONT ELEVATION 3

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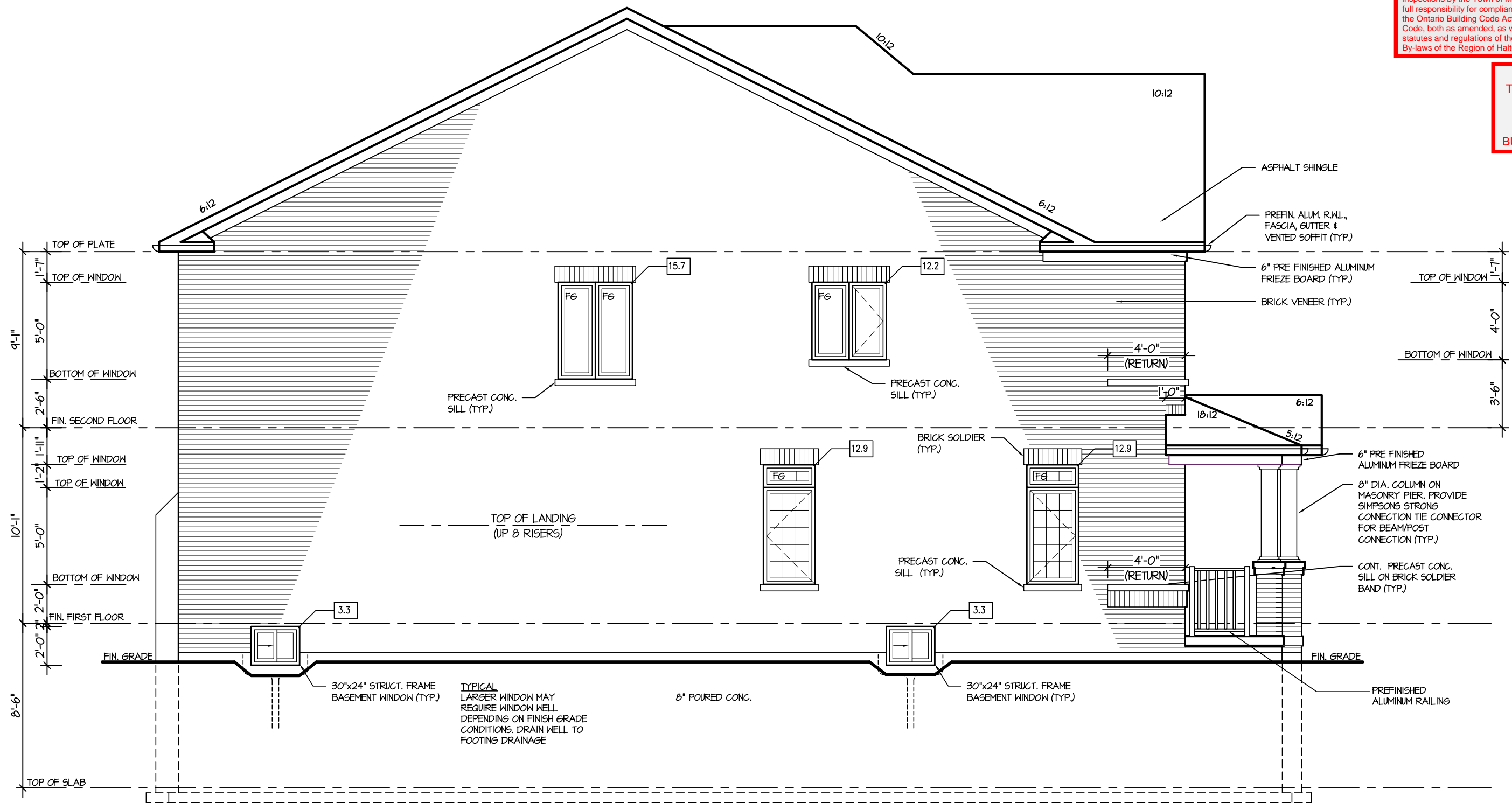
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REGION  
DESIGN  
INC.

SHEET TITLE  
FRONT ELEVATION  
ELEV. 3  
SCALE  
3/16"=1'-0"  
DATE  
JUL 2016  
BY  
B.K.  
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AREA  
3405  
PAGE No.  
4-3  
PROJECT  
02-10-05

Greenpark  
PROJECT NAME  
LECCO RIDGE



**LEFT ELEVATION 1**

ALLOWABLE GLAZING			
WALL AREA	=	1099	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	1643	Sq. Ft.
ACTUAL GLAZED AREA	=	60	Sq. Ft.

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MAR 20 2017  
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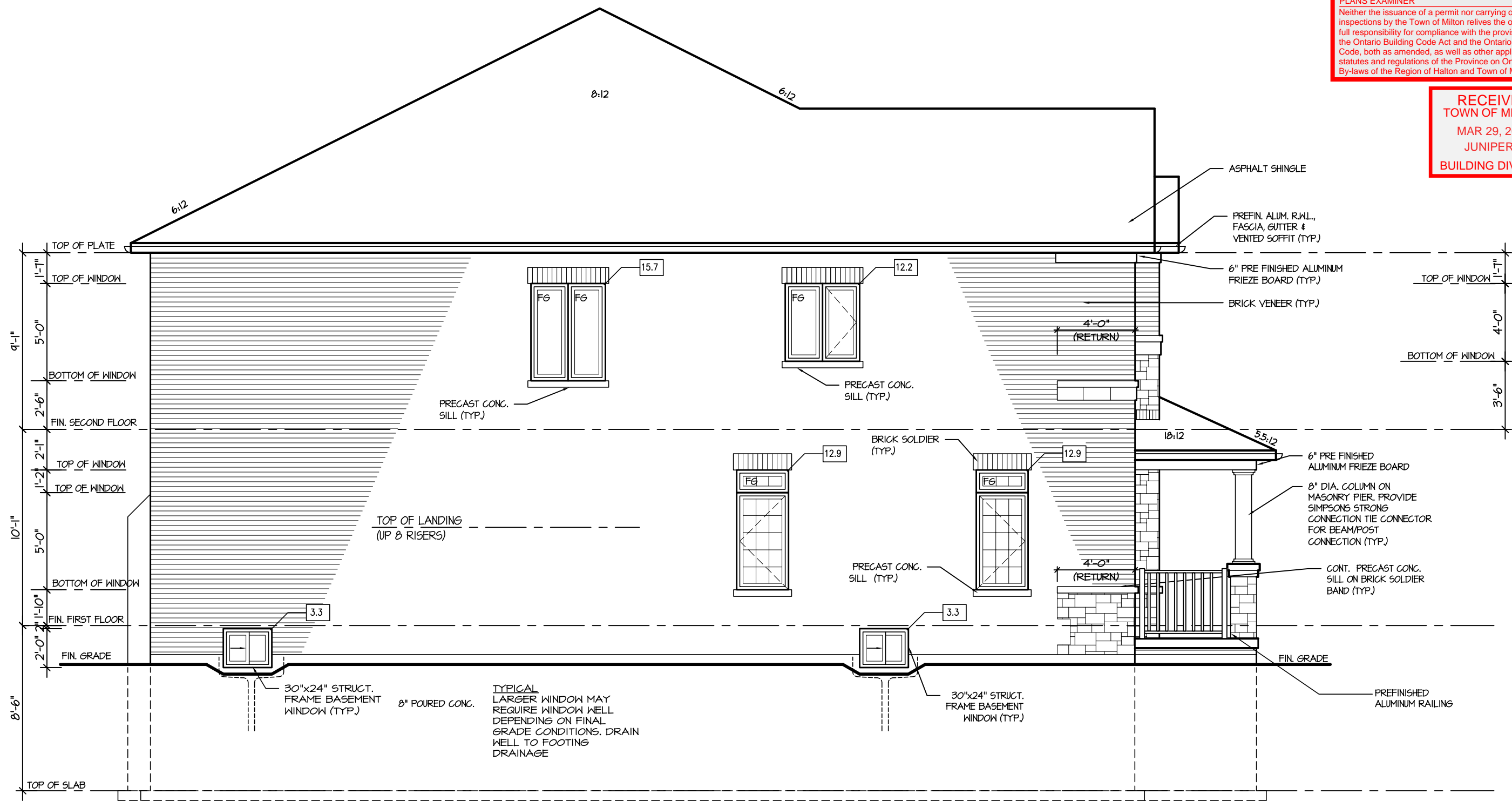
**JUNIPER 8**  
ENERGY STAR

