

**STRIP FOOTINGS -**  
**FOR SINGLES & SEMIS UP TO 2 STOREY**

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

**PAD FOOTINGS**

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD

F2 = 40"x40"x16" CONCRETE PAD

F3 = 34"x34"x14" CONCRETE PAD

F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.  
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

**BRICK VENEER LINTELS**

WL1 = 3'-1/2"x3'-1/2"x1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2

WL2 = 4"x3'-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2

WL3 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2

WL4 = 6"x3'-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2

WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2

WL6 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2

WL7 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2

WL8 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2

WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

**WOOD LINTELS AND BEAMS**

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)

WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)

WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)

WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)

WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)

WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)

WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)

WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)

WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

**LAMINATED VENEER LUMBER (LVL) BEAMS**

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)

LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)

LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)

LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)

LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)

LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)

LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)

LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)

LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)

LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)

LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356)

LVL9 = 3-1 3/4" x 14" (3-45x356)

LVL10 = 2-1 3/4" x 18" (3-45x456)

**LOOSE STEEL LINTELS**

L1 = 3'-1/2"x3'-1/2"x1/4" (90x90x6.0L)

L2 = 4"x3'-1/2"x5/16" (100x90x8.0L)

L3 = 5"x3'-1/2"x5/16" (125x90x8.0L)

L4 = 6"x3'-1/2"x3/8" (150x90x10.0L)

L5 = 6"x4"x3/8" (150x100x10.0L)

L6 = 7"x4"x3/8" (175x100x10.0L)

**DOOR SCHEDULE**

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

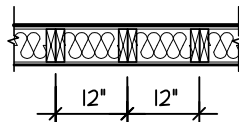
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINISH GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

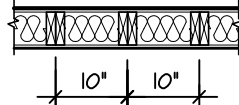
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @12" O.C. FULL HT C/M SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS  
18'-0" AND MAXIMUM SUPPORTED LENGTH OF  
TRUSS IS 40'-0"

**TWO STORY HEIGHT WALL DETAIL**

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @10" O.C. FULL HT C/M  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

**TWO STORY HEIGHT WALL DETAIL**

JUNIPER 3		ELEV.1		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	842.18	18.30	149.00	13.84	17.68 %
LEFT SIDE	430.06	86.41	11.24	6.62	7.66 %
RIGHT SIDE	430.06	86.41	34.00	3.16	3.66 %
REAR	181.50	13.16	174.59	16.22	22.17 %
TOTAL	3490.40	324.27	428.83	39.84	12.29 %

JUNIPER 3		ELEV.2		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	806.44	14.92	121.05	11.80	15.75 %
LEFT SIDE	450.13	88.33	11.24	6.62	7.44 %
RIGHT SIDE	450.13	88.33	34.00	3.16	3.58 %
REAR	181.50	13.16	174.59	16.22	22.17 %
TOTAL	3495.40	324.73	406.88	31.80	11.64 %

JUNIPER 3		ELEV.3		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	806.44	14.92	124.18	11.59	15.47 %
LEFT SIDE	450.13	88.33	11.24	6.62	7.44 %
RIGHT SIDE	450.13	88.33	34.00	3.16	3.58 %
REAR	181.50	13.16	174.59	16.22	22.17 %
TOTAL	3495.40	324.73	404.61	31.59	11.58 %

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1236	Sq. Ft.
SECOND FLOOR AREA	=	1510	Sq. Ft.
TOTAL FLOOR AREA	=	2746	Sq. Ft.
		255.11	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	12	Sq. Ft.
ADD TOTAL OPEN AREAS	=	12	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2758	Sq. Ft.
		256.23	Sq. M.
GROUND FLOOR COVERAGE	=	1236	Sq. Ft.
GARAGE COVERAGE / AREA	=	395	Sq. Ft.
PORCH COVERAGE / AREA	=	48	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1729	Sq. Ft.
		160.63	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1631	Sq. Ft.
		151.53	Sq. m.

**TOWN OF MILTON**  
**PLANNING AND DEVELOPMENT**  
**JUNIPER 3 MODEL**

**BUILDING: REVIEWED**  
**SCOTT SHERRIFFS** APR 13, 2017

**PLANS EXAMINER** DATE

Neither the issuance of a permit nor carrying out of  
inspections by the Town of Milton relieves the owner from  
full responsibility for compliance with the provisions of  
the Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
By-laws of the Region of Halton and Town of Milton

**RECEIVED**  
**TOWN OF MILTON**

MAR 29, 2017

JUNIPER 3

**BUILDING DIVISION**

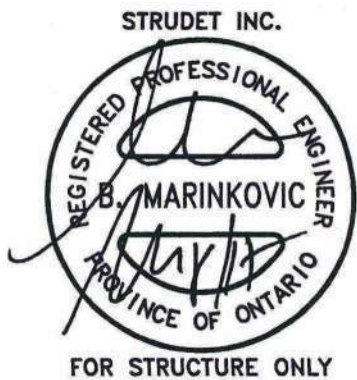
**GENERAL NOTES/CONSTRUCTION DETAILS**

Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
constructions details and specifications

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1245	Sq. Ft.
SECOND FLOOR AREA	=	1520	Sq. Ft.
TOTAL FLOOR AREA	=	2765	Sq. Ft.
		256.88	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	12	Sq. Ft.
ADD TOTAL OPEN AREAS	=	12	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2777	Sq. Ft.
		257.99	Sq. M.
GROUND FLOOR COVERAGE	=	1245	Sq. Ft.
GARAGE COVERAGE / AREA	=	395	Sq. Ft.
PORCH COVERAGE / AREA	=	48	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1688	Sq. Ft.
		156.82	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1640	Sq. Ft.
		152.36	Sq. m.

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1236	Sq. Ft.
SECOND FLOOR AREA	=	1514	Sq. Ft.
TOTAL FLOOR AREA	=	2750	Sq. Ft.
		255.48	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	12	Sq. Ft.
ADD TOTAL OPEN AREAS	=	12	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2762	Sq. Ft.
		256.60	Sq. M.
GROUND FLOOR COVERAGE	=	1236	Sq. Ft.
GARAGE COVERAGE / AREA	=	395	Sq. Ft.
PORCH COVERAGE / AREA	=	48	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1679	Sq. Ft.
		155.98	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1631	Sq. Ft.
		151.53	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
<b>2012 ENERGY STAR V-12.1</b>	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 29/01/14)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs



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ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

**JUNIPER 3**  
**ENERGY STAR**

5.		
4.		
3.		
2.	ISSUED FOR REVIEW	NOV 2016
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

SIGNATURE

28770

BCIN

REGION DESIGN INC.

8700 DUFFERIN ST.

CONCORD, ONTARIO

L4K 4S6

P (416) 736-4096

F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE

**AREA CHARTS**

SCALE

3/16"=1'-0"

DATE

NOV 2016

BY

V.G.

TYPE

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

AREA

2760

PROJECT

02-10-04

PAGE No.

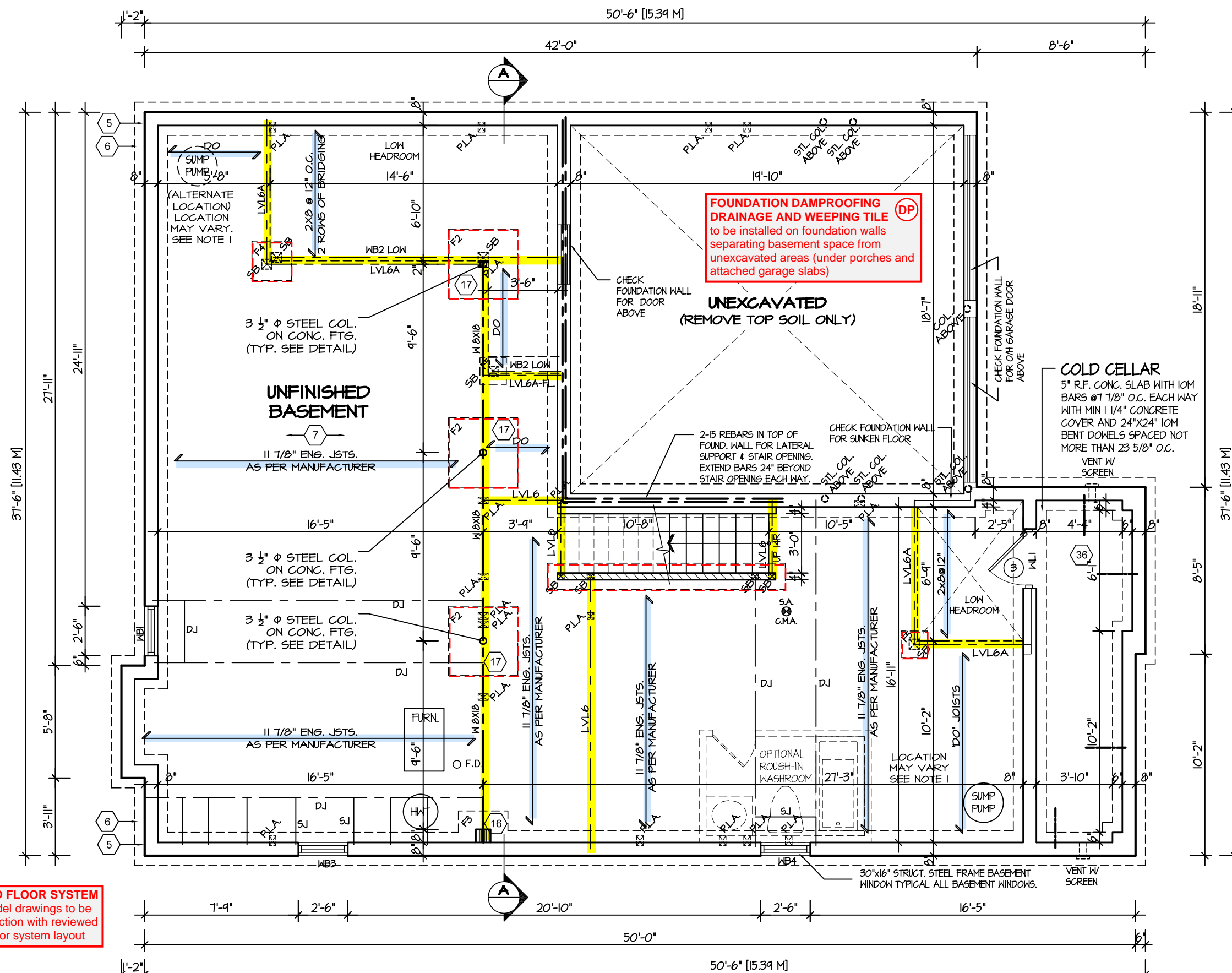
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**Greenpark.**

PROJECT NAME

LECCO RIDGE

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

**BASEMENT FLOOR PLAN 1**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR  
SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW  
ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS  
FOR SPANS GREATER THAN 7'

**NOTE 1:** FINAL LOCATION OF SUMP PUMP IS BASED ON SITE  
CONDITION

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR  
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAIL ED ON THIS FLOOR.

STRUDET INC.



FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILL TON.

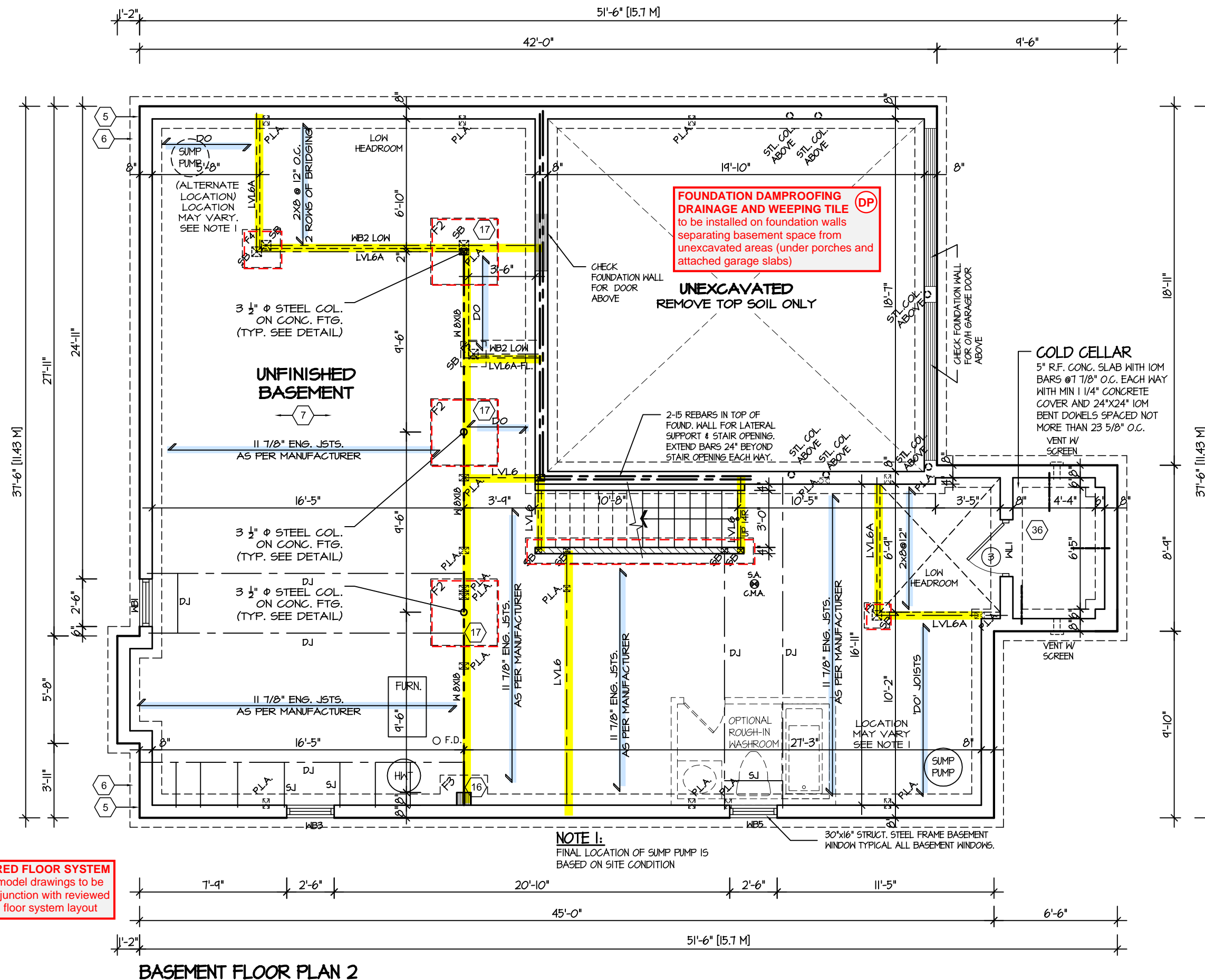
ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 <p>PROJECT NAME</p> <p>LECCO RIDGE</p>
4.						BASEMENT PLAN				
3.						ELEV. 1				
2.	ISSUED FOR REVIEW	NOV 2016				SCALE	BY	AREA	PAGE No.	
1.	ISSUED FOR REVIEW	SEP 2016				3/16"=1'-0"	V.G.	2760	1	
REVISIONS			DATE	TYPE	PROJECT					
			NOV 2016		02-10-04					



**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

STRUDET INC.

