

STRIP FOOTINGS -  
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.  
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)  
ASSUME THE LARGER FOOTING SIZE  
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL  
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.  
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)  
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)  
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)  
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)  
L5 = 6"x4"x3/8"L (150x100x10.0L)  
L6 = 7"x4"x3/8"L (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" OR MORE CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

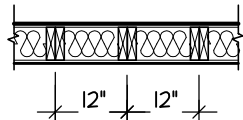
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @12" O.C. FULL HT C/M SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

JUNIPER 2 - ELEV. 1

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	812.92	(75.52)	154.64	(14.31)	19.02 %
LEFT SIDE	949.17	(88.18)	60.08	(5.58)	6.33 %
RIGHT SIDE	949.17	(88.18)	32.42	(3.01)	3.42 %
REAR	796.88	(74.03)	164.26	(15.26)	20.61 %
TOTAL	3508.14 FT²	(325.91 M²)	411.40 FT²	(38.22M²)	11.73 %

JUNIPER 2 - ELEV. 2

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	806.33	(74.91)	125.31	(11.64)	15.54 %
LEFT SIDE	949.17	(88.18)	60.08	(5.58)	6.33 %
RIGHT SIDE	949.17	(88.18)	32.42	(3.01)	3.42 %
REAR	796.88	(74.03)	164.26	(15.26)	20.61 %
TOTAL	3501.55 FT²	(325.24 M²)	382.07 FT²	(35.44M²)	10.91 %

JUNIPER 2 - ELEV. 3


ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	806.33	(74.91)	144.71	(13.44)	17.95 %
LEFT SIDE	949.17	(88.18)	60.08	(5.58)	6.33 %
RIGHT SIDE	949.17	(88.18)	32.42	(3.01)	3.42 %
REAR	796.88	(74.03)	164.26	(15.26)	20.61 %
TOTAL	3501.55 FT²	(325.24 M²)	401.47 FT²	(37.30M²)	11.47 %

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
JUNIPER 2 MODEL

**BUILDING: REVIEWED**  
SCOTT SHERRIFFS APR 13, 2017  
PLANS EXAMINER DATE  
Neither the issuance of a permit nor carrying out of  
inspections by the Town of Milton relieves the owner from  
full responsibility for compliance with the provisions of  
the Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
By-laws of the Region of Halton and Town of Milton

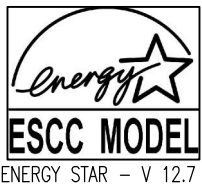
**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE

**RECEIVED**  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE

**ZONING: APPROVED**  
ROBIN CAMPBELL APR 22, 2017  
ZONING OFFICER DATE

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
constructions details and specifications

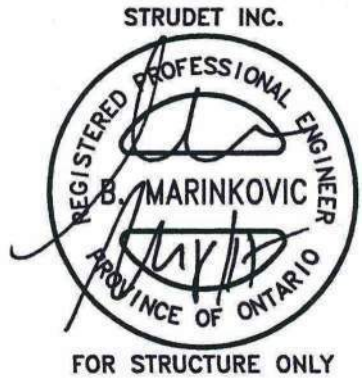


ENERGY STAR - V 12.7

ELEV. 1				
GROUND FLOOR AREA	=	1188	Sq. Ft.	
SECOND FLOOR AREA	=	1522	Sq. Ft.	
TOTAL FLOOR AREA	=	2710	Sq. Ft.	
		251.77	Sq. M.	
1ST FLOOR OPEN AREA	=	0	Sq. Ft.	
2ND FLOOR OPEN AREA	=	0	Sq. Ft.	
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.	
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.	
GROSS FLOOR AREA	=	2710	Sq. Ft.	
		251.77	Sq. M.	
GROUND FLOOR COVERAGE	=	1188	Sq. Ft.	
GARAGE COVERAGE / AREA	=	402	Sq. Ft.	
PORCH COVERAGE / AREA	=	125	Sq. Ft.	
TOTAL COVERAGE W/ PORCH	=	1715	Sq. Ft.	
		159.33	Sq. m.	
TOTAL COVERAGE W/O PORCH	=	1590	Sq. Ft.	
		147.72	Sq. m.	