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4.										
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1.	ISSUED FOR REVIEW	JUL 2016								
REVISIONS										
			SCALE		BY		AREA	PAGE No.	PROJECT NAME	
			3/16"=1'-0"		B.K.		3405	5		LECCO RIDGE
			DATE		TYPE		PROJECT			
			JUL 2016				02-10-05			

1006: April 7, 2017



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MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



LEFT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	=	1099	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1% 1.2 M SIDE YARD	=	76.93	Sq. Ft.
ACTUAL GLAZED AREA	=	60	Sq. Ft.

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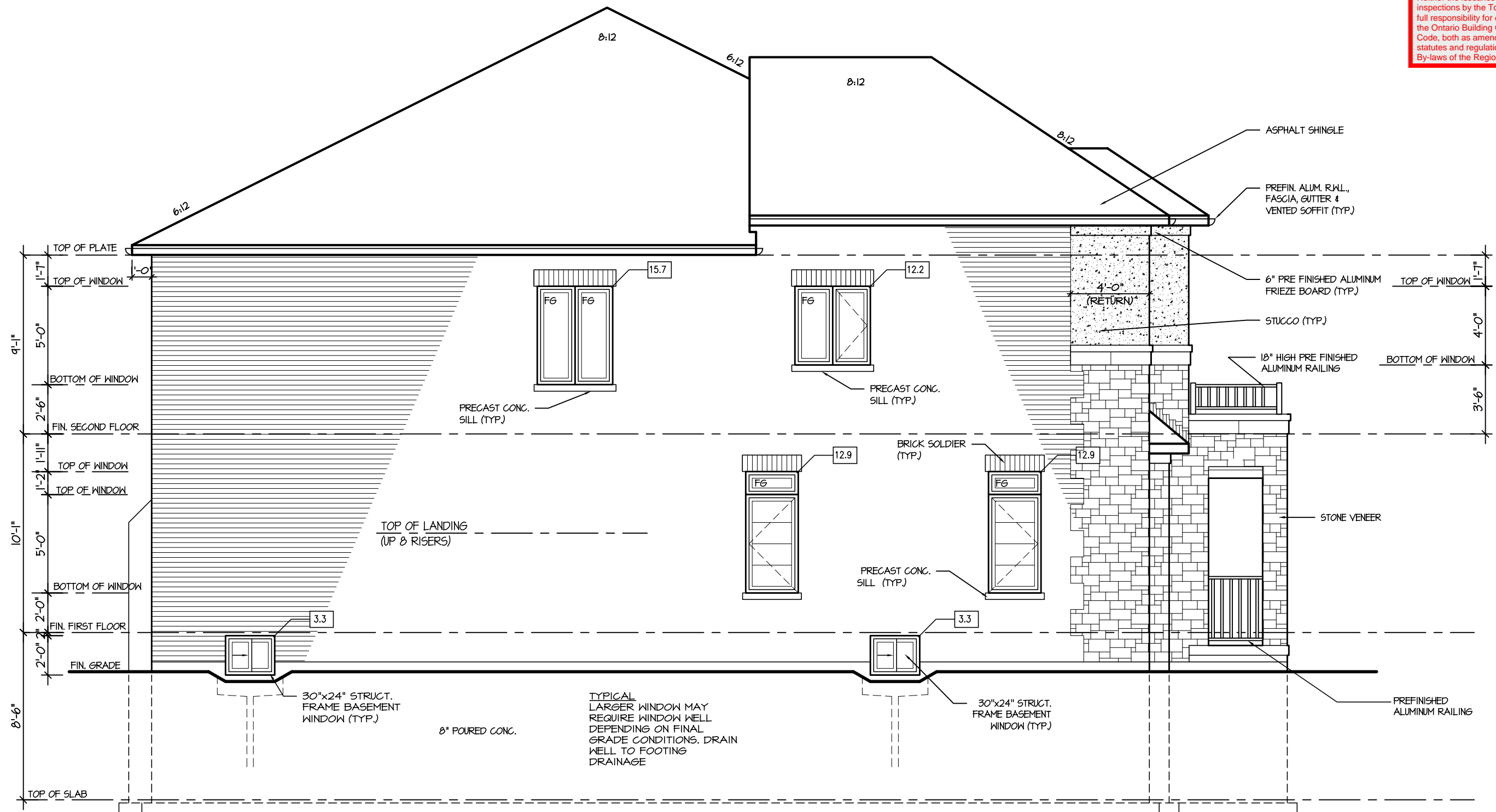
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 8**  
ENERGY STAR

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4.						SCALE	3/16"=1'-0"	BY	B.K.	AREA	3405	PAGE No.	5-2	
3.						DATE	JUL 2016	TYPE		PROJECT	02-10-05			
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MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



LEFT ELEVATION 3

ALLOWABLE GLAZING			
WALL AREA	=	1103	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 12 M SIDE YARD	=	71.21	Sq. Ft.
ACTUAL GLAZED AREA	=	60	Sq. Ft.

