Strip Footings -
For Singles & Semis up to 2 storey

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEEED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

Assume the larger footing size when two conditions apply

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

Pad Footings

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAITMENT

Brick Veneer Lintels

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

Wood Lintels and Beams

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

Loose Steel Lintels

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)
L5 = 6"x4"x3/8"L (150x100x10.0L)
L6 = 7"x4"x3/8"L (175x100x10.0L)

Door Schedule

NOS.	WIDTH	HEIGHT 8'-9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

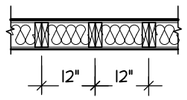
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

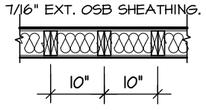
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10"O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

JUNIPER 7	ELEV.1				ENERGY STAR
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	817.41	75.94	158.30	14.71	19.37 %
LEFT SIDE	1039.46	96.57	82.90	7.70	7.98 %
RIGHT SIDE	1039.76	96.60	16.33	1.52	1.57 %
REAR	791.00	73.49	180.67	16.78	22.84 %
TOTAL	3687.63	342.59	438.20	40.71	11.88 %

JUNIPER 7	ELEV.2				ENERGY STAR
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	789.42	73.34	123.72	11.49	15.67 %
LEFT SIDE	1039.46	96.57	82.90	7.70	7.98 %
RIGHT SIDE	1039.76	96.60	16.33	1.52	1.57 %
REAR	791.00	73.49	180.67	16.78	22.84 %
TOTAL	3659.64	339.99	403.62	37.50	11.03 %

JUNIPER 7	ELEV.3				ENERGY STAR
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	798.42	74.18	123.89	11.51	15.52 %
LEFT SIDE	1039.46	96.57	82.90	7.70	7.98 %
RIGHT SIDE	1039.76	96.60	16.33	1.52	1.57 %
REAR	791.00	73.49	180.68	16.79	22.84 %
TOTAL	3668.64	340.83	403.80	37.51	11.01 %

AREA CALCULATIONS			ELEV. 2
GROUND FLOOR AREA	=	1408	Sq. Ft.
SECOND FLOOR AREA	=	1698	Sq. Ft.
TOTAL FLOOR AREA	=	3106	Sq. Ft.
		288.56	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3106	Sq. Ft.
		288.56	Sq. M.
GROUND FLOOR COVERAGE	=	1408	Sq. Ft.
GARAGE COVERAGE /AREA	=	400	Sq. Ft.
PORCH COVERAGE / AREA	=	78	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1886	Sq. Ft.
	=	175.22	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1808	Sq. Ft.
	=	167.97	Sq. m.

AREA CALCULATIONS			ELEV. 3
GROUND FLOOR AREA	=	1408	Sq. Ft.
SECOND FLOOR AREA	=	1705	Sq. Ft.
TOTAL FLOOR AREA	=	3113	Sq. Ft.
		289.21	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3113	Sq. Ft.
		289.21	Sq. M.
GROUND FLOOR COVERAGE	=	1408	Sq. Ft.
GARAGE COVERAGE /AREA	=	400	Sq. Ft.
PORCH COVERAGE / AREA	=	78	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1886	Sq. Ft.
	=	175.22	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1808	Sq. Ft.
	=	167.97	Sq. m.

AREA CALCULATIONS			ELEV. 1
GROUND FLOOR AREA	=	1403	Sq. Ft.
SECOND FLOOR AREA	=	1690	Sq. Ft.
TOTAL FLOOR AREA	=	3093	Sq. Ft.
		287.35	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3093	Sq. Ft.
		287.35	Sq. M.
GROUND FLOOR COVERAGE	=	1403	Sq. Ft.
GARAGE COVERAGE /AREA	=	400	Sq. Ft.
PORCH COVERAGE / AREA	=	135	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1938	Sq. Ft.
	=	180.05	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1803	Sq. Ft.
	=	167.50	Sq. m.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 7 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 7
BUILDING DIVISION

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE
ZONING: **APPROVED**
ROBIN CAMPBELL APR 22, 2017
ZONING OFFICER DATE

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

2012 ENERGY STAR V-12.7

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

ENERGY STAR - V 12.7

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

JUNIPER 7
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	SEP 2016

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: AREA CHARTS

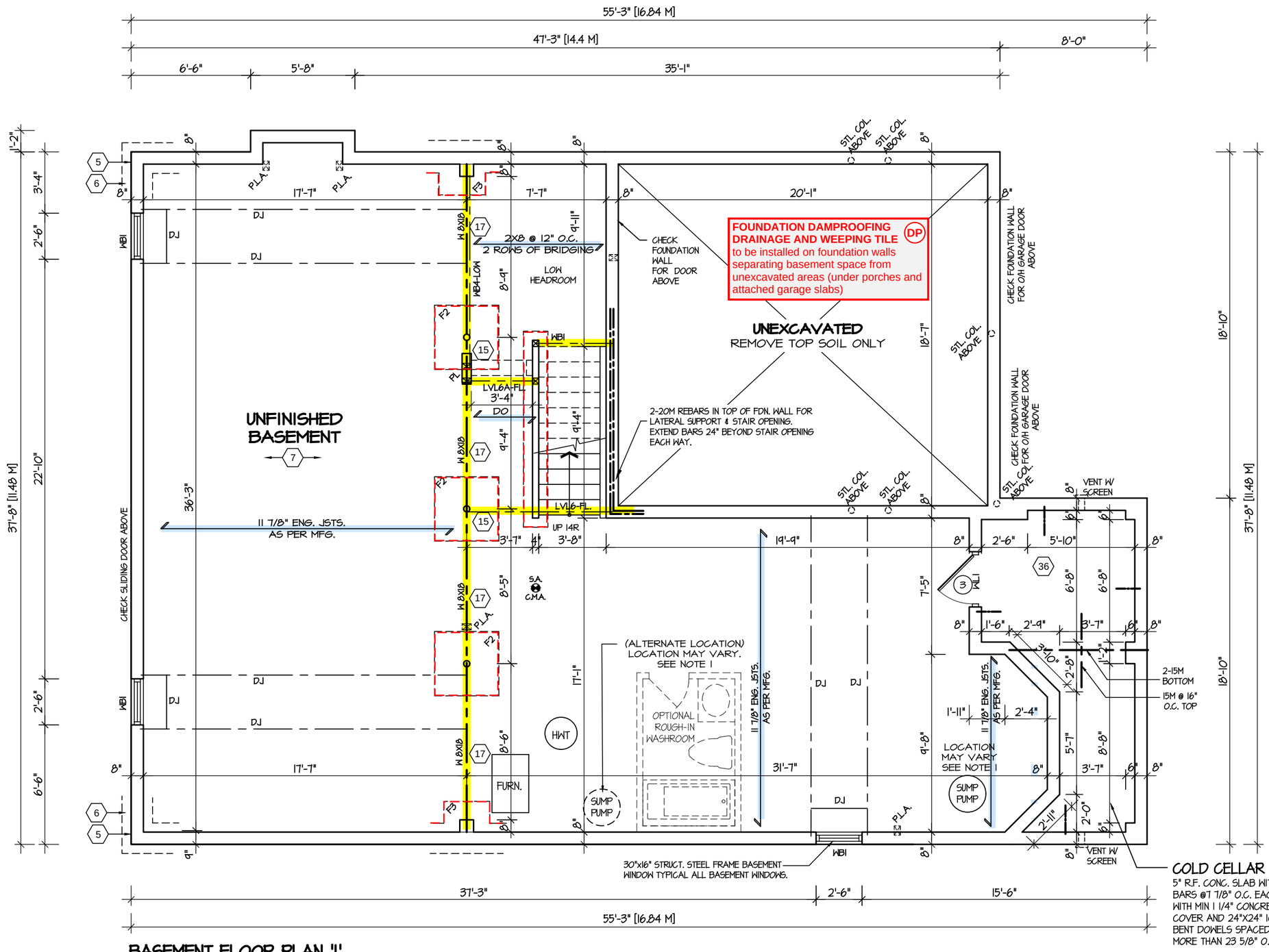
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	0
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

Greenpark™

PROJECT NAME: LECCO RIDGE

March 30, 2017 9:56:43 AM M:\PROJECTS\LECCO RIDGE - MILTON\STANDARD PLANS\JUNIPER 7\ACAD-JUNIPER 7 MASTER.DWG



BASEMENT FLOOR PLAN '1'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	SEP 2016

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
BASEMENT PLAN
ELEV. 1

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	1
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

Greenpark™

PROJECT NAME
LECCO RIDGE

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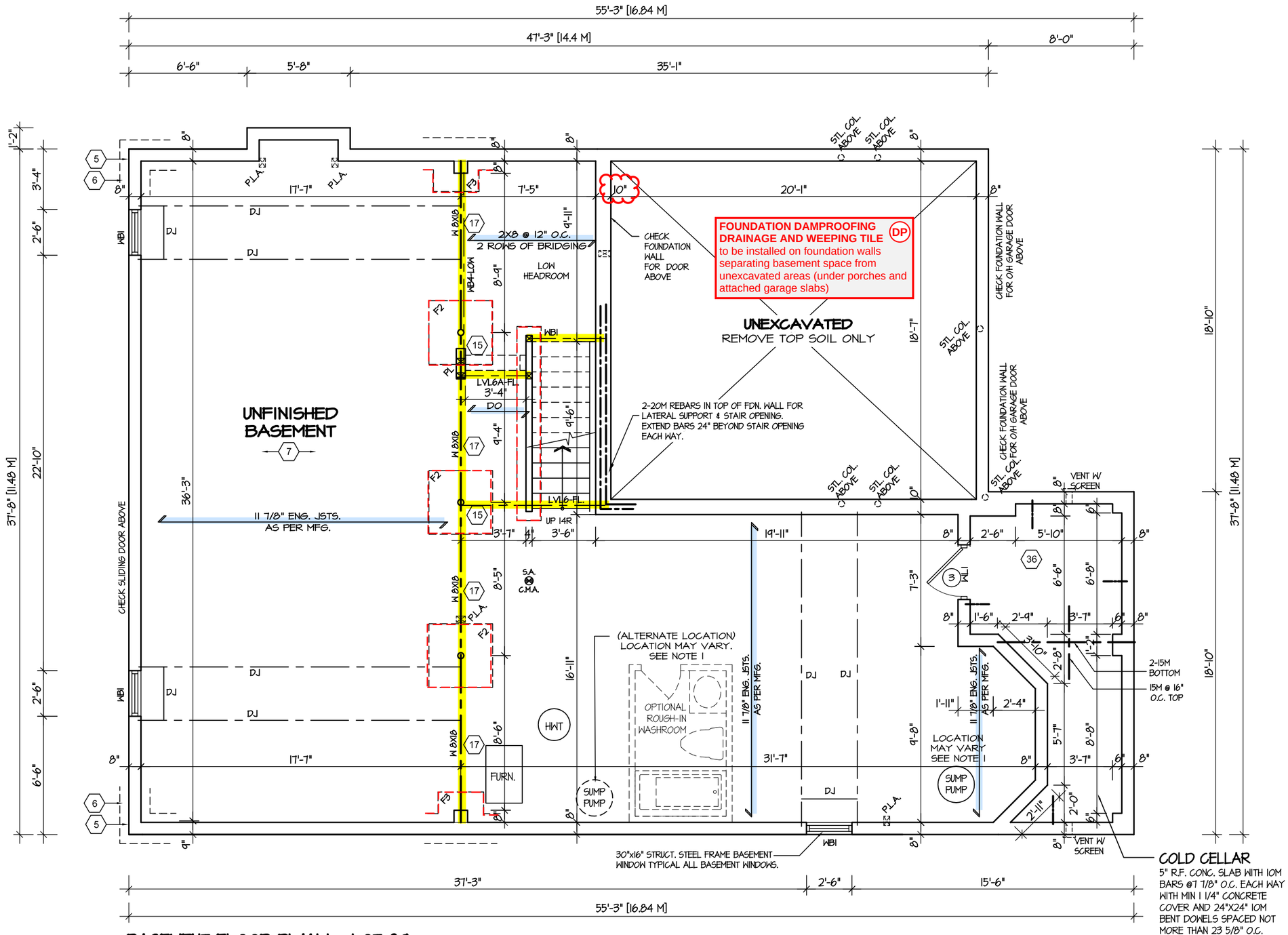

BASEMENT FLOOR PLAN 1 - LOT 89

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	SEP 2016

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — SIGNATURE — 28770 BCIN
NAME

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

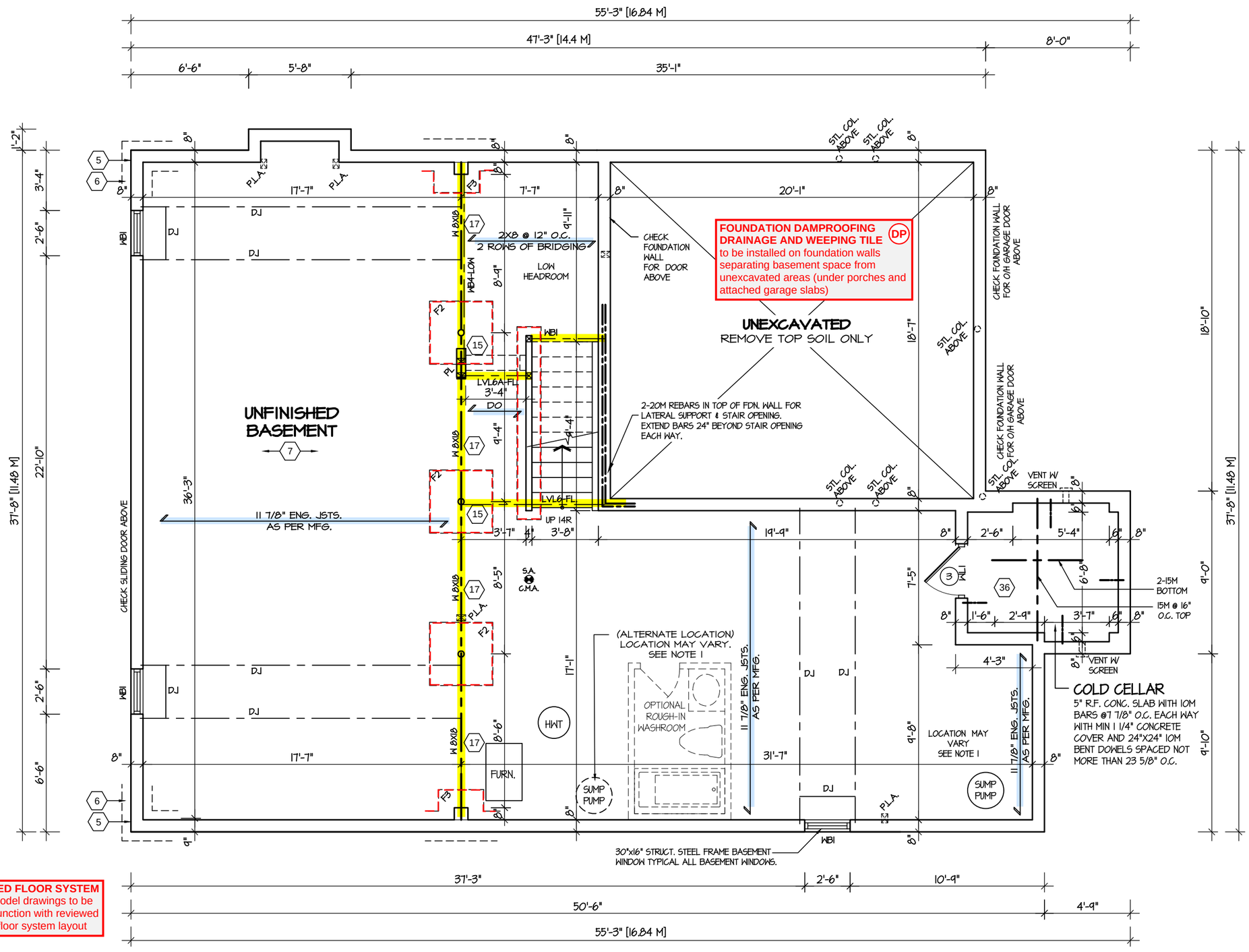
SHEET TITLE
BASEMENT PLAN
ELEV. 1-LOT 89

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	1A
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

Greenpark™

PROJECT NAME
LECCO RIDGE



ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

BASEMENT FLOOR PLAN '2'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

STRUDET INC.
R.B. MARINKOVIC
REGISTERED PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	SEP 2016

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — 28770
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REGION DESIGN INC.