ELEV. 2				
GROUND FLOOR AREA	=	1188	Sq. Ft.	
SECOND FLOOR AREA	=	1522	Sq. Ft.	
TOTAL FLOOR AREA	=	2710	Sq. Ft.	
		251.77	Sq. M.	
1ST FLOOR OPEN AREA	=	0	Sq. Ft.	
2ND FLOOR OPEN AREA	=	0	Sq. Ft.	
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.	
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.	
GROSS FLOOR AREA	=	2710	Sq. Ft.	
		251.77	Sq. M.	
GROUND FLOOR COVERAGE	=	1188	Sq. Ft.	
GARAGE COVERAGE / AREA	=	402	Sq. Ft.	
PORCH COVERAGE / AREA	=	125	Sq. Ft.	
TOTAL COVERAGE W/ PORCH	=	1715	Sq. Ft.	
		159.33	Sq. m.	
TOTAL COVERAGE W/O PORCH	=	1590	Sq. Ft.	
		147.72	Sq. m.	

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
2012 ENERGY STAR V-12.7	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE C (ER 29/IV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 65% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs



It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

**JUNIPER 2**  
ENERGY STAR



PROJECT NAME  
**LECCO RIDGE**

5.		
4.		
3.		
2.		
1.	ISSUED FOR COORDINATION	JULY 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

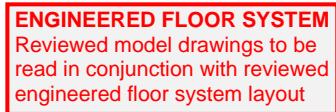
VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE	
AREA CHARTS	
SCALE 3/16"=1'-0"	BY ZMP
DATE JULY 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2710	PAGE No. 0
PROJECT 02-10-03	



STRUDET INC.

FOR STRUCTURE ONLY

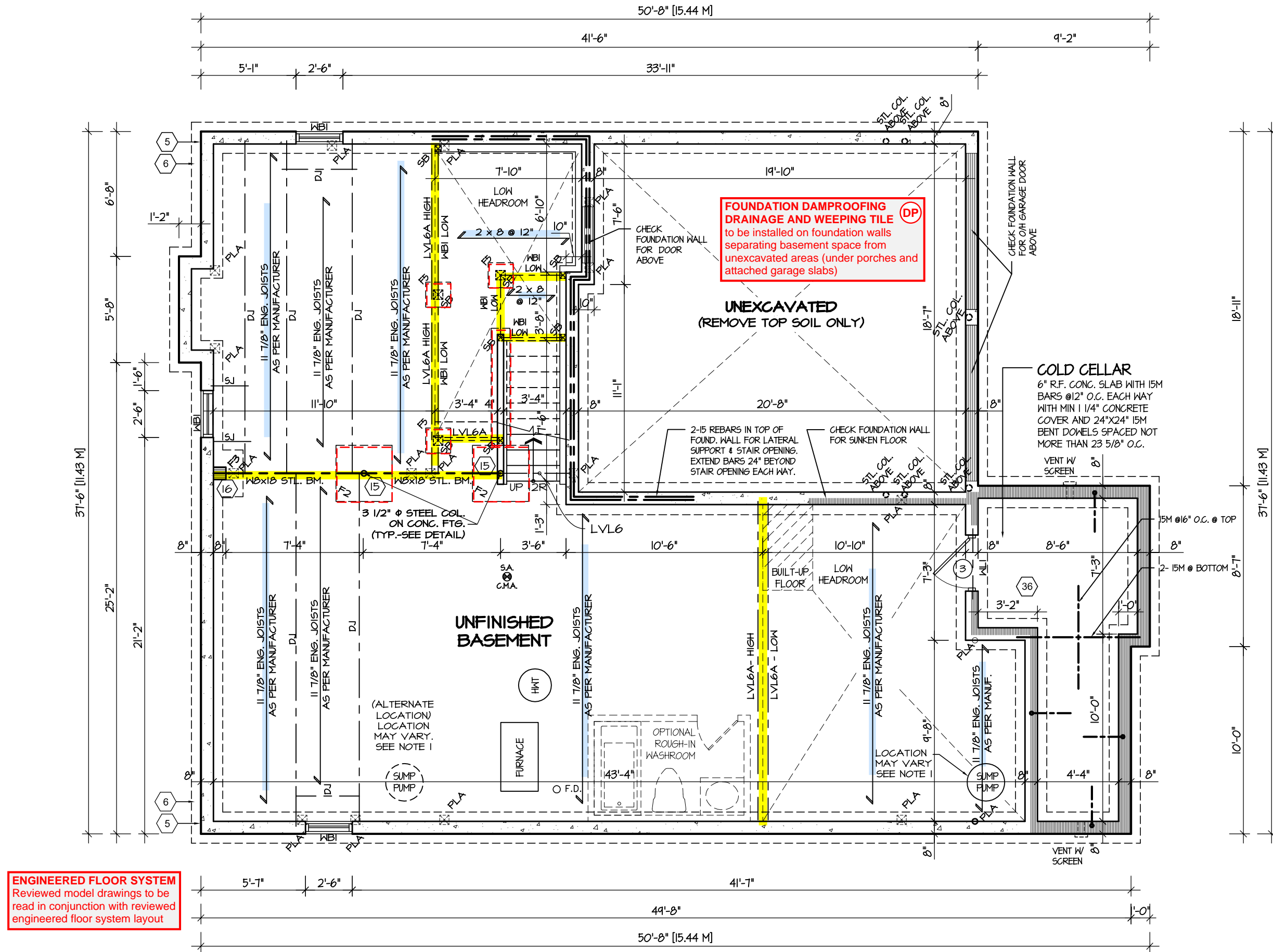
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect



April 7, 2017



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**TOWN OF MILTON**  
MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION



**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

**BASEMENT PLAN ELEV. 2**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE 1:** FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 2**  
ENERGY STAR



5.		
4.		
3.		
2.		
1.	ISSUED FOR COORDINATION	JULY 2016

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE

28770  
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SHEET TITLE  
**BASEMENT PLAN ELEV. 2**

SCALE 3/16"=1'-0"  
DATE JULY 2016

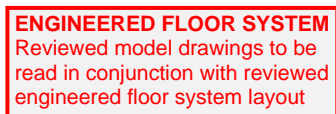
BY ZMP  
TYPE

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AREA 2710  
PROJECT 02-10-03

PAGE No.  
**1-2**

PROJECT NAME  
**LECCO RIDGE**



REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

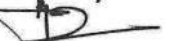


5.		
4.		
3.		
2.		
1.	ISSUED FOR COORDINATION	JULY 2016
<p align="center"><b>REVISIONS</b></p>		

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**QUALIFICATION INFORMATION**

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VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

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REGION  
DESIGN  
INC.

SHEET TITLE	
<p style="text-align: center;"><b>BASEMENT PLAN</b> <b>ELEV. 3</b></p>	
SCALE	BY
3/16"=1'-0"	ZMP
DATE	TYPE
JULY 2016	