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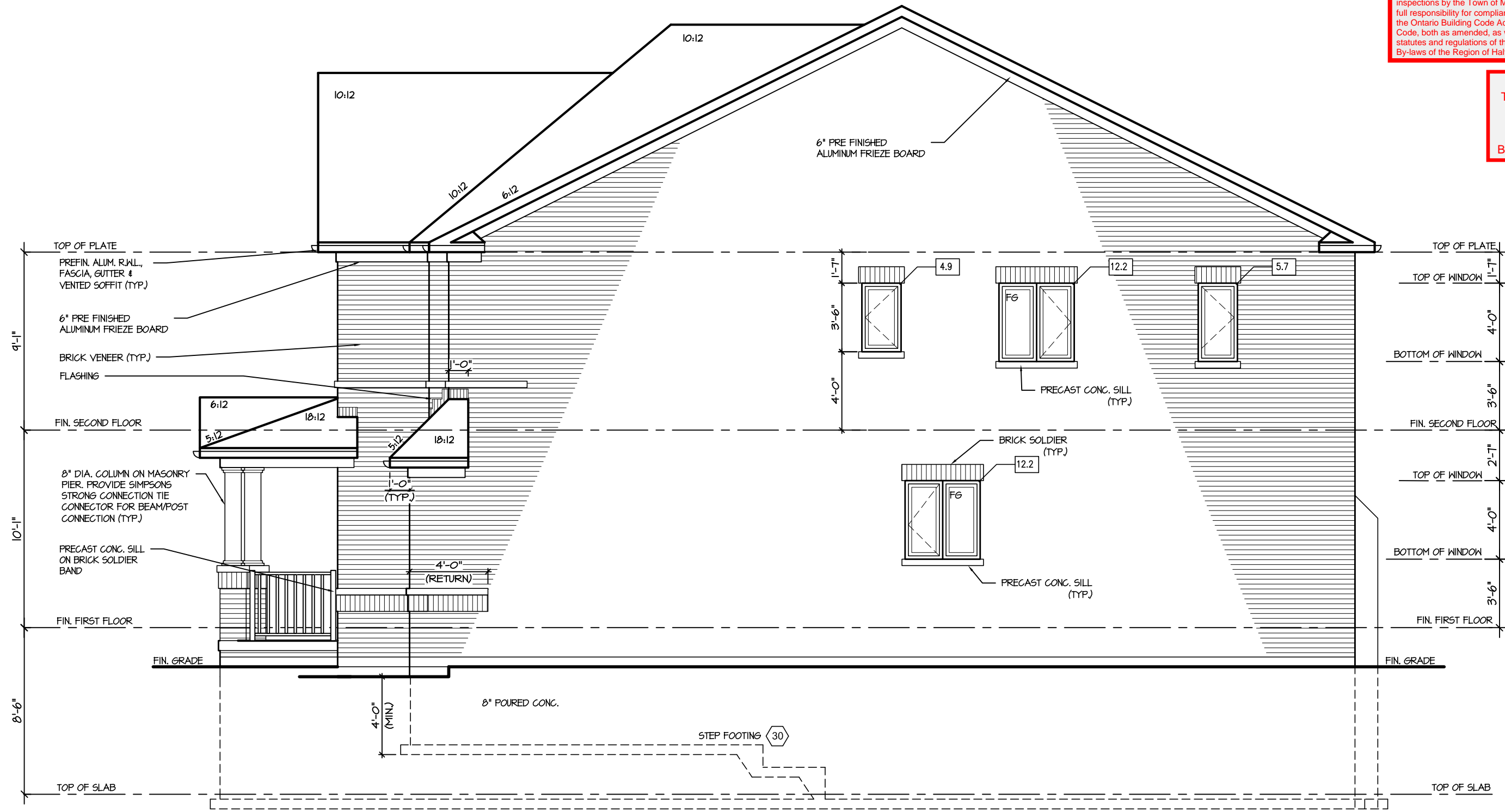
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4.				SCALE 3/16"=1'-0"	BY B.K.	AREA 3405	PAGE No. 5-3	
3.				DATE JUL 2016	TYPE	PROJECT 02-10-05		
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1.	ISSUED FOR REVIEW	JUL 2016						
REVISIONS								



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MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



## RIGHT ELEVATION 1

### ALLOWABLE GLAZING


WALL AREA	=	1099	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1% 1.2 M SIDE YARD	=	76.93	Sq. Ft.
ACTUAL GLAZED AREA	=	35	Sq. Ft.

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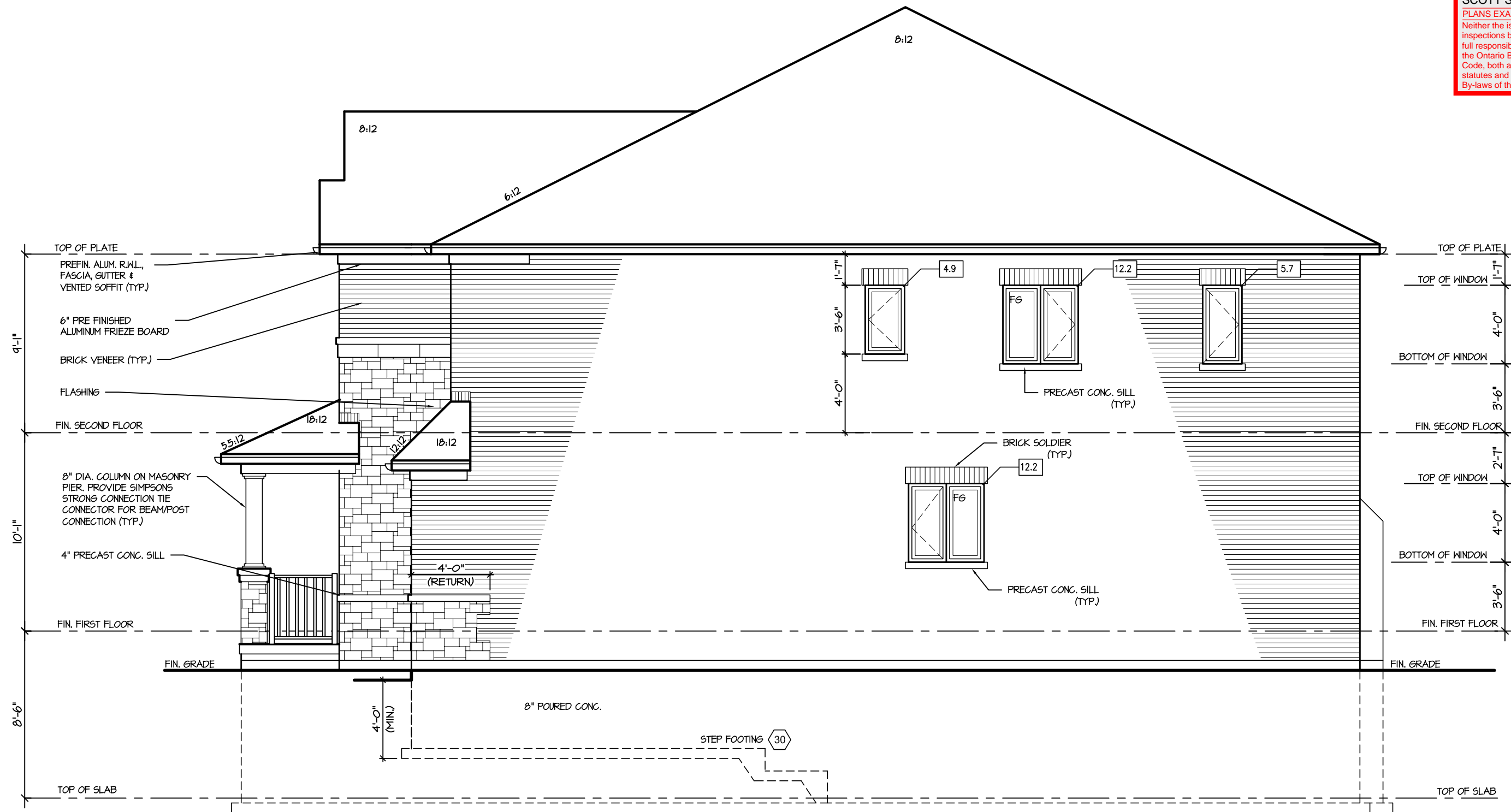
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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
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**JUNIPER 8**  
ENERGY STAR

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4.						SCALE	3/16"=1'-0"	BY	B.K.	AREA	3405	PAGE No.	6	
3.						DATE	JUL 2016	TYPE		PROJECT	02-10-05			
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REVISIONS														

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
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## RIGHT ELEVATION 2

ALLOWABLE GLAZING			
WALL AREA	=	1099	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	76.93	Sq. Ft.
ACTUAL GLAZED AREA	=	35	Sq. Ft.