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR



PROJECT NAME

LECCO RIDGE

5.		
4.		
3.		
2.	ISSUED FOR REVIEW	NOV 2016
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

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**QUALIFICATION INFORMATION**

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
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REGIONAL  
DESIGN  
INC.

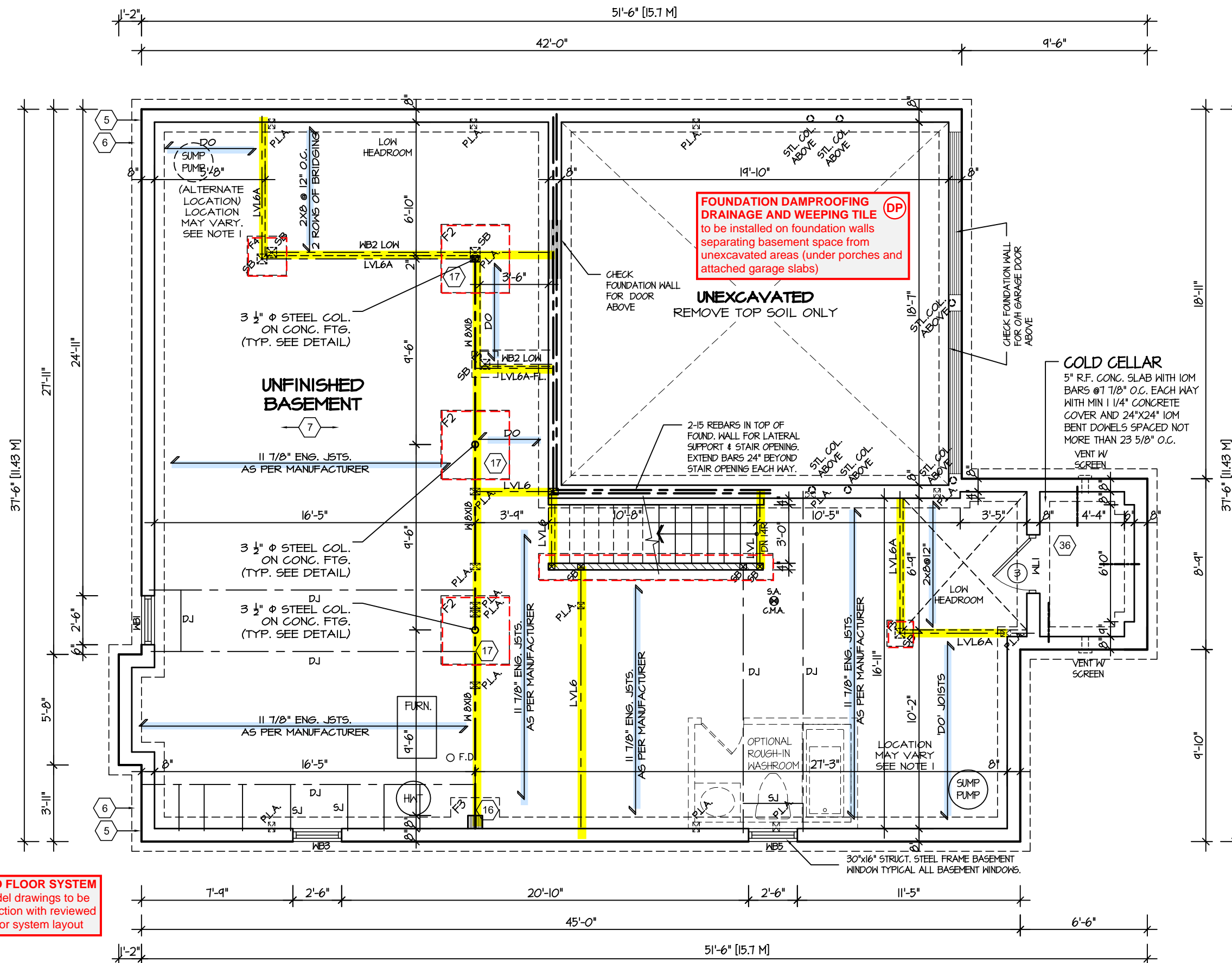
SHEET TITLE	
<p><b>BASEMENT PLAN</b></p> <p><b>ELEV. 2</b></p>	
SCALE	BY
3/16"=1'-0"	V.G.
DATE	TYPE
NOV 2016	

CONTRACTOR SHALL CHECK ALL  
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AREA	2760	PAGE No.
PROJECT	02-10-04	1-2

1-2

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



ENGINEERED FLOOR SYSTEM  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

BASEMENT FLOOR PLAN 3

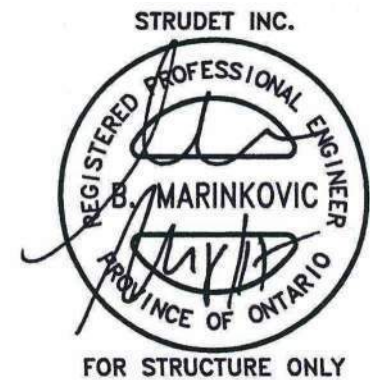
REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 3  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE

5.		
4.		
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2.	ISSUED FOR REVIEW	NOV 2016
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

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QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME SIGNATURE  
28770  
BCIN

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REGION DESIGN INC.

SHEET TITLE  
BASEMENT PLAN  
ELEV. 3

SCALE  
3/16"=1'-0"  
DATE  
NOV 2016

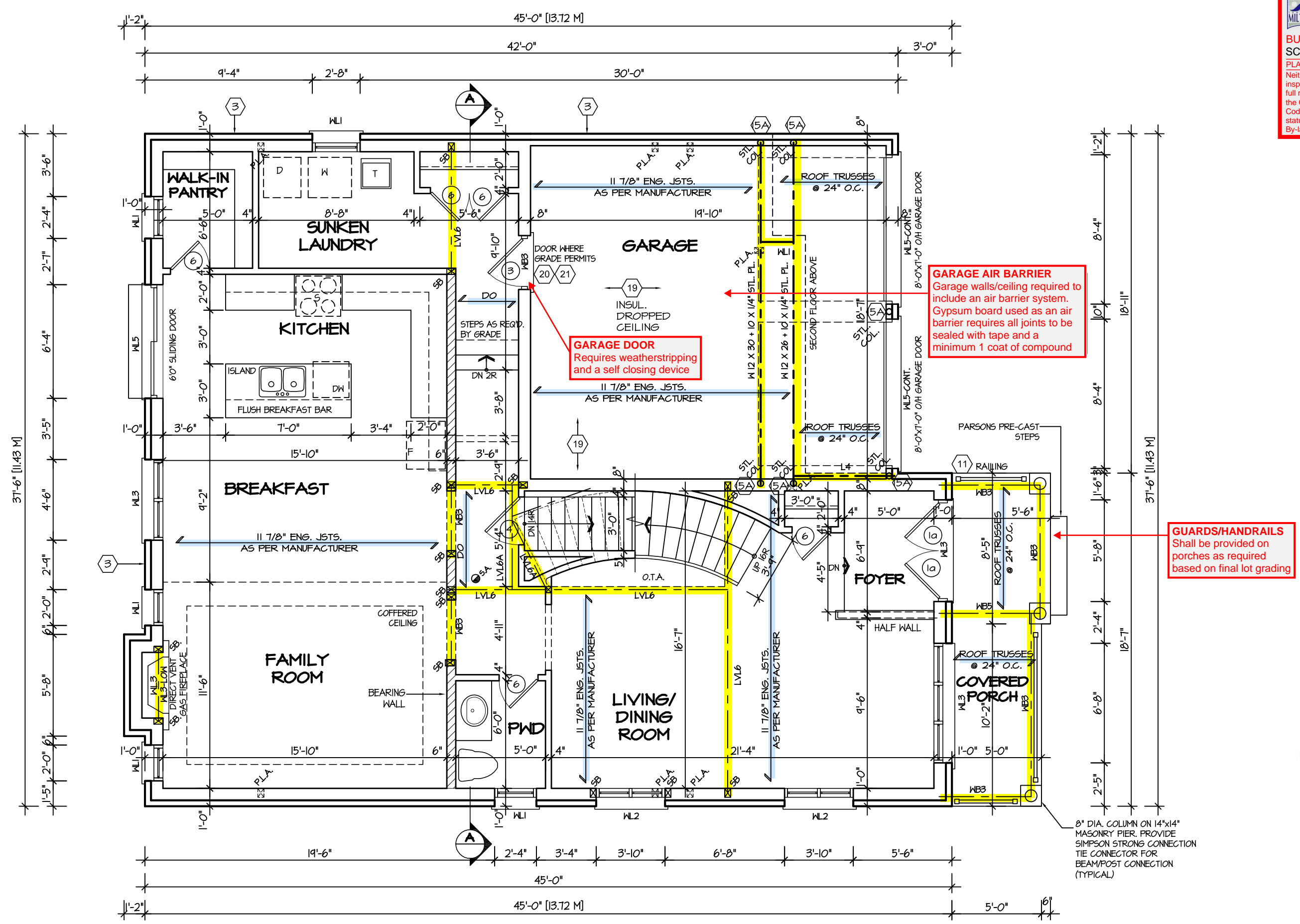
BY  
V.G.  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
2760  
PROJECT  
02-10-04

PAGE No.  
1-3

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MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



FIRST FLOOR PLAN '1'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ENGINEERED FLOOR SYSTEM  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout



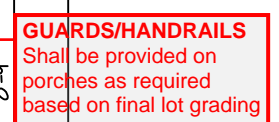
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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 3  
ENERGY STAR

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4.					FIRST FLOOR PLAN		SCALE			<div>PAGE No.</div> <div>2</div>
3.					ELEV. 1		3/16"=1'-0"			
2. ISSUED FOR REVIEW					BY		V.G.			
1. ISSUED FOR REVIEW					DATE		NOV 2016			
REVISIONS		TYPE		PROJECT		02-10-04				



**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ARCHITECTURAL REVIEW & APPROVAL

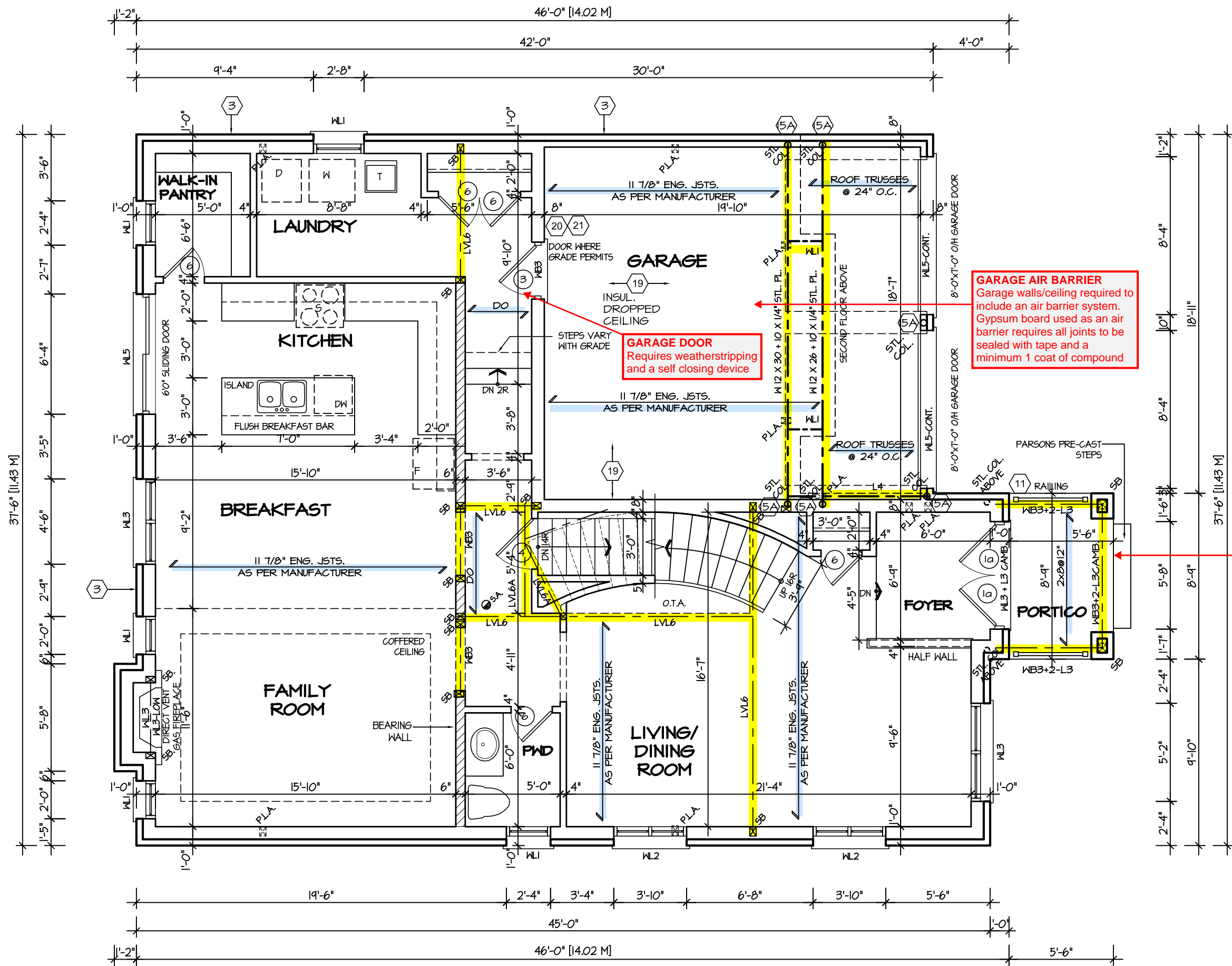
MAR 20 2017

John G. Williams Limited, Architect

PROJECT NAME	LECCO RIDGE
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AREA 2760	PAGE No. 2-2
PROJECT 02-10-04	

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



**GARAGE AIR BARRIER**  
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

**GARAGE DOOR**  
Requires weatherstripping and a self closing device

**GUARDS/HANDRAILS**  
Shall be provided on porches as required based on final lot grading

FIRST FLOOR PLAN '3'