SHEET TITLE
BASEMENT PLAN
ELEV. 2

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	1-2
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

Greenpark™

PROJECT NAME
LECCO RIDGE

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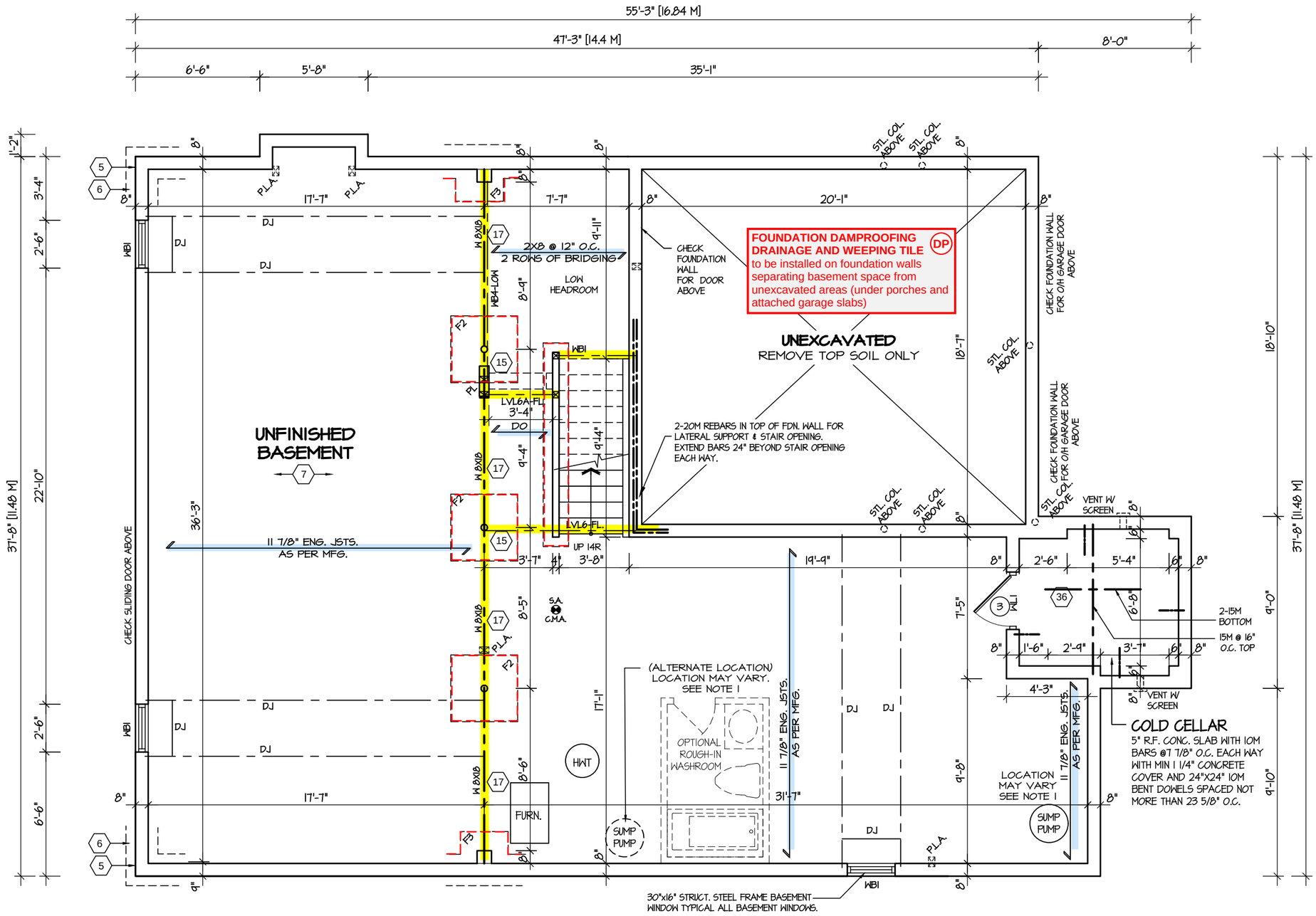

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

BASEMENT FLOOR PLAN '3'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

5.		
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1.	ISSUED FOR REVIEW	SEP 2016

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746
REGION DESIGN INC.

SHEET TITLE
BASEMENT PLAN
ELEV. 3

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SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	1-3
DATE	TYPE	PROJECT	
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PROJECT NAME
LECCO RIDGE

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45 MIN FRR

LD <1.2 M FOR BUMPOUT
Fireplace bumpout to be constructed with 45 min FRR where the LD is <1.2 m

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping and a self closing device

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

8" DIA. COLUMN ON 14"x14" MASONRY PIER. PROVIDE SIMPSON STRONG CONNECTION TIE CONNECTOR FOR BEAM/POST CONNECTION (TYPICAL)

FAMILY ROOM
BREAKFAST
KITCHEN
LIVING/ DINING ROOM
GARAGE
FOYER
PORCH
HOME OFFICE
POWDER

FIRST FLOOR PLAN 'I'

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 7 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 7
BUILDING DIVISION

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

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SHEET TITLE: FIRST FLOOR PLAN
ELEV. 1

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SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	2
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

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PROJECT NAME: LECCO RIDGE

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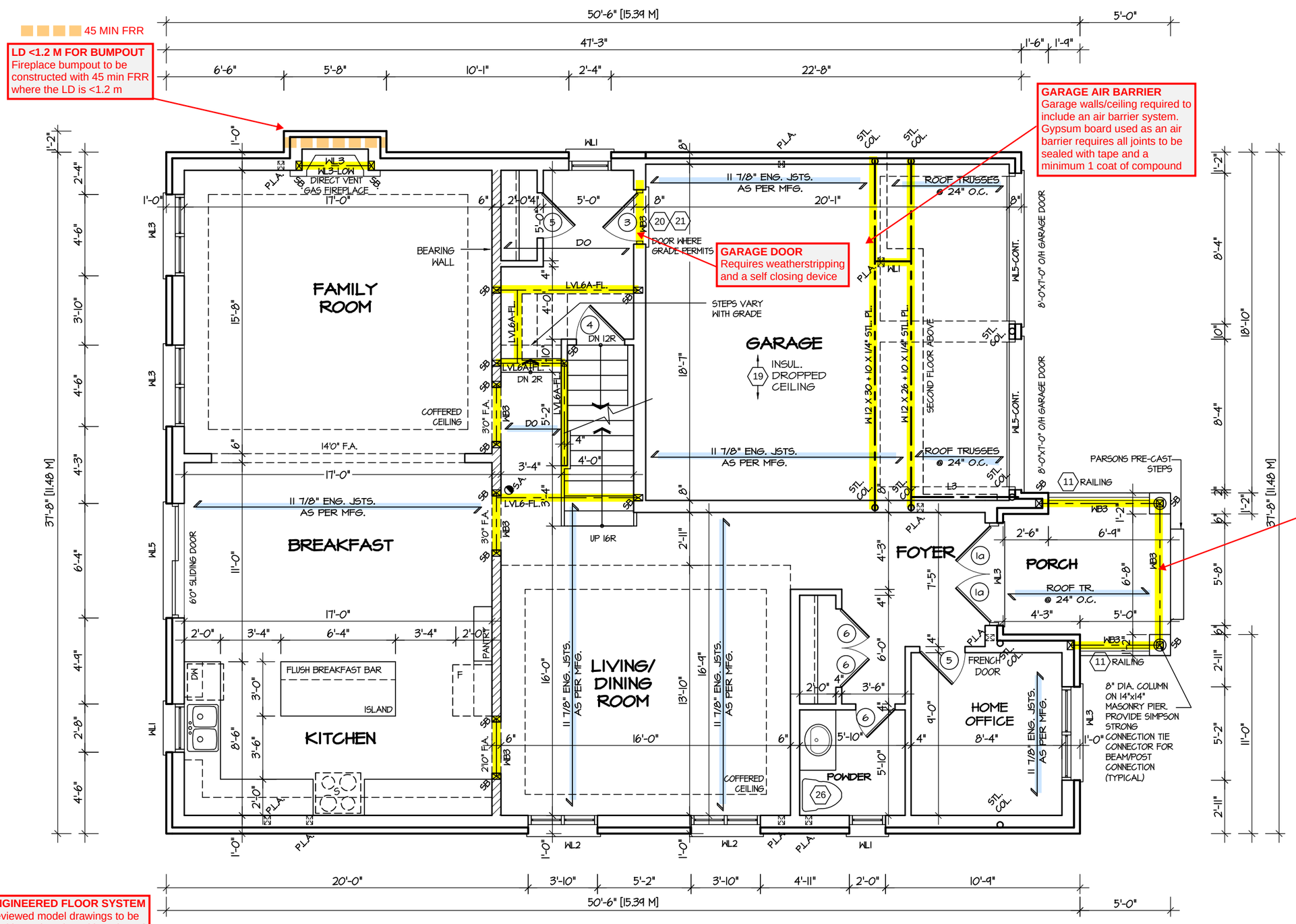

FIRST FLOOR PLAN '2'

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 7 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS — APR 13, 2017
PLANS EXAMINER — DATE

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R. B. MARINKOVIC
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PROVINCE OF ONTARIO
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MAR 20 2017
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SHEET TITLE: FIRST FLOOR PLAN
ELEV. 2

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SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	2-2
DATE: JUL 2016	TYPE	PROJECT: 02-10-08	

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45 MIN FRR

LD <1.2 M FOR BUMPOUT
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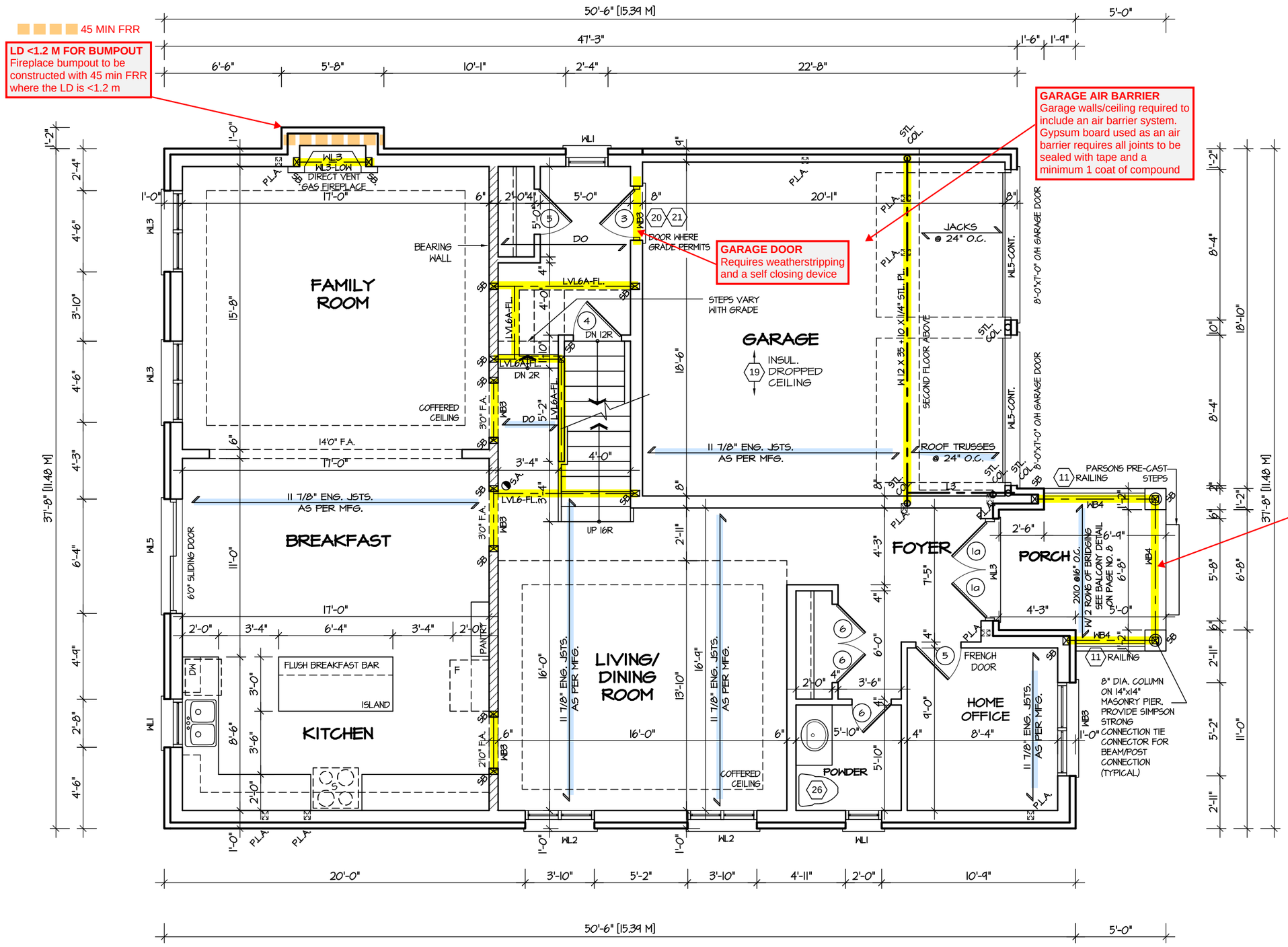
GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping and a self closing device

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout



FIRST FLOOR PLAN '3'

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REGION DESIGN INC.