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**JUNIPER 8**  
ENERGY STAR

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VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
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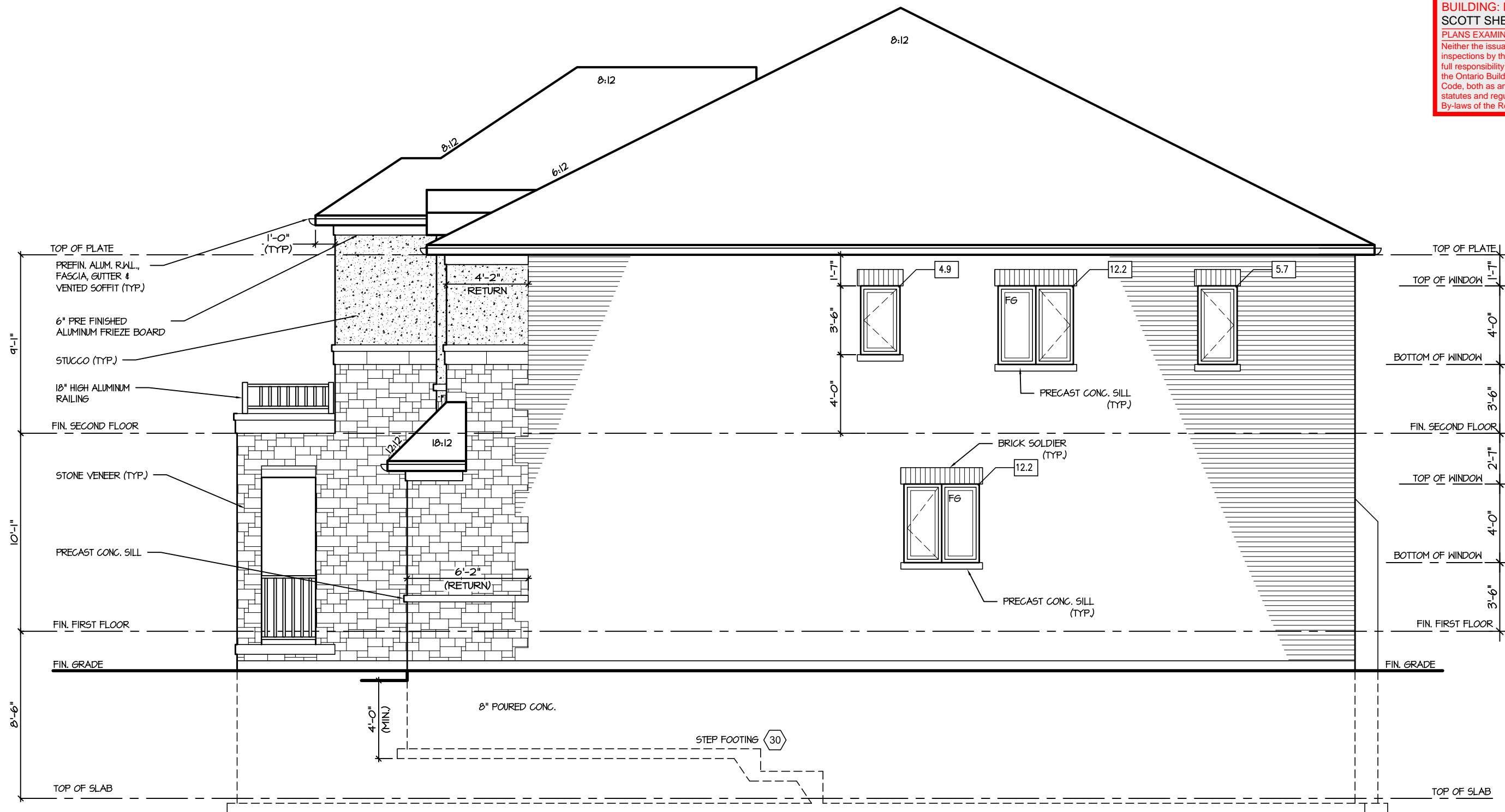


SHEET TITLE RIGHT SIDE ELEVATION ELEV. 2	
SCALE 3/16"=1'-0"	BY B.K.
DATE JUL 2016	TYPE

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AREA 3405	PAGE No. 6-2
PROJECT 02-10-05	

PROJECT NAME LECCO RIDGE	





RIGHT ELEVATION 3

ALLOWABLE GLAZING			
WALL AREA	=	1099	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	=	76.93	Sq. Ft.
ACTUAL GLAZED AREA	=	35	Sq. Ft.

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**REGION  
DESIGN  
INC.**

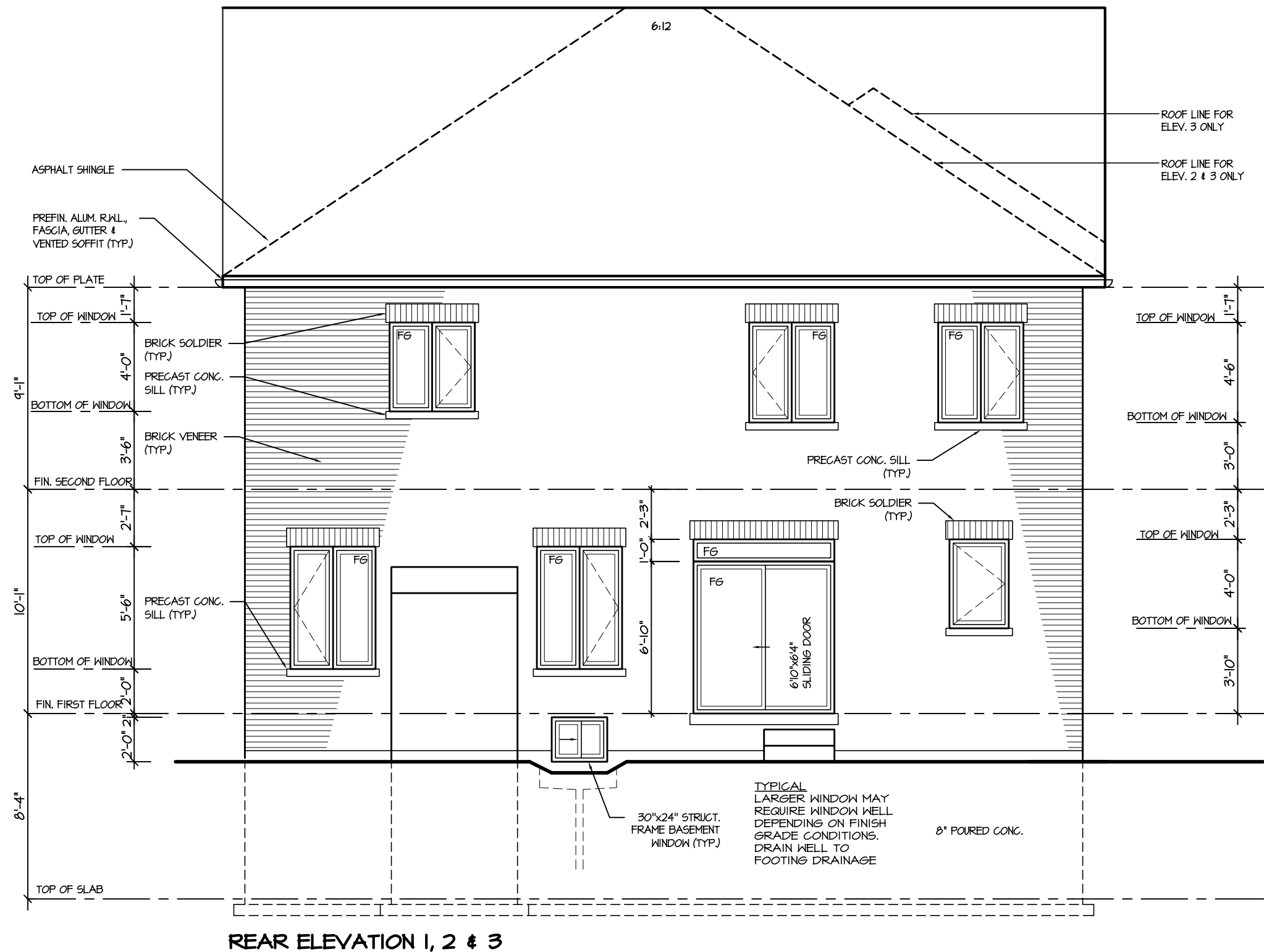
SHEET TITLE RIGHT SIDE ELEVATION ELEV. 3	
SCALE 3/16"=1'-0"	BY B.K.
DATE JUL 2016	TYPE