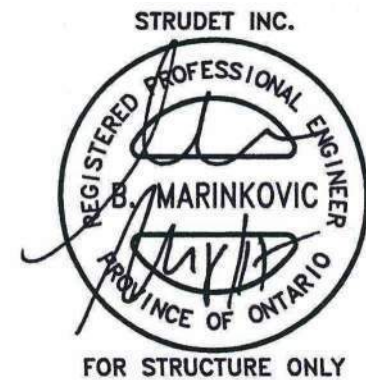
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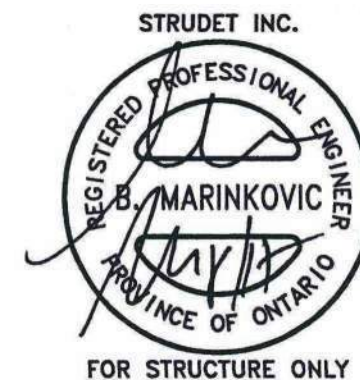
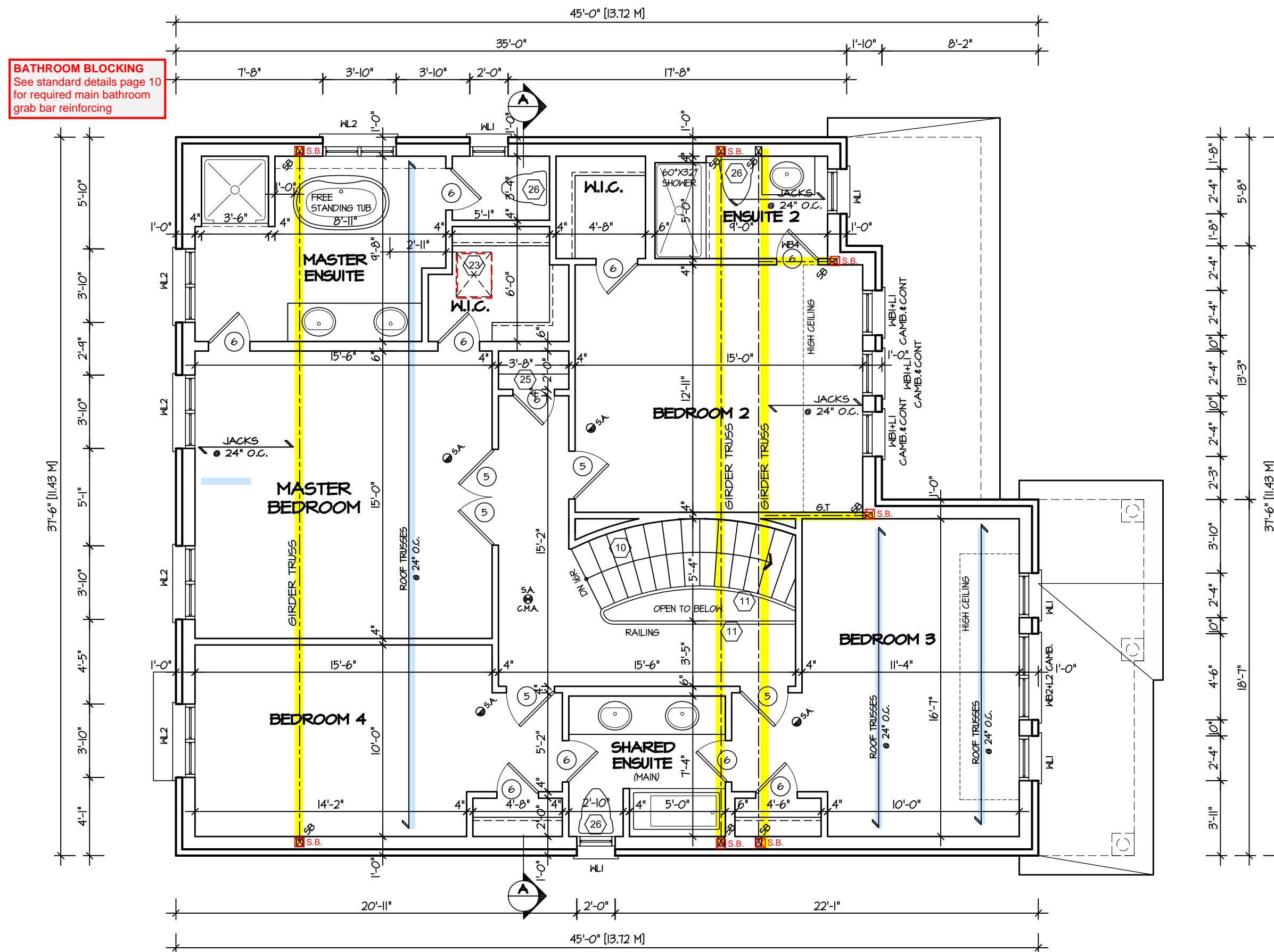
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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR

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4.					FIRST FLOOR PLAN						PAGE No.	2-3			
3.					ELEV. 3										
2.	ISSUED FOR REVIEW				NOV 2016	SCALE	3/16"=1'-0"	BY					V.G.	AREA	2760
1.	ISSUED FOR REVIEW				SEP 2016	DATE	NOV 2016	TYPE						PROJECT	02-10-04
REVISIONS										LECCO RIDGE					

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MAR 29, 2017  
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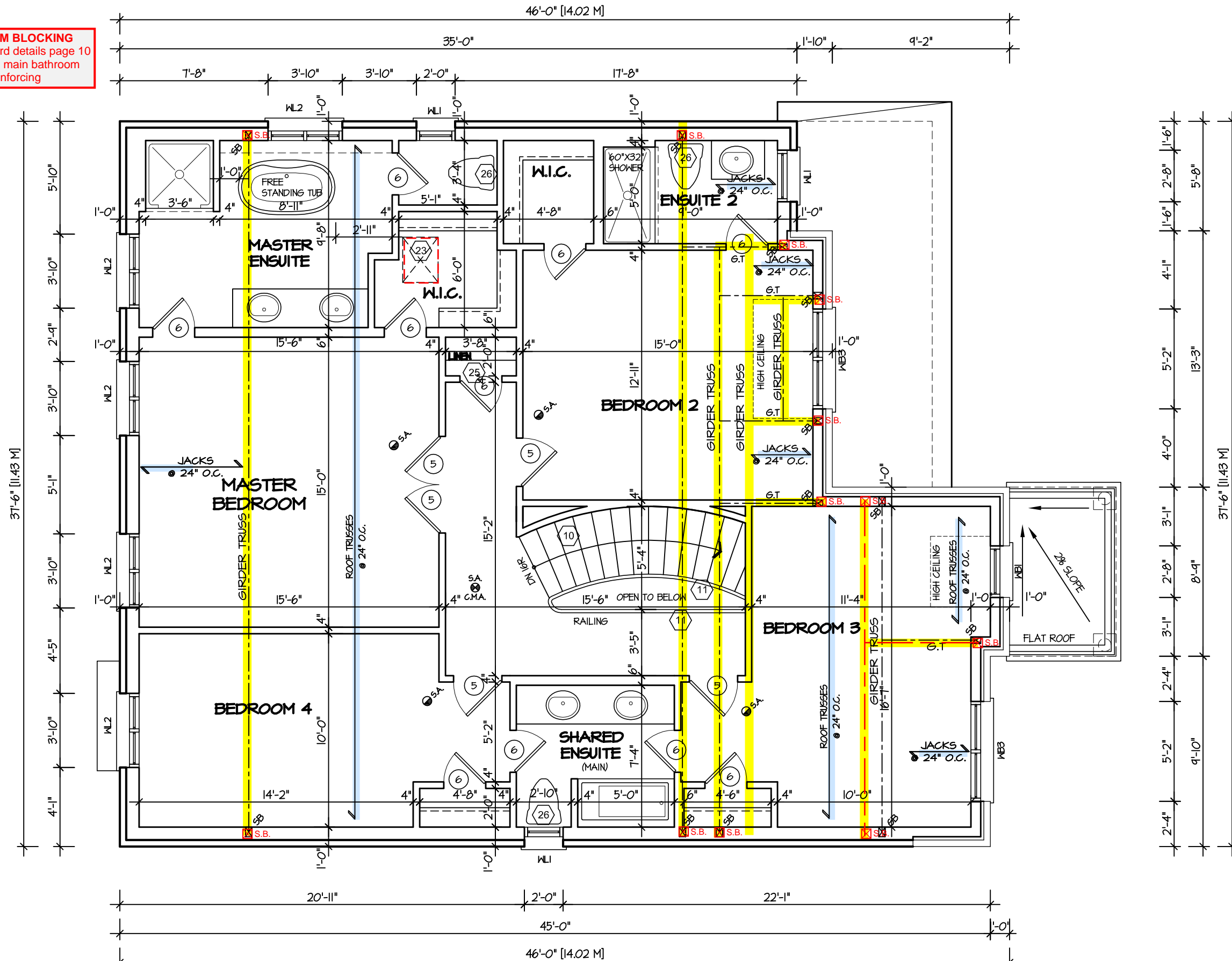
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR

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4.					SECOND FLOOR PLAN					3	
3.					ELEV. 1						
2.	ISSUED FOR REVIEW				NOV 2016	SCALE	BY	AREA			PAGE No.
1.	ISSUED FOR REVIEW				SEP 2016	3/16"=1'-0"	V.G.	2760			
REVISIONS					DATE		PROJECT				
					NOV 2016		02-10-04				

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MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION

BATHROOM BLOCKING  
See standard details page 10  
for required main bathroom  
grab bar reinforcing



SECOND FLOOR PLAN '2'

ENGINEERED TRUSS SYSTEM  
Reviewed model drawings to be  
read in conjunction with reviewed  
engineered truss system layout



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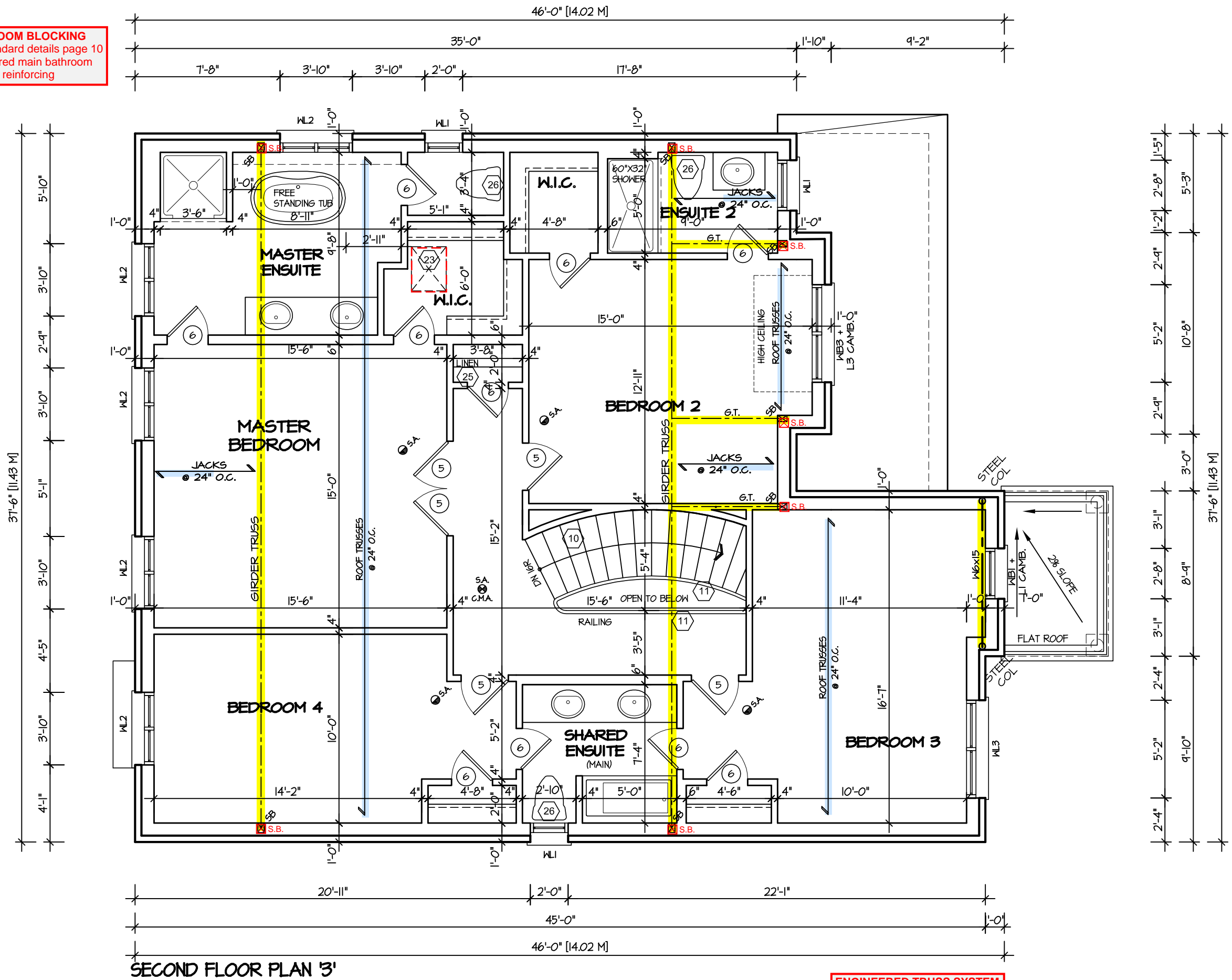
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MAR 20 2017  
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JUNIPER 3  
ENERGY STAR

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4.						SECOND FLOOR PLAN		ELEV. 2	
3.						SCALE	BY	AREA	PAGE No.
2.	ISSUED FOR REVIEW	NOV 2016				3/16"=1'-0"	V.G.	2760	3-2
1.	ISSUED FOR REVIEW	SEP 2016				DATE	TYPE	PROJECT	
REVISIONS			NOV 2016		02-10-04	PROJECT NAME			
							LECCO RIDGE		

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
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BATHROOM BLOCKING  
See standard details page 10  
for required main bathroom  
grab bar reinforcing



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MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 3  
ENERGY STAR

5.		
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2.	ISSUED FOR REVIEW	NOV 2016
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

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NAME SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
SECOND FLOOR PLAN  
ELEV. 3  
SCALE  
3/16"=1'-0"  
DATE  
NOV 2016  
BY  
V.G.  
TYPE

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AREA  
2760  
PAGE No.  
3-3  
PROJECT  
02-10-04