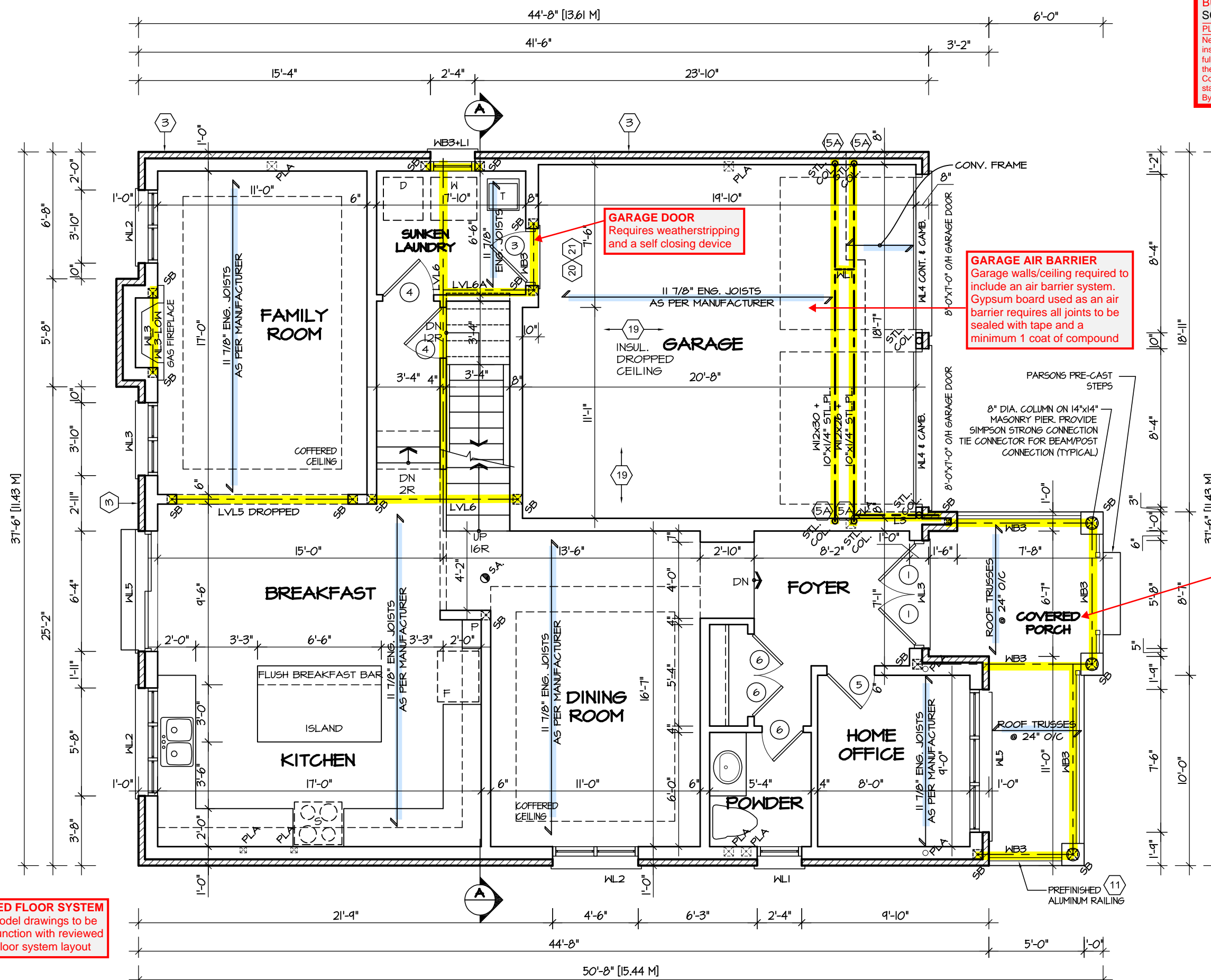
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA <b>2710</b>	PAGE No. <b>1-3</b>
PROJECT <b>02-10-03</b>	

1-3



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MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION



**ENGINEERED FLOOR SYSTEM**  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

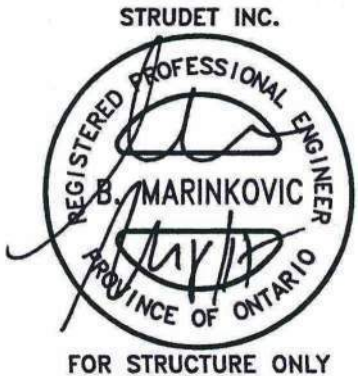
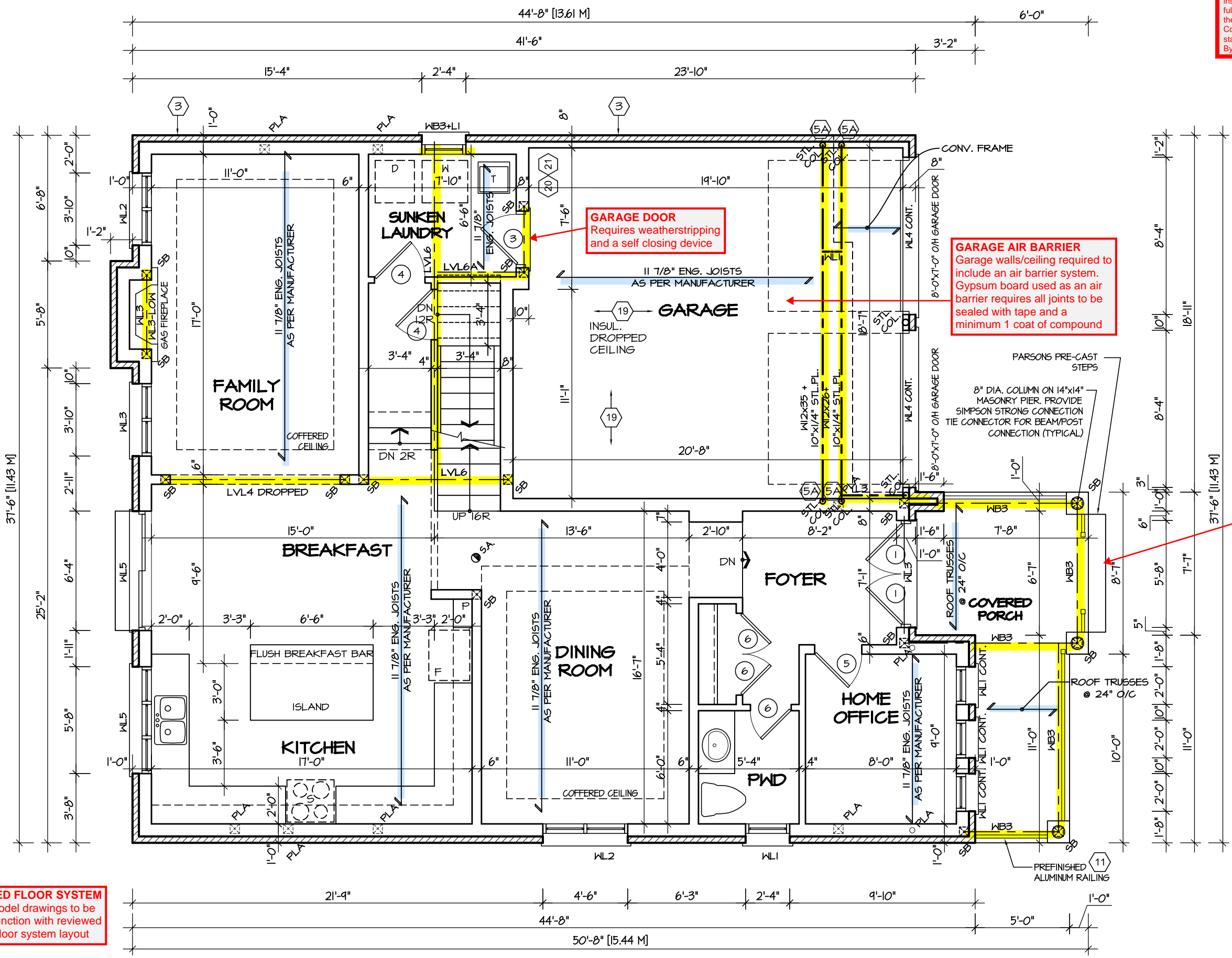
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 2**  
ENERGY STAR

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div><div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		<div>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</div>		<div></div>
4.					FIRST FLOOR PLAN				
3.					ELEV. 1				
2.					SCALE	BY	AREA	PAGE No.	
1.	ISSUED FOR COORDINATION				JULY 2016	3/16"=1'-0"	ZMP	2710	
REVISIONS			DATE	TYPE	PROJECT