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AREA 3405	PAGE No. 6-3
PROJECT 02-10-05	

**Greenpark.**

PROJECT NAME  
LECCO RIDGE

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MAR 29, 2017  
JUNIPER 8  
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4.						REAR ELEVATION						7
3.						SCALE	BY	AREA	PAGE No.			
2.						3/16"=1'-0"	B.K.	3405				
1.	ISSUED FOR REVIEW	JUL 2016				DATE	TYPE	PROJECT				
REVISIONS			JUL 2016		02-10-05							
							LECCO RIDGE					



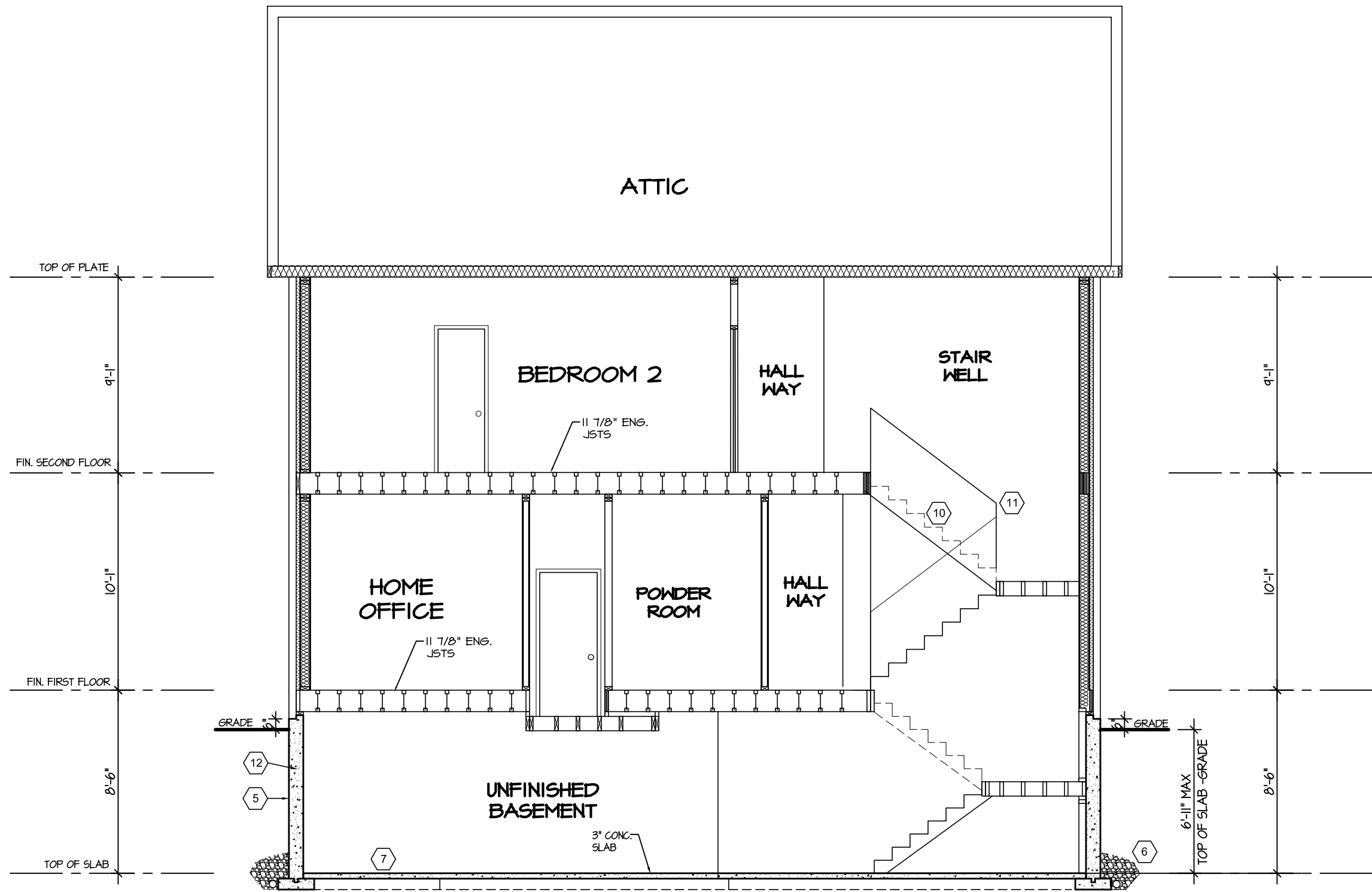
RECEIVED

TOWN OF MILTON

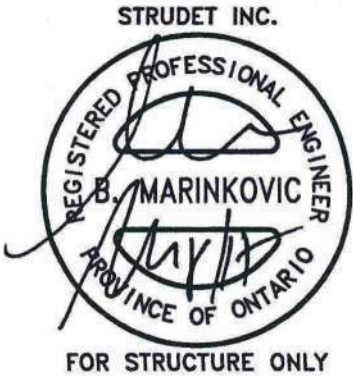
MAR 29, 2017

JUNIPER 8

BUILDING DIVISION



SECTION A-A



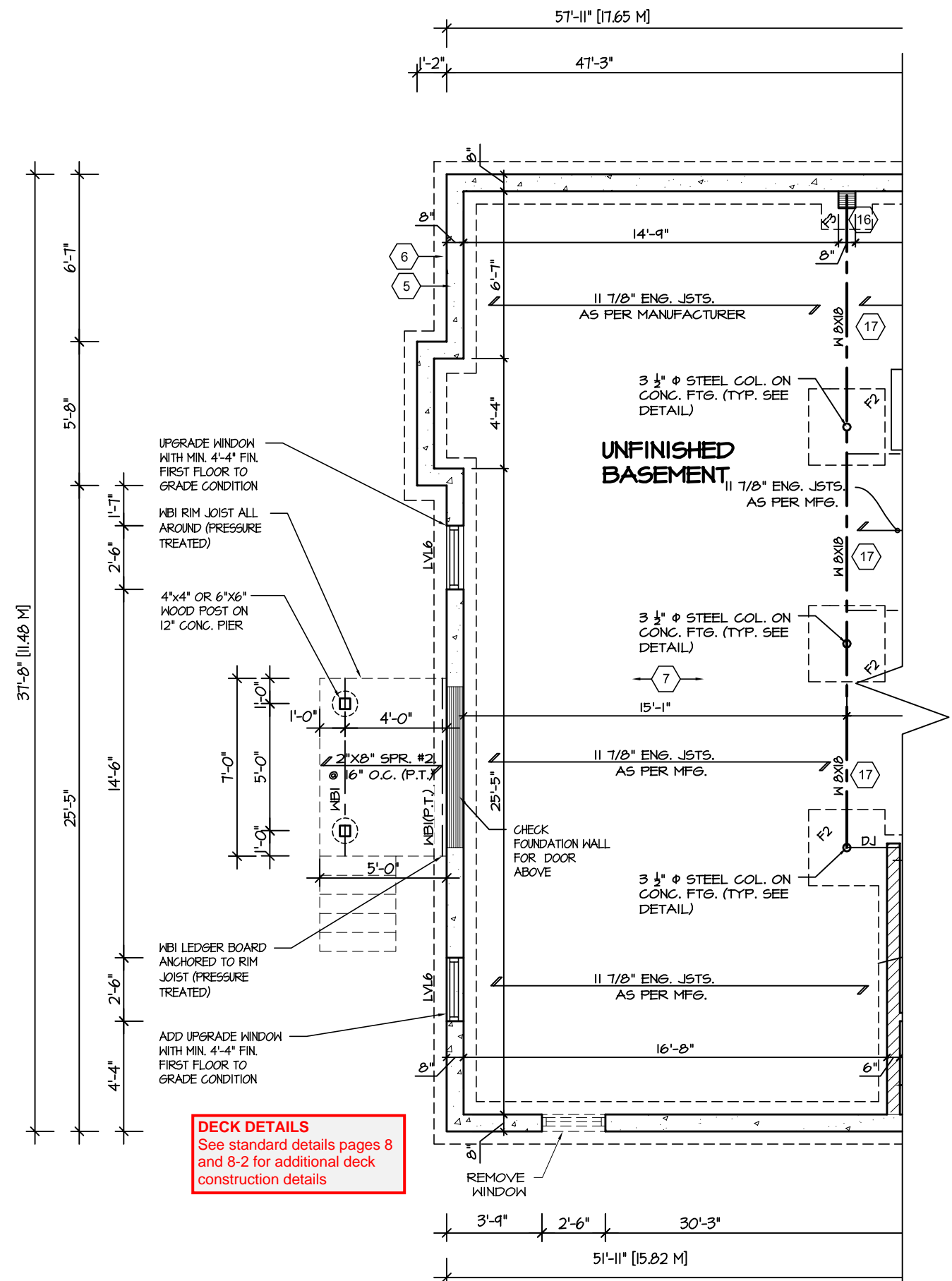