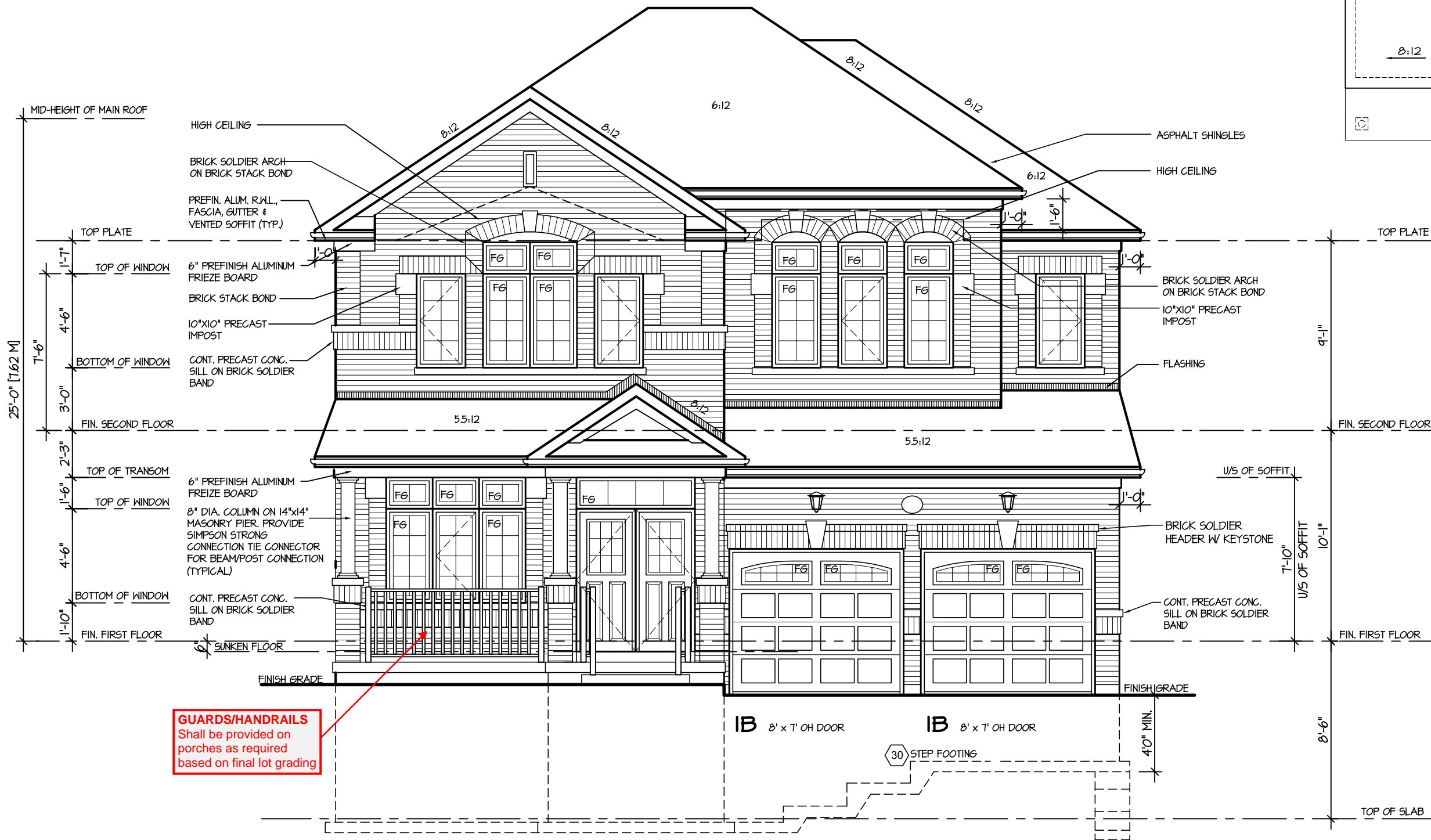
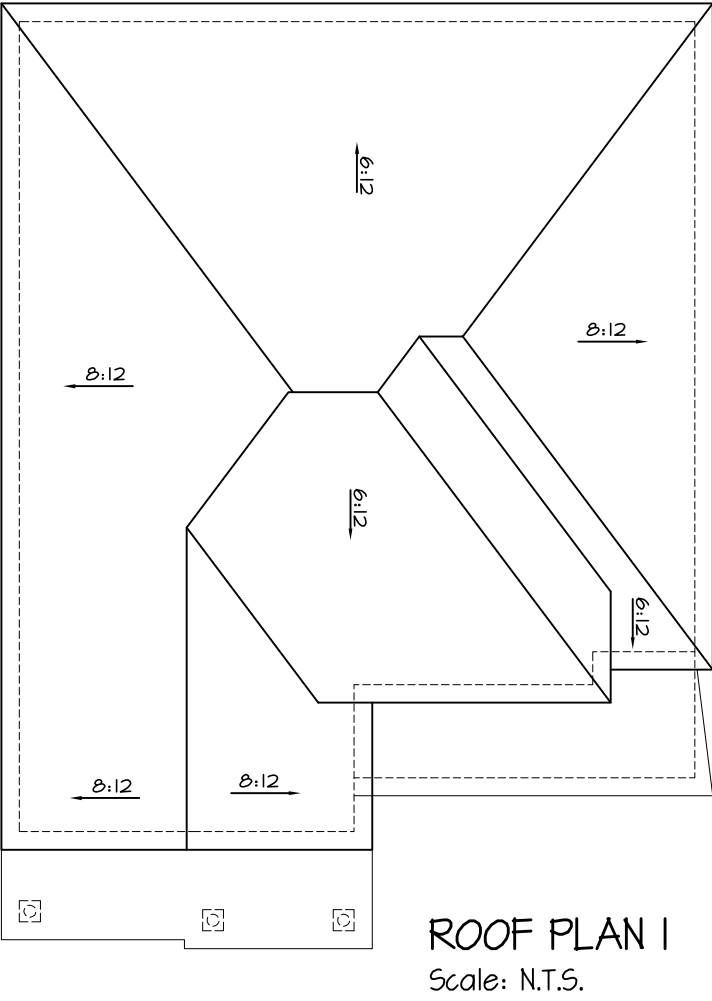
PROJECT NAME  
LECCO RIDGE

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
JUNIPER 3 MODEL

BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
DATE  
APR 13, 2017

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 3  
ENERGY STAR

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REGION  
DESIGN  
INC.

SHEET TITLE  
FRONT ELEVATION 1

SCALE  
3/16"=1'-0"

DATE  
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
2760

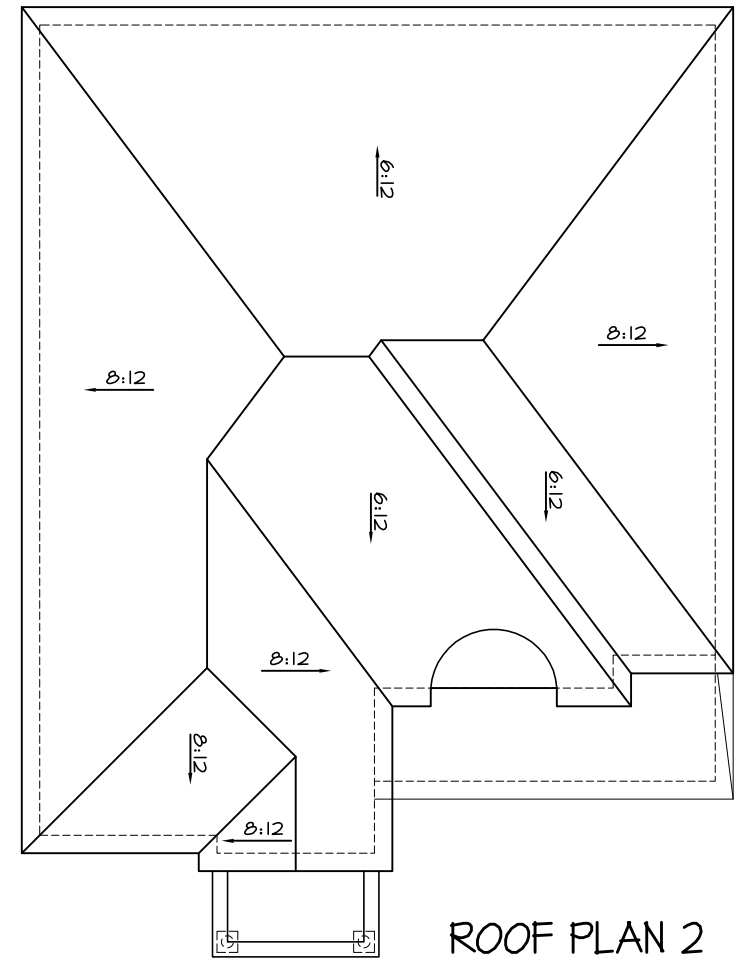
PROJECT  
02-10-04



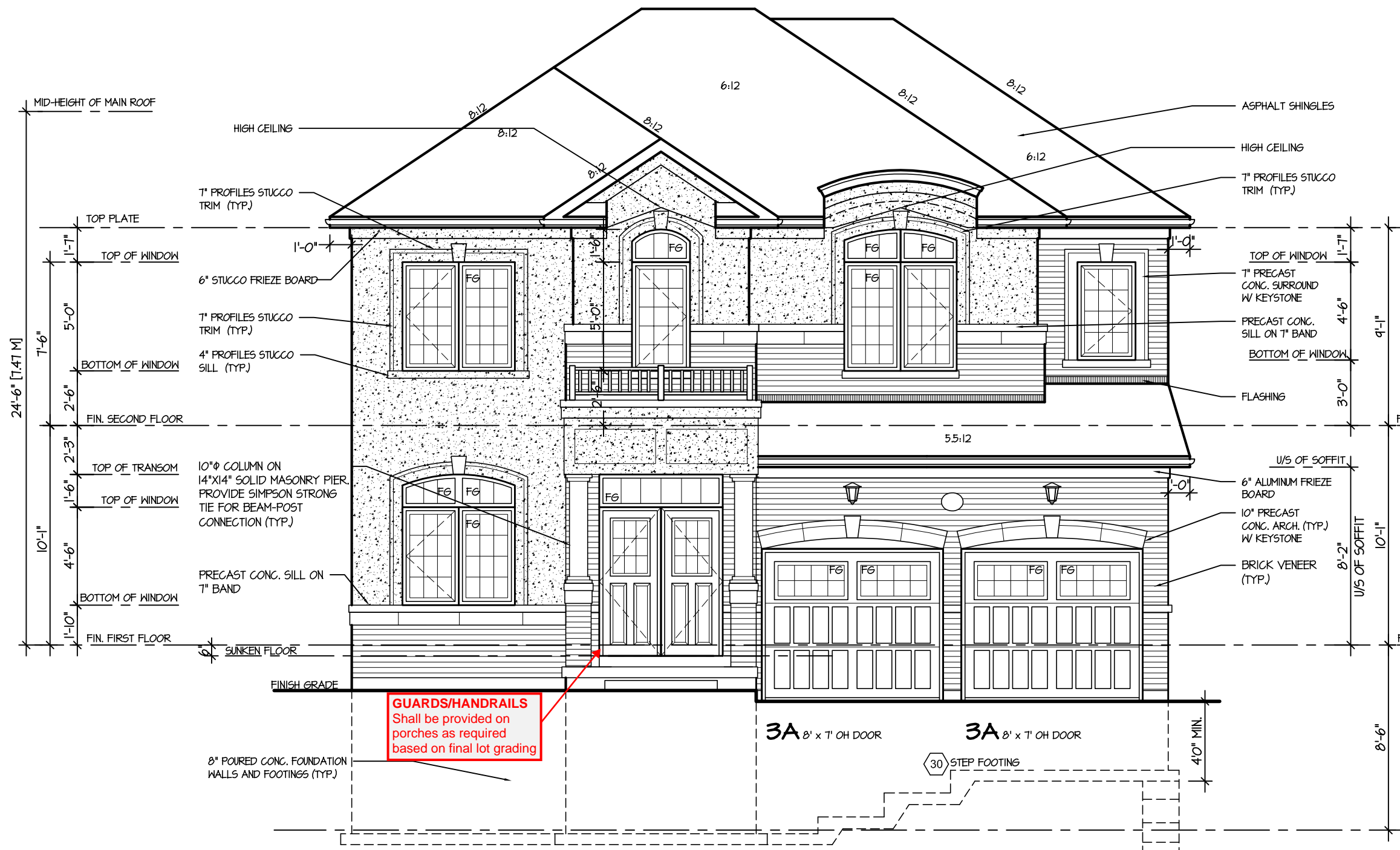
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LECCO RIDGE

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MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION

TOWN OF MILTON  
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JUNIPER 3 MODEL  
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ROOF PLAN 2  
Scale: N.T.S.



FRONT ELEVATION 2

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JUNIPER 3  
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L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
FRONT ELEVATION 2  
SCALE 3/16"=1'-0"  
DATE NOV 2016  
BY V.G.  
TYPE

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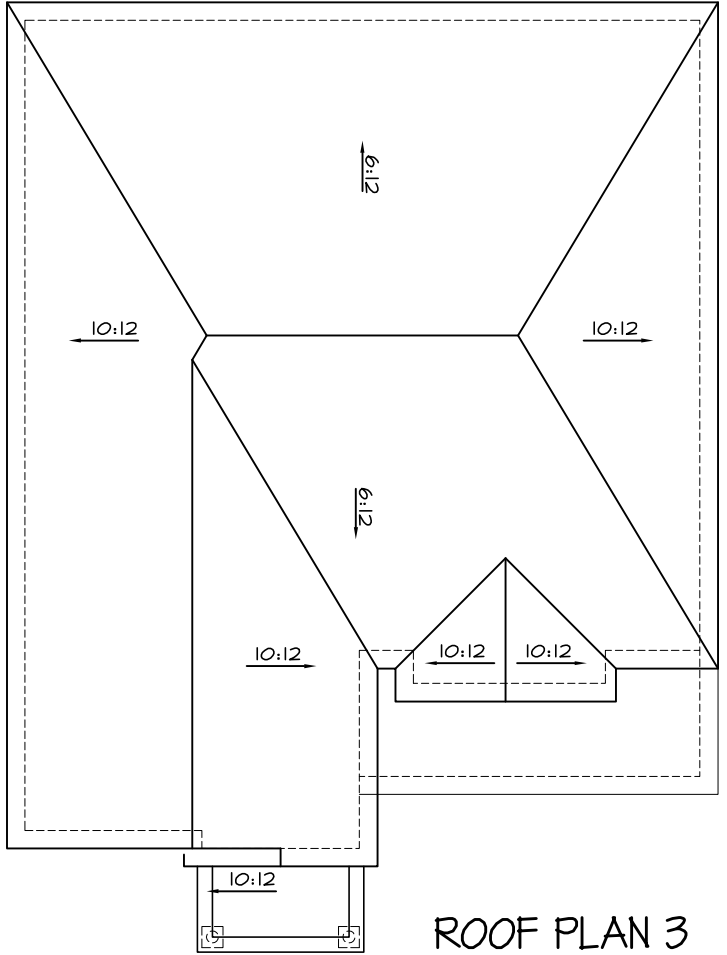
AREA 2760  
PROJECT 02-10-04  
PAGE No. 4-2