SHEET TITLE: FIRST FLOOR PLAN
ELEV. 3

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SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	2-3
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

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PROJECT NAME
LECCO RIDGE

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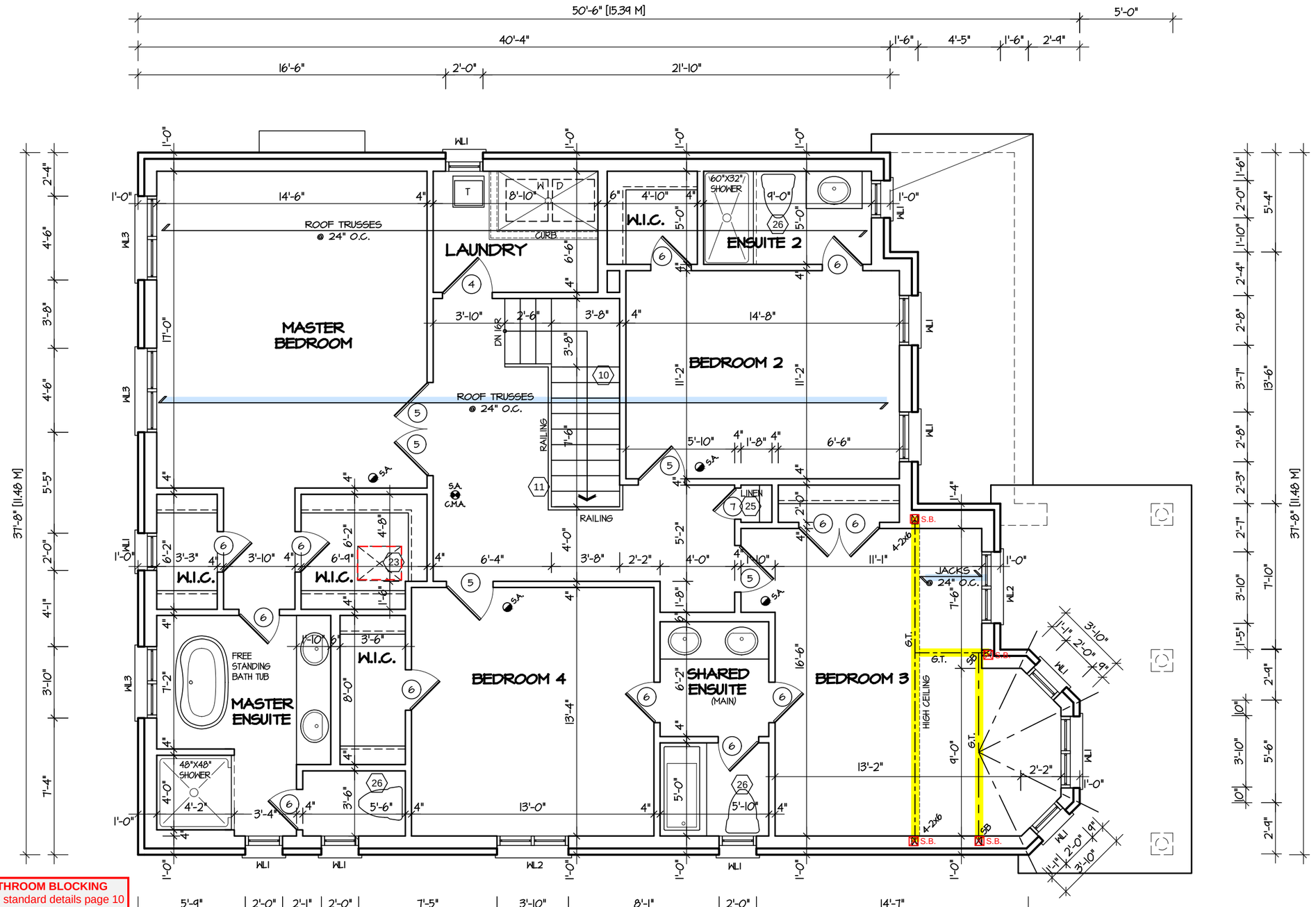

BATHROOM BLOCKING
See standard details page 10 for required main bathroom grab bar reinforcing

ENGINEERED TRUSS SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered truss system layout

SECOND FLOOR PLAN 'I'

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
R.B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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REGION DESIGN INC.

SHEET TITLE
SECOND FLOOR PLAN
ELEV. 1

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DATE	TYPE	PROJECT	
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PROJECT NAME
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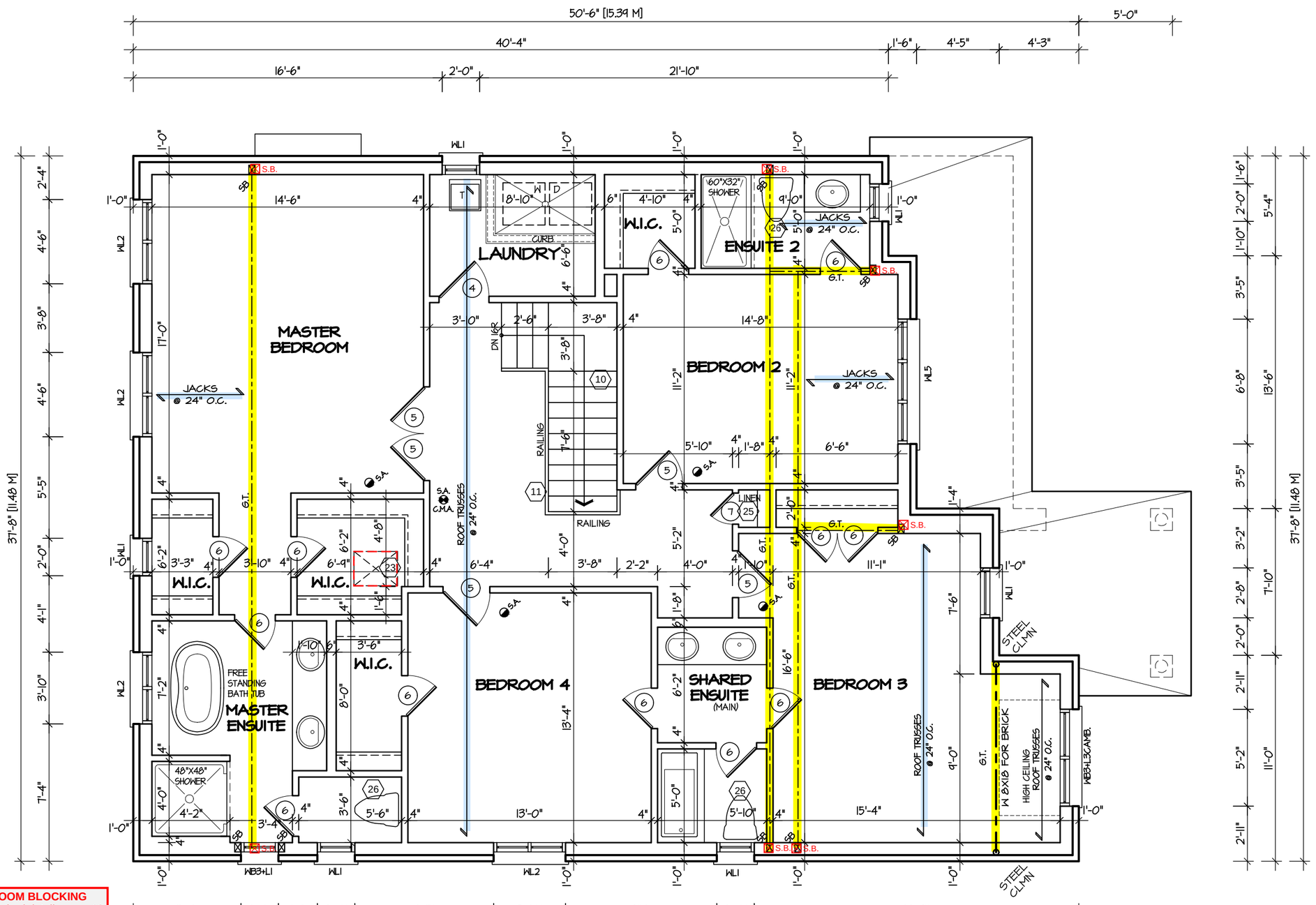

BATHROOM BLOCKING
See standard details page 10 for required main bathroom grab bar reinforcing

SECOND FLOOR PLAN '2'

ENGINEERED TRUSS SYSTEM
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REGION DESIGN INC.

SHEET TITLE: SECOND FLOOR PLAN
ELEV. 2

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SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	3-2
DATE	TYPE	PROJECT	
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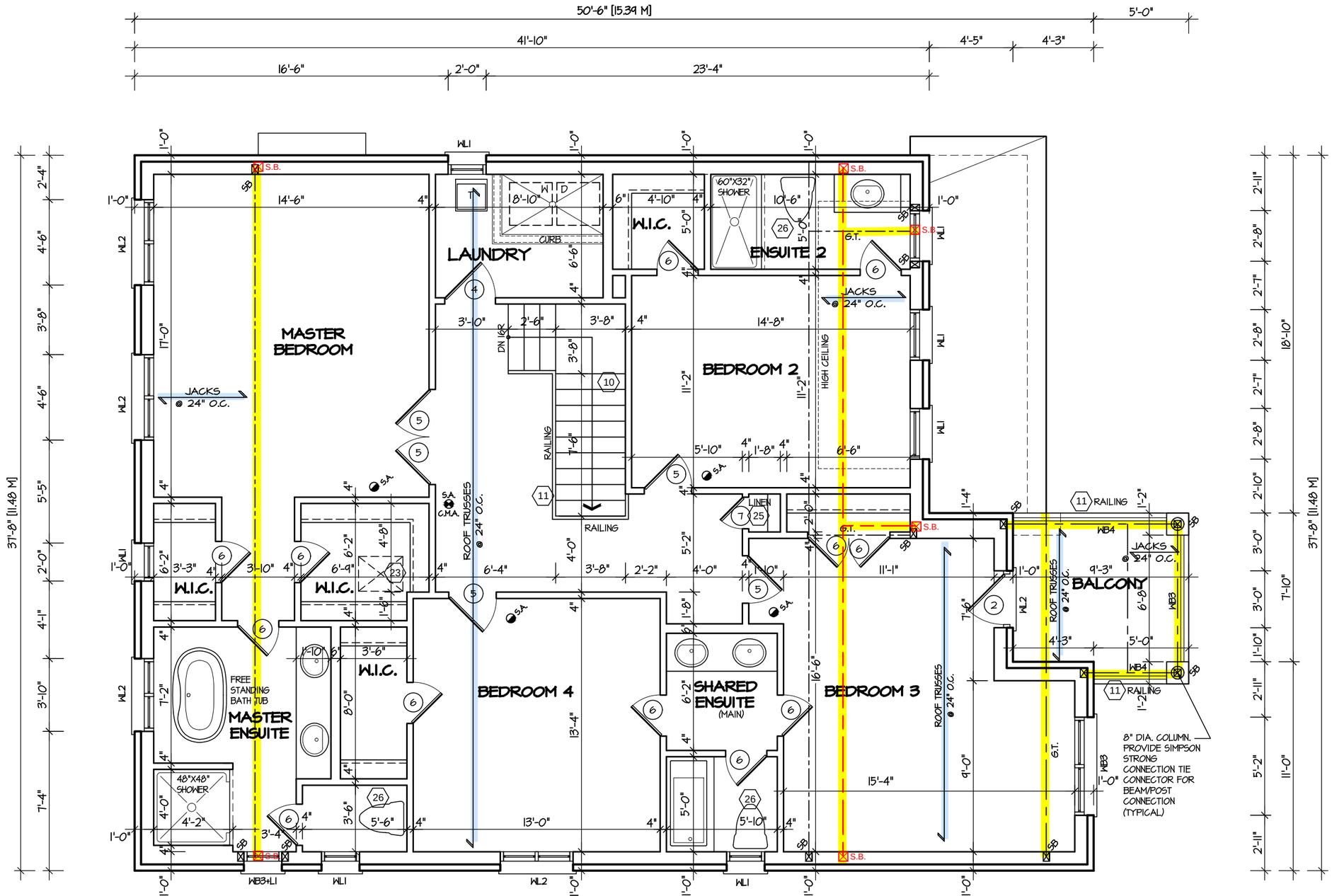

BATHROOM BLOCKING
See standard details page 10 for required main bathroom grab bar reinforcing

ENGINEERED TRUSS SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered truss system layout

SECOND FLOOR PLAN '3'

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
R. B. MARINKOVIC
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SHEET TITLE: SECOND FLOOR PLAN
ELEV. 3