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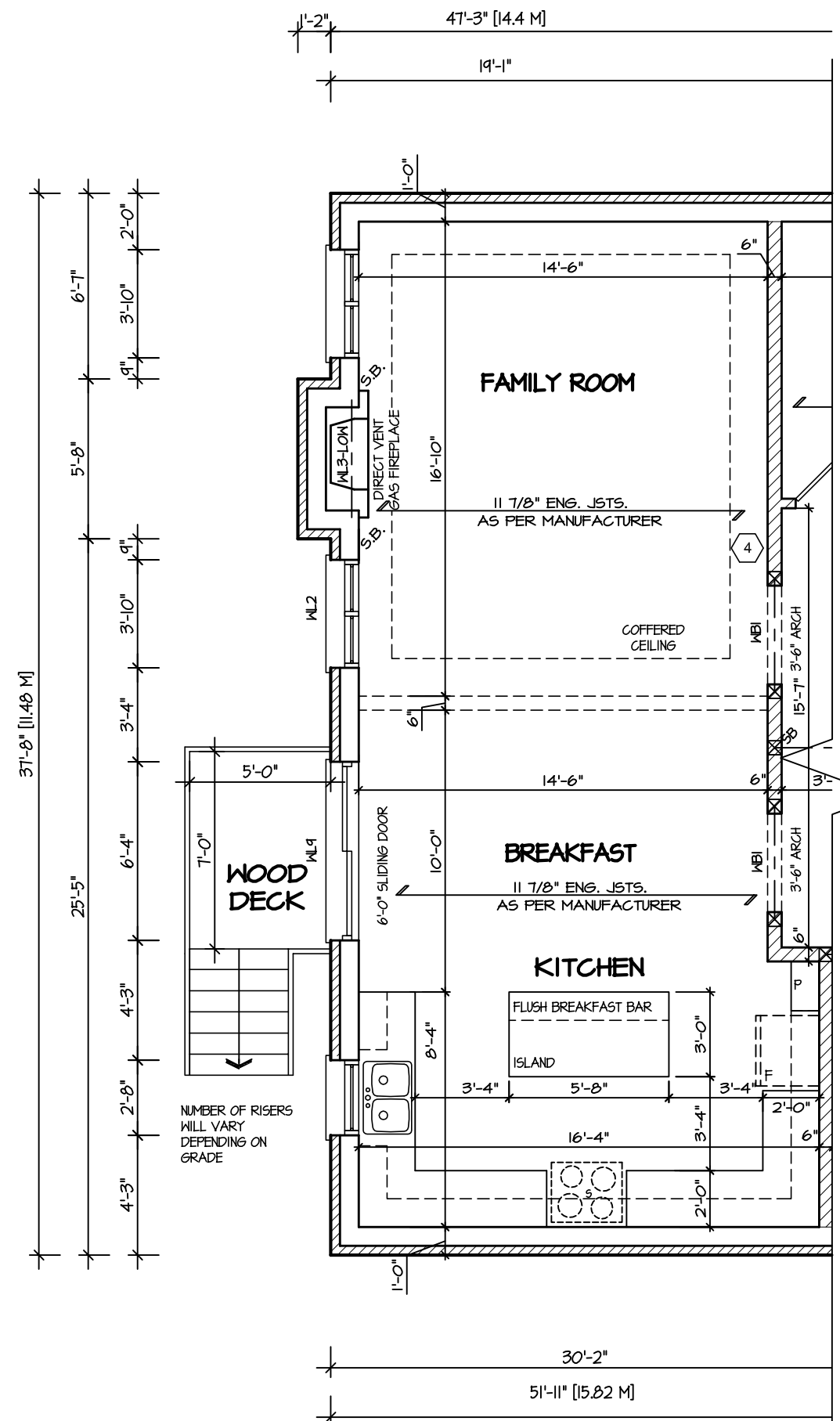
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4.					SCALE	3/16"=1'-0"	BY	B.K.	AREA	3405		PAGE No.	8	PROJECT NAME	LECCO RIDGE
3.					DATE	JUL 2016	TYPE		PROJECT	02-10-05					
2.															
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MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION



**PARTIAL BASEMENT  
FLOOR PLAN FOR DECK  
CONDITION**



**PARTIAL GROUND FLOOR  
PLAN FOR DECK  
CONDITION**



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4.							SCALE 3/16"=1'-0"	BY B.K.	AREA 3405	PAGE No. 9	
3.							DATE JUL 2016	TYPE	PROJECT 02-10-05		
2.											
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BUILDING DIVISION