PROJECT NAME  
LECCO RIDGE

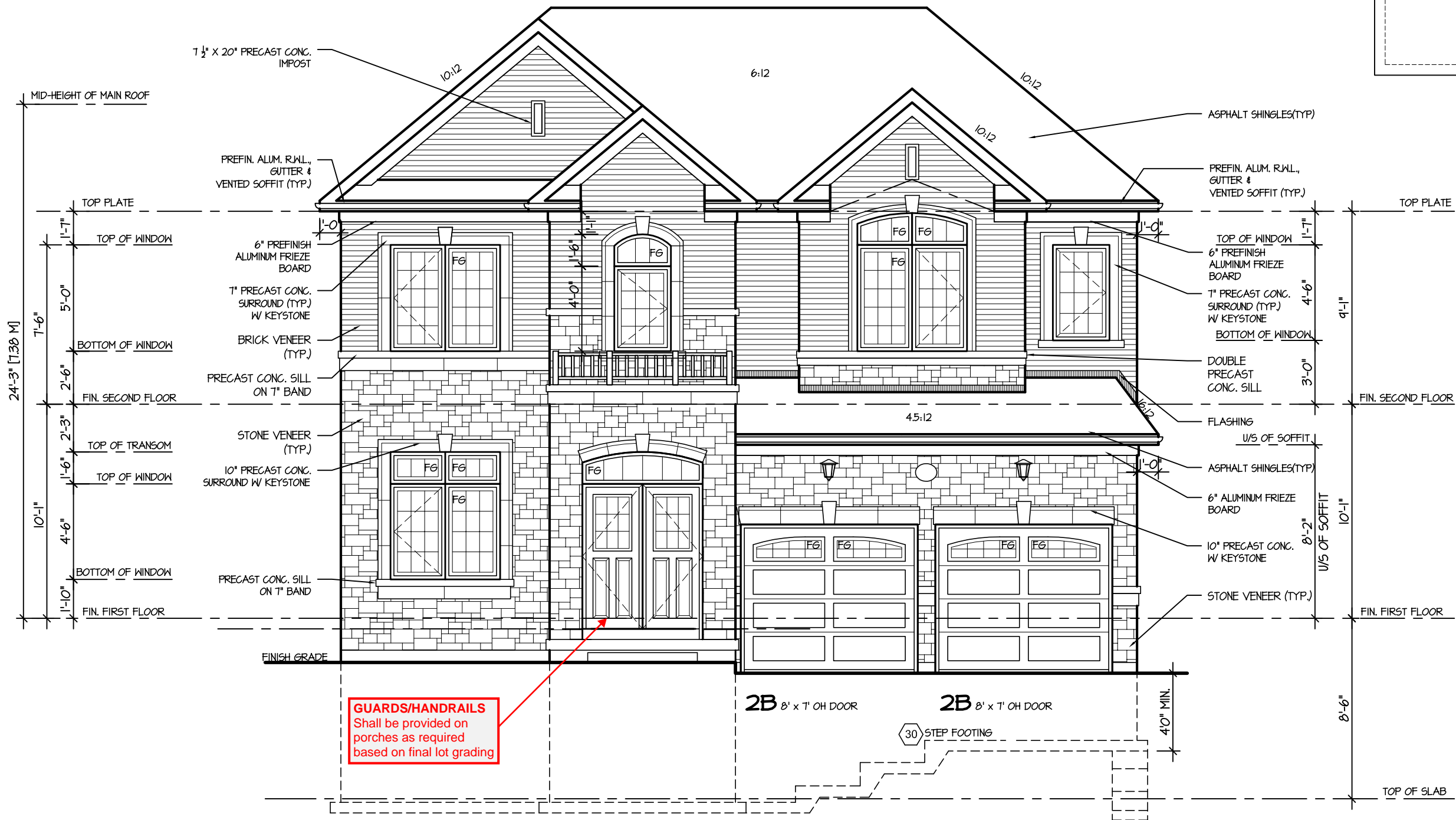
Greenpark.

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
JUNIPER 3 MODEL  
BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
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ROOF PLAN 3  
Scale: N.T.S.



GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

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JUNIPER 3  
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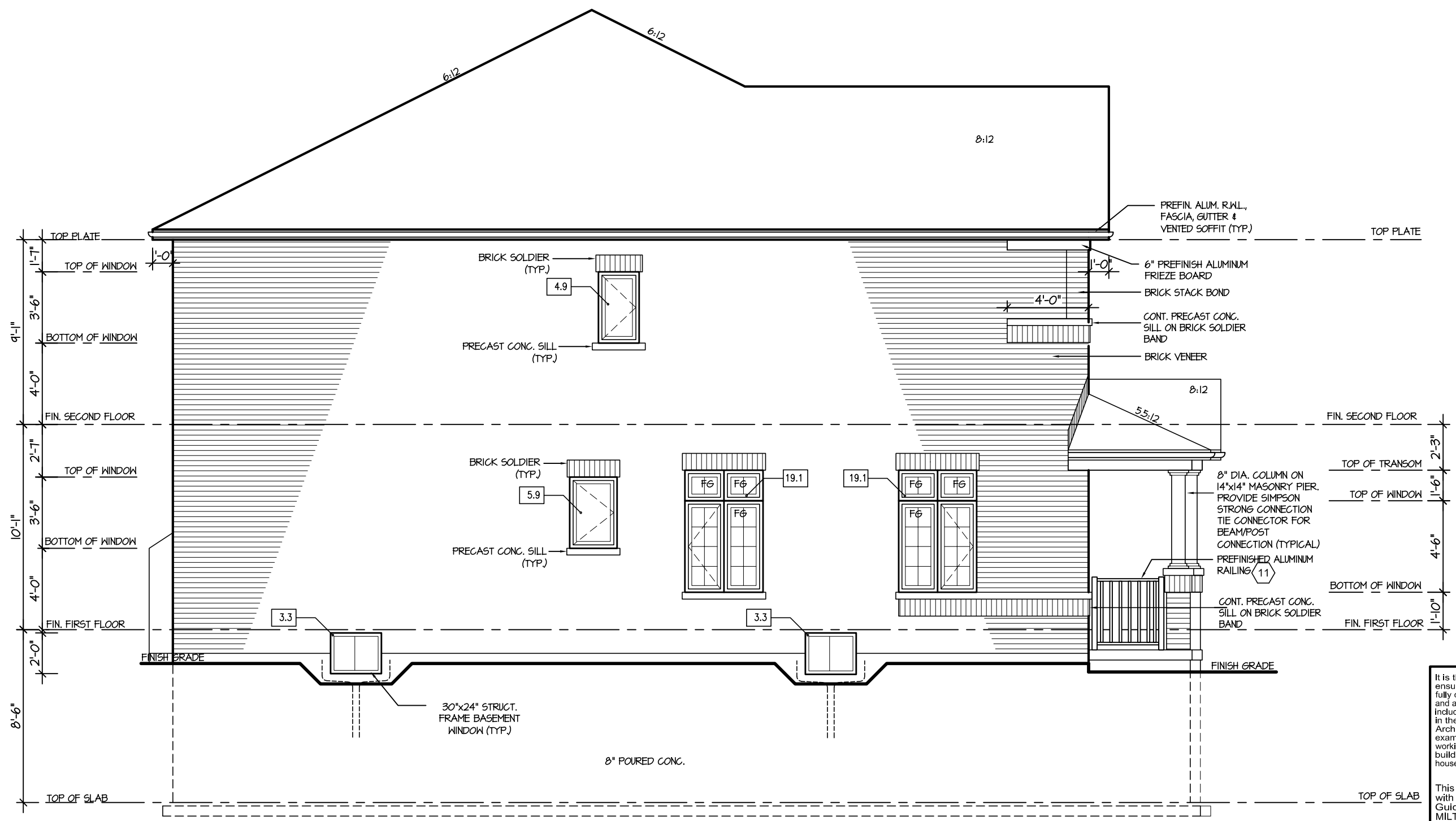
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F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
FRONT ELEVATION 3  
SCALE  
3/16"=1'-0"  
DATE  
NOV 2016  
BY  
V.G.  
TYPE

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AREA  
2760  
PROJECT  
02-10-04  
PAGE No.  
4-3

**Greenpark.**  
PROJECT NAME  
LECCO RIDGE



LEFT ELEVATION I

ALLOWABLE GLAZING			
WALL AREA	=	930	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	65.10	Sq. Ft.
ACTUAL GLAZED AREA	=	55.6	Sq. Ft.

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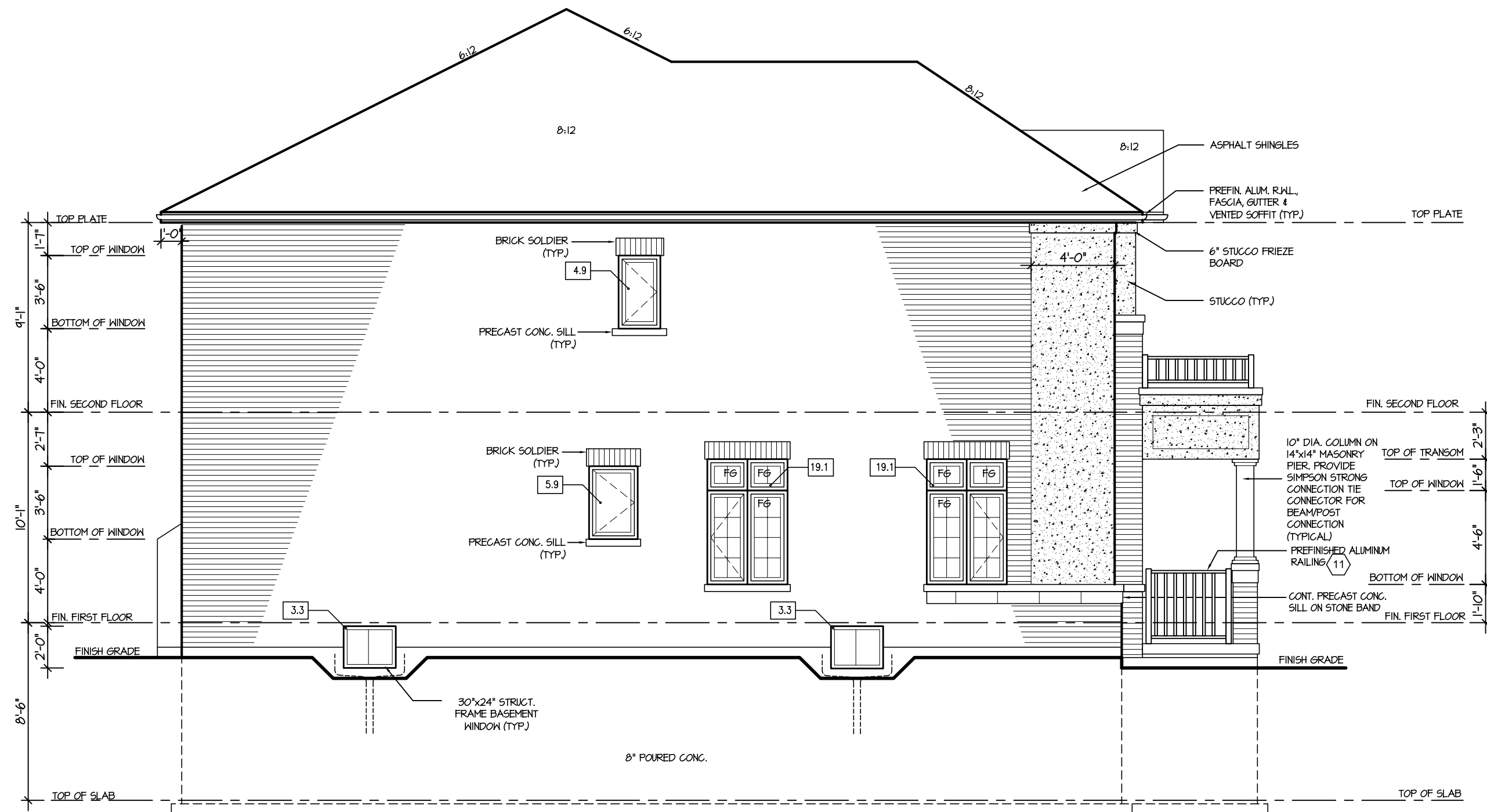
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**JUNIPER 3**  
ENERGY STAR

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4.						LEFT SIDE ELEVATION 1				
3.						SCALE	BY	AREA	PAGE No.	
2. ISSUED FOR REVIEW	NOV 2016					3/16"=1'-0"	V.G.	2760	5	
1. ISSUED FOR REVIEW	SEP 2016		DATE		TYPE	PROJECT				
REVISIONS									PROJECT NAME	
									LECCO RIDGE	

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



LEFT ELEVATION 2

ALLOWABLE GLAZING			
WALL AREA	=	950	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	66.50	Sq. Ft.
ACTUAL GLAZED AREA	=	55.6	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR

5.		
4.		
3.		
2.	ISSUED FOR REVIVE	NOV 2016
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		
QUALIFICATION INFORMATION		
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		
VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE	
LEFT SIDE ELEVATION 2	
SCALE	3/16"=1'-0"
DATE	NOV 2016
BY	V.G.
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	2760
PROJECT	02-10-04
PAGE No.	5-2

PROJECT NAME	
LECCO RIDGE	



ALLOWABLE GLAZING			
WALL AREA	=	950	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	66.50	Sq. Ft.
ACTUAL GLAZED AREA	=	55.6	Sq. Ft.

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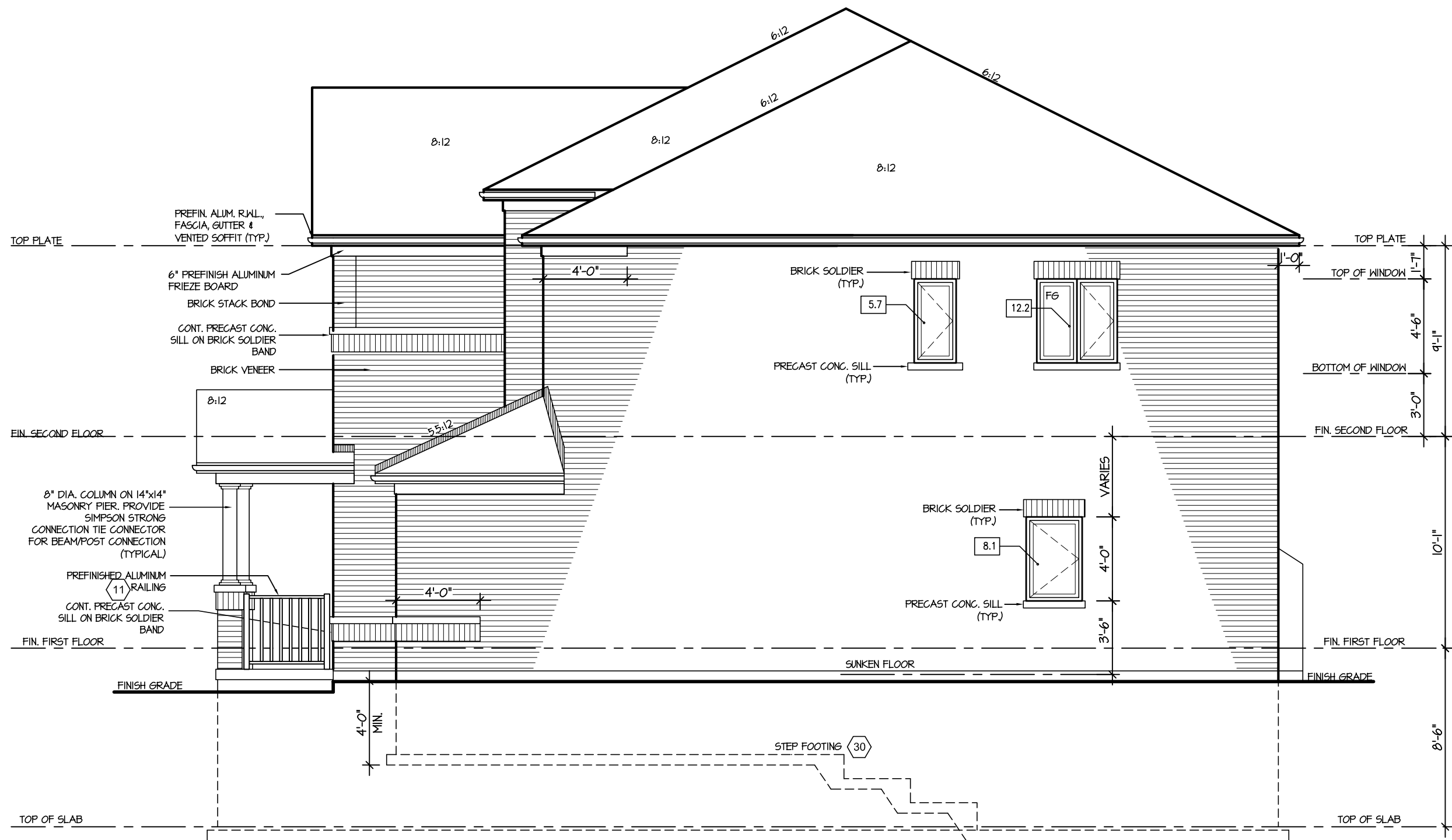
ARCHITECTURAL REVIEW &amp; APPROVAL

MAR 2/0 20Y

John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR

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4.					LEFT SIDE ELEVATION 3				
3.					SCALE	BY	AREA	PAGE No.	
2.	ISSUED FOR REVIEW				3/16"=1'-0"	V.G.	2760	5-3	
1.	ISSUED FOR REVIEW				DATE	TYPE	PROJECT		
REVISIONS		NOV 2016		02-10-04					



RIGHT ELEVATION I

ALLOWABLE GLAZING			
WALL AREA	=	918	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	64.26	Sq. Ft.
ACTUAL GLAZED AREA	=	26.0	Sq. Ft.

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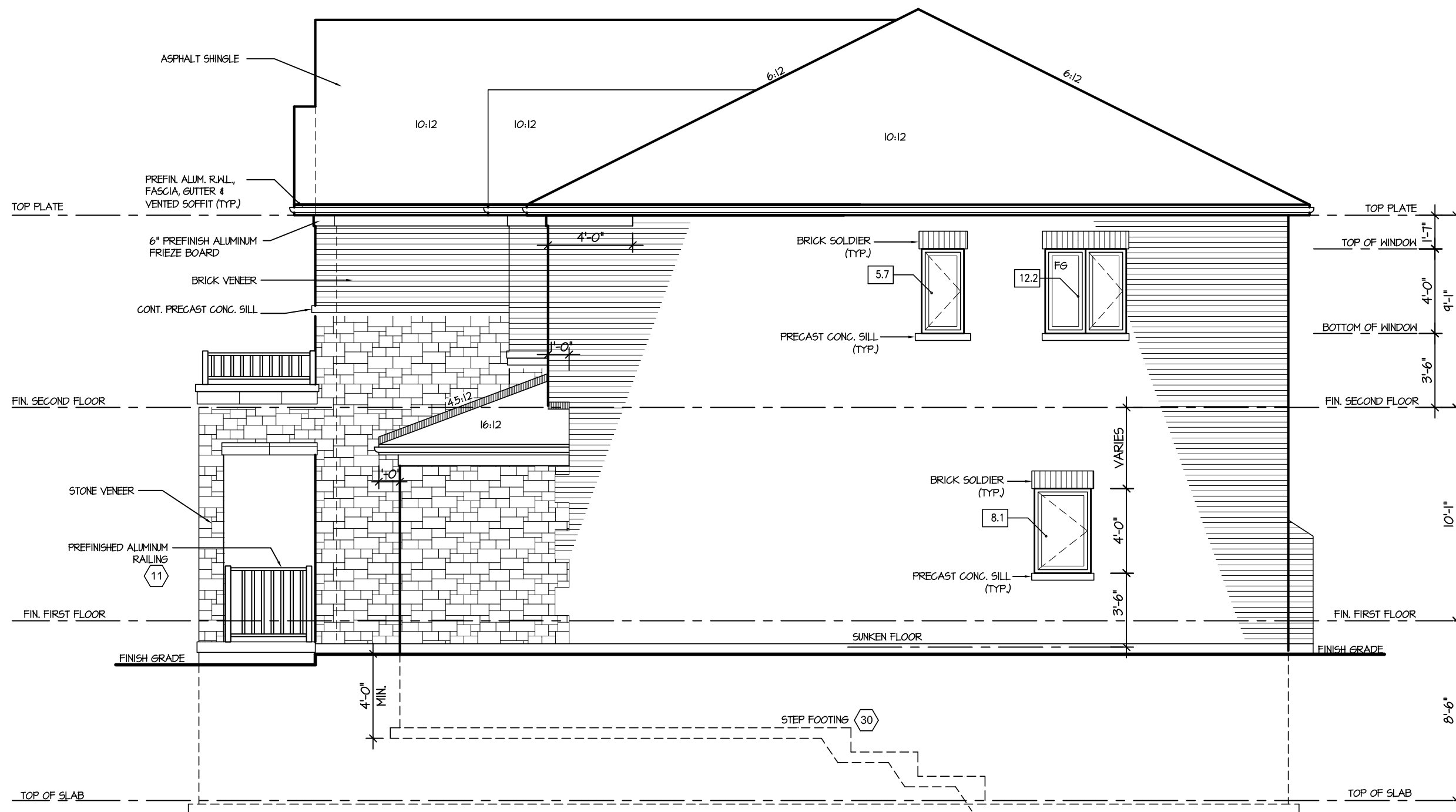
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR

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4.						SCALE	3/16"=1'-0"	BY	V.G.	AREA	2760		PAGE No.	6
3.						DATE	NOV 2016	TYPE		PROJECT	02-10-04			
2.	ISSUED FOR REVIEW	NOV 2016												
1.	ISSUED FOR REVIEW	SEP 2016												
REVISIONS														



RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



RIGHT ELEVATION 3

ALLOWABLE GLAZING			
WALL AREA	=	950	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	66.50	Sq. Ft.
ACTUAL GLAZED AREA	=	26.0	Sq. Ft.

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR

5.		
4.		
3.		
2.	ISSUED FOR REVIEW	NOV 2016
1.	ISSUED FOR REVIEW	SEP 2016

REVISIONS

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VIKAS GAJJAR  
NAME SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**RIGHT SIDE  
ELEVATION 3**

SCALE  
3/16"=1'-0"  
DATE  
NOV 2016

BY  
V.G.  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
2760  
PROJECT  
02-10-04

PAGE No.  
**6-3**

**Greenpark.**

PROJECT NAME  
LECCO RIDGE

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



REAR ELEVATION 1, 2 & 3

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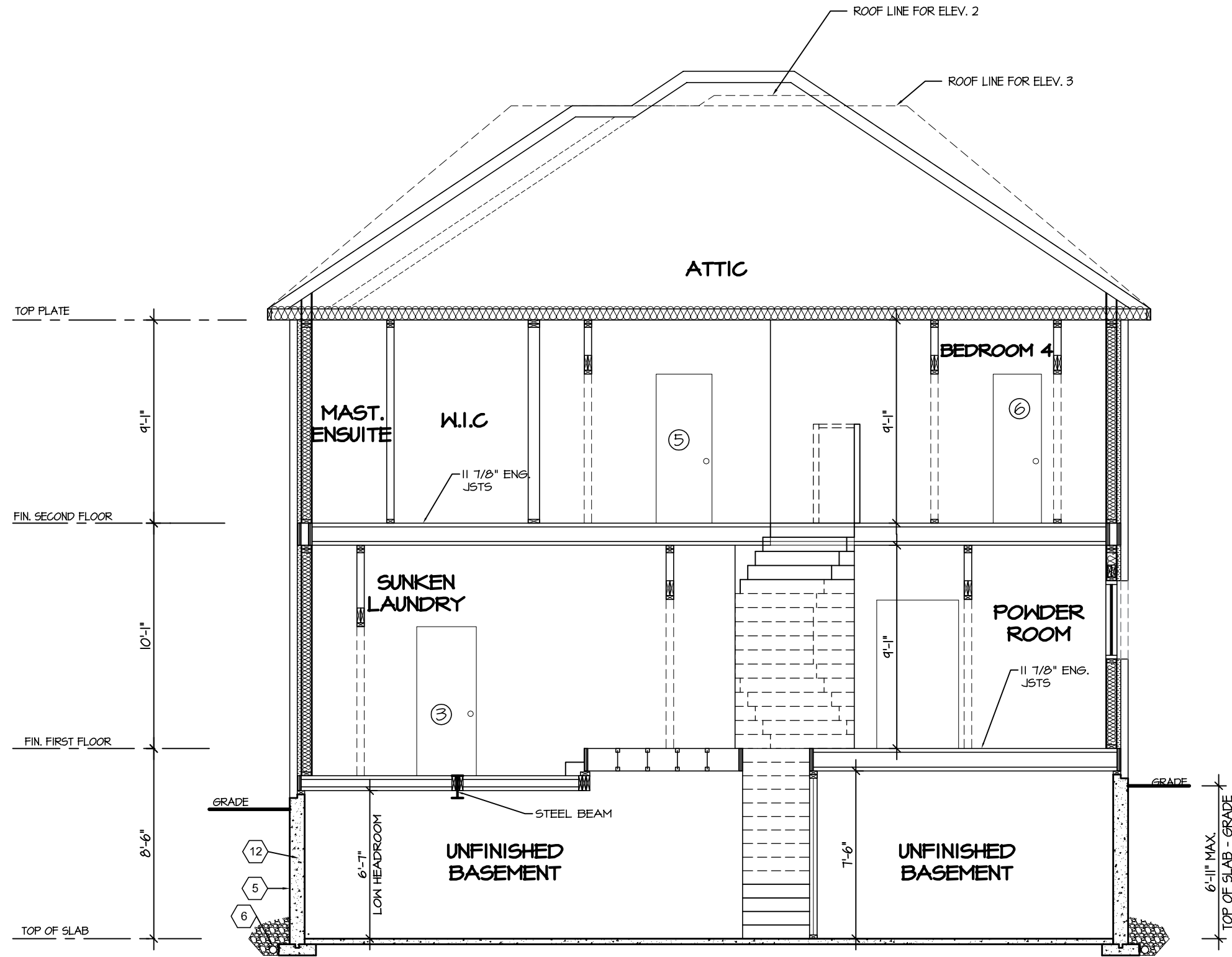
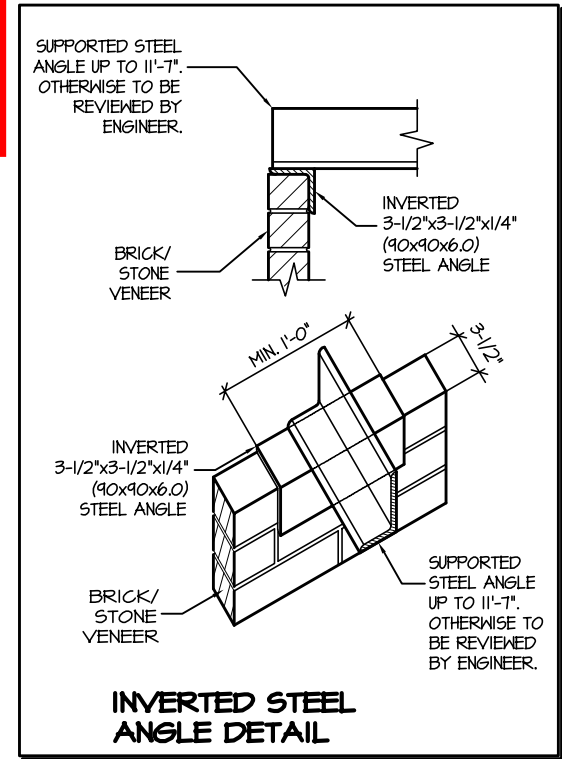
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 3**  
ENERGY STAR

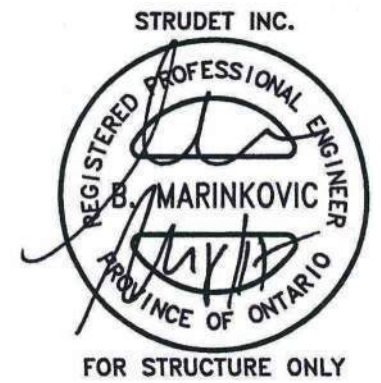
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4.				SCALE	3/16"=1'-0"	BY	V.G.		AREA	2760	PAGE No.	7
3.				DATE	NOV 2016	TYPE			PROJECT	02-10-04		
2. ISSUED FOR REVIEW	NOV 2016			REVISIONS								
1. ISSUED FOR REVIEW	SEP 2016											

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
JUNIPER 3 MODEL  
BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
APR 13, 2017  
DATE  
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



CROSS SECTION A-A



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JUNIPER 3  
ENERGY STAR

5.		
4.		
3.		
2.	ISSUED FOR REVIEW	NOV 2016
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

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QUALIFICATION INFORMATION  
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VIKAS GAJJAR  
NAME  
SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
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REGION  
DESIGN  
INC.