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TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 7 MODEL
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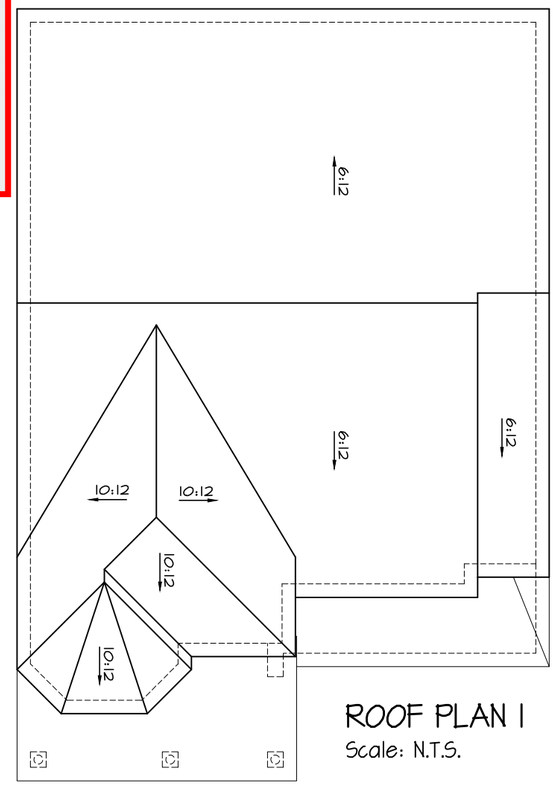
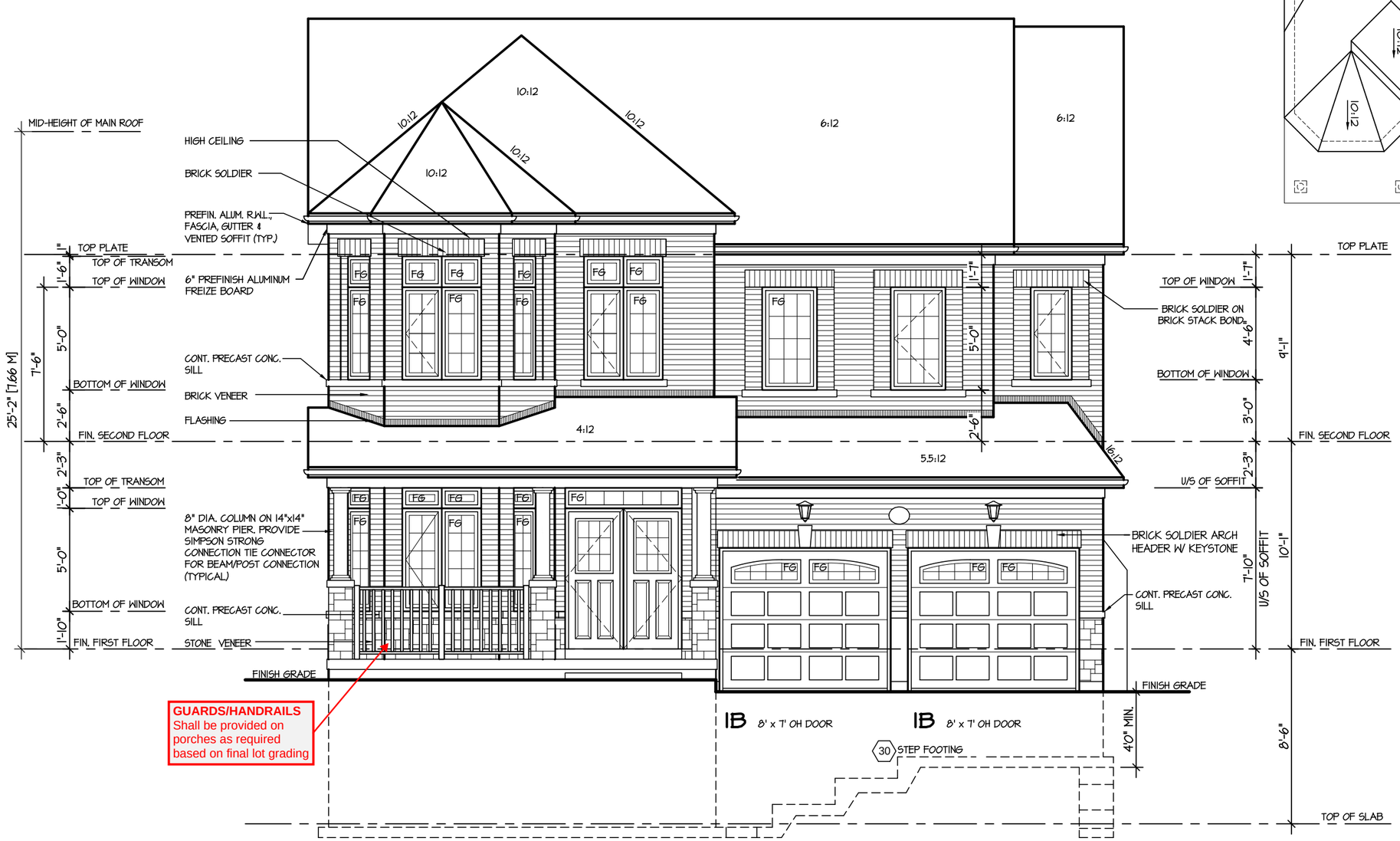


ROOF PLAN 1
Scale: N.T.S.



GUARDS/HANDRAILS
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FRONT ELEVATION 1

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REGION DESIGN INC.

SHEET TITLE
FRONT ELEVATION
ELEV. 1

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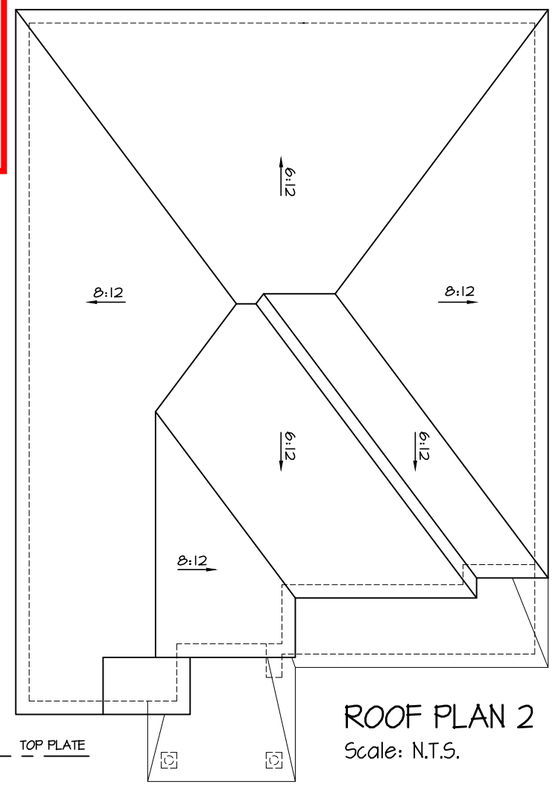
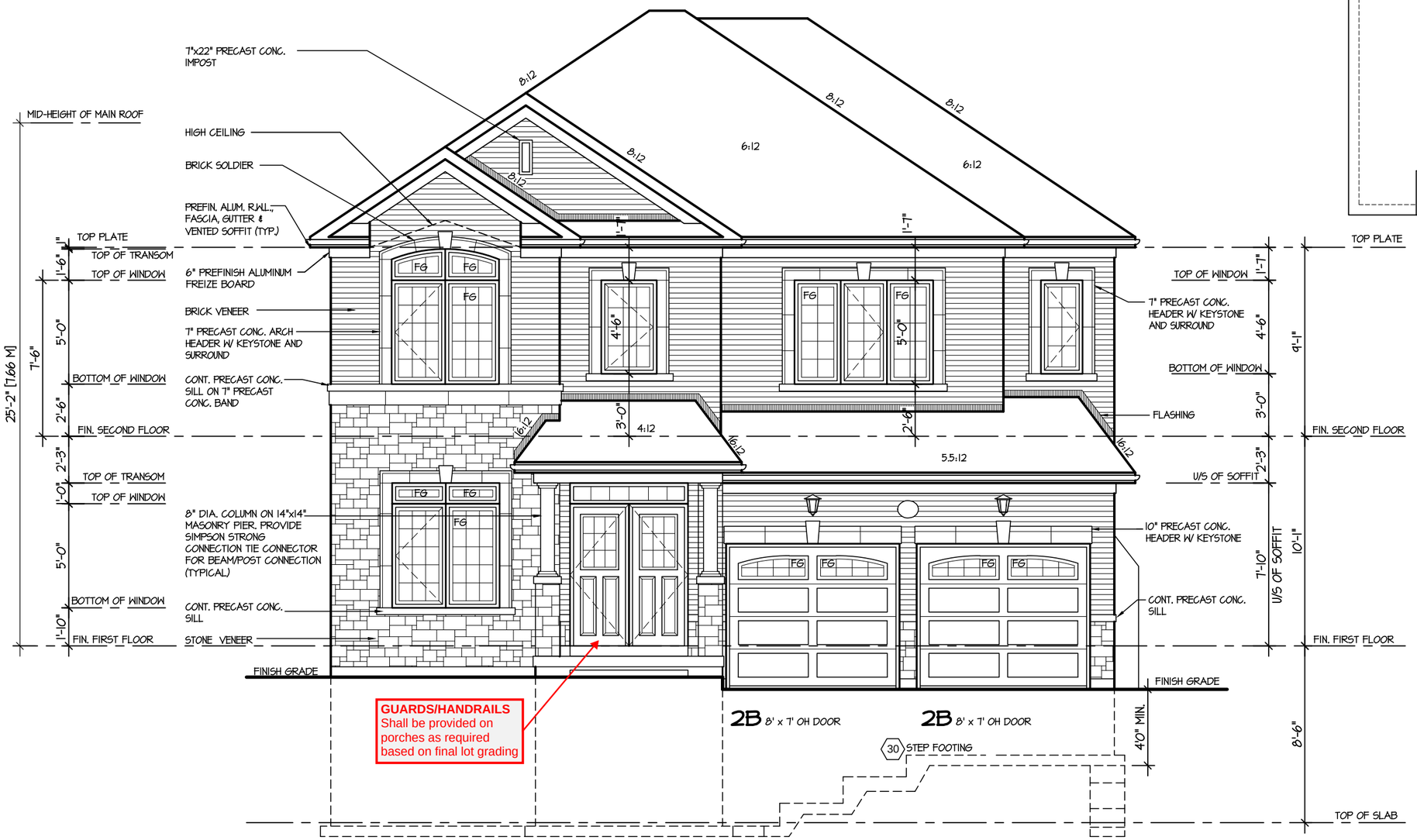


ROOF PLAN 2
Scale: N.T.S.



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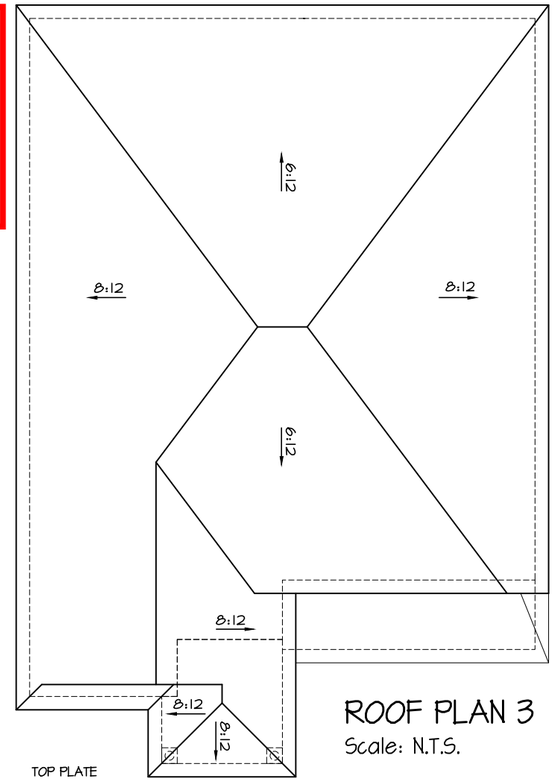
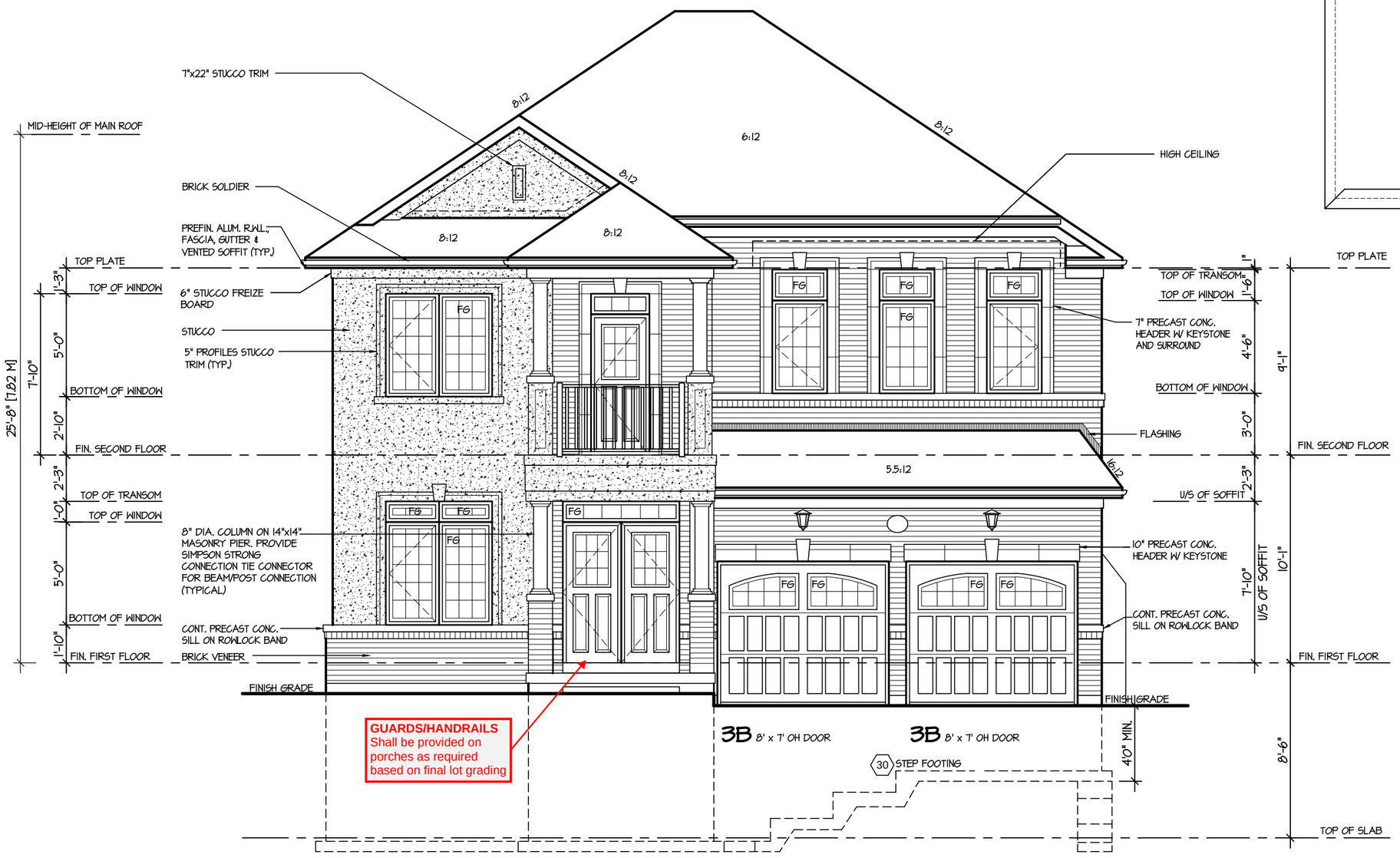
March 30, 2017 9:57:38 AM M:\PROJECTS\LECCO RIDGE - MILTON\STANDARD PLANS\JUNIPER 7\ACAD-JUNIPER 7 MASTER.DWG



ROOF PLAN 3
Scale: N.T.S.