**REAR ELEVATION 1,2,&3  
FOR DECK CONDITION**



**DECK DETAILS**  
See standard details pages 8  
and 8-2 for additional deck  
construction details

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4.						REAR ELEVATION DECK CONDITION					PROJECT NAME <b>LECCO RIDGE</b>
3.						SCALE 3/16"=1'-0"	BY B.K.	AREA 3405	PAGE No. <b>10</b>		
2.						DATE JUL 2016	TYPE	PROJECT 02-10-05			
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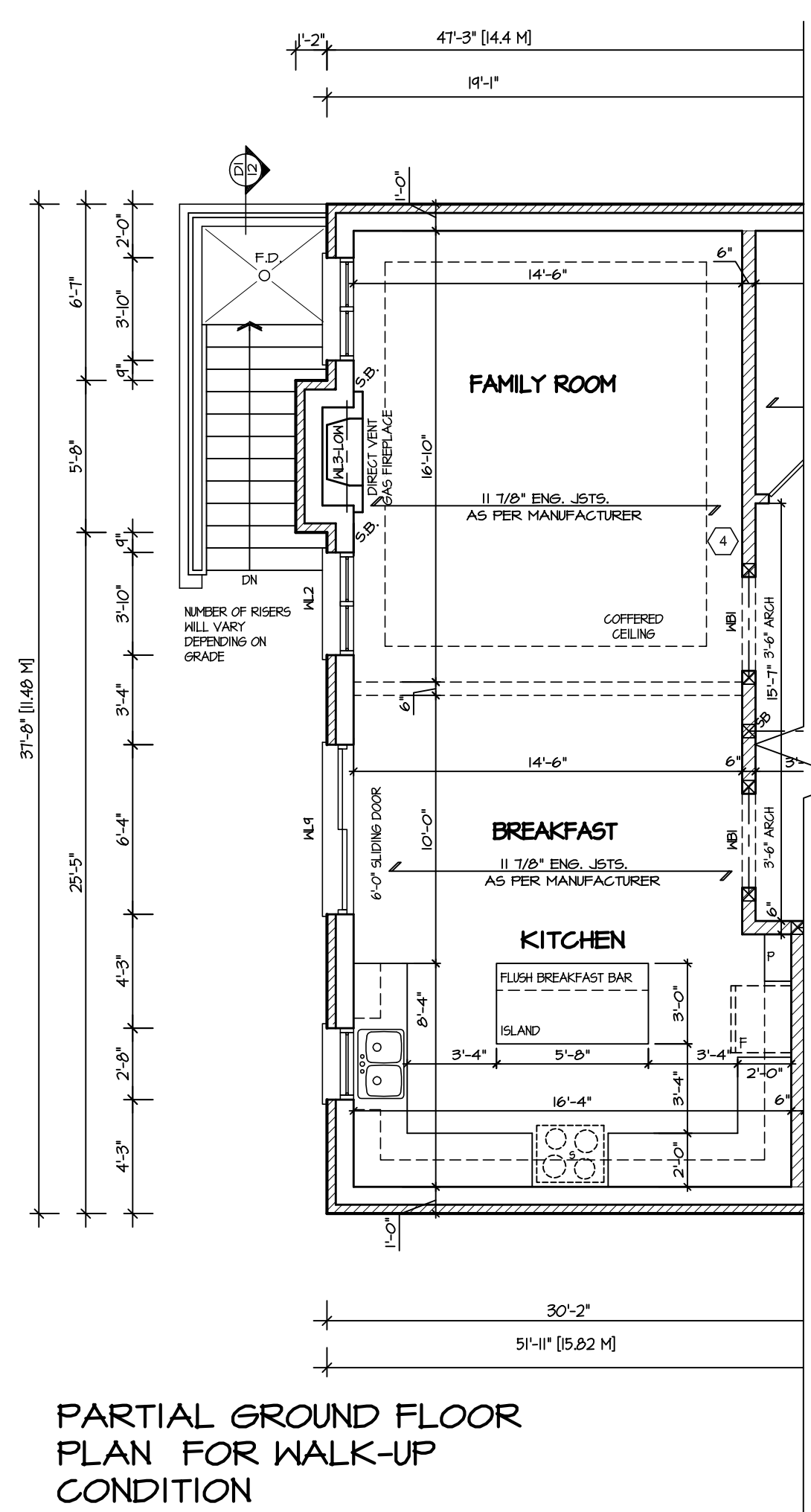
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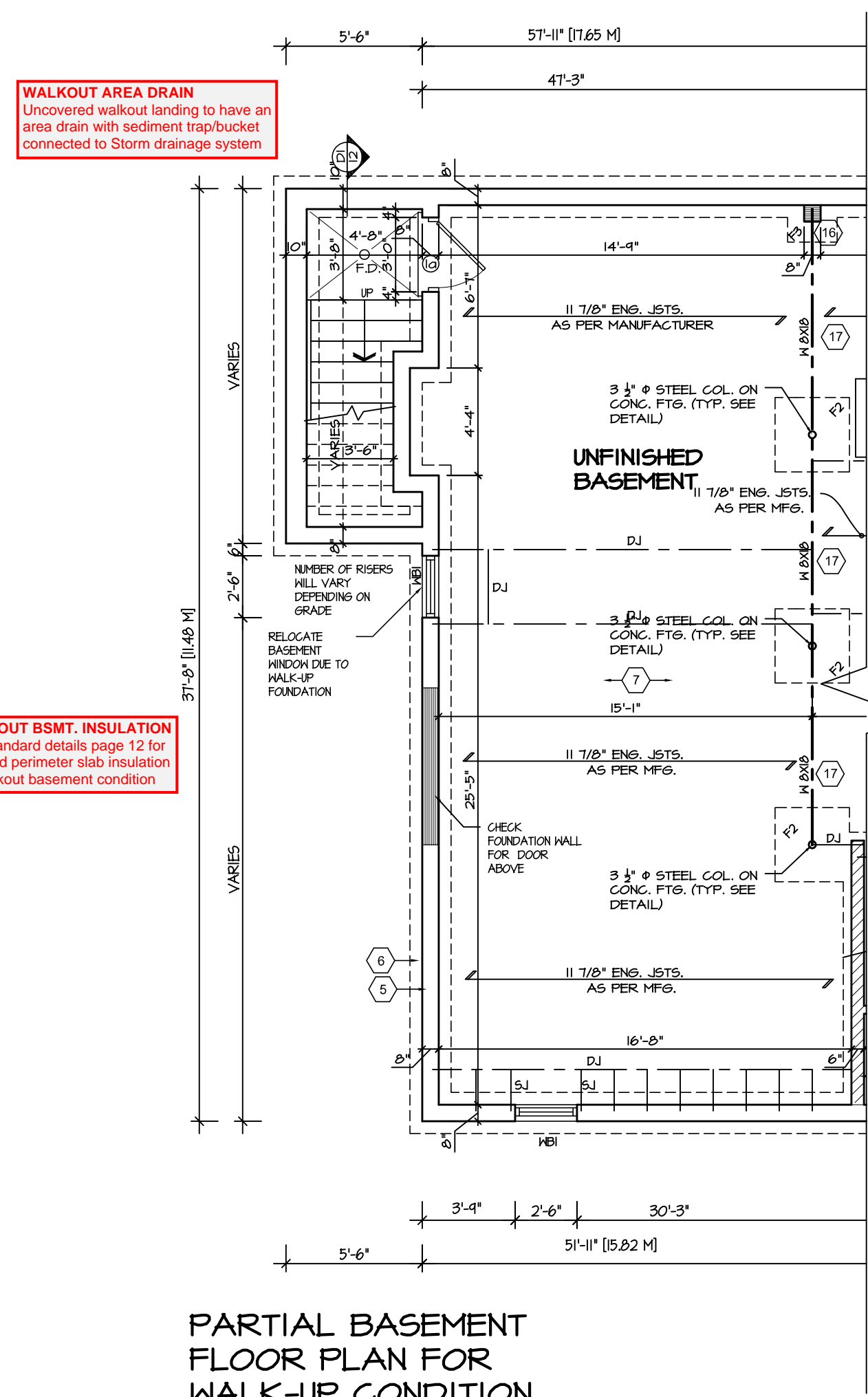
**JUNIPER 8**  
ENERGY STAR