SHEET TITLE  
CROSS SECTION  
SCALE  
3/16"=1'-0"  
BY  
V.G.  
DATE  
NOV 2016  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
2760  
PAGE No.  
8  
PROJECT  
02-10-04

Greenpark.  
PROJECT NAME  
LECCO RIDGE

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



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ARCHITECTURAL REVIEW & APPROVAL

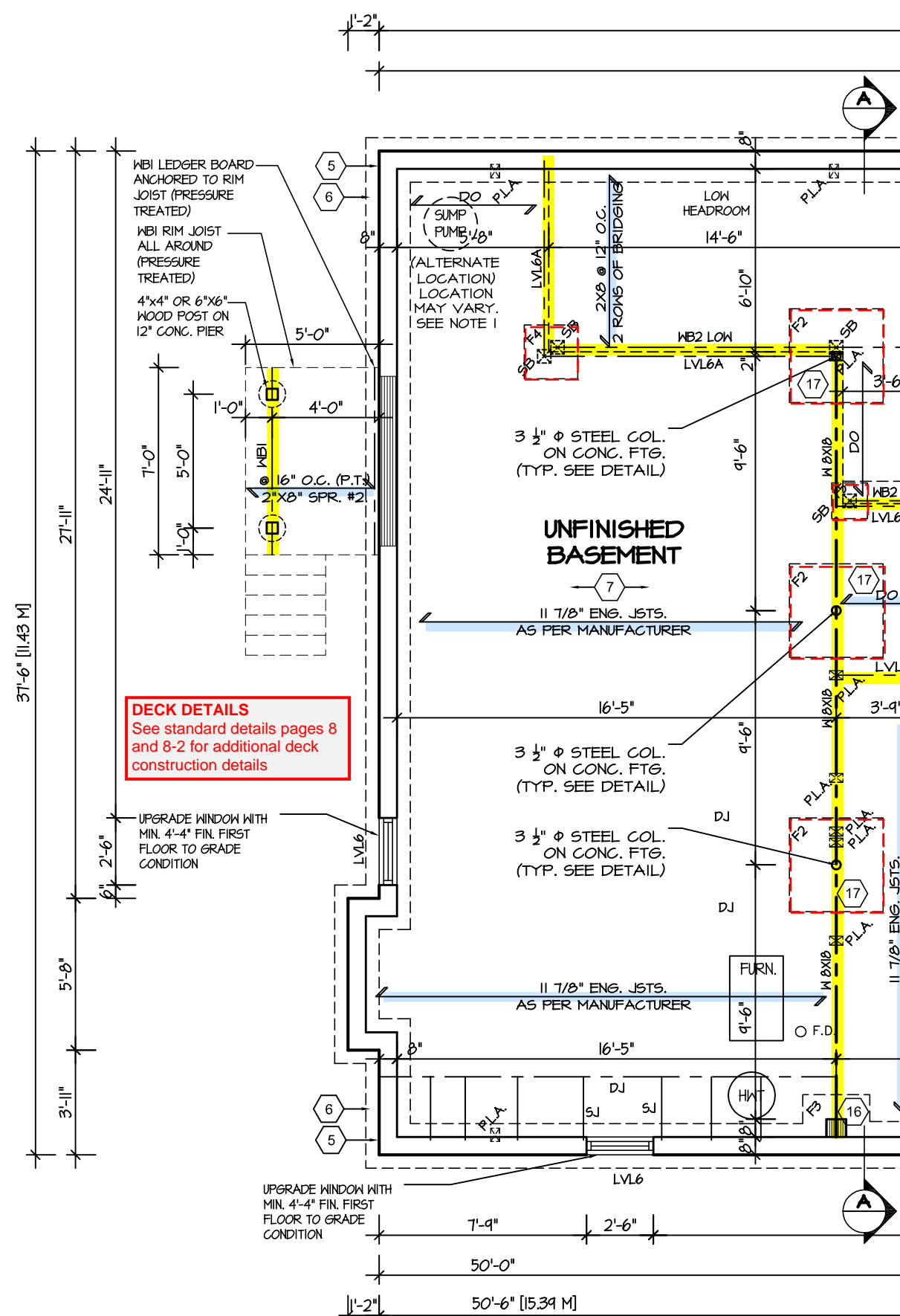
MAR 20 2017

John G. Williams Limited, Architect

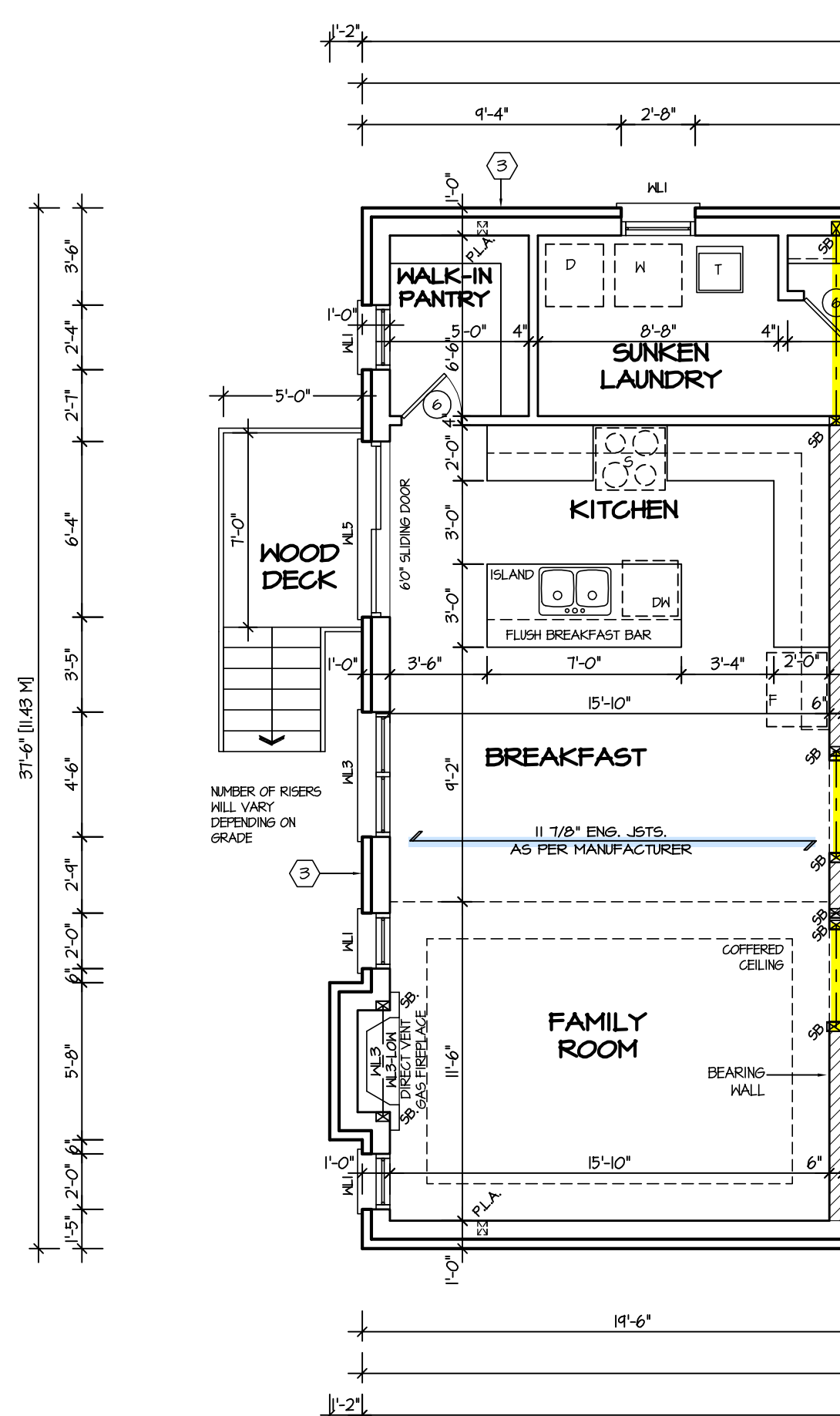
**JUNIPER 3**  
ENERGY STAR



PROJECT NAME	LECCO RIDGE
--------------	-------------



### PARTIAL BASEMENT FLOOR PLAN FOR DECK CONDITION



### PARTIAL FIRST FLOOR PLAN FOR DECK CONDITION

5.		
4.		
3.		
2.	ISSUED FOR REVIEW	NOV 2016
1.	ISSUED FOR REVIEW	SEP 2016
REVISIONS		

**QUALIFICATION INFORMATION**

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE	DECK PLAN
-------------	-----------

SCALE	3/16"=1'-0"
DATE	NOV 2016

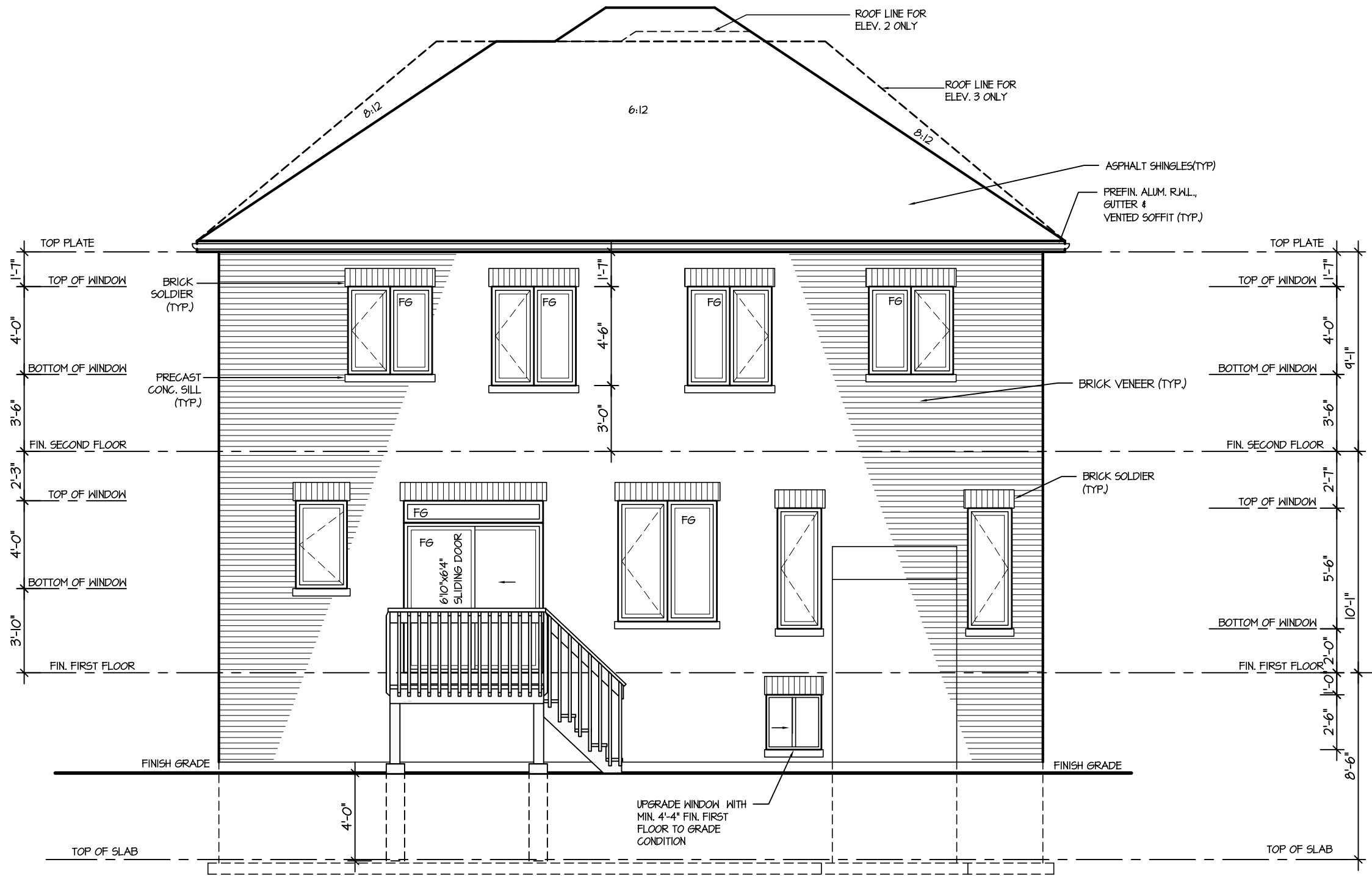
BY	V.G
TYPE	

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER  
PRINTS ARE NOT TO BE SCALED.

AREA	2760
PROJECT	03 10 04

	PAGE No.

**RECEIVED**  
**TOWN OF MILTON**  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



**REAR ELEVATION 1, 2 & 3  
FOR DECK CONDITION**

**DECK DETAILS**  
See standard details pages 8  
and 8-2 for additional deck  
construction details

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**JUNIPER 3**  
ENERGY STAR

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**VIKAS GAJJAR** **28770**  
NAME SIGNATURE BCIN

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**REGION  
DESIGN  
INC.**

**REAR ELEVATION  
DECK CONDITION**

SCALE  
3/16"=1'-0"  
DATE  
NOV 2016

BY  
V.G.  
TYPE

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AREA  
2760  
PROJECT  
02-10-04

PAGE No.  
**10**

**Greenpark.**

PROJECT NAME  
**LECCO RIDGE**

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**TOWN OF MILTON**  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



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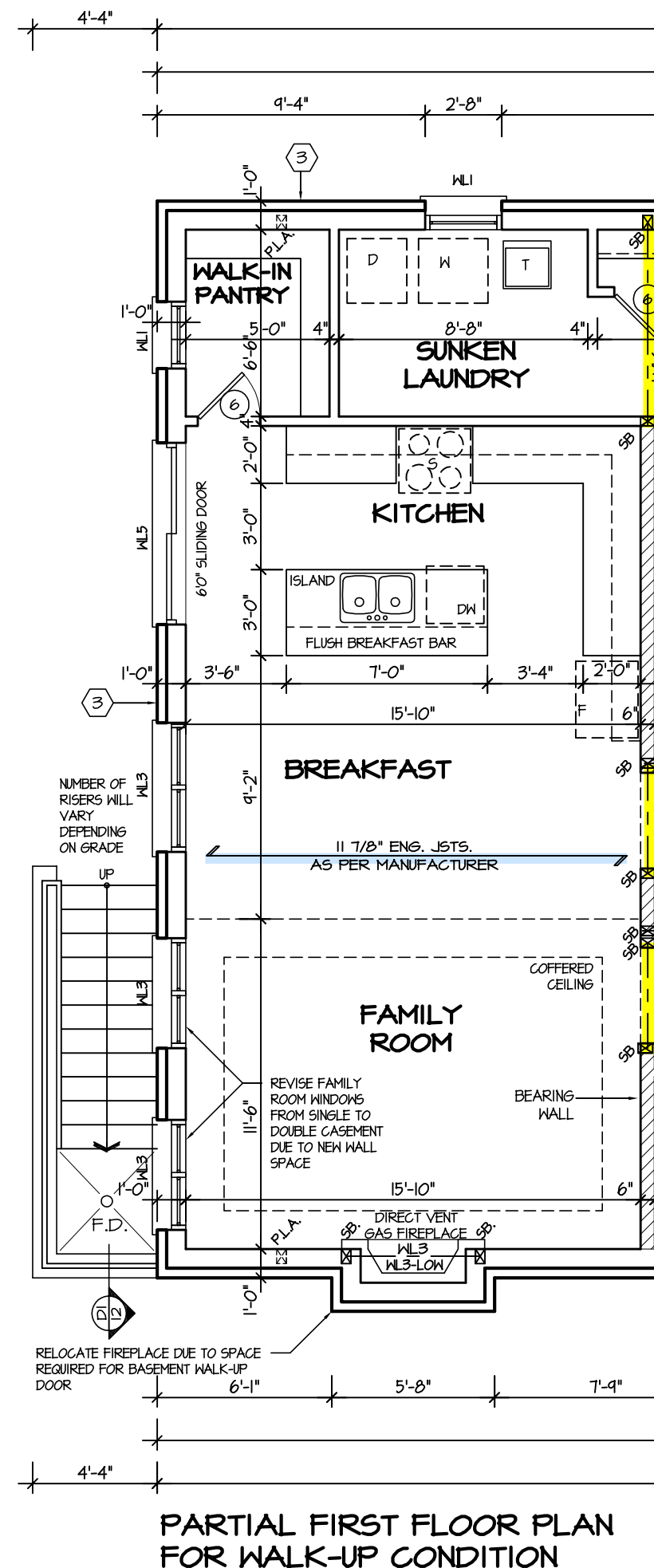
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MAR 20 2017  
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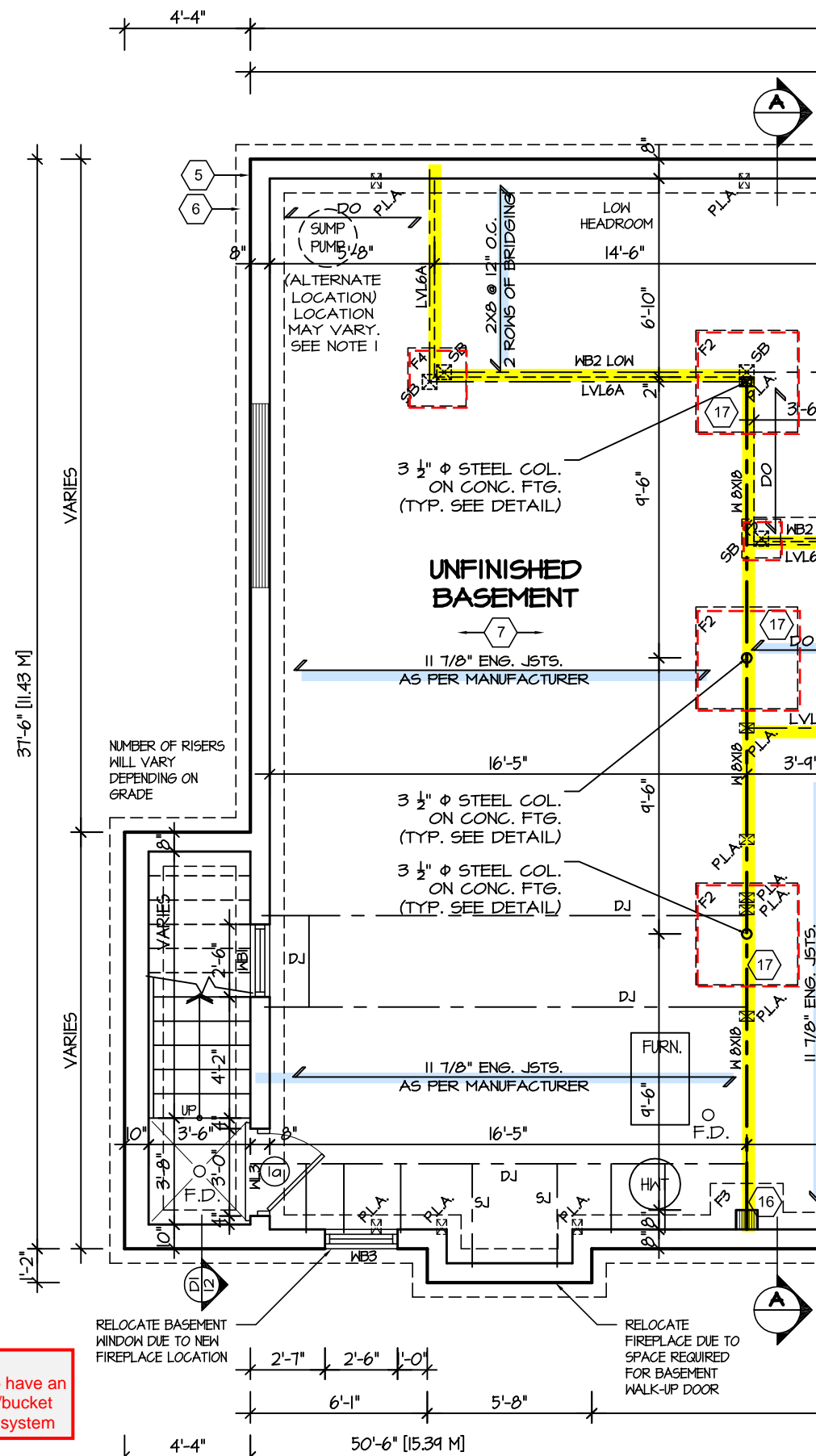
**JUNIPER 3**  
ENERGY STAR



PROJECT NAME  
**LECCO RIDGE**



**PARTIAL FIRST FLOOR PLAN  
FOR WALK-UP CONDITION**



**PARTIAL BASEMENT  
FLOOR PLAN FOR  
WALK-UP CONDITION**

**WALKOUT AREA DRAIN**  
Uncovered walkout landing to have an area drain with sediment trap/bucket connected to Storm drainage system

**WALKOUT BSMT. INSULATION**  
See standard details page 12 for required perimeter slab insulation for walkout basement condition

5.		
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3.		
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NAME	SIGNATURE	BCIN

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L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE <b>WALK-UP PLAN</b>	
SCALE 3/16"=1'-0"	BY ZMP
DATE JAN 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2760	PAGE No. 11
PROJECT 02-10-04	



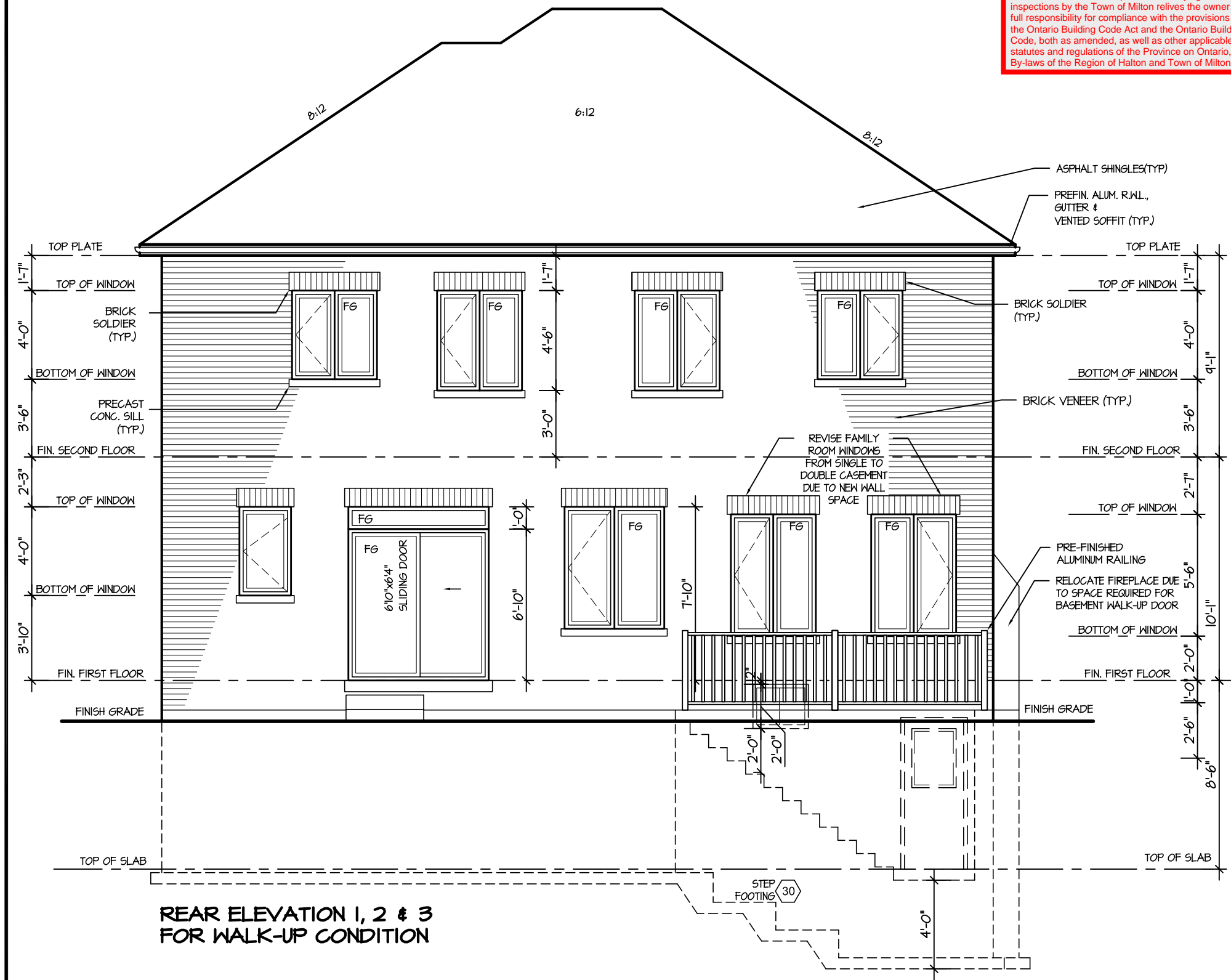
TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
JUNIPER 3 MODEL

BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER

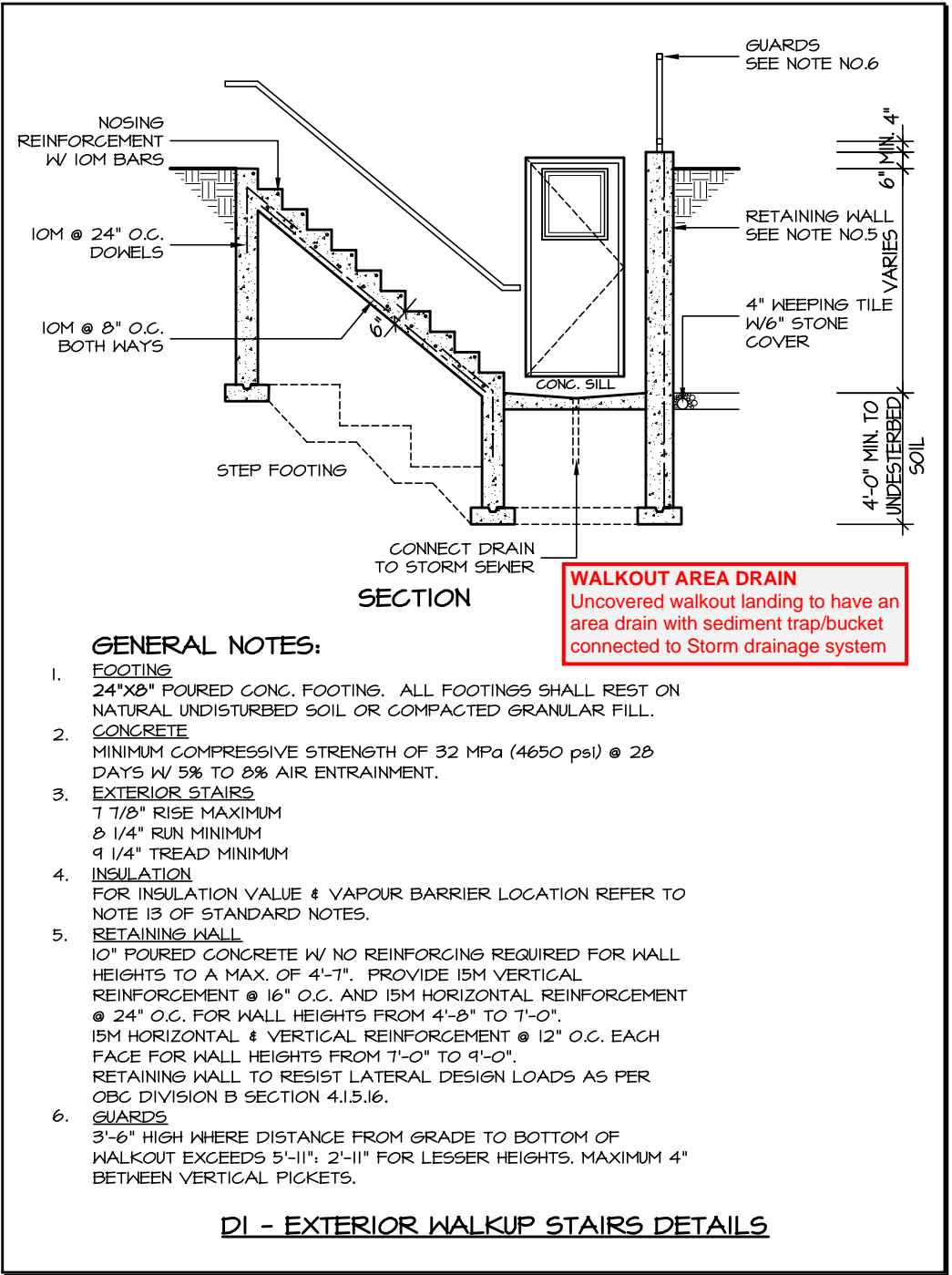
DATE  
APR 13, 2017

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 3  
BUILDING DIVISION



REAR ELEVATION 1, 2 & 3  
FOR WALK-UP CONDITION



GENERAL NOTES:

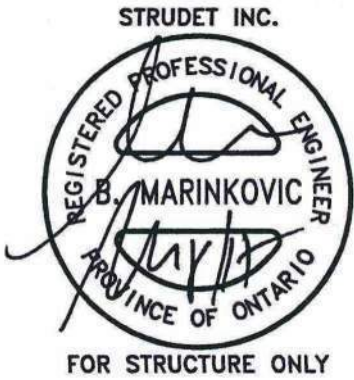
- FOOTING**  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
- CONCRETE**  
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS**  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
- INSULATION**  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
- RETAINING WALL**  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0". 15M HORIZONTAL & VERTICAL REINFORCEMENT @ 12" O.C. EACH FACE FOR WALL HEIGHTS FROM 7'-0" TO 9'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
- GUARDS**  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

DI - EXTERIOR WALKUP STAIRS DETAILS

WALKOUT BSMT. INSULATION  
See standard details page 12 for required perimeter slab insulation for walkout basement condition

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 3  
ENERGY STAR

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VIKAS GAJJAR  
NAME

  
SIGNATURE

28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE REAR ELEVATION WALK-UP CONDITION	
SCALE 3/16"=1'-0"	BY ZMP
DATE JAN 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2760	PAGE No. 12
	PROJECT 02-10-04	



PROJECT NAME  
LECCO RIDGE