FRONT ELEVATION 3

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

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1.	ISSUED FOR REVIEW	SEP 2016

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

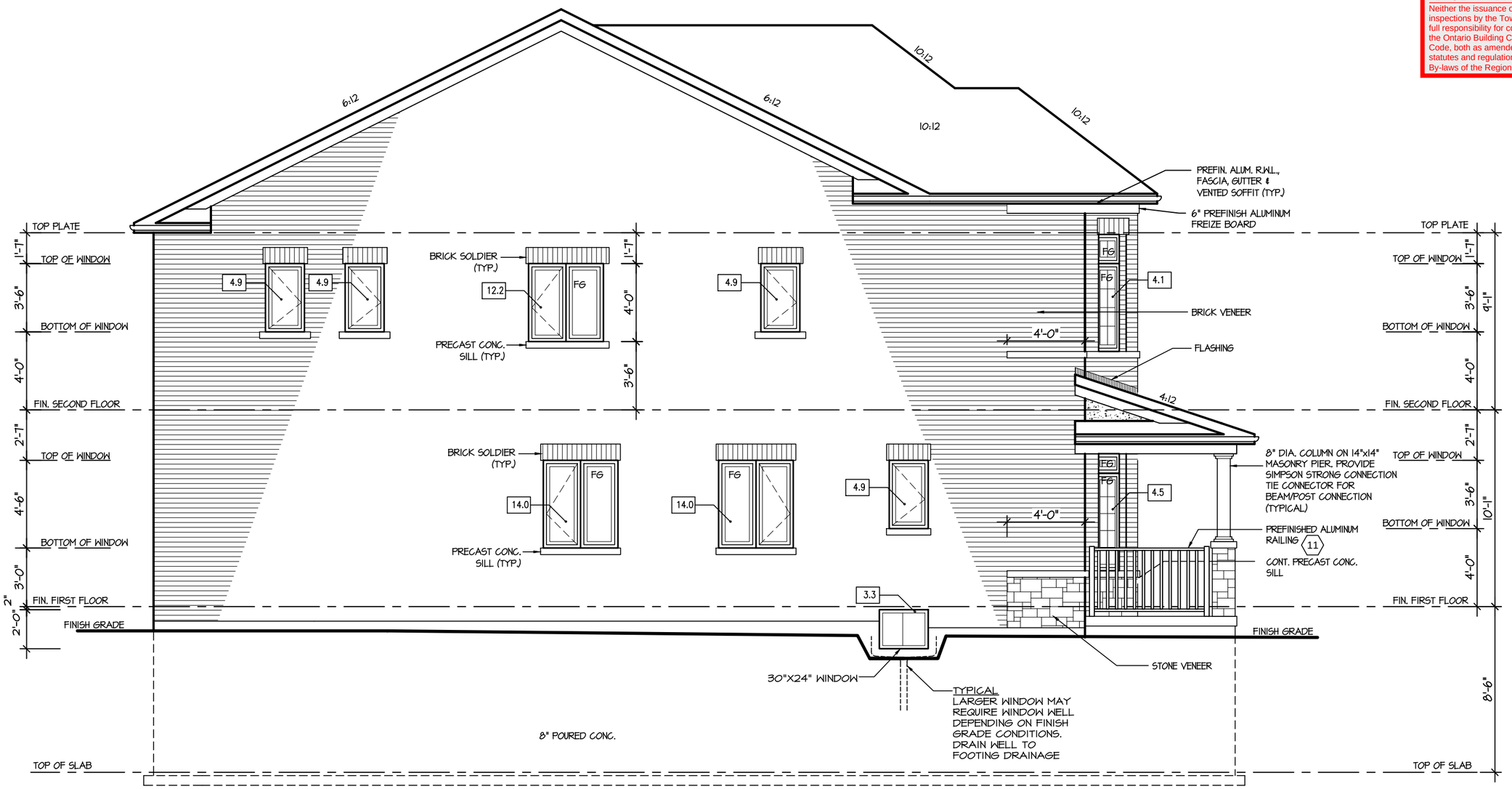
SHEET TITLE: FRONT ELEVATION 3

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	4-3
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

Greenpark™

PROJECT NAME: LECCO RIDGE



LEFT ELEVATION 1

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1039	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	72.73	Sq. Ft.
ACTUAL GLAZED AREA	=	71.7	Sq. Ft.

JUNIPER 7
ENERGY STAR

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1.	ISSUED FOR REVIEW	SEP 2016

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CONCORD, ONTARIO
L4K 4S6
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F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 1

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	5
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

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PROJECT NAME
LECCO RIDGE

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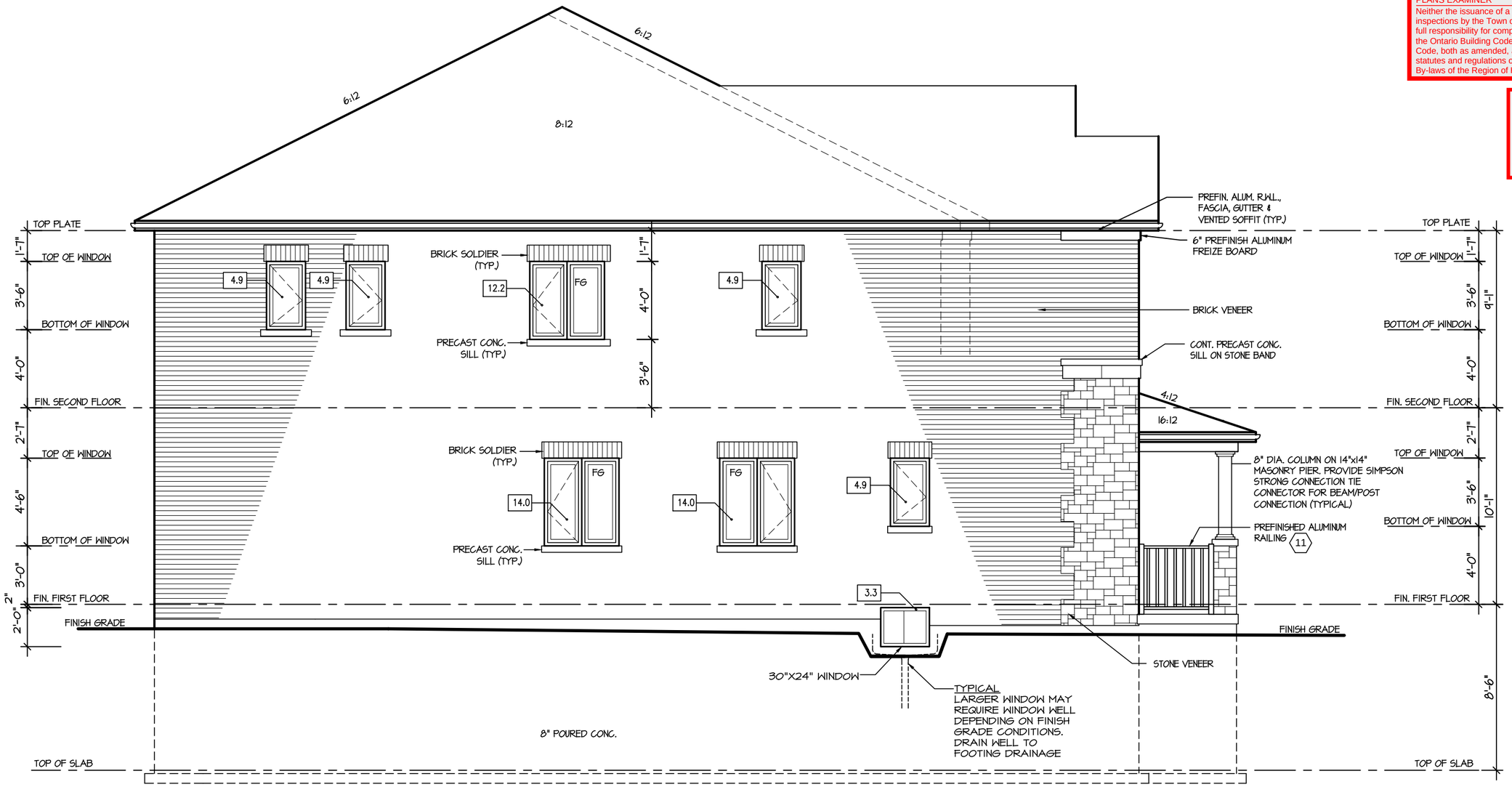

LEFT ELEVATION 2

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1039	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	72.73	Sq. Ft.
ACTUAL GLAZED AREA	=	63.1	Sq. Ft.

JUNIPER 7
ENERGY STAR

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1.	ISSUED FOR REVIEW	SEP 2016

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CONCORD, ONTARIO
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P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
LEFT SIDE
ELEVATION 2

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	5-2
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

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PROJECT NAME
LECCO RIDGE

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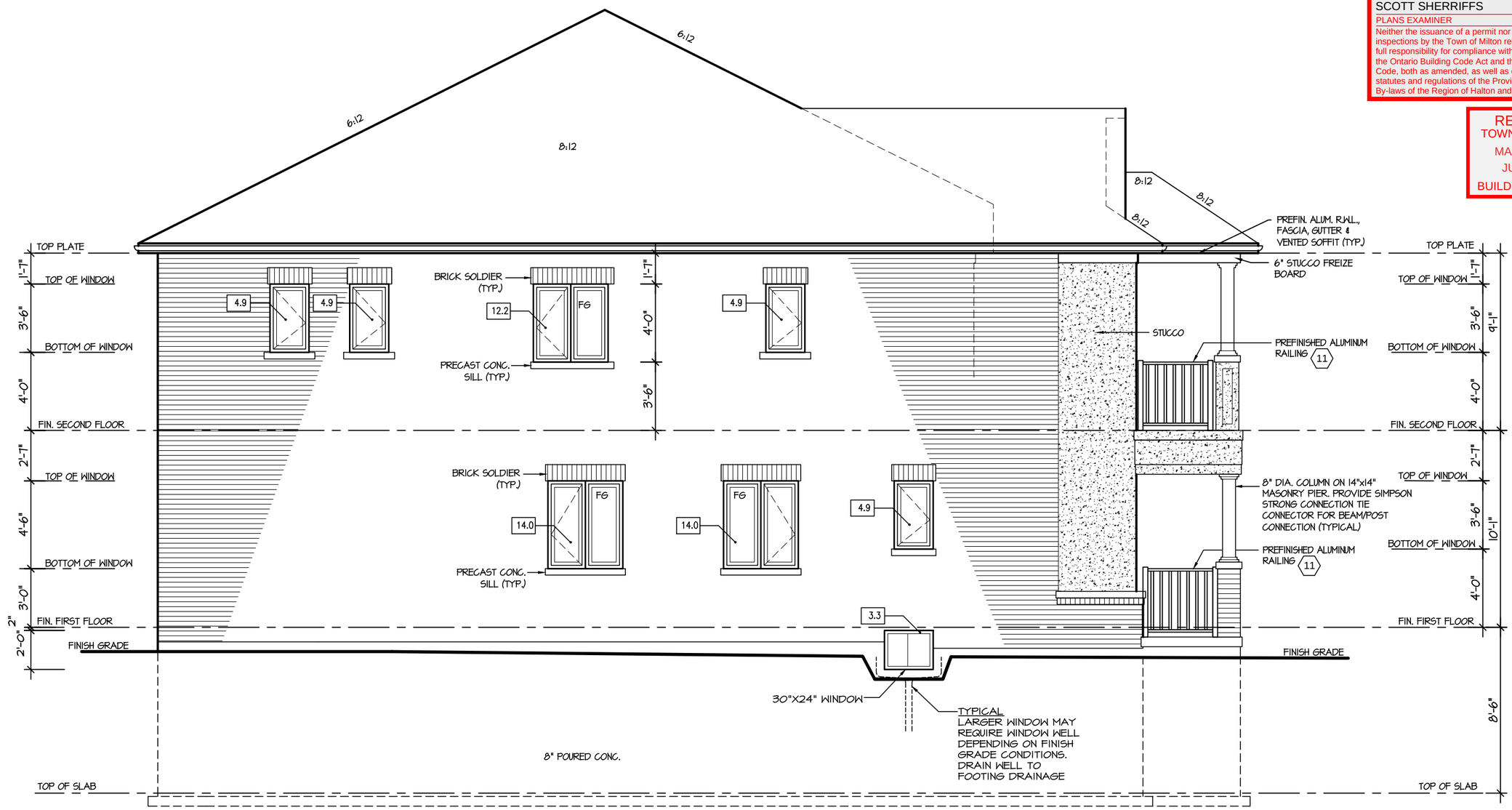

LEFT ELEVATION 3

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1039	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	72.73	Sq. Ft.
ACTUAL GLAZED AREA	=	63.1	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

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REGION DESIGN INC.