PROJECT NAME  
**LECCO RIDGE**



PARTIAL GROUND FLOOR  
PLAN FOR WALK-UP  
CONDITION

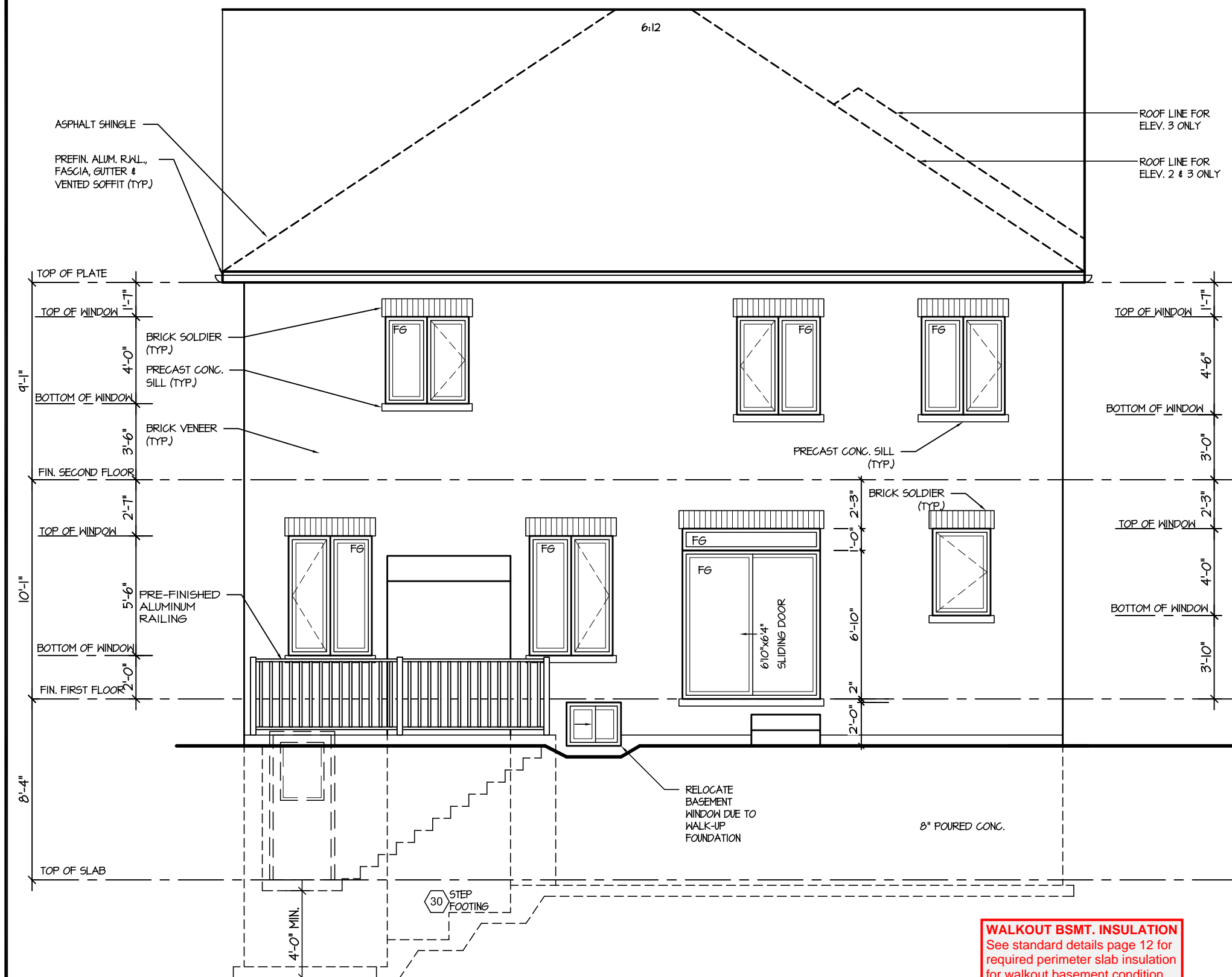


PARTIAL BASEMENT  
FLOOR PLAN FOR  
WALK-UP CONDITION

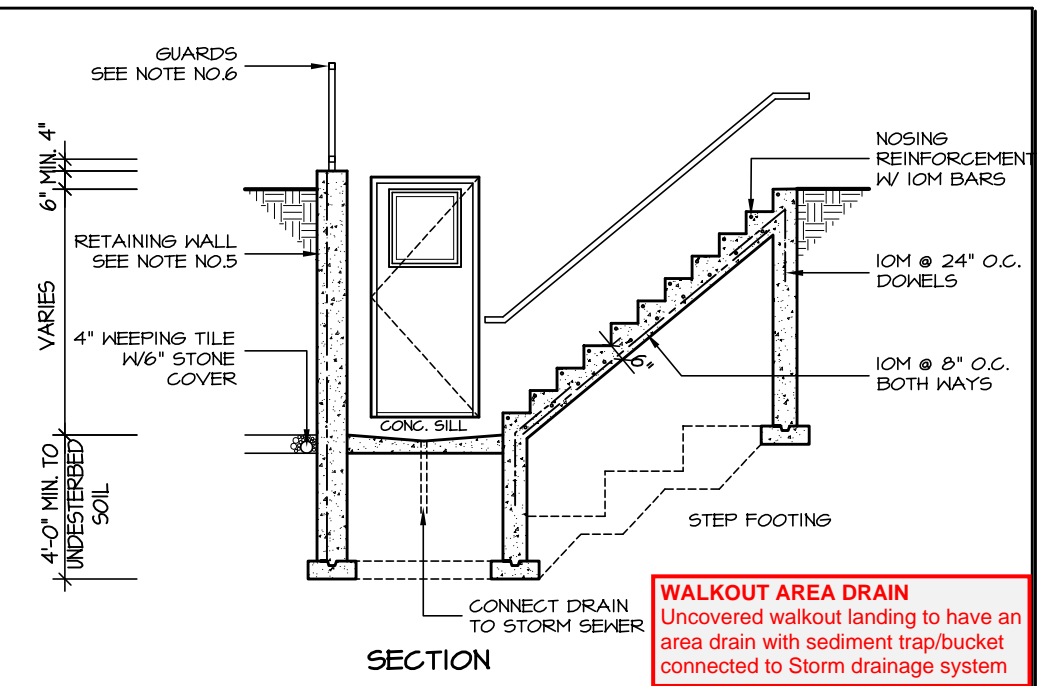
**WALKOUT AREA DRAIN**  
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system

**WALKOUT BSMT. INSULATION**  
See standard details page 12 for required perimeter slab insulation for walkout basement condition

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4.					SCALE	BY	AREA	PAGE No.	
3.					3/16"=1'-0"	B.K.	3405	11	
2.					DATE	TYPE	PROJECT		
1.	ISSUED FOR REVIEW				JUL 2016	JAN 2017		02-10-05	
REVISIONS									



REAR ELEVATION 1,2,&3  
FOR WALK-UP CONDITION



GENERAL NOTES:

- FOOTING**  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
- CONCRETE**  
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS**  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
- INSULATION**  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
- RETAINING WALL**  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0". 15M HORIZONTAL & VERTICAL REINFORCEMENT @ 12" O.C. EACH FACE FOR WALL HEIGHTS FROM 7'-0" TO 9'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
- GUARDS**  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

DI - EXTERIOR WALKUP STAIRS DETAILS

**WALKOUT BSMT. INSULATION**  
See standard details page 12 for required perimeter slab insulation for walkout basement condition

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 8  
BUILDING DIVISION

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
JUNIPER 8 MODEL  
BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
DATE  
APR 13, 2017  
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.  
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.  
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 8**  
ENERGY STAR

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	<b>REGION DESIGN INC.</b>	SHEET TITLE <b>REAR ELEVATION WALK-UP CONDITION</b>		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME <b>LECCO RIDGE</b>
4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY B.K.	AREA 3405	PAGE No. <b>12</b>	
3.						DATE JAN 2017	TYPE	PROJECT 02-10-05		
2.										
1.	ISSUED FOR REVIEW	JUL 2016	VIKAS GAJJAR NAME SIGNATURE	28770 BCIN						
REVISIONS										