

Strip Footings -
For Singles & Semis up to 2 storey

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
Assume the larger footing size
when two conditions apply

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

Pad Footings

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

Brick Veneer Lintels

WL1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3'-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3'-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

Wood Lintels and Beams

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

Loose Steel Lintels

L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L)
L2 = 4"x3'-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3'-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3'-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

Door Schedule

NOS.	WIDTH	HEIGHT 8'-0" OR MORE	HEIGHT 8'-0" OR MORE	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

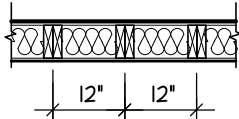
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINISH GRADING PLAN.

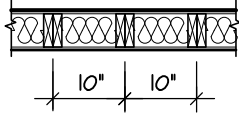
REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS
18'-0" AND MAXIMUM SUPPORTED LENGTH OF
TRUSS IS 40'-0"
TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

JUNIPER 6		ELEV.1		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	789.43	73.34	118.93	11.05	15.07 %
LEFT SIDE	1051.44	98.24	82.67	7.68	7.82 %
RIGHT SIDE	1051.45	98.24	45.33	4.21	4.29 %
REAR	718.45	72.32	162.36	15.08	20.86 %
TOTAL	3682.71	342.14	409.29	38.02	11.11 %

JUNIPER 6		ELEV.2			ENERGY STAR
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	789.43	73.34	92.02	8.55	11.66 %
LEFT SIDE	1051.45	98.24	80.00	7.43	7.57 %
RIGHT SIDE	1051.45	98.24	45.33	4.21	4.29 %
REAR	718.45	72.32	162.36	15.08	20.86 %
TOTAL	3682.78	342.14	379.71	35.28	10.31 %

JUNIPER 6		ELEV.3		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	789.43	73.34	139.51	12.96	17.67 %
LEFT SIDE	1051.45	98.24	82.67	7.68	7.82 %
RIGHT SIDE	1051.45	98.24	45.33	4.21	4.29 %
REAR	718.45	72.32	162.36	15.08	20.86 %
TOTAL	3682.78	342.14	429.87	39.94	11.67 %

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1394	Sq. Ft.
SECOND FLOOR AREA	=	1611	Sq. Ft.
TOTAL FLOOR AREA	=	3005	Sq. Ft.
		279.17	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	102	Sq. Ft.
ADD TOTAL OPEN AREAS	=	102	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3107	Sq. Ft.
		288.65	Sq. M.
GROUND FLOOR COVERAGE	=	1394	Sq. Ft.
GARAGE COVERAGE / AREA	=	397	Sq. Ft.
PORCH COVERAGE / AREA	=	68	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1859	Sq. Ft.
		172.71	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1791	Sq. Ft.
		166.39	Sq. m.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 6 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 13, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE

ZONING: APPROVED
ROBIN CAMPBELL APR 22, 2017
ZONING OFFICER DATE

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1394	Sq. Ft.
SECOND FLOOR AREA	=	1611	Sq. Ft.
TOTAL FLOOR AREA	=	3005	Sq. Ft.
		279.17	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	102	Sq. Ft.
ADD TOTAL OPEN AREAS	=	102	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3107	Sq. Ft.
		288.65	Sq. M.
GROUND FLOOR COVERAGE	=	1394	Sq. Ft.
GARAGE COVERAGE / AREA	=	397	Sq. Ft.
PORCH COVERAGE / AREA	=	68	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1859	Sq. Ft.
		172.71	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1791	Sq. Ft.
		166.39	Sq. m.

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1394	Sq. Ft.
SECOND FLOOR AREA	=	1623	Sq. Ft.
TOTAL FLOOR AREA	=	3017	Sq. Ft.
		280.29	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	102	Sq. Ft.
ADD TOTAL OPEN AREAS	=	102	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3119	Sq. Ft.
		289.76	Sq. M.
GROUND FLOOR COVERAGE	=	1394	Sq. Ft.
GARAGE COVERAGE / AREA	=	397	Sq. Ft.
PORCH COVERAGE / AREA	=	72	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1863	Sq. Ft.
		173.08	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1791	Sq. Ft.
		166.39	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
2012 ENERGY STAR V-12.1	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 29/01/14)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs



FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

JUNIPER 6
ENERGY STAR



PROJECT NAME
LECCO RIDGE

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE BCIN
28770

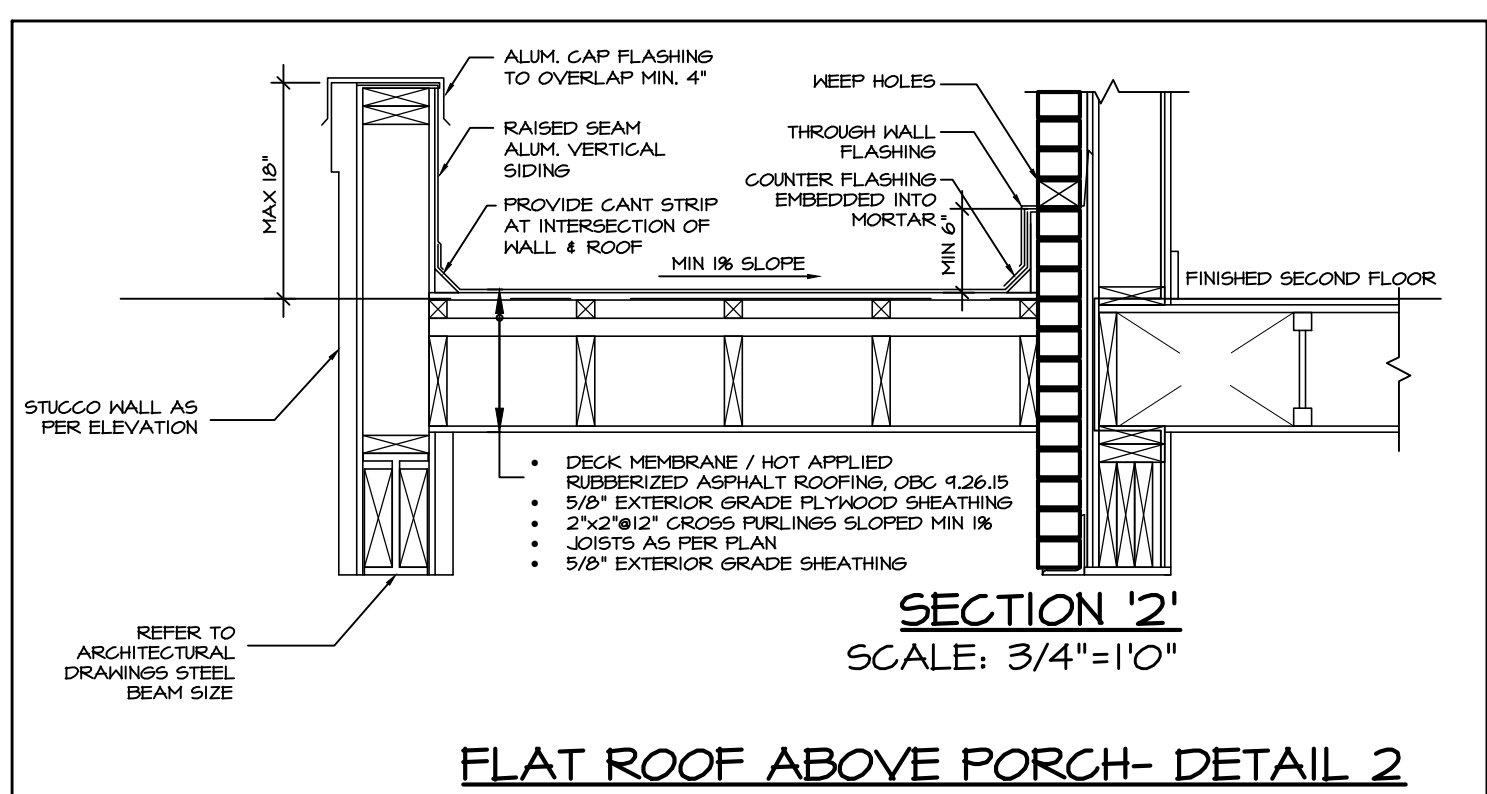
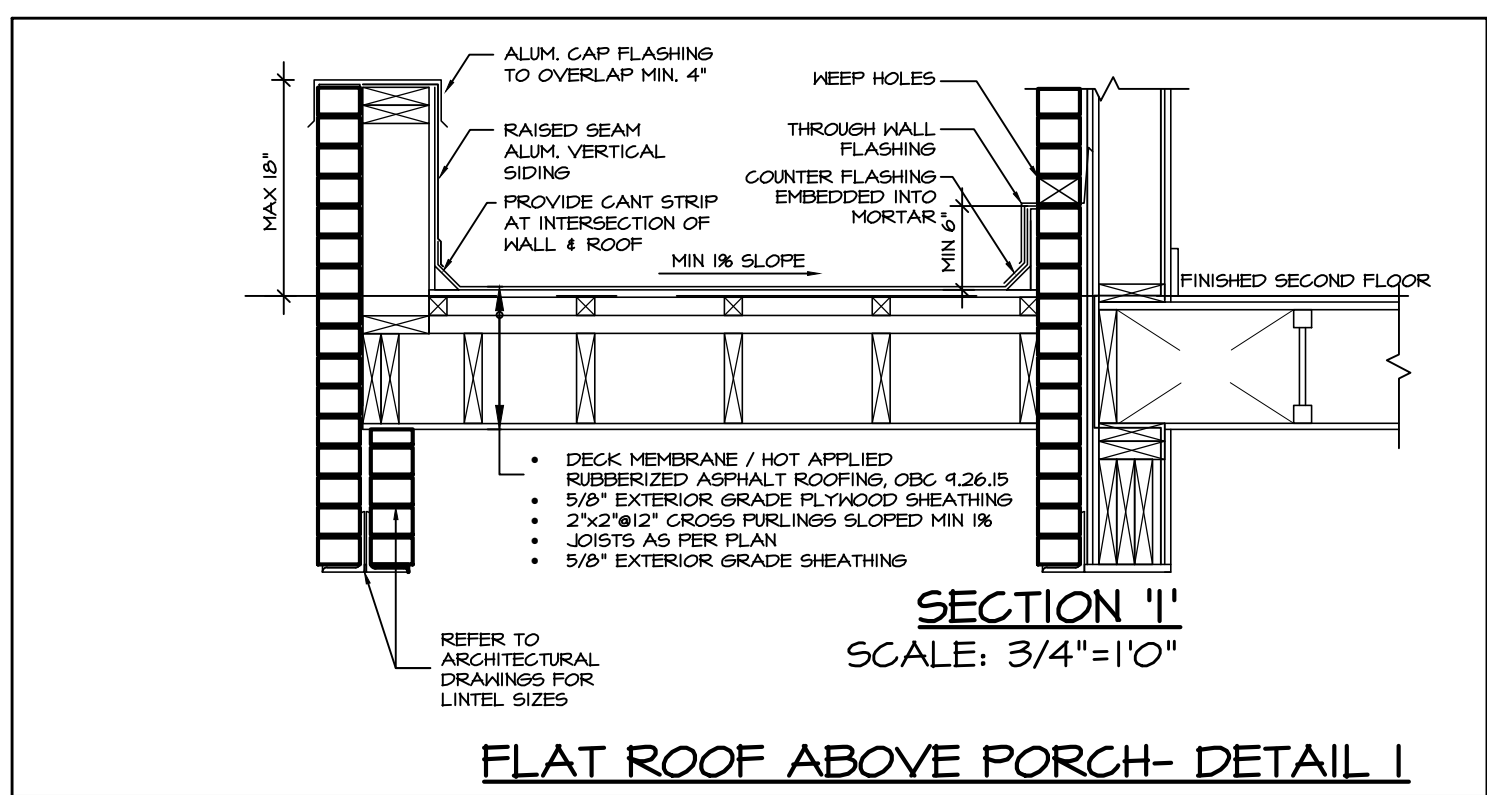
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.


SHEET TITLE	
AREA CHARTS	
SCALE	3/16"=1'-0"
DATE	JUL 2016
BY	BK
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA	3107	PAGE No.
			0
	PROJECT	02-10-07	

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



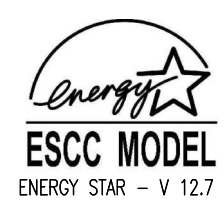
STRUDET INC.



FOR STRUCTURE ONLY

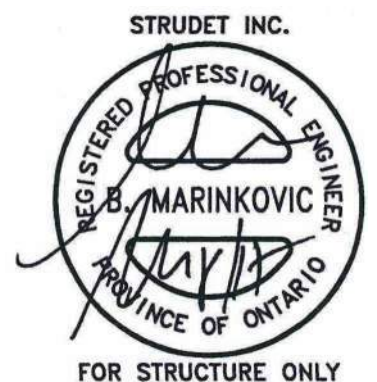
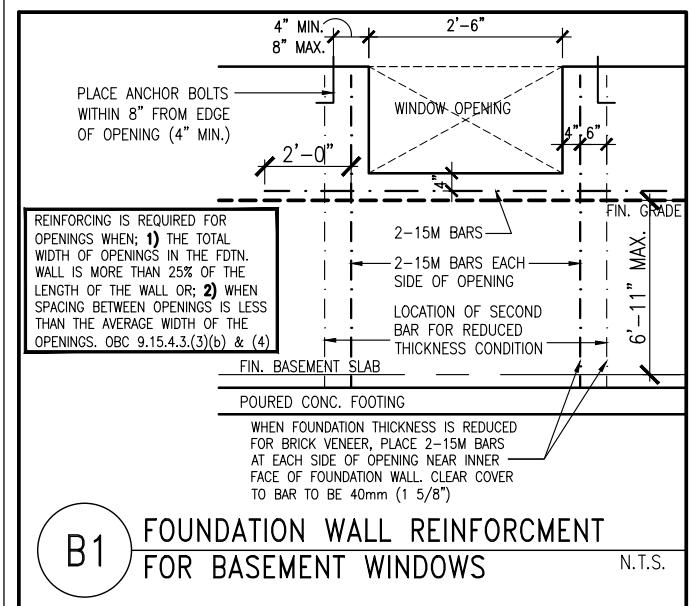
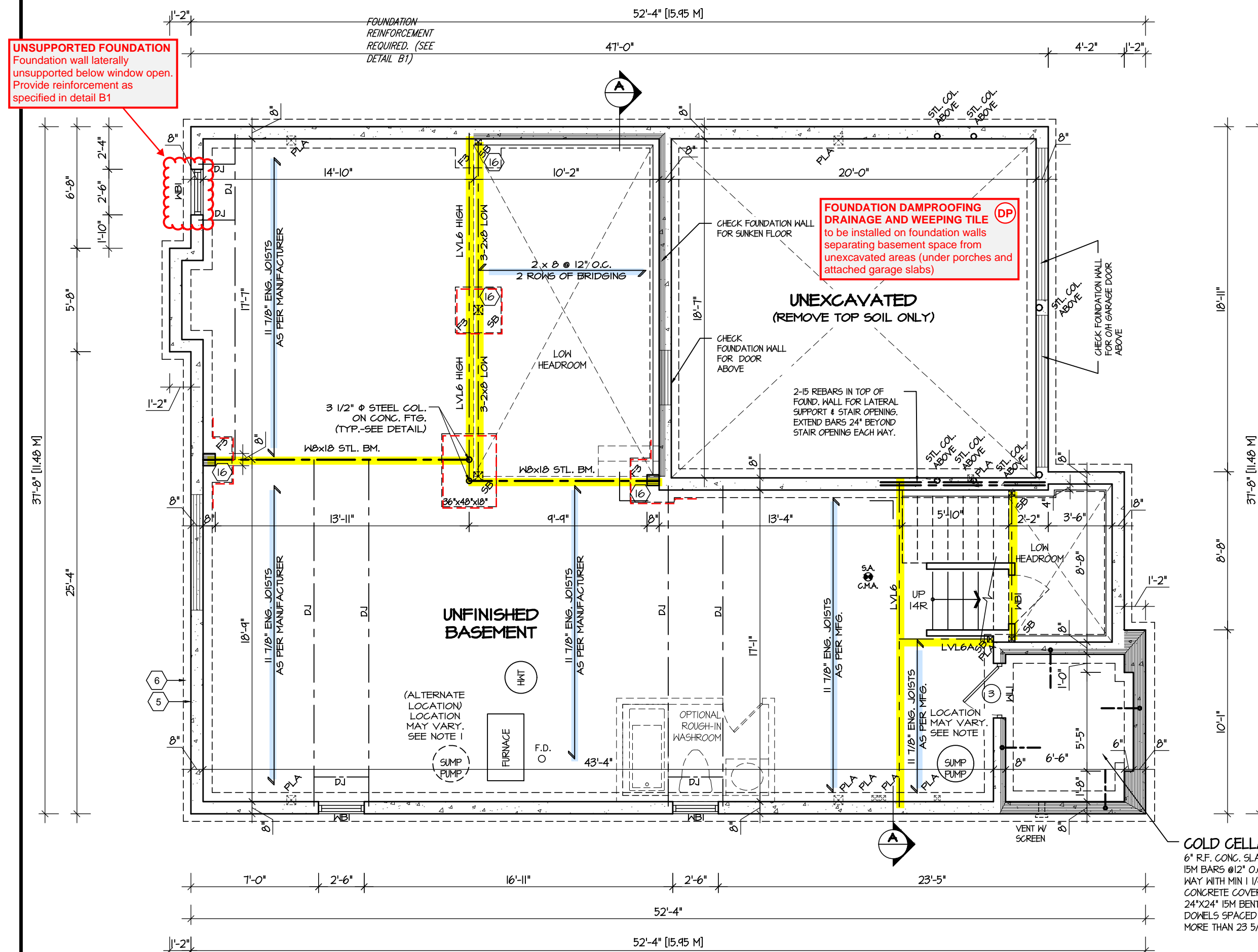
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JUNIPER 6
ENERGY STAR

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div>
4.					FLAT ROOF DETAIL				
3.					SCALE	BY	AREA	PAGE No.	
2.					3/16"=1'-0"	BK	3107	0-2	
1.	ISSUED FOR REVIEW				JUL 2016	DATE	TYPE	PROJECT	
REVISIONS			JUL 2016		02-10-07				



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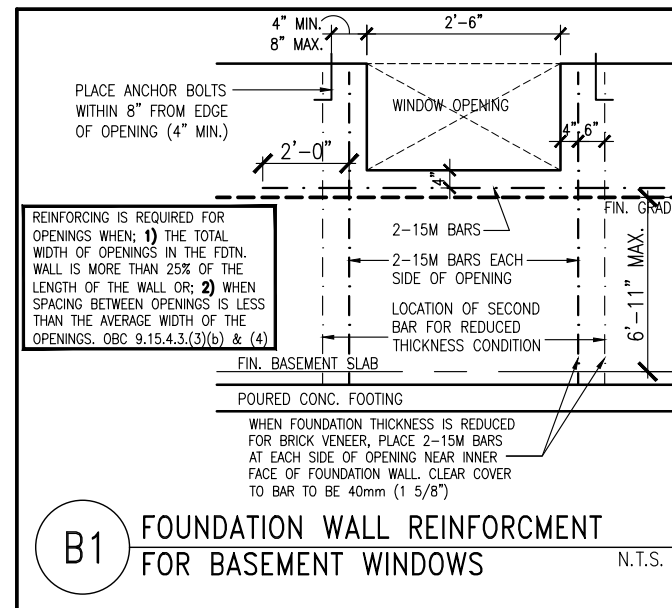
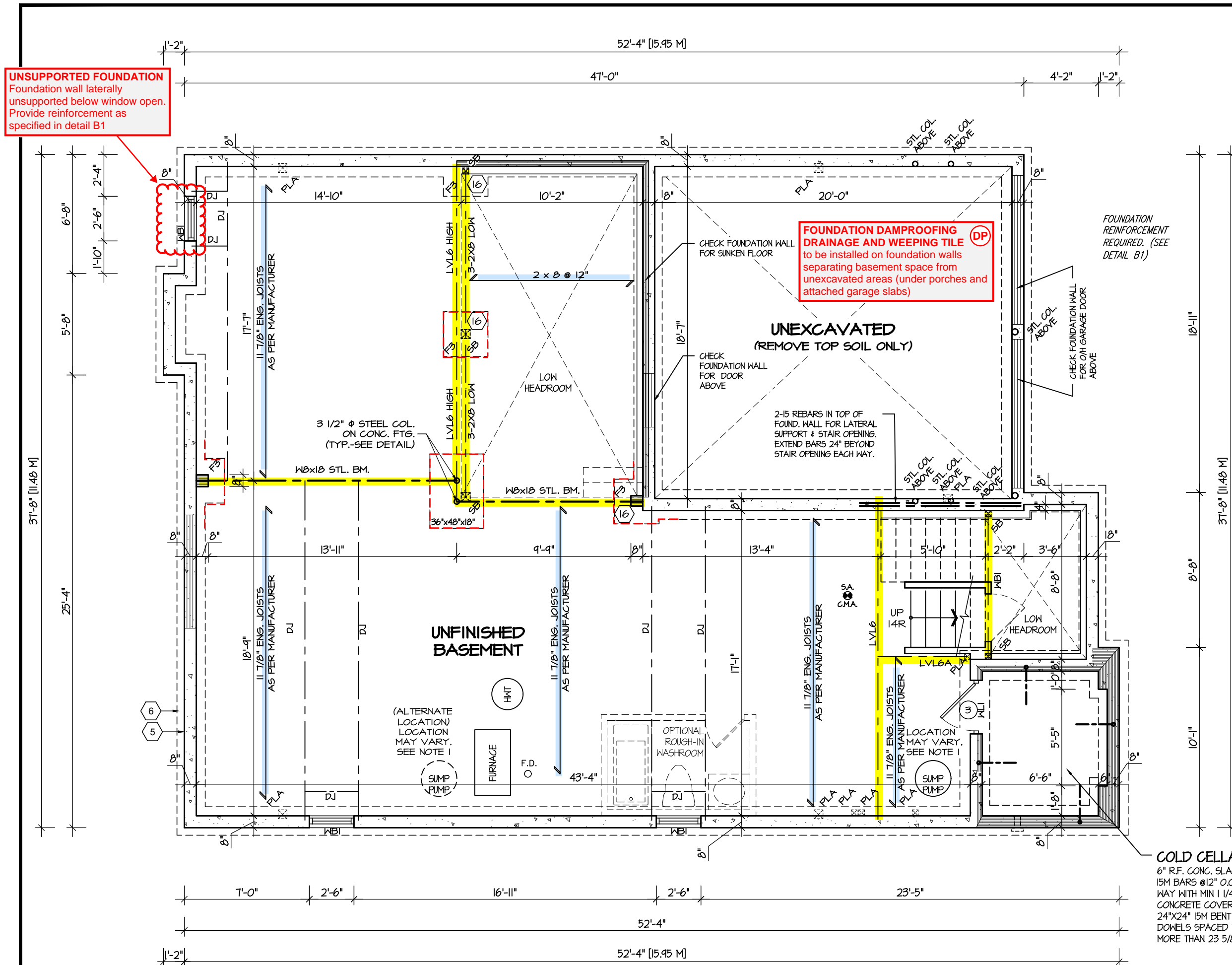
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 6
ENERGY STAR

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4.						BASEMENT PLAN				
3.						ELEV. 1				
2.						SCALE	BY	AREA	PAGE No.	
1.	ISSUED FOR REVIEW	JUL 2016				3/16"=1'-0"	BK	3107	1	
REVISIONS			DATE	TYPE	PROJECT	PROJECT NAME				
			JUL 2016		02-10-07	LECCO RIDGE				

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

JUNIPER 6
ENERGY STAR



PROJECT NAME
LECCO RIDGE

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	JUL 2016

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE

28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
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P (416) 736-4096
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REGION DESIGN INC.

SHEET TITLE
BASEMENT PLAN
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JUL 2016

BY
BK

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3107

PAGE No.
1-2

PROJECT
02-10-07

UNSUPPORTED FOUNDATION
Foundation wall laterally unsupported below window open. Provide reinforcement as specified in detail B1

**FOUNDATION DAMPROOFING
DRAINAGE AND WEEPING TILE** (DP)
to be installed on foundation walls
separating basement space from
unexcavated areas (under porches and
attached garage slabs)

The diagram illustrates the reinforcement requirements for foundation walls with basement windows. It shows a cross-section of a wall with a window opening. Key dimensions and components include:

- Window Opening Dimensions:** The opening is 2'-6" wide and 2'-0" high. The distance from the edge of the opening to the centerline of the wall is 4" MIN. and 8" MAX.
- Reinforcement Details:**
 - 2-15M BARS are provided on each side of the opening.
 - 2-15M BARS are provided for the reduced thickness condition of the foundation wall.
 - The location of the second bar for the reduced thickness condition is indicated.
- Foundation Wall Thickness:** The wall thickness is 6'-11" MAX.
- Reinforcement Requirements:**
 - REINFORCING IS REQUIRED FOR OPENINGS WHEN:
 - 1) THE TOTAL WIDTH OF OPENINGS IN THE FDTN. WALL IS MORE THAN 25% OF THE LENGTH OF THE WALL OR;
 - 2) WHEN SPACING BETWEEN OPENINGS IS LESS THAN THE AVERAGE WIDTH OF THE OPENINGS. OBC 9.15.4,3.(3)(b) & (4)
- Foundation Details:**
 - FIN. BASEMENT SLAB
 - POURED CONC. FOOTING
 - WHEN FOUNDATION THICKNESS IS REDUCED FOR BRICK VENEER, PLACE 2-15M BARS AT EACH SIDE OF OPENING NEAR INNER FACE OF FOUNDATION WALL. CLEAR COVER TO BAR TO BE 40mm (1 5/8")

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

JUNIPER 6

ENERGY STAR



PROJECT NAME **LECCO RIDGE**

March 24	2017	11:40:28 AM	M:\PROJECTS\ECCO RIDGE - MILL TON\STANDARD PLAN\IIPER 6\ACAD-IIPER 6 MASTER DWG
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BASEMENT PLAN ELEV. 3

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR
SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS
FOR SPANS GREATER THAN 7'

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED
AND NAILED ON THIS FLOOR.

COLD CELLAR
6" R.F. CONC. SLAB WITH
15M BARS @12" O.C. EACH
WAY WITH MIN 1 1/4"
CONCRETE COVER AND
24"x24" 15M BENT
DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

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QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

VIKAS GAJJAR	28770
NAME	SIGNATURE
	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE	BASEMENT PLAN ELEV. 3
-------------	--------------------------

SCALE	3/16"=1'-0"
DATE	JUL 2016

BY	BK
TYPE	

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER
PRINTS ARE NOT TO BE SCALED.

AREA	3107
PROJECT	02-10-07

1-3

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION

TALL WALL CONSTRUCTION DETAILS
See two storey height wall construction details on page 0 of this drawing set

= TALL WALL



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MAR 20 2017
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JUNIPER 6
ENERGY STAR



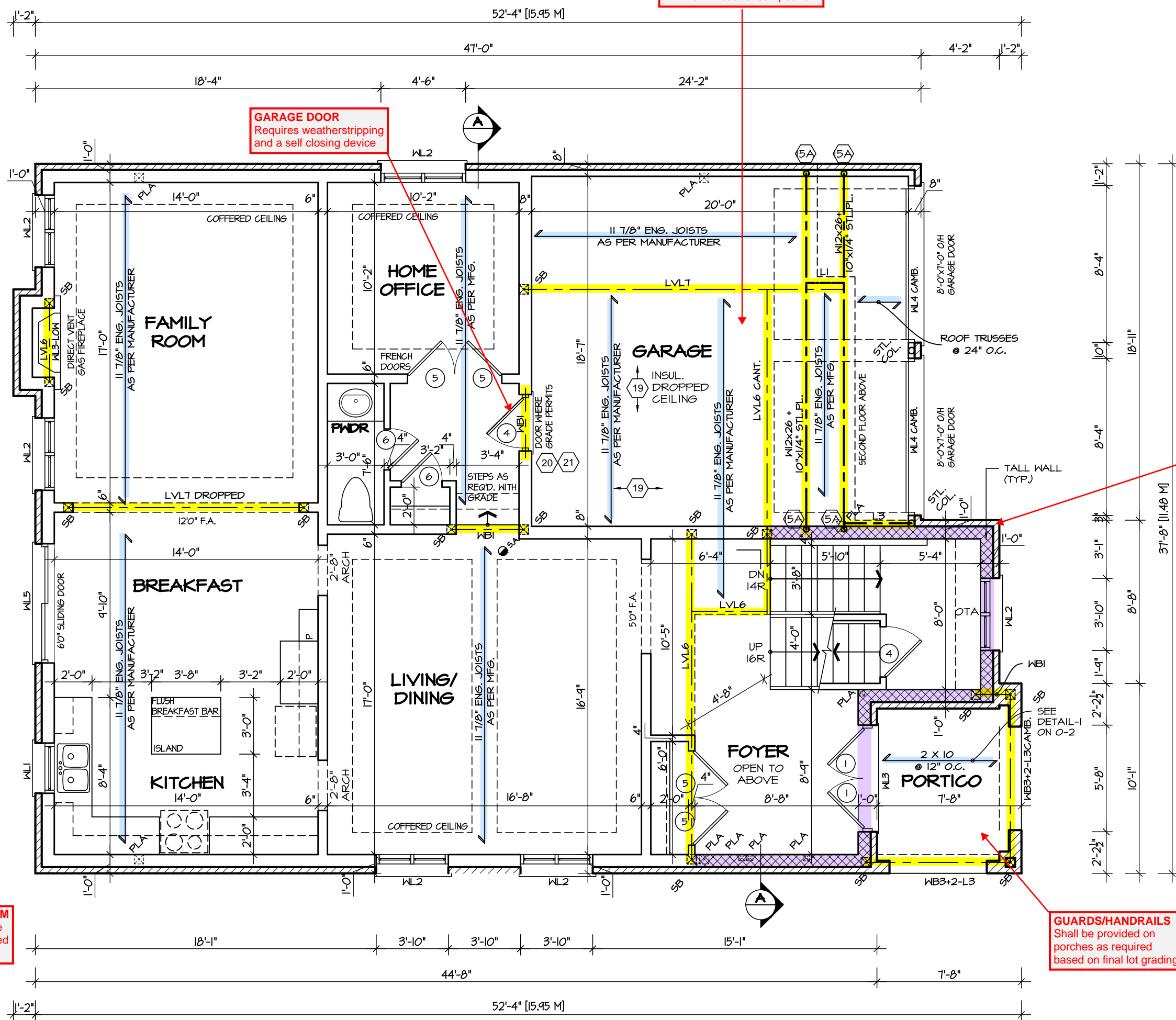
PROJECT NAME
LECCO RIDGE

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping and a self closing device

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout



FIRST FLOOR PLAN ELEV. 1

5.		
4.		
3.		
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SHEET TITLE
FIRST FLOOR PLAN
ELEV. 1

SCALE
3/16"=1'-0"

DATE
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BY
BK

TYPE

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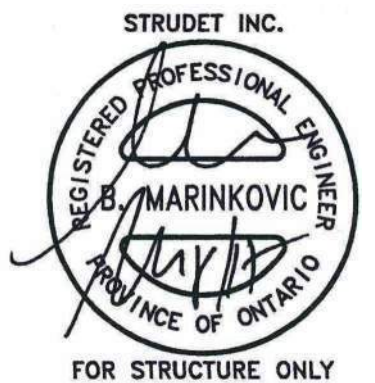
AREA
3107

PROJECT
02-10-07

PAGE No.
2

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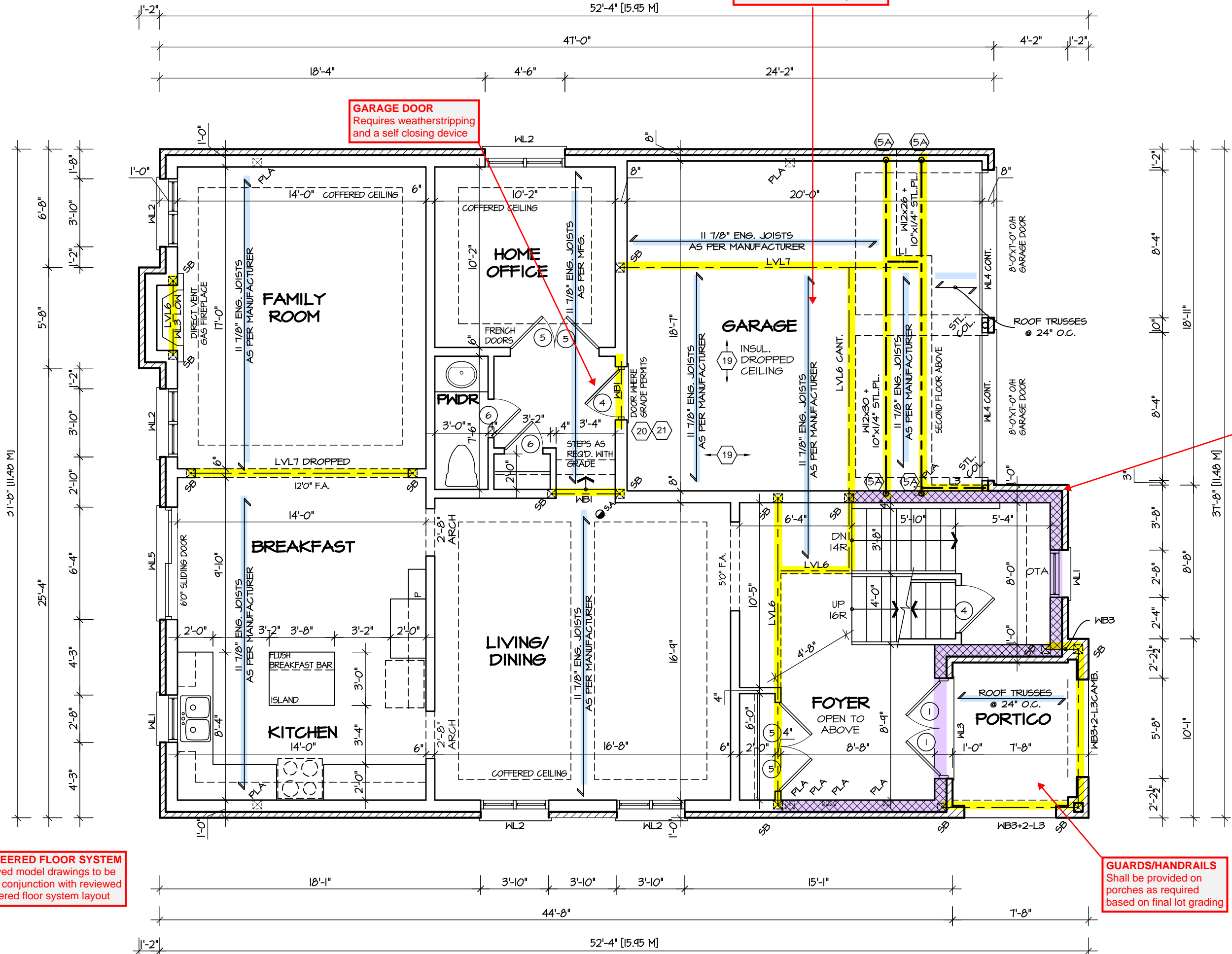
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REGION DESIGN INC.

FIRST FLOOR PLAN
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JUL 2016

BY
BK

TYPE

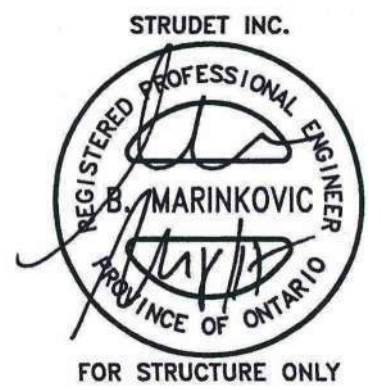
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AREA
3107

PAGE No.
2-2

PROJECT
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JUNIPER 6
ENERGY STAR



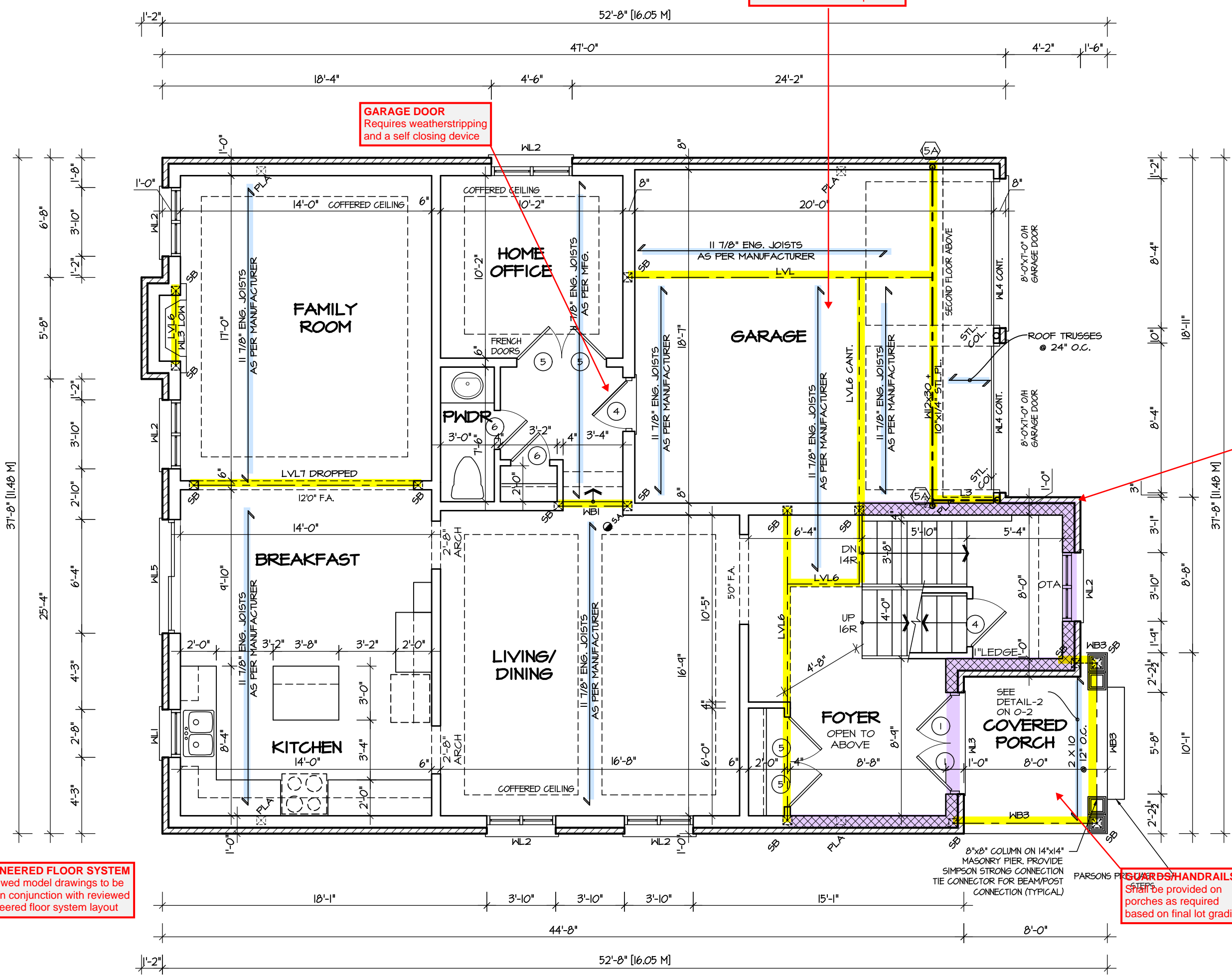
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FIRST FLOOR PLAN ELEV. 3

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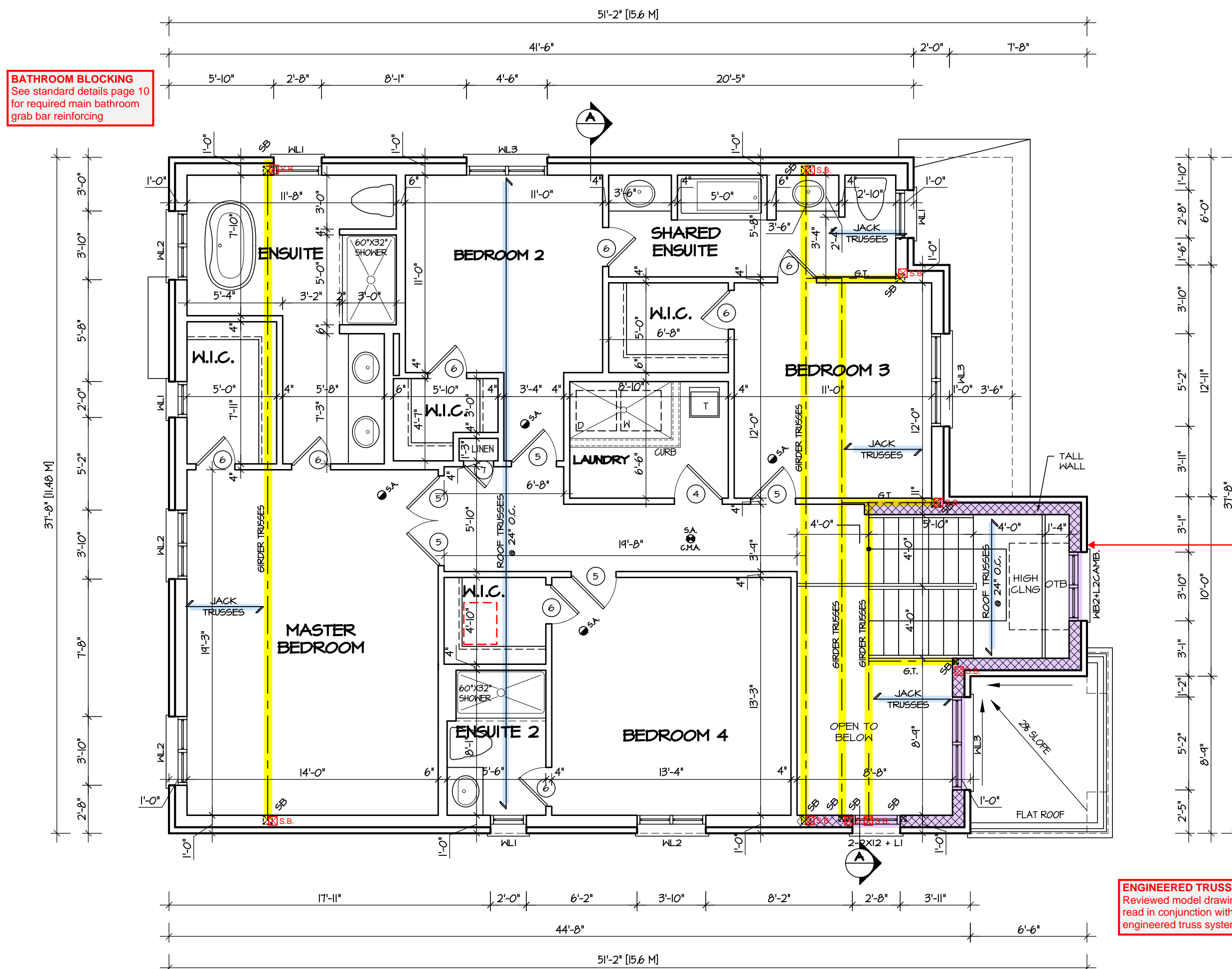
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SHEET TITLE
FIRST FLOOR PLAN
ELEV. 3
SCALE
3/16"=1'-0"
BY
BK
DATE
JUL 2016
TYPE

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AREA
3107
PAGE No.
2-3
PROJECT
02-10-07

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JUNIPER 6
BUILDING DIVISION



TALL WALL CONSTRUCTION DETAILS
See two storey height wall construction details on page 0 of this drawing set

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
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PROVINCE OF ONTARIO

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ARCHITECTURAL REVIEW & APPROVAL


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John G. Williams Limited, Architects

JUNIPER 6

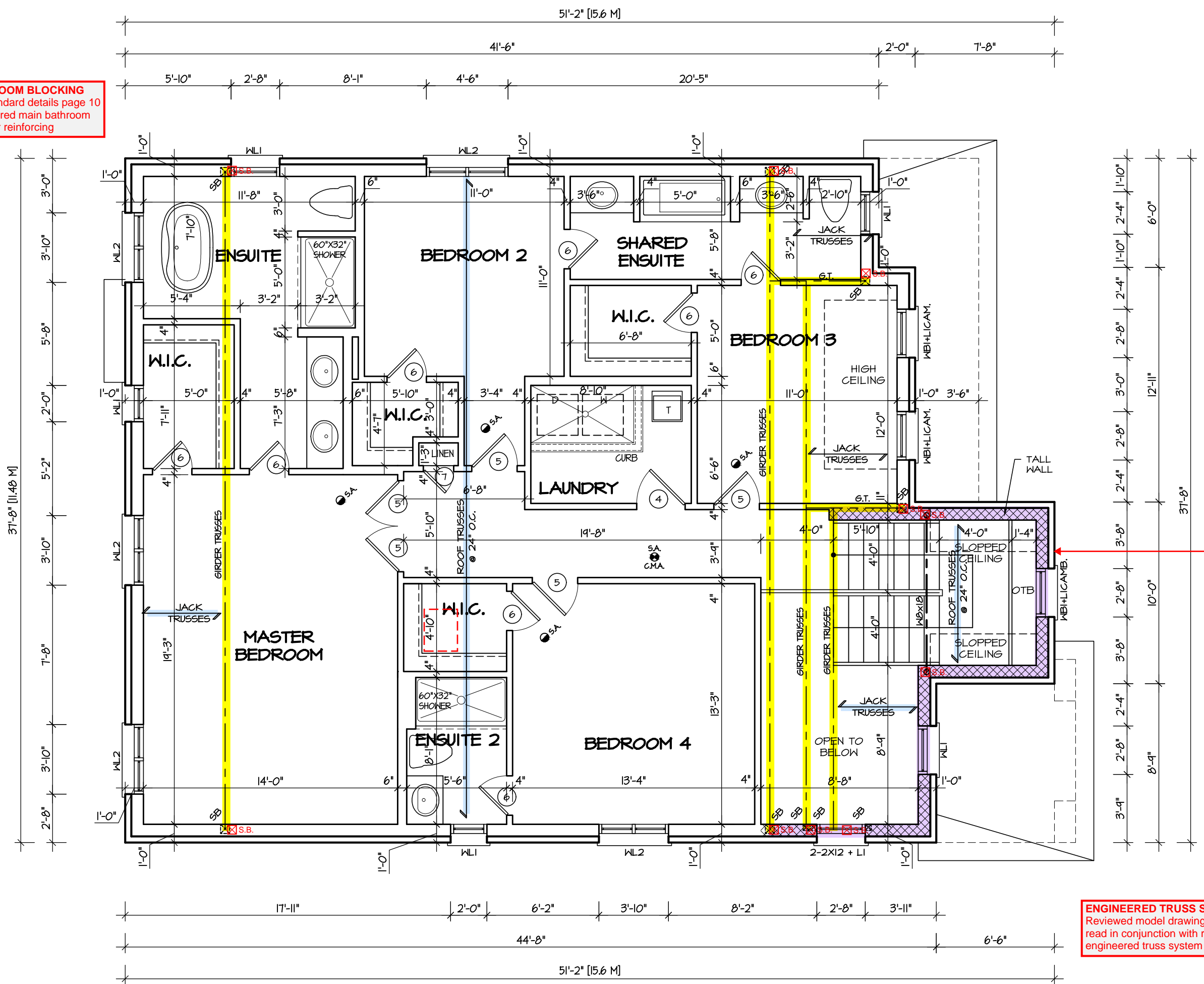
ENERGY STAR

SECOND FLOOR PLAN ELEV. 1

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4.						SECOND FLOOR PLAN					PROJECT NAME	
3.						ELEV. 1						LECCO RIDGE
2.						SCALE	BY	AREA	PAGE No.			
1.	ISSUED FOR REVIEW	JUL 2016				3/16"=1'-0"	BK	3107	3			
REVISIONS			DATE	TYPE	PROJECT							
			JUL 2016		02-10-07							

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION

BATHROOM BLOCKING
See standard details page 10
for required main bathroom
grab bar reinforcing



TALL WALL
= TALL WALL
TALL WALL CONSTRUCTION DETAILS
See two storey height wall construction
details on page 0 of this drawing set



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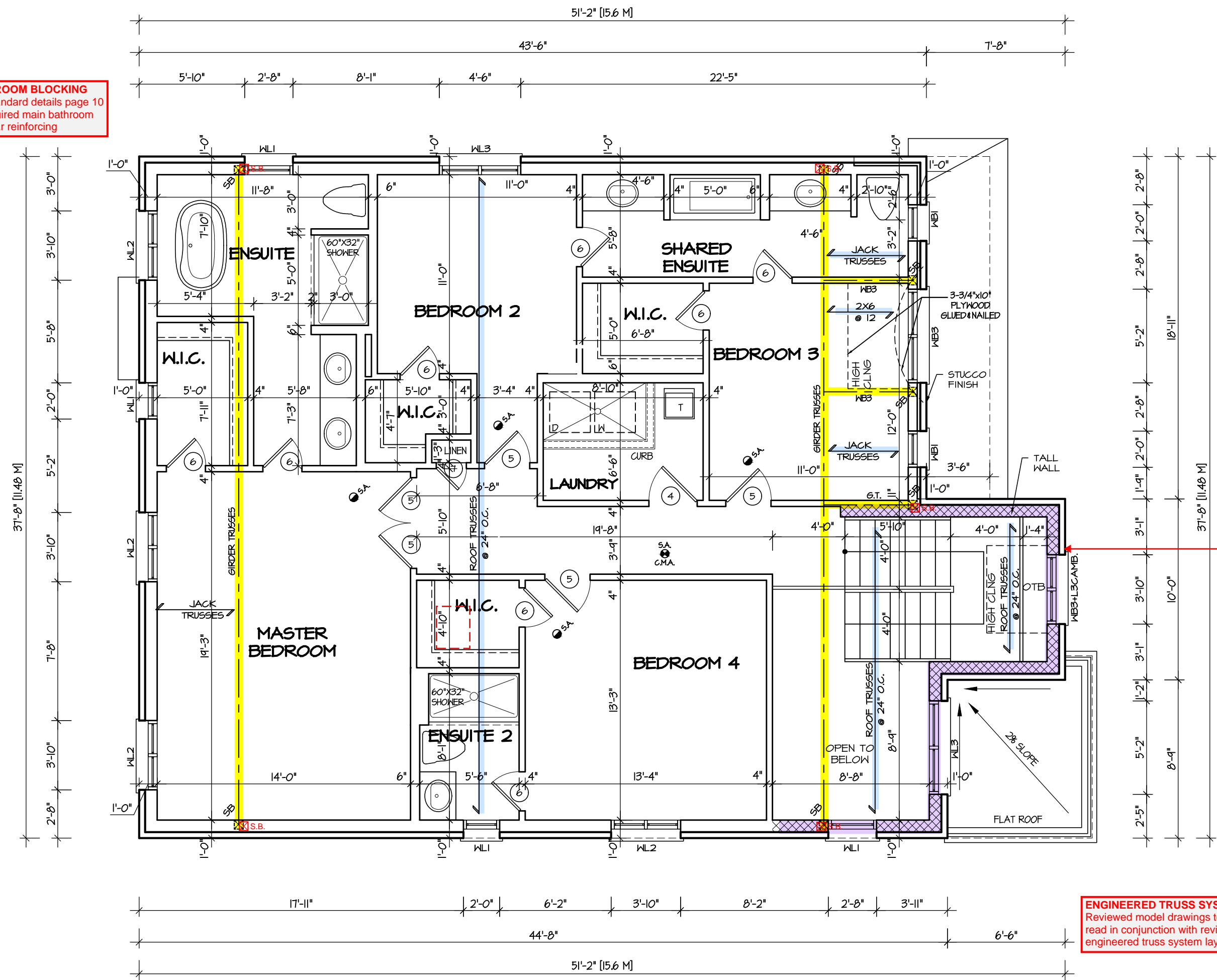
ENGINEERED TRUSS SYSTEM
Reviewed model drawings to be
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SECOND FLOOR PLAN ELEV. 2

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4.					SECOND FLOOR PLAN					PAGE No. 3-2
3.					ELEV. 2					
2.					SCALE 3/16"=1'-0"	BY BK	AREA 3107			
1.	ISSUED FOR REVIEW				JUL 2016	DATE JUL 2016	TYPE	PROJECT 02-10-07		
REVISIONS						PROJECT NAME LECCO RIDGE				

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION

BATHROOM BLOCKING
See standard details page 10
for required main bathroom
grab bar reinforcing



TALL WALL CONSTRUCTION DETAILS
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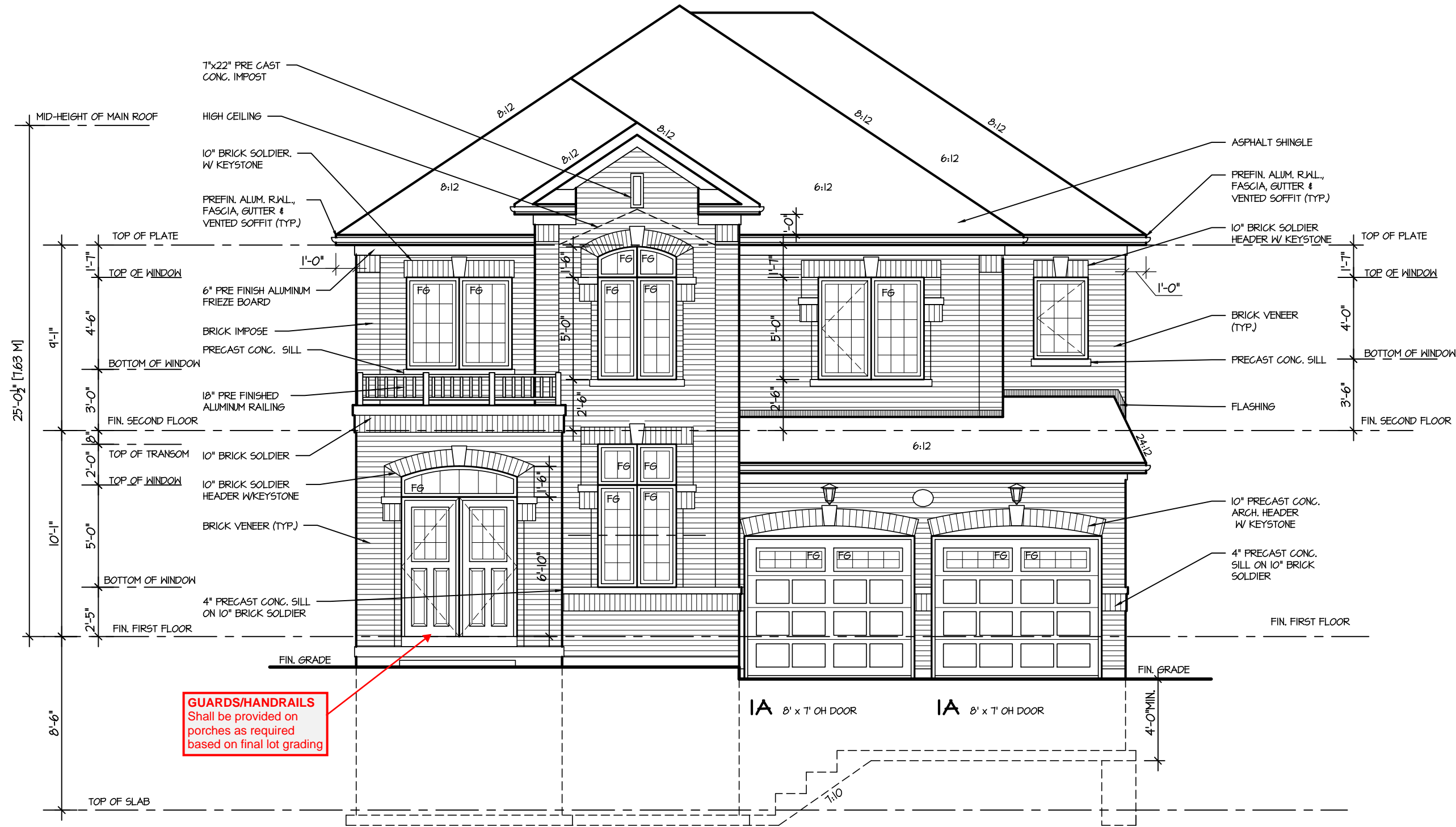
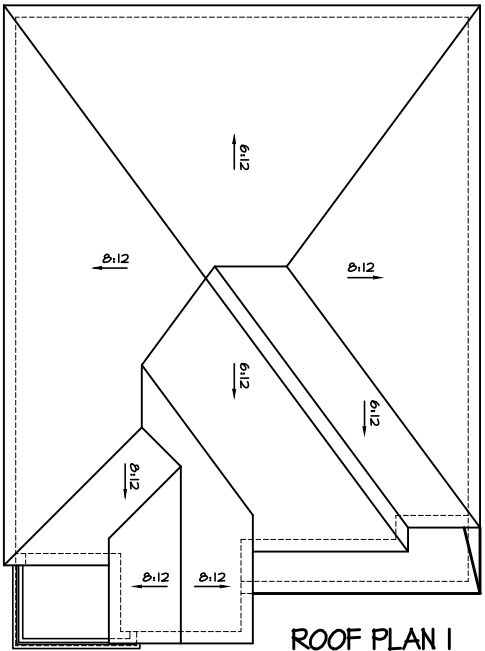
JUNIPER 6
ENERGY STAR

SECOND FLOOR PLAN ELEV. 3

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4.					SECOND FLOOR PLAN						
3.					ELEV. 3		SCALE 3/16"=1'-0"	BY BK		AREA 3107	PAGE No. 3-3
2.											
1.	ISSUED FOR REVIEW				JUL 2016	DATE JUL 2016					
REVISIONS									PROJECT NAME LECCO RIDGE		

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 6 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE
APR 13, 2017
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



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JUNIPER 6
ENERGY STAR

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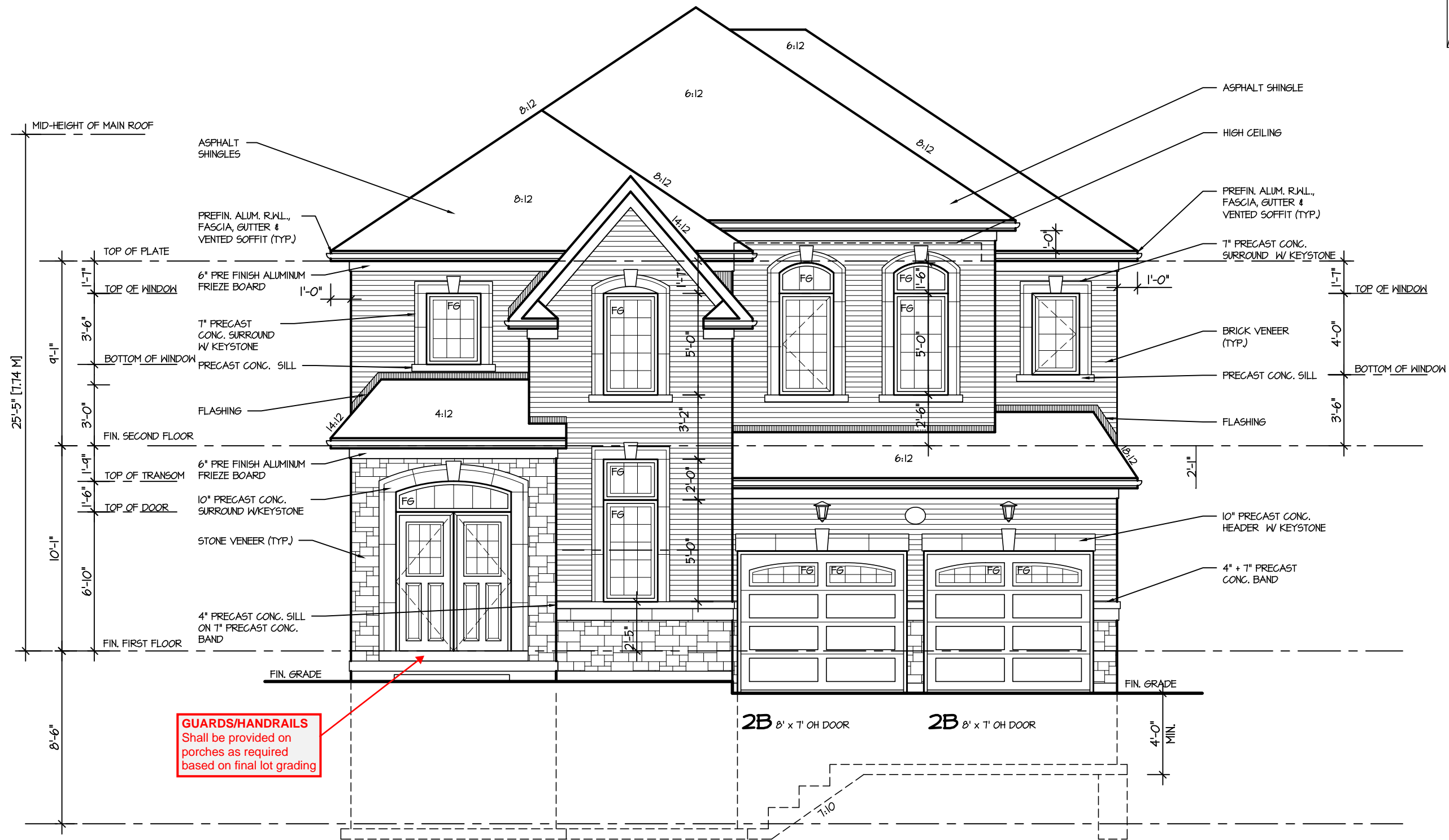
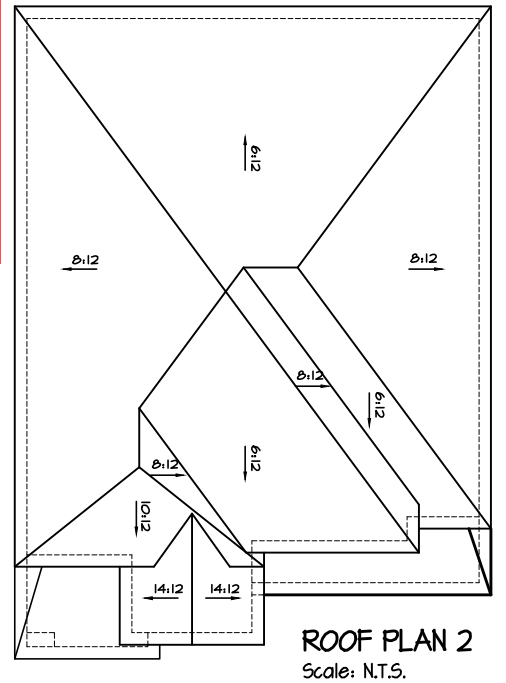
SHEET TITLE FRONT ELEVATION ELEV. 1	
SCALE 3/16"=1'-0"	BY BK
DATE JUL 2016	TYPE

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AREA 3107	PAGE No. 4
PROJECT 02-10-07	

PROJECT NAME LECCO RIDGE

RECEIVED
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MAR 29, 2017
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SHEET TITLE	
FRONT ELEVATION ELEV. 2	
SCALE 3/16"=1'-0"	BY BK
DATE JUL 2016	TYPE

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AREA 3107	PAGE No. 4-2
PROJECT 02-10-07	

PROJECT NAME LECCO RIDGE	
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RECEIVED
TOWN OF MILTON
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JUNIPER 6
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TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 6 MODEL

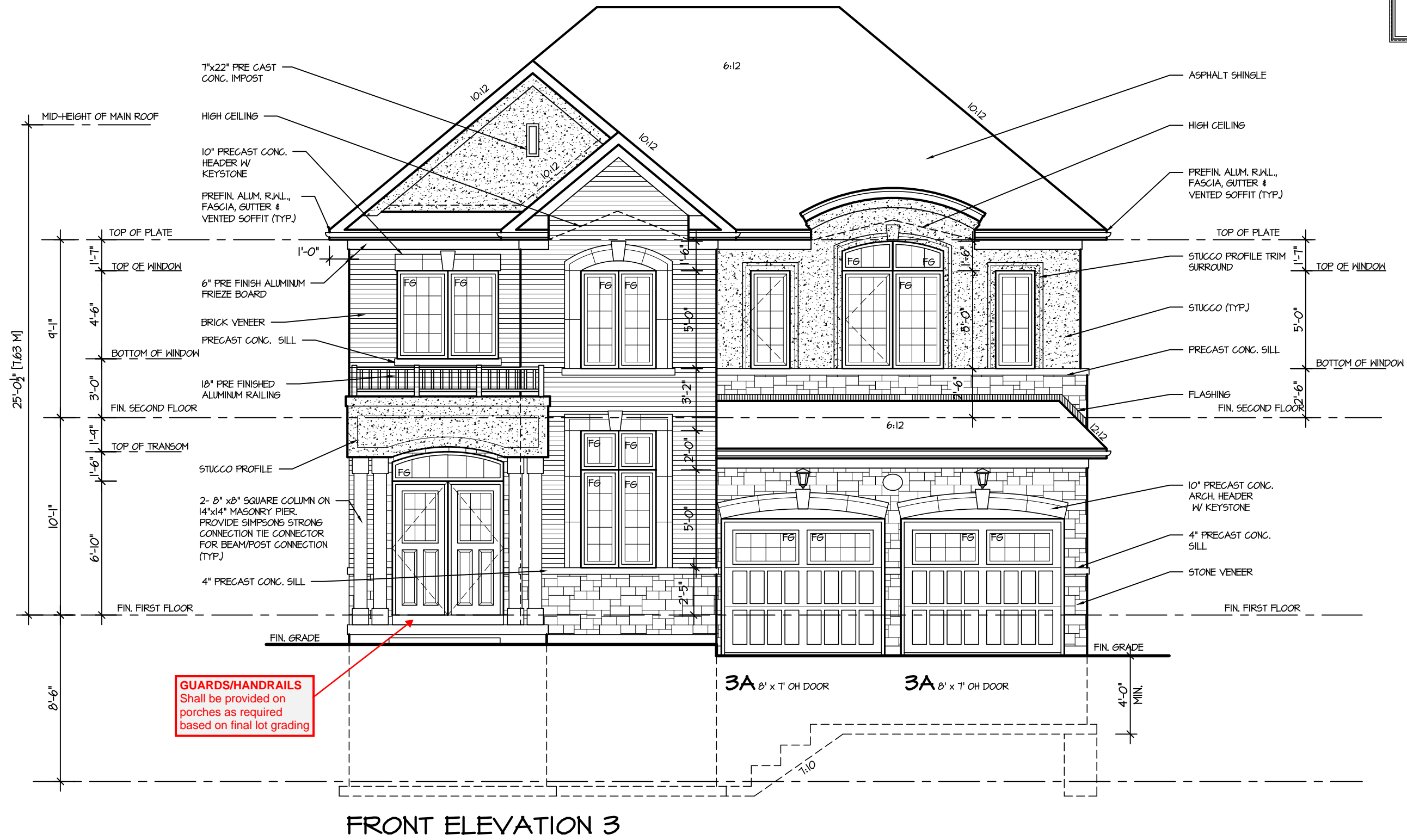
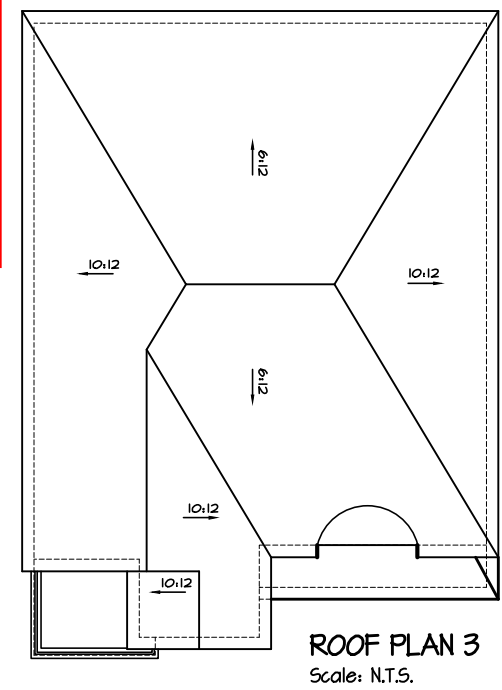
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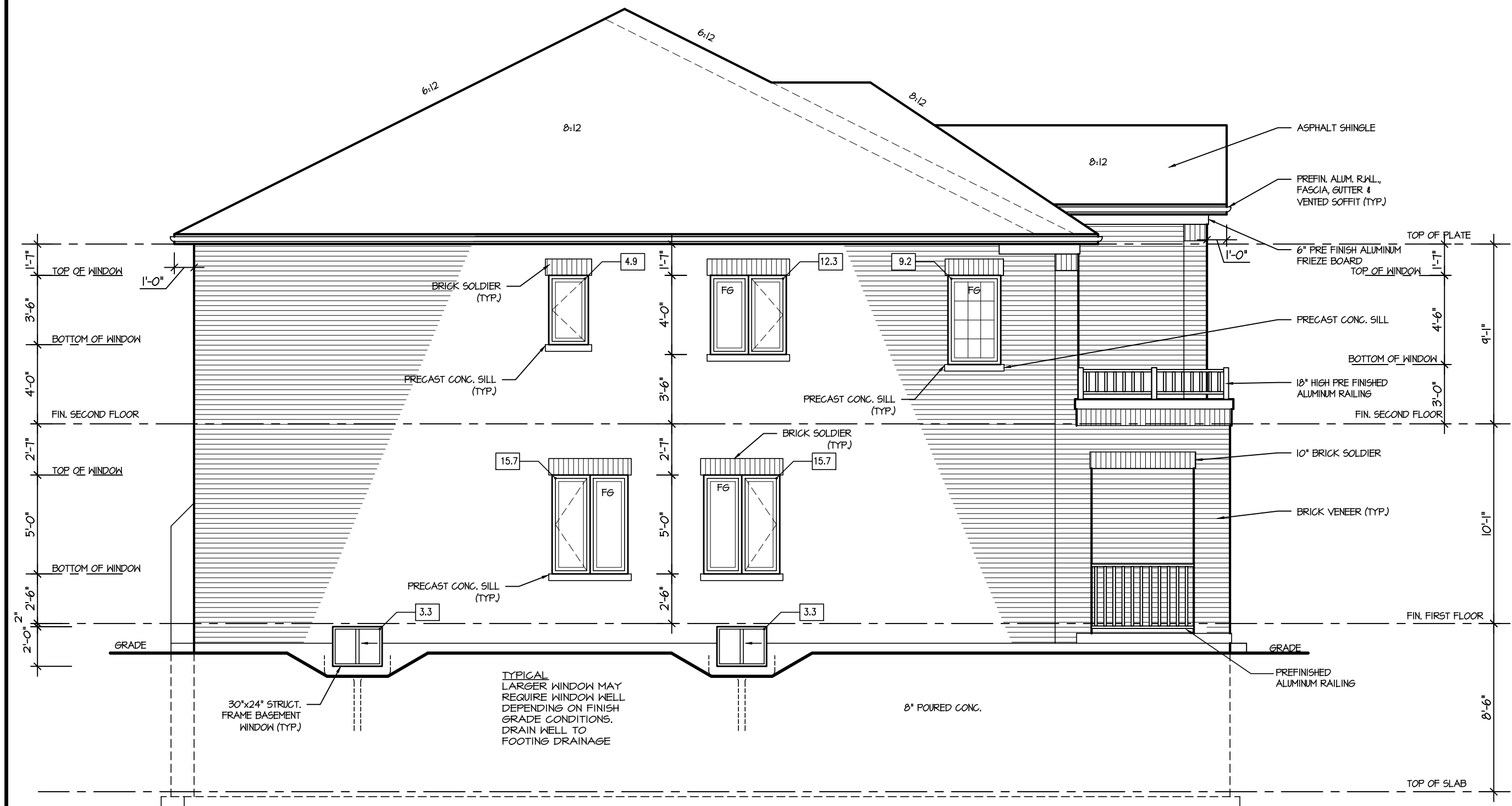
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4.					FRONT ELEVATION					PROJECT NAME
3.					ELEV. 3					
2.					SCALE	BY	AREA	PAGE No.	4-3	
1.	ISSUED FOR REVIEW				3/16"=1'-0"	BK	3107			
REVISIONS		DATE			TYPE	PROJECT				
		JUL 2016				02-10-07				

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



LEFT ELEVATION I

ALLOWABLE GLAZING

WALL AREA		1051.45
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)		74.02
ACTUAL WINDOW AREA		64.40

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 6
ENERGY STAR

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		LEFT SIDE ELEVATION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>LECCO RIDGE</div>
4.					ELEV. 1						
3.					SCALE	BY	AREA	PAGE No.			
2.					3/16"=1'-0"	BK	3107	5			
1.	ISSUED FOR REVIEW				JUL 2016	DATE	TYPE	PROJECT			
REVISIONS			JUL 2016		02-10-07						

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RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



ALLOWABLE GLAZING

WALL AREA		1057.45
ALLOWABLE WINDOW AREA @	7.00 % (1.2 M SIDEYARD)	74.02
ACTUAL WINDOW AREA		62.10

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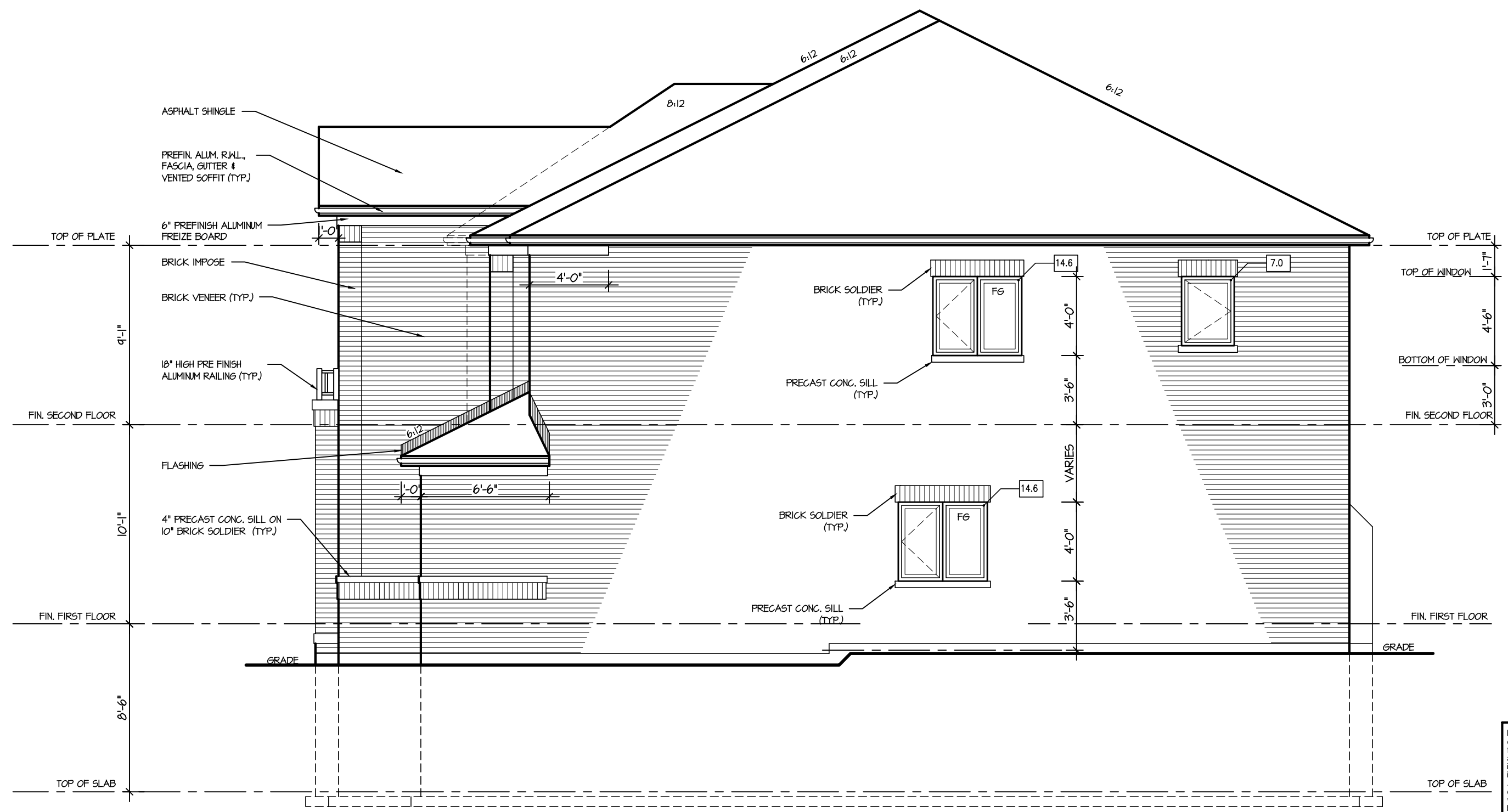
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MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 6
ENERGY STAR

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4.						LEFT SIDE ELEVATION ELEV. 2				
3.						SCALE	BY	AREA	PAGE No.	
2.						3/16"=1'-0"	BK	3107	5-2	
1.	ISSUED FOR REVIEW	JUL 2016				DATE	TYPE	PROJECT		
REVISIONS			JUL 2016		02-10-07	PROJECT NAME		LECCO RIDGE		

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



RIGHT ELEVATION I			
ALLOWABLE GLAZING			
WALL AREA		1057.45	
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDERYARD)		74.02	
ACTUAL WINDOW AREA		36.20	

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

JUNIPER 6
ENERGY STAR

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4.					ELEV. 1						
3.					SCALE	BY	AREA	PAGE No.			
2.					3/16"=1'-0"	BK	3107	6			
1.	ISSUED FOR REVIEW				JUL 2016	DATE	TYPE	PROJECT			
REVISIONS			JUL 2016		02-10-07						

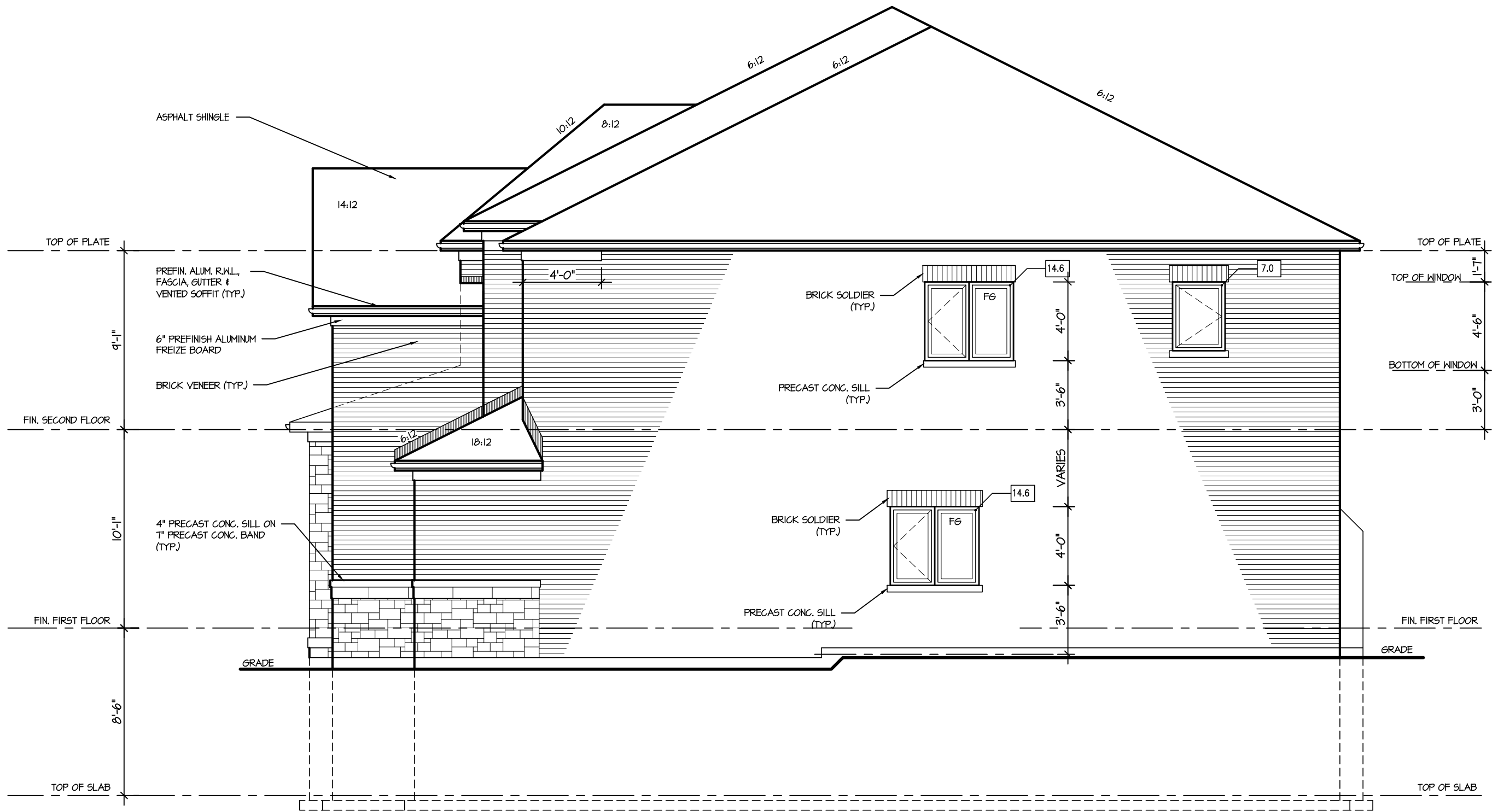
RECEIVED

TOWN OF MILTON

MAR 29, 2017

JUNIPER 6

BUILDING DIVISION



RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	1051.45
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDERYARD)	74.02
ACTUAL WINDOW AREA	36.20

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 6
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR	28770
NAME	SIGNATURE
	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE RIGHT SIDE ELEVATION ELEV. 2	
SCALE 3/16"=1'-0"	BY BK
DATE JUL 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3107	PAGE No. 6-2
PROJECT 02-10-07	



PROJECT NAME
LECCO RIDGE



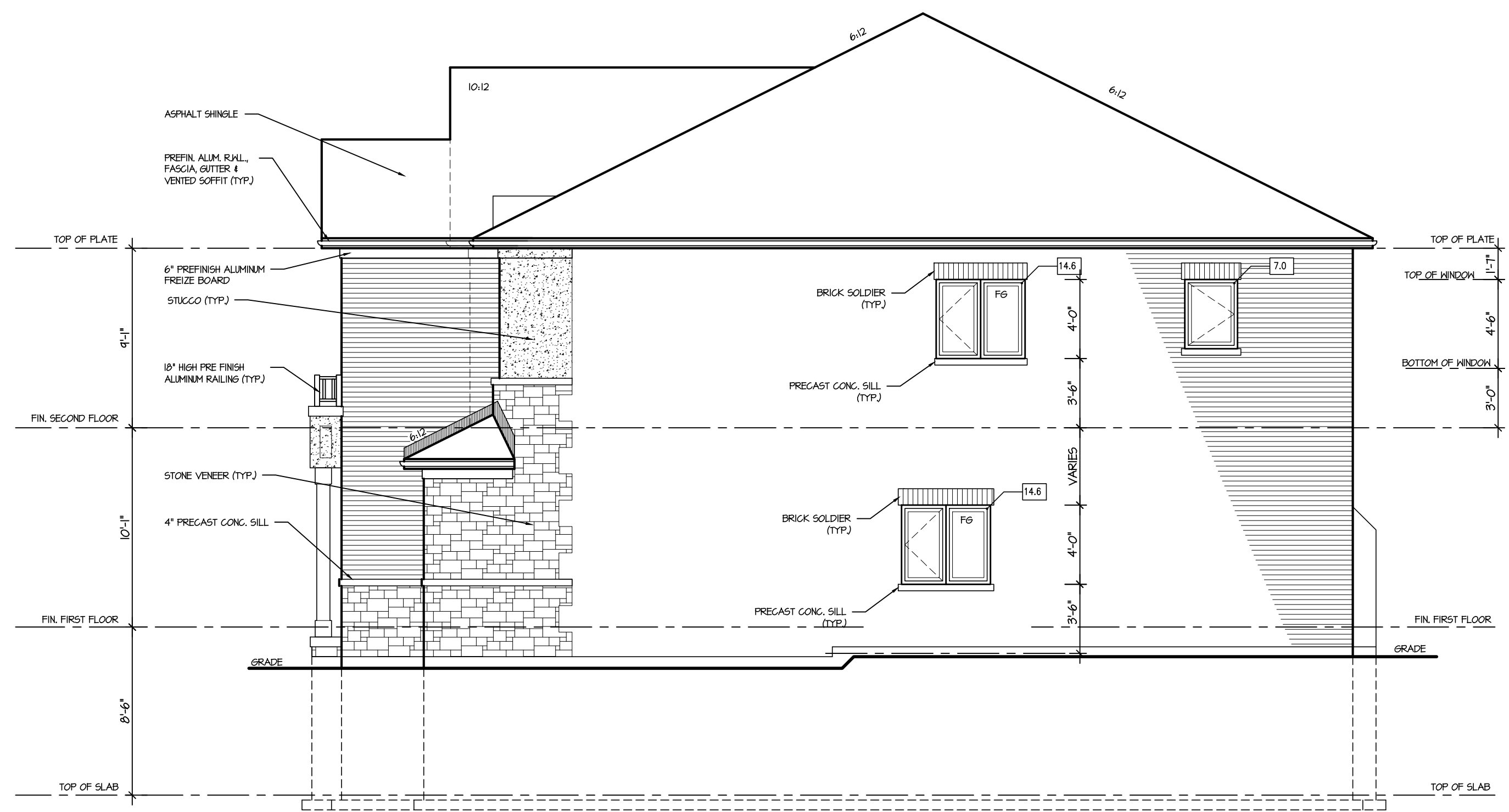
TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 6 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER

APR 13, 2017
DATE

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RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



RIGHT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA		1051.45
ALLOWABLE WINDOW AREA @ 1.00 % (1.2 M SIDEYARD)		14.02
ACTUAL WINDOW AREA		36.20

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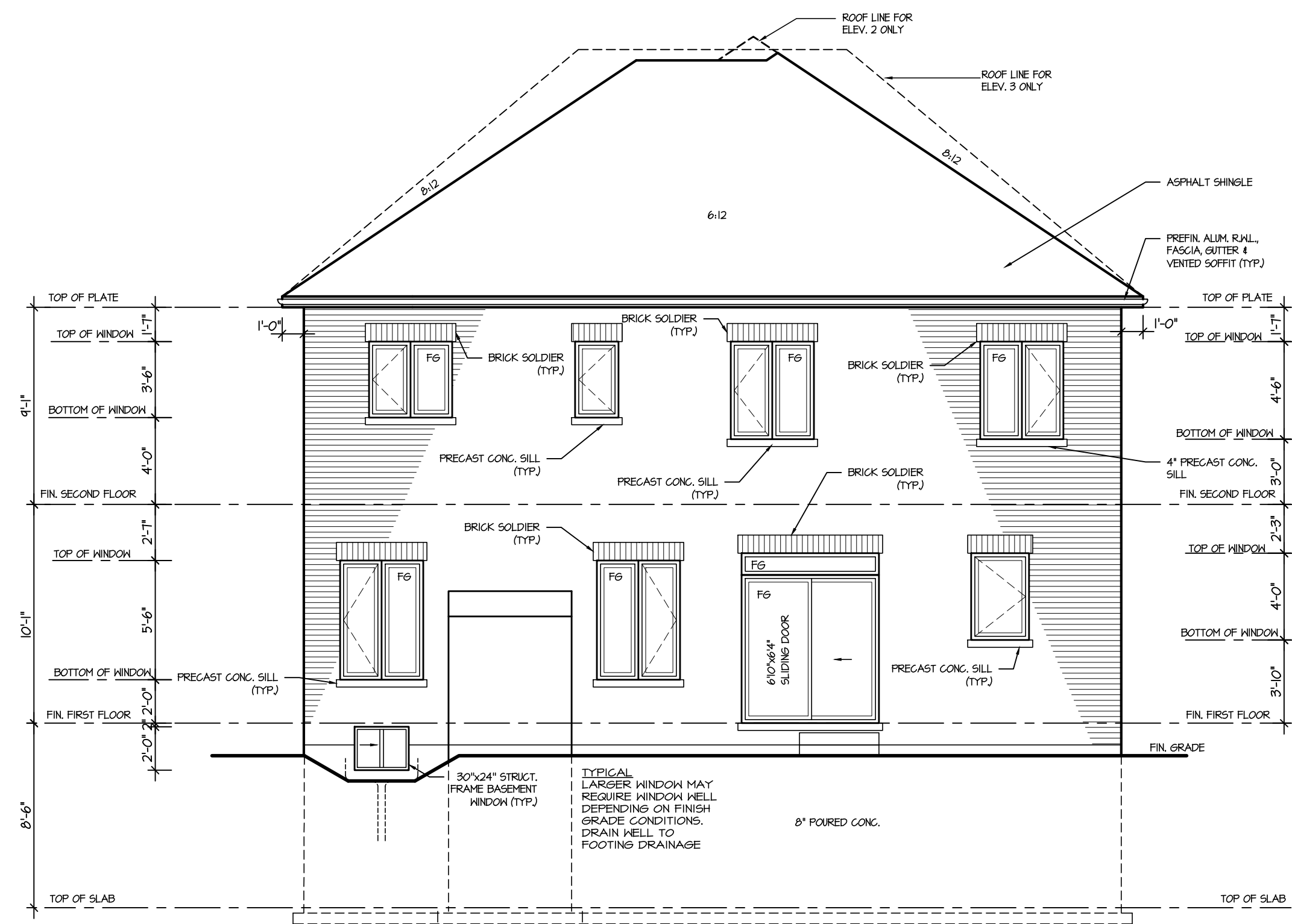
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

JUNIPER 6
ENERGY STAR

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4.					ELEV. 3						
3.					SCALE	BY	AREA	PAGE No.			
2.					3/16"=1'-0"	BK	3107		6-3		
1.	ISSUED FOR REVIEW				JUL 2016	DATE	TYPE	PROJECT			
REVISIONS			JUL 2016		02-10-07						

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



REAR ELEVATION 1, 2 & 3

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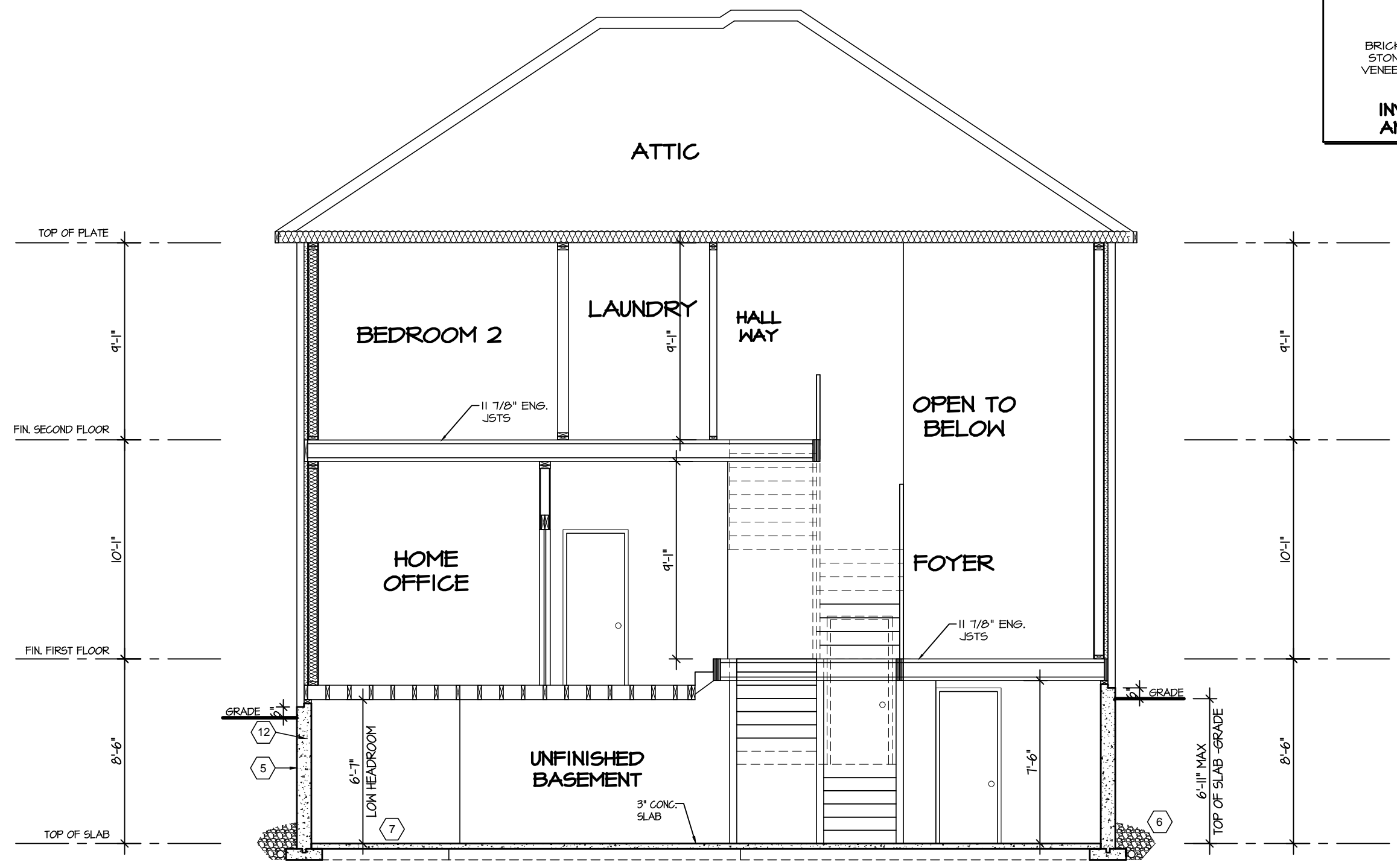
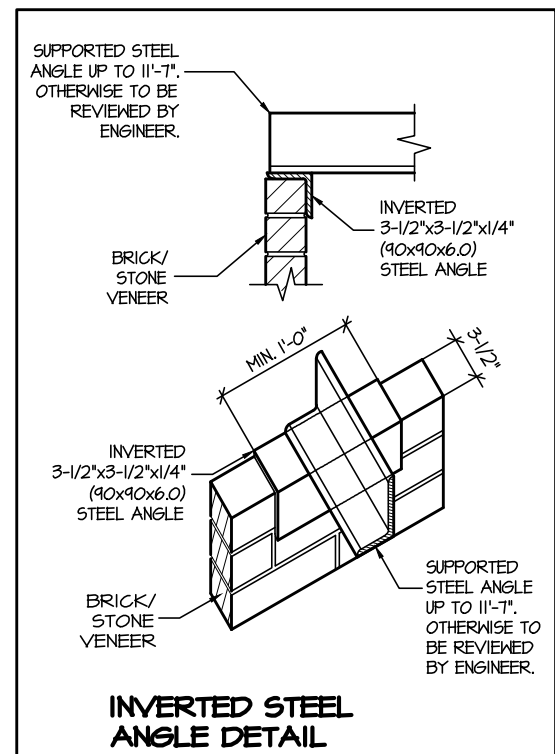
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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JUNIPER 6
ENERGY STAR

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4.					REAR ELEVATION 1, 2 & 3				
3.					SCALE 3/16"=1'-0"	BY BK	AREA 3107	PAGE No. 7	
2.					DATE JUL 2016	TYPE	PROJECT 02-10-07		
1.	ISSUED FOR REVIEW				JUL 2016				
REVISIONS									

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 6 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE
APR 13, 2017
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SECTION A-A



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JUNIPER 6
ENERGY STAR

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4.					SCALE	3/16"=1'-0"	BY	BK		AREA	3107	PAGE No.	8
3.					DATE	JUL 2016	TYPE			PROJECT	02-10-07		
2.													
1.	ISSUED FOR REVIEW				JUL 2016								
REVISIONS													

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



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ARCHITECTURAL REVIEW & APPROVAL

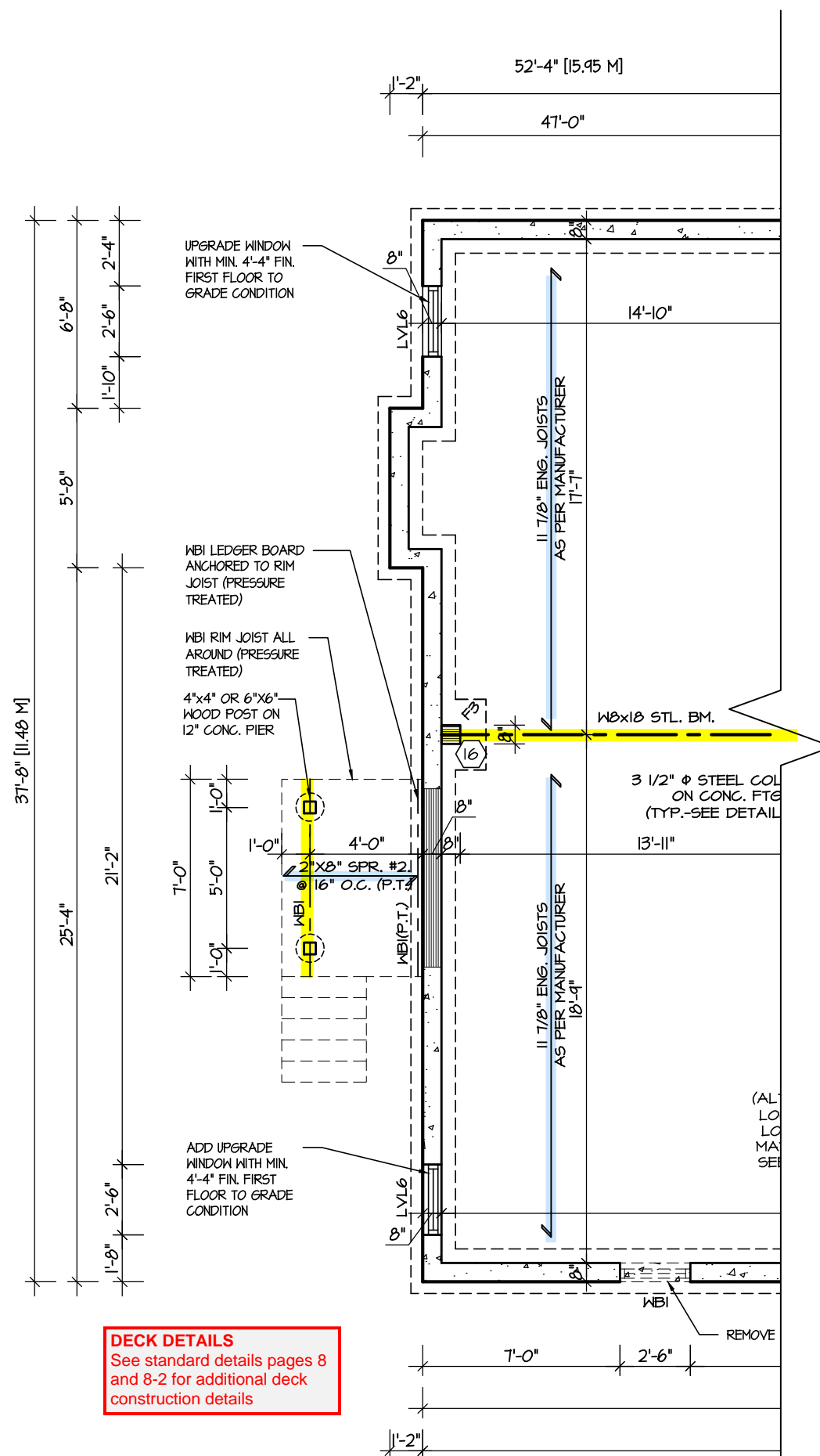
MAR 20 2017

John G. Williams Limited, Architects

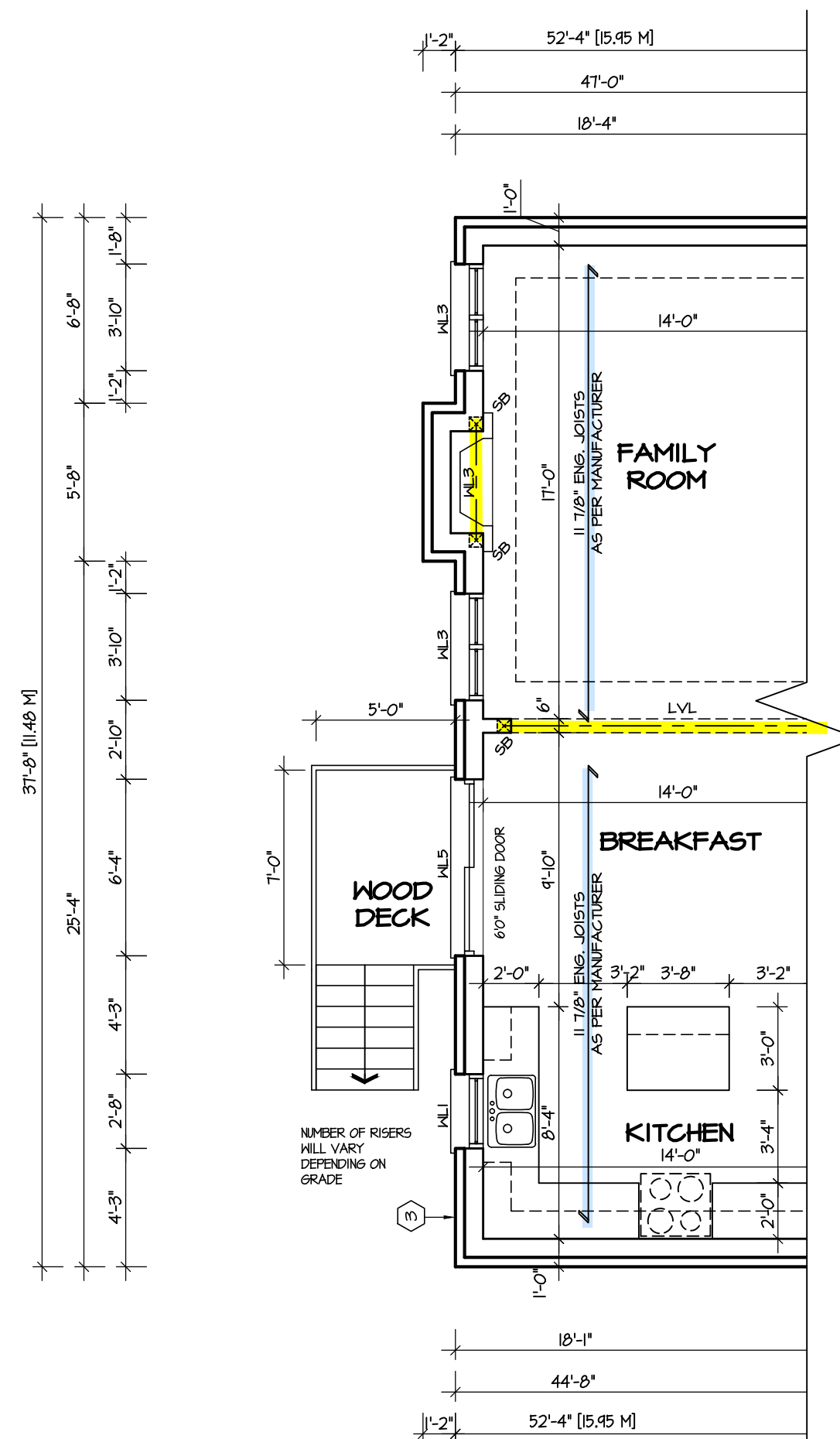
JUNIPER 6
ENERGY STAR




PROJECT NAME **LECCO RIDGE**



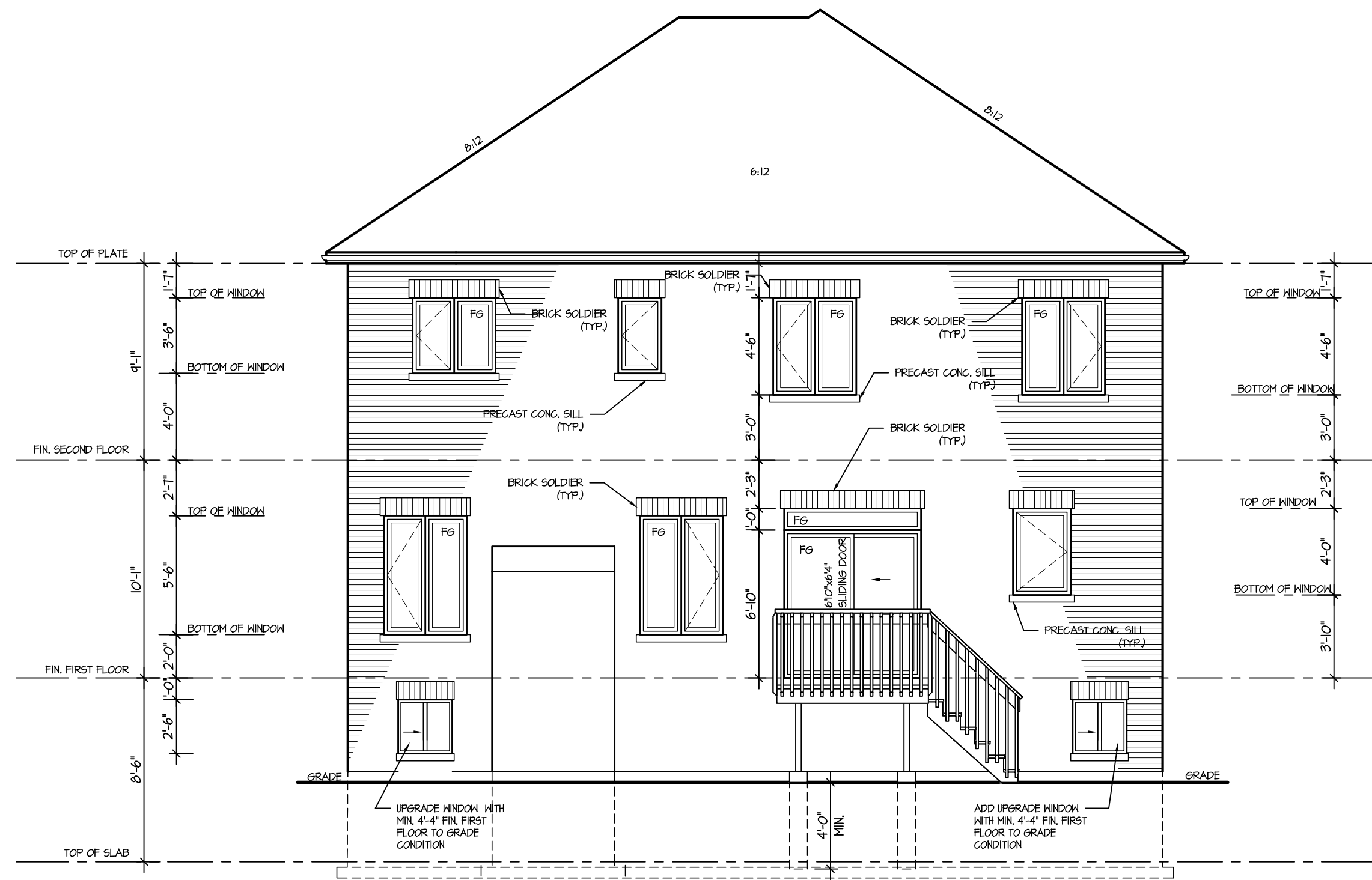
PARTIAL BASEMENT PLAN FOR DECK CONDITION



PARTIAL FIRST FLOOR PLAN FOR DEC CONDITION

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4.						REAR ELEVATION 1				
3.						SCALE 3/16" = 1'-0"	BY BK	AREA 3107	PAGE No. 9	
2.						DATE JUL 2016	TYPE	PROJECT 02-10-07		
1.	ISSUED FOR REVIEW	JUL 2016								
REVISIONS										

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MAR 29, 2017
JUNIPER 6
BUILDING DIVISION



REAR ELEVATION 1, 2 & 3
DECK CONDITION

DECK DETAILS
See standard details pages 8
and 8-2 for additional deck
construction details

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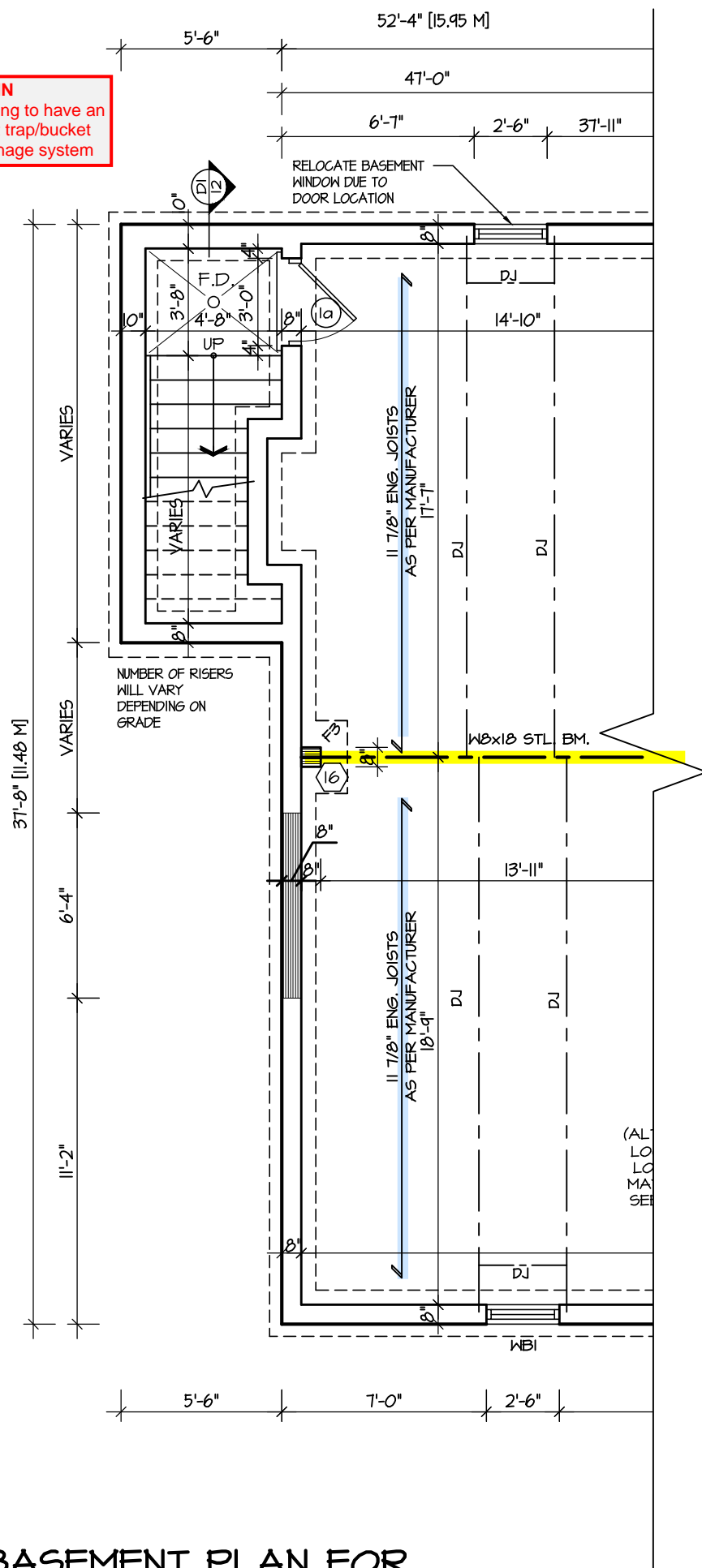
JUNIPER 6
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4.					REAR ELEVATION 1				
3.					SCALE	BY	AREA	PAGE No.	
2.					3/16"=1'-0"	BK	3107	10	
1.	ISSUED FOR REVIEW				JUL 2016	DATE	TYPE	PROJECT	
REVISIONS		JUL 2016		02-10-07					

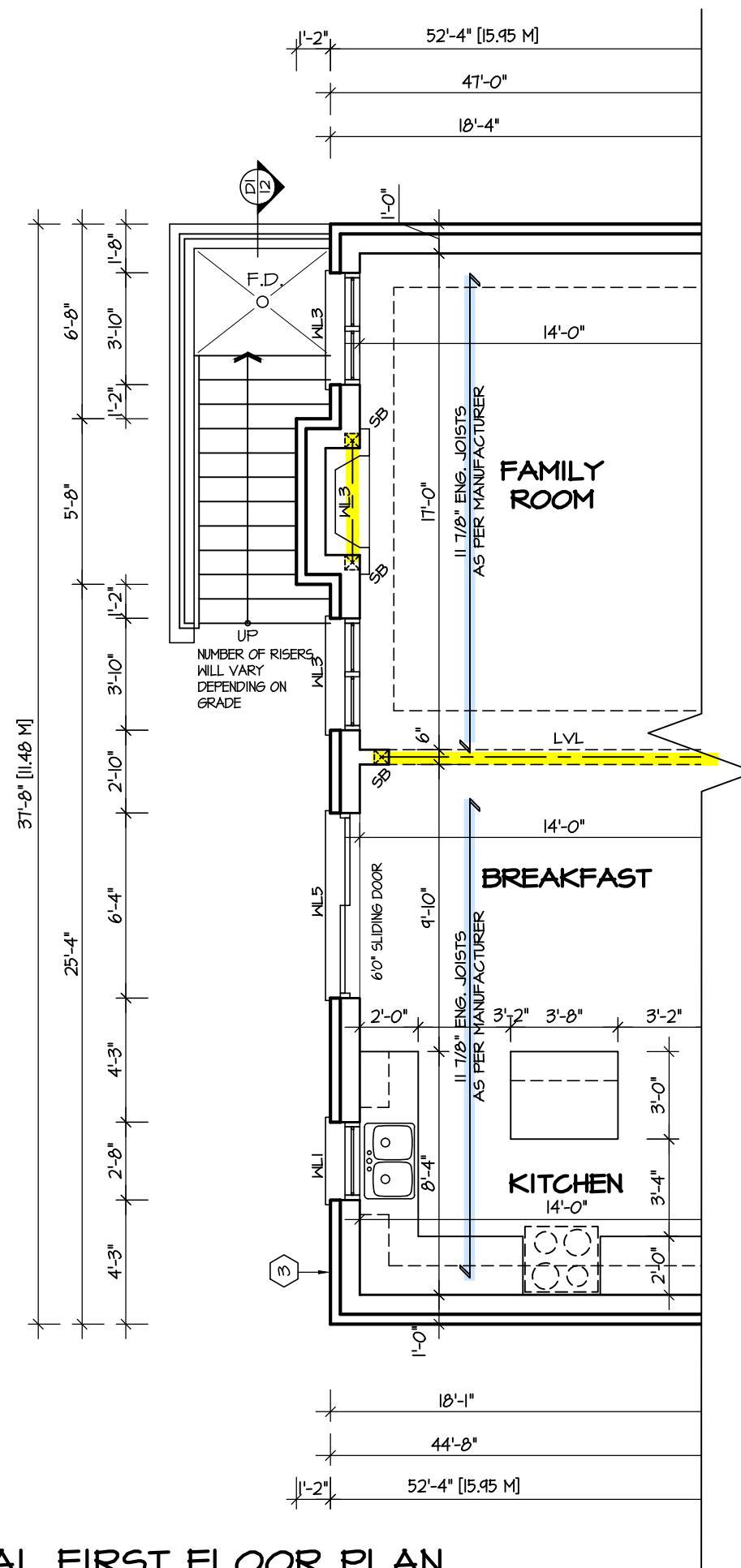
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TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION

WALKOUT AREA DRAIN
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system

WALKOUT BSMT. INSULATION
See standard details page 12 for required perimeter slab insulation for walkout basement condition



PARTIAL BASEMENT PLAN FOR WALK-UP CONDITION



PARTIAL FIRST FLOOR PLAN FOR WALK-UP CONDITION



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John G. Williams Limited, Architect

JUNIPER 6
ENERGY STAR

5.		
4.		
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1.	ISSUED FOR REVIEW	JUL 2016
REVISIONS		

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QUALIFICATION INFORMATION		
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VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE WALK-UP PLANS	
SCALE 3/16"=1'-0"	BY ZMP
DATE JAN 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3107	PAGE No. 11
PROJECT 02-10-07	

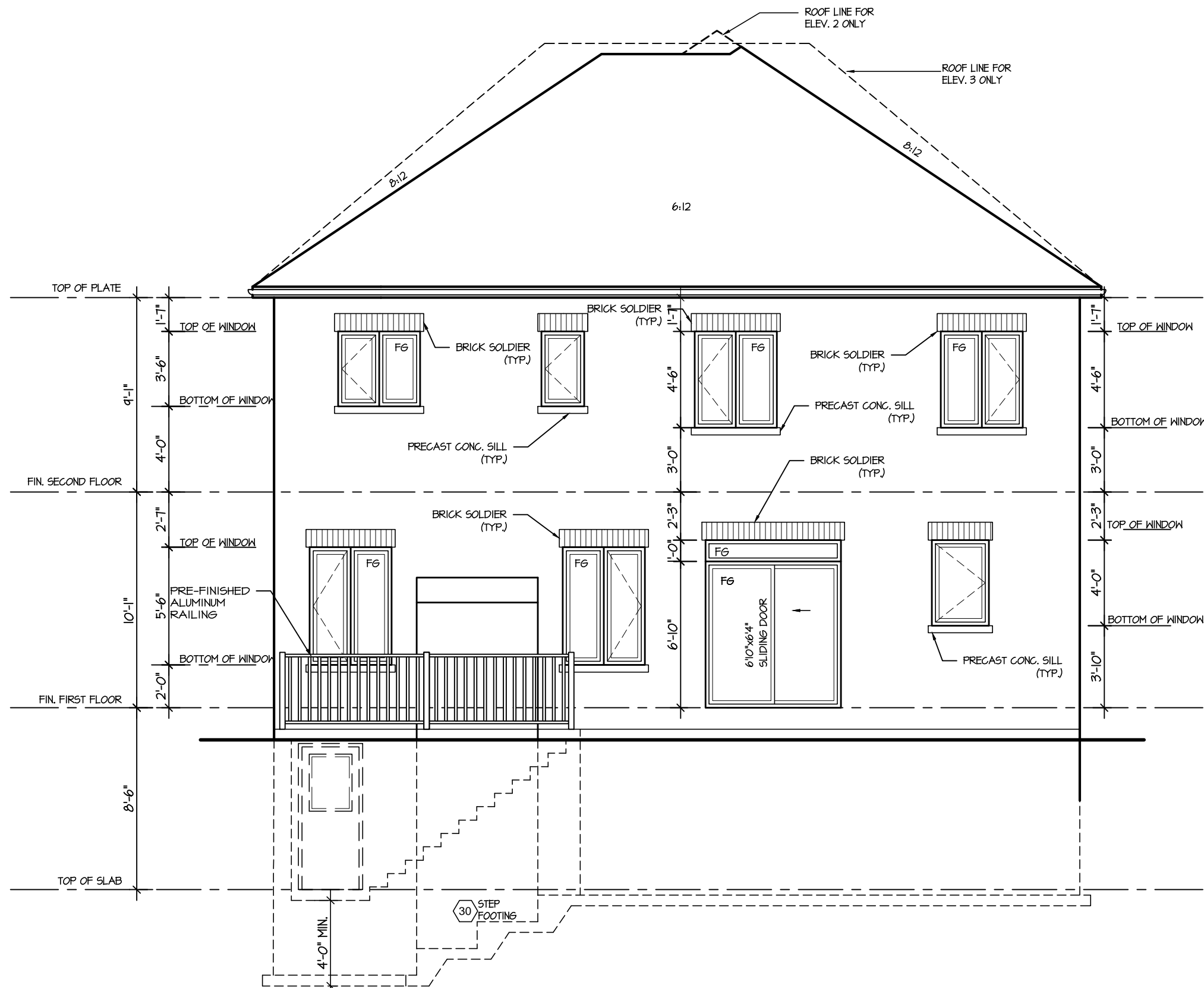
Greenpark.
PROJECT NAME LECCO RIDGE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 6
BUILDING DIVISION

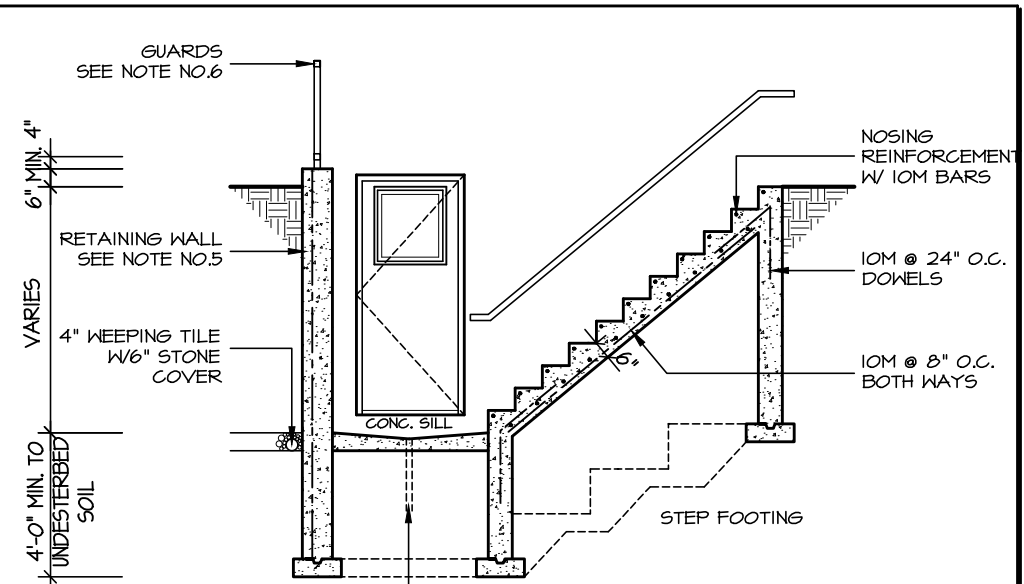


TOWN OF MILTON
PLANNING AND DEVELOPMENT
JUNIPER 6 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 13, 2017
DATE
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REAR ELEVATION 1, 2 & 3
WALK-UP CONDITION



SECTION

GENERAL NOTES:

1. FOOTING
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
4. INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
5. RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0". 15M HORIZONTAL & VERTICAL REINFORCEMENT @ 12" O.C. EACH FACE FOR WALL HEIGHTS FROM 7'-0" TO 9'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
6. GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

DI - EXTERIOR WALKUP STAIRS DETAILS

WALKOUT BSMT. INSULATION
See standard details page 12 for required perimeter slab insulation for walkout basement condition

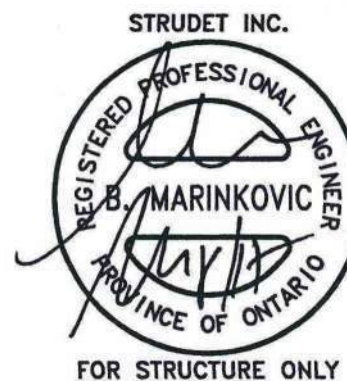
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect



JUNIPER 6
ENERGY STAR

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	JUL 2016

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
WALK-UP ELEVATION
SCALE
3/16"=1'-0"
DATE
JAN 2017

BY
ZMP
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA
3107
PROJECT
02-10-07

PAGE No.
12

PROJECT NAME
LECCO RIDGE