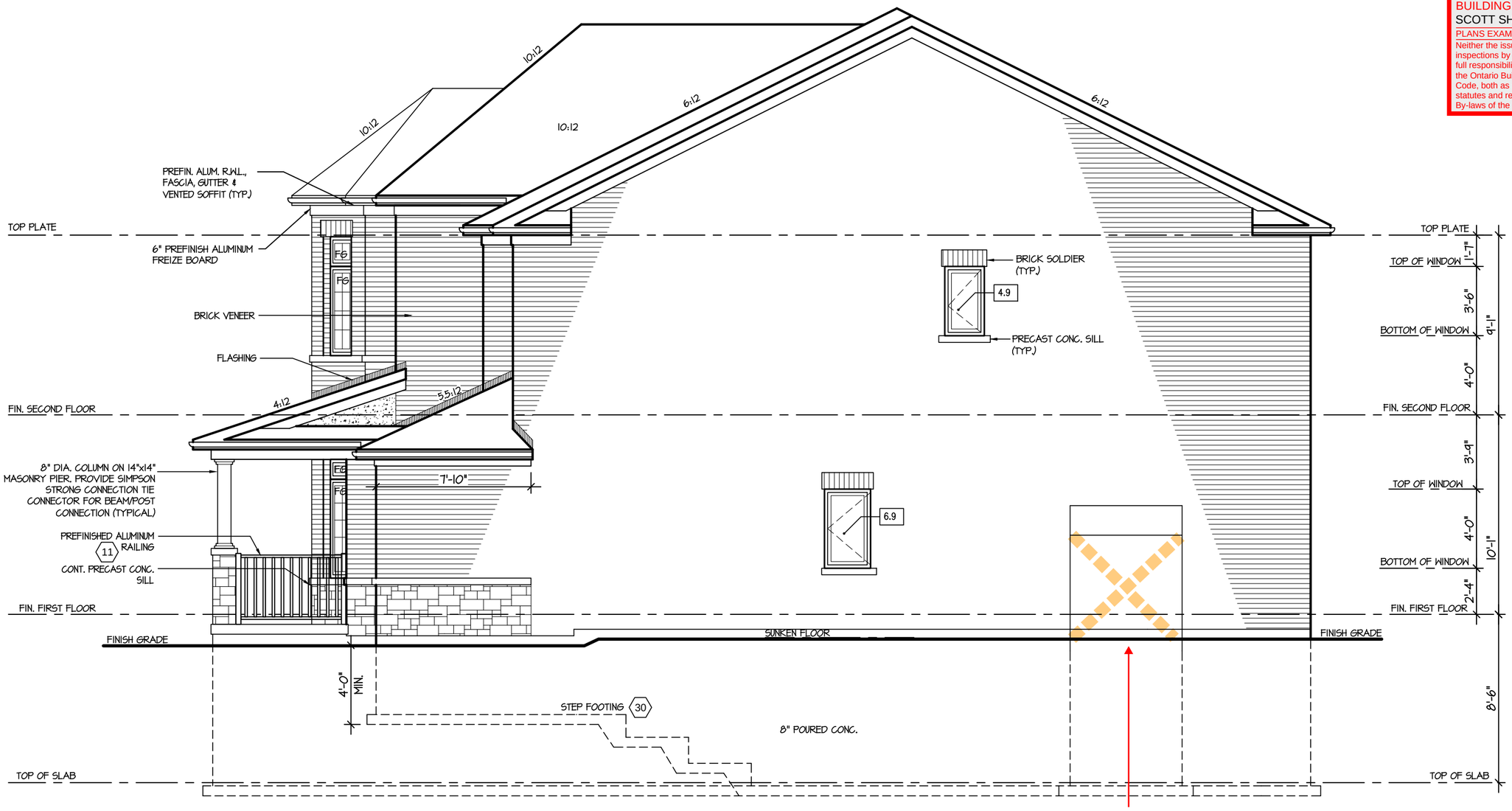
SHEET TITLE
LEFT SIDE
ELEVATION 3

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	5-3
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

Greenpark™

PROJECT NAME
LECCO RIDGE



RIGHT ELEVATION 1

ALLOWABLE GLAZING (STANDARD PLAN)

WALL AREA	=	845	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	62.65	Sq. Ft.
ACTUAL GLAZED AREA	=	11.8	Sq. Ft.

LD <1.2 M FOR BUMPOUT
Fireplace bumpout to be constructed with 45 min FRR where the LD is <1.2 m

45 MIN FRR

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JUNIPER 7
ENERGY STAR

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CONCORD, ONTARIO
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P (416) 736-4096
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REGION DESIGN INC.

SHEET TITLE: RIGHT SIDE ELEVATION 1

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE 3/16"=1'-0"	BY V.G.	AREA 3093	PAGE No. 6
DATE JUL 2016	TYPE	PROJECT 02-10-08	

Greenpark™
45 MIN FRR

PROJECT NAME: LECCO RIDGE

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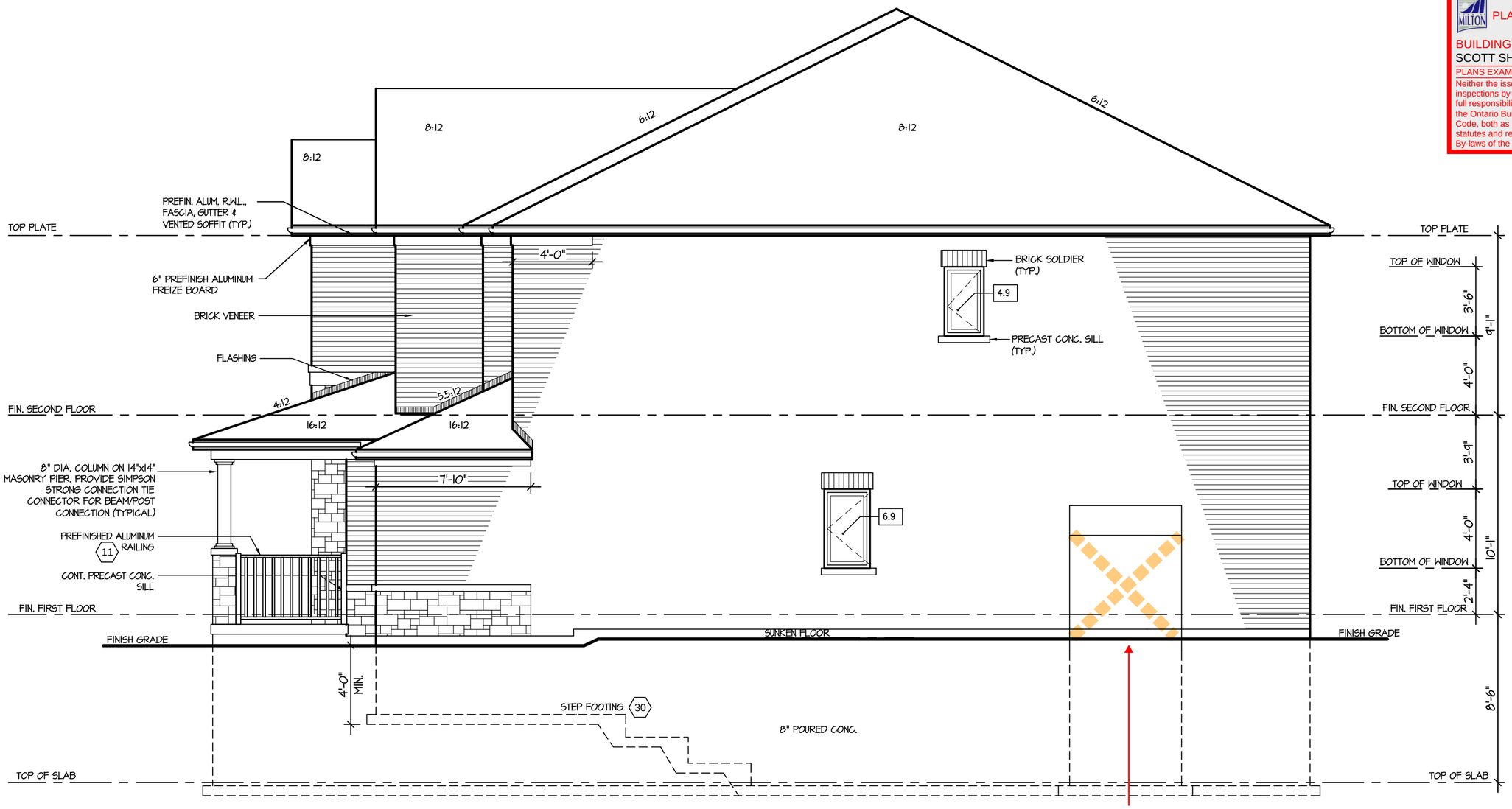

RIGHT ELEVATION 2

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	895	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	62.65	Sq. Ft.
ACTUAL GLAZED AREA	=	11.8	Sq. Ft.

LD <1.2 M FOR BUMPOUT
Fireplace bumpout to be constructed with 45 min FRR where the LD is <1.2 m

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MAR 20 2017
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JUNIPER 7
ENERGY STAR

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REGION DESIGN INC.

SHEET TITLE: RIGHT SIDE ELEVATION 2

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	6-2
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

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PROJECT NAME: LECCO RIDGE

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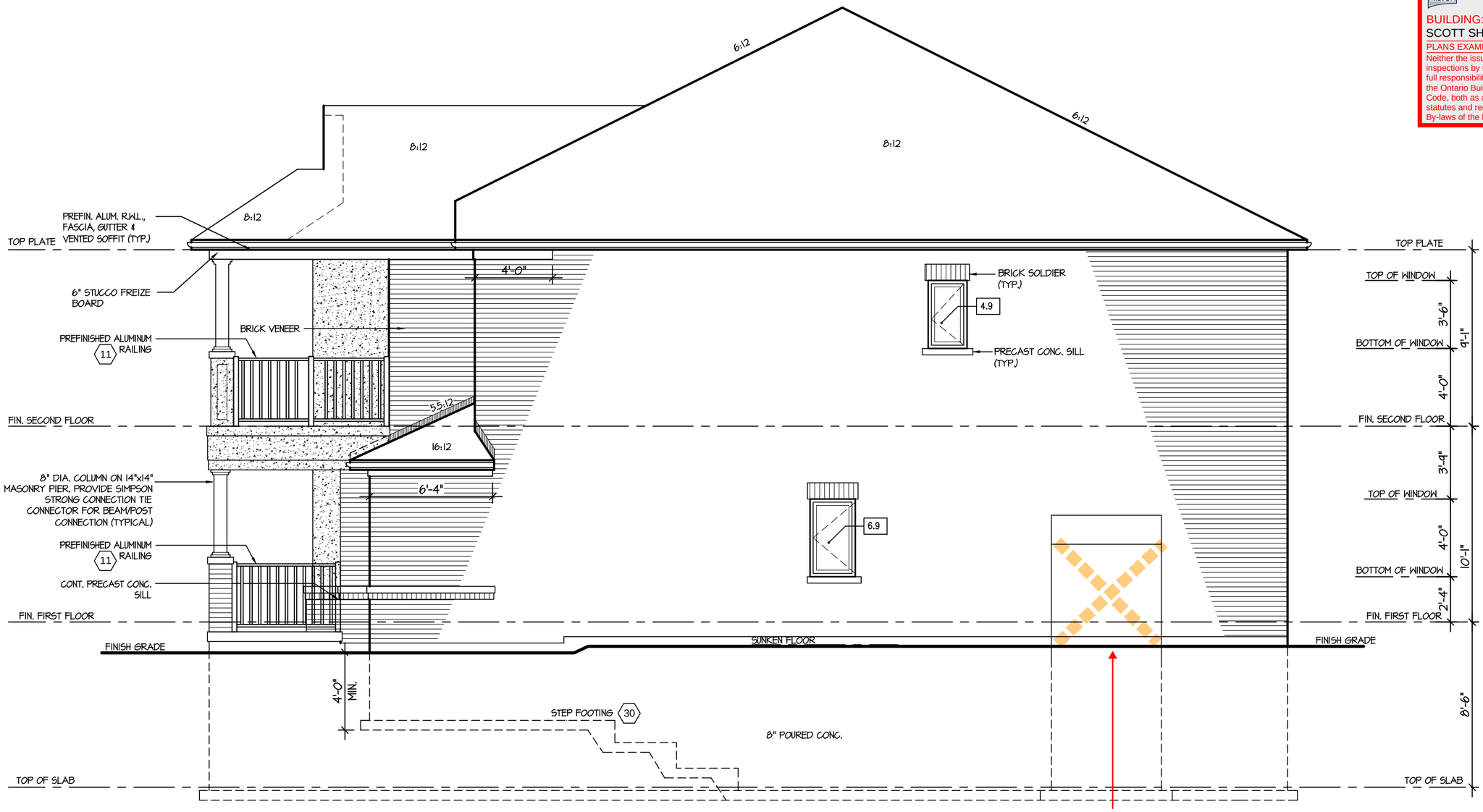

RIGHT ELEVATION 3

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	895	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	62.65	Sq. Ft.
ACTUAL GLAZED AREA	=	11.8	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

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REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: RIGHT SIDE ELEVATION 3

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	6-3
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

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PROJECT NAME: LECCO RIDGE

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REAR ELEVATION 1, 2 & 3

JUNIPER 7
ENERGY STAR

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: REAR ELEVATION 1

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SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	7
DATE	TYPE	PROJECT	
JUL 2016		02-10-08	

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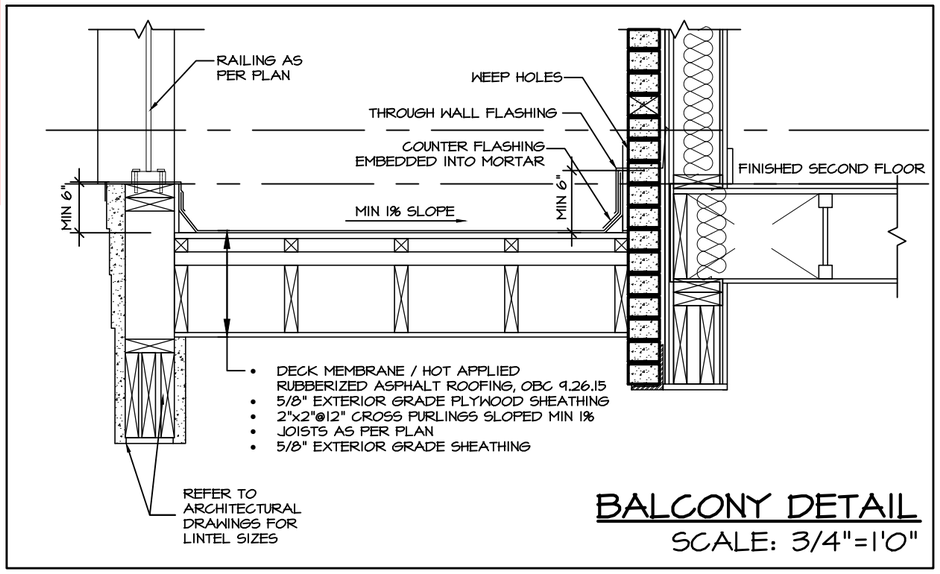
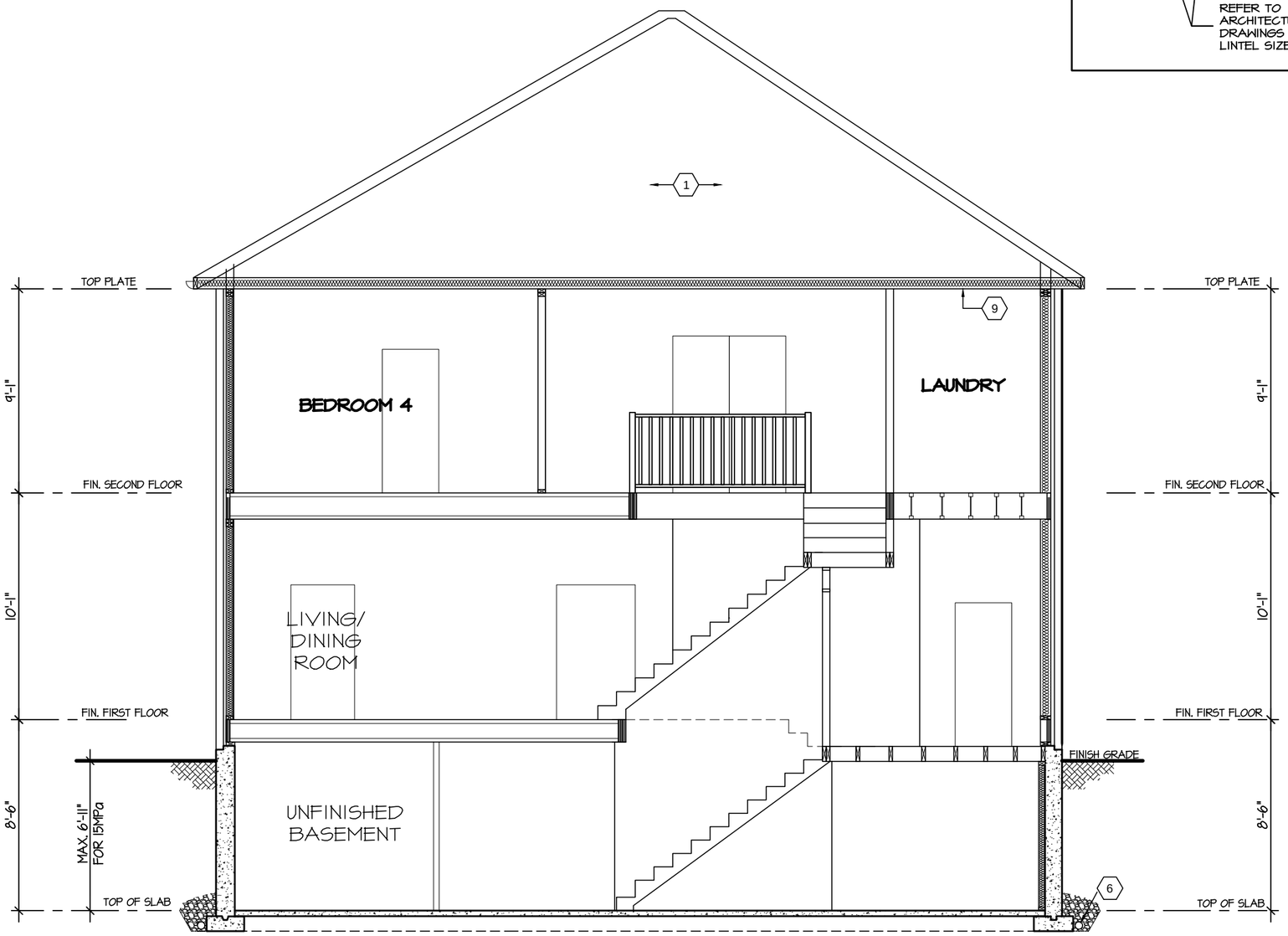
PROJECT NAME: LECCO RIDGE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 7
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 7 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton



BALCONY DETAIL
SCALE: 3/4"=1'0"



SECTION A-A

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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JUNIPER 7
ENERGY STAR

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NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: CROSS SECTION

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	8
DATE: JUL 2016	TYPE	PROJECT: 02-10-08	

Greenpark™

PROJECT NAME: LECCO RIDGE

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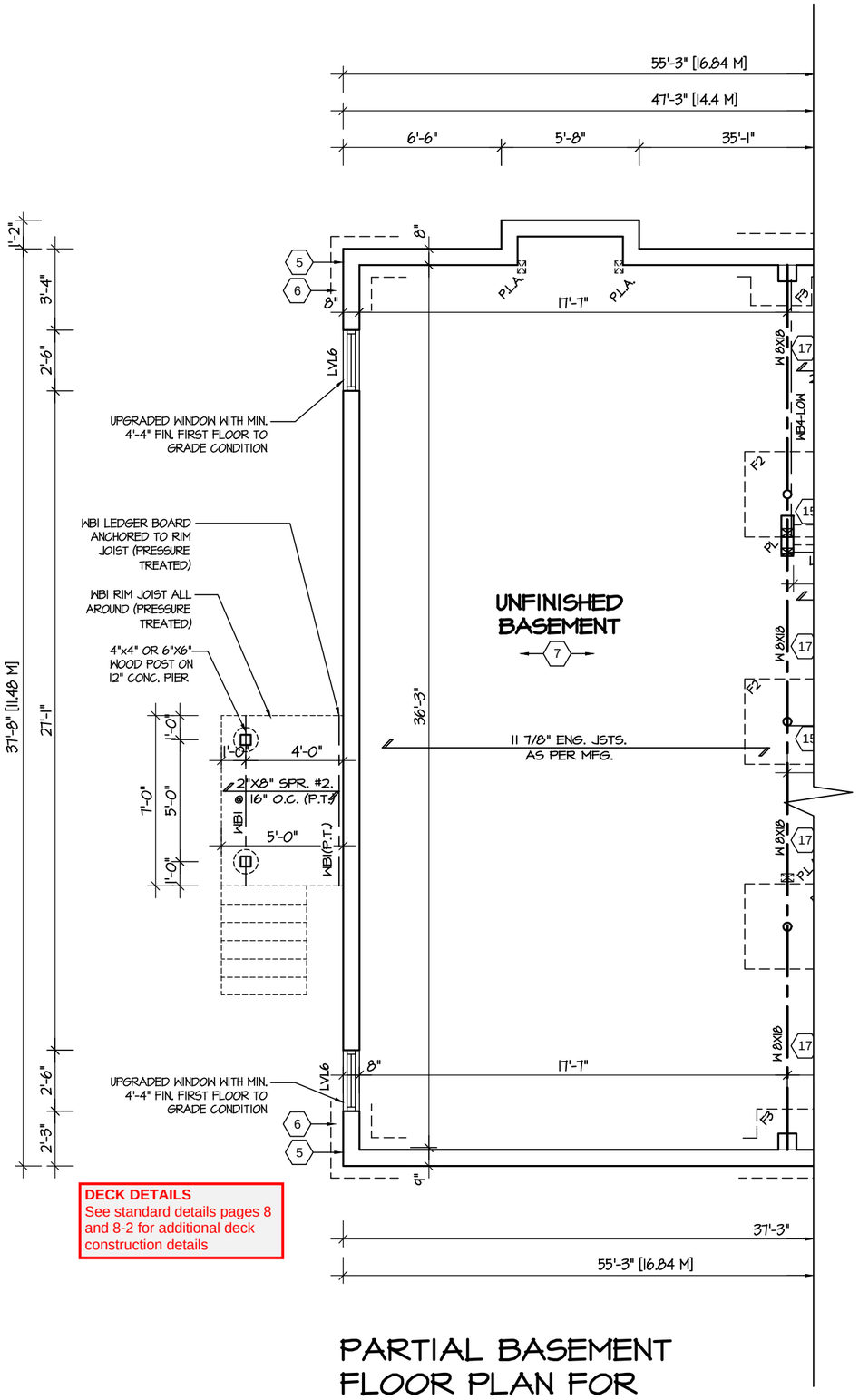
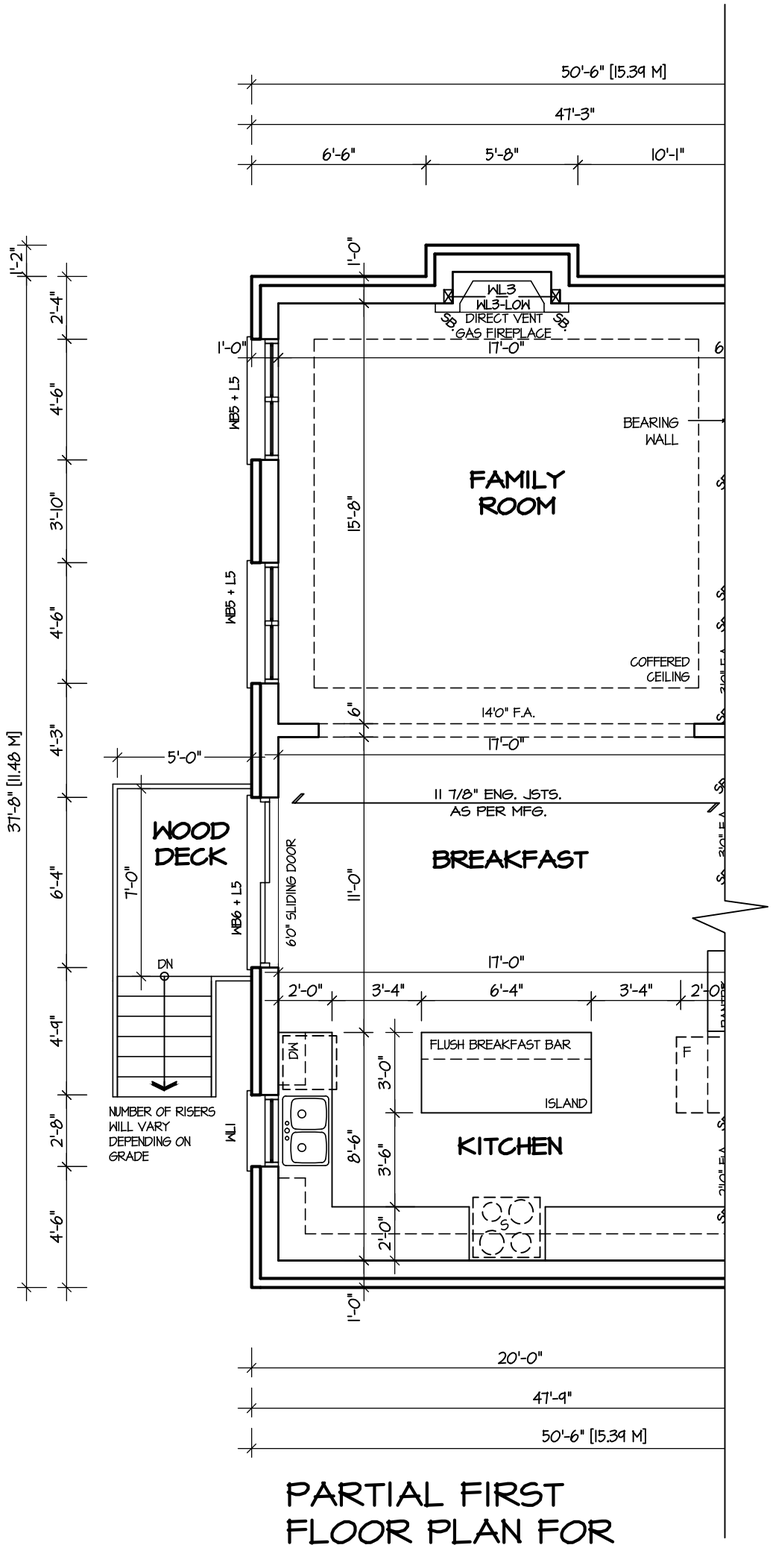


PARTIAL BASEMENT FLOOR PLAN FOR DECK CONDITION



PARTIAL FIRST FLOOR PLAN FOR DECK CONDITION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 7 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 7
BUILDING DIVISION

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
R. B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: DECK PLANS

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	9
DATE: JUL 2016	TYPE	PROJECT: 02-10-08	

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PROJECT NAME: LECCO RIDGE

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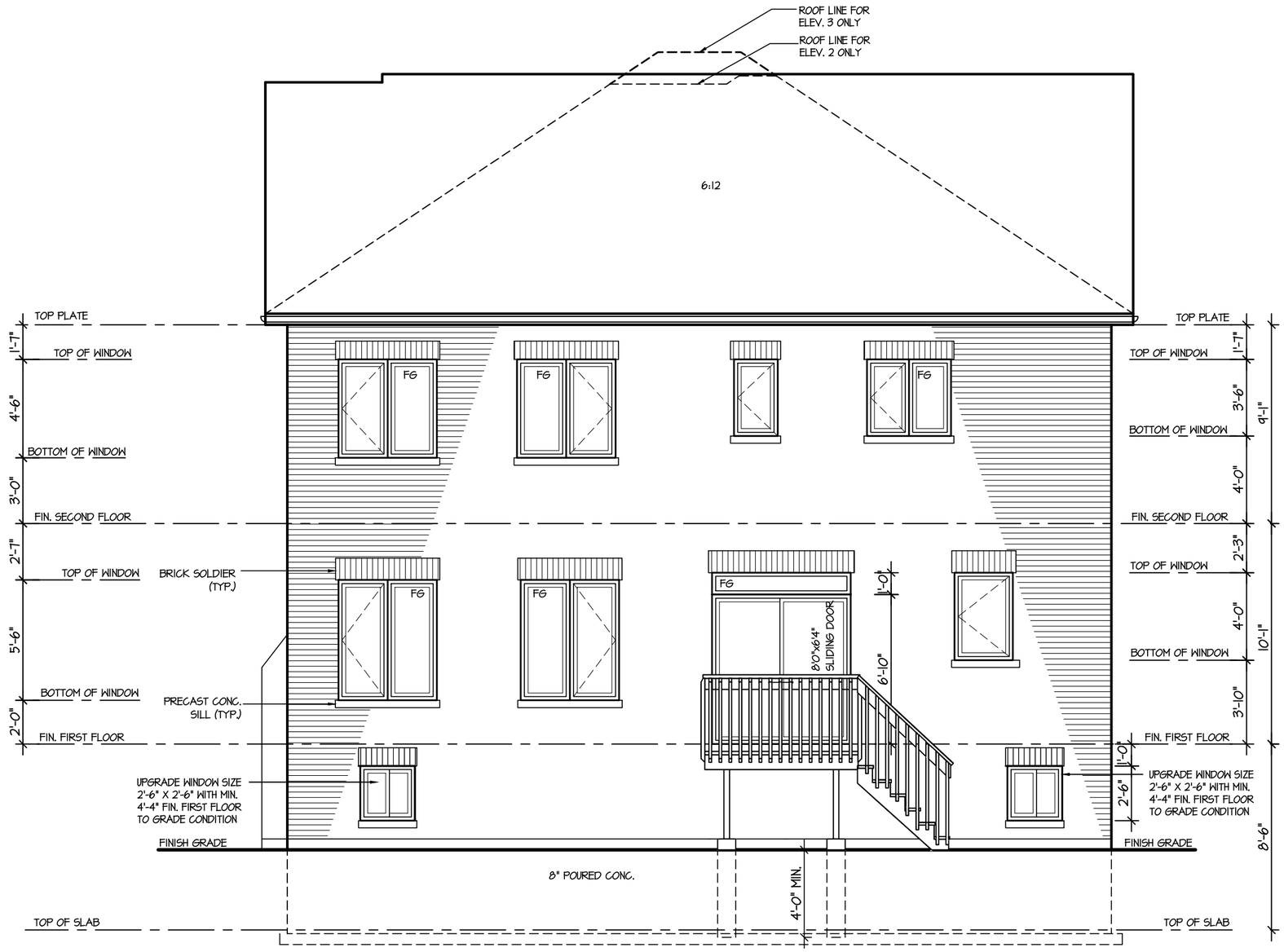

REAR ELEVATION 1, 2 & 3

DECK DETAILS
See standard details pages 8 and 8-2 for additional deck construction details

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SHEET TITLE: DECK ELEVATION

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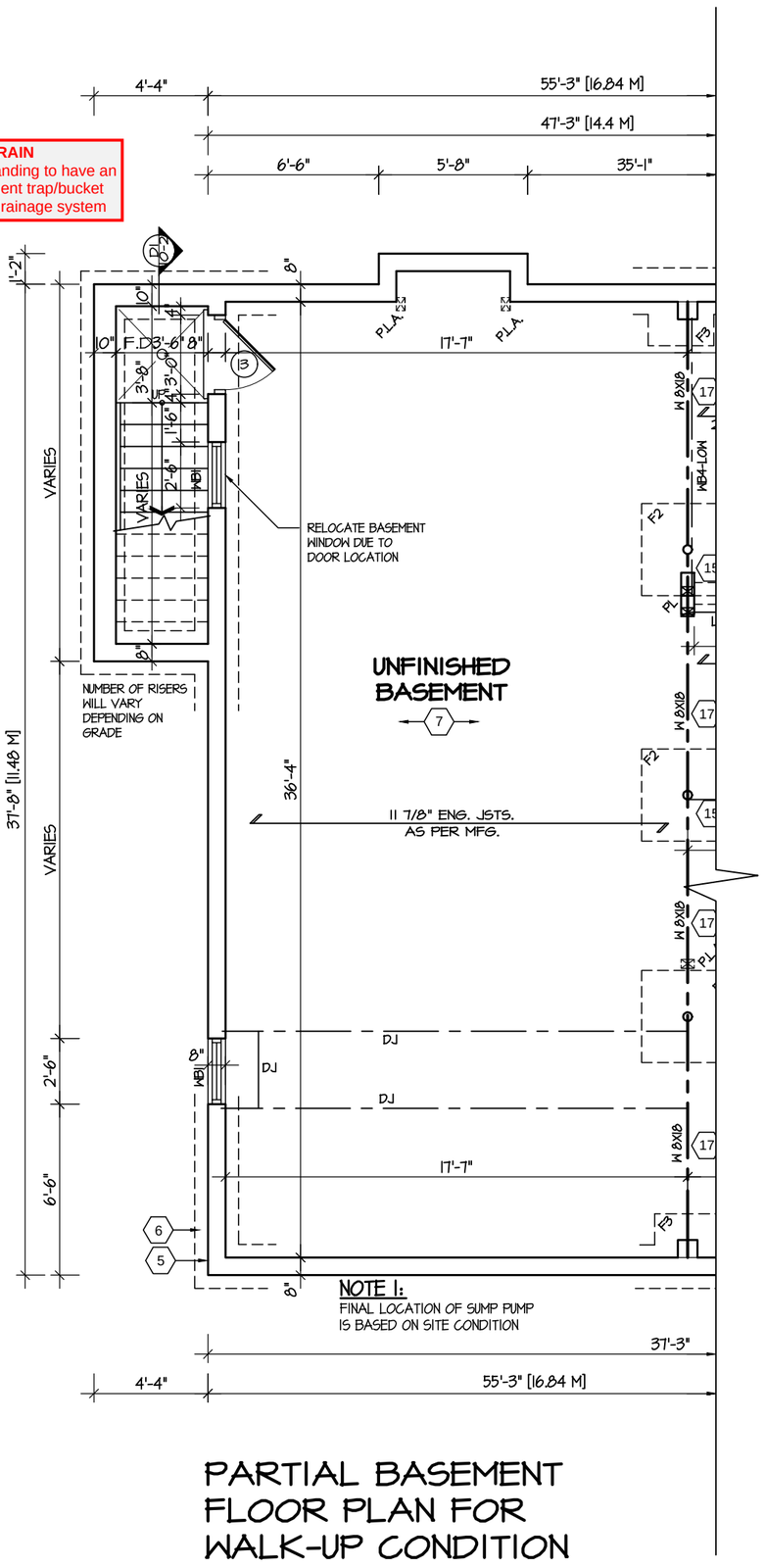
SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	V.G.	3093	9-2
DATE: JUL 2016	TYPE	PROJECT: 02-10-08	

Greenpark™

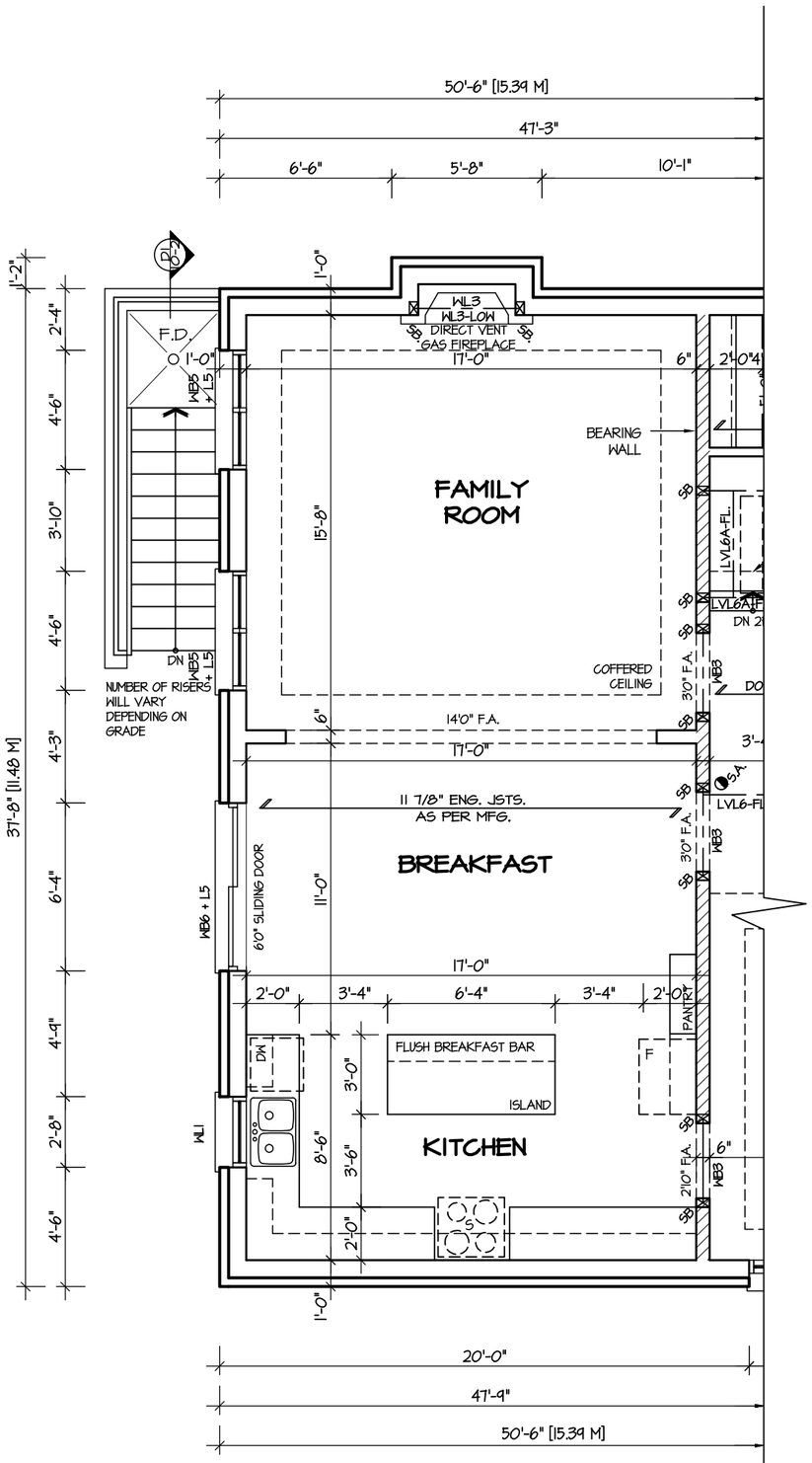
PROJECT NAME: LECCO RIDGE

WALKOUT AREA DRAIN
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system

WALKOUT BSMT. INSULATION
See standard details page 12 for required perimeter slab insulation for walkout basement condition



PARTIAL BASEMENT FLOOR PLAN FOR WALK-UP CONDITION



PARTIAL FIRST FLOOR PLAN FOR WALK-UP CONDITION

JUNIPER 7
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	SEP 2016

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: WALK-UP PLANS

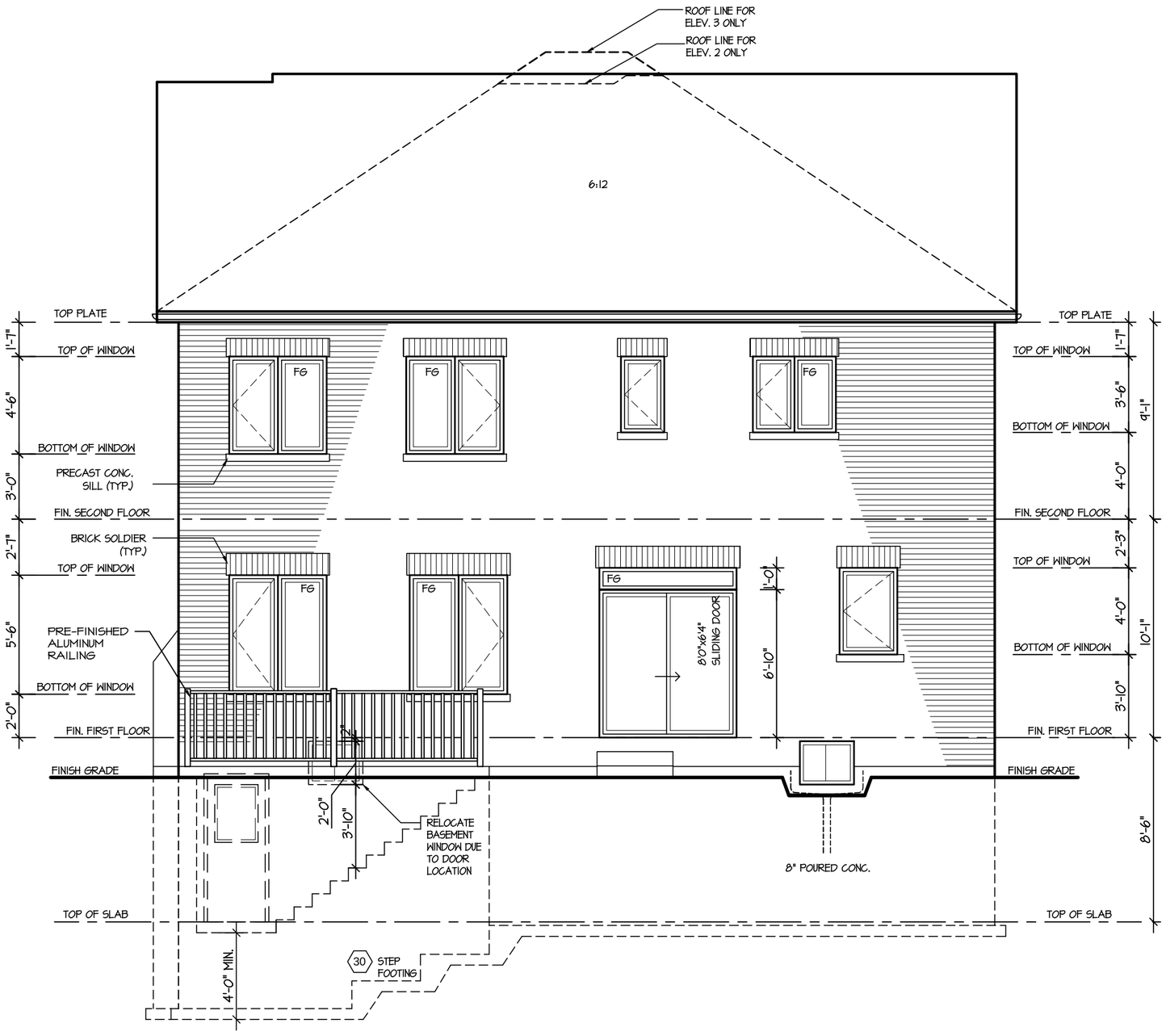
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	ZMP	3093	10
DATE	TYPE	PROJECT	
JAN 2017		02-10-08	

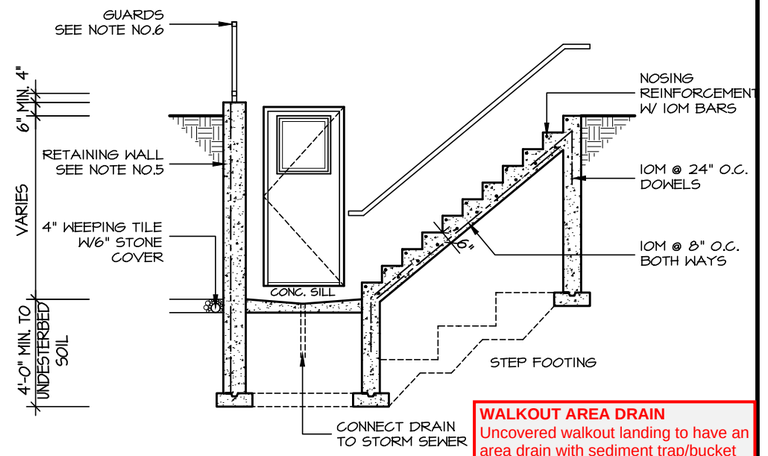
Greenpark™

PROJECT NAME: LECCO RIDGE

March 30, 2017 9:58:39 AM M:\PROJECTS\LECCO RIDGE - MILTON\STANDARD PLANS\JUNIPER 7\ACAD-JUNIPER 7 MASTER.DWG



REAR ELEVATION FOR WALK-UP CONDITION



SECTION

WALKOUT AREA DRAIN
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system

GENERAL NOTES:

1. FOOTING
   24"X8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE
   MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS
   7 7/8" RISE MAXIMUM
   8 1/4" RUN MINIMUM
   9 1/4" TREAD MINIMUM
4. INSULATION
   FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
5. RETAINING WALL
   10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0". 15M HORIZONTAL & VERTICAL REINFORCEMENT @ 12" O.C. EACH FACE FOR WALL HEIGHTS FROM 7'-0" TO 9'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
6. GUARDS
   3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

D1 - EXTERIOR WALKUP STAIRS DETAILS

WALKOUT BSMT. INSULATION
See standard details page 12 for required perimeter slab insulation for walkout basement condition

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 7
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 7 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 7
ENERGY STAR

5.		
4.		
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1.	ISSUED FOR REVIEW	SEP 2016

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SHEET TITLE: WALK-UP ELEVATION

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SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	ZMP	3093	10-2
DATE: JAN 2017	TYPE	PROJECT: 02-10-08	

Greenpark™

PROJECT NAME: LECCO RIDGE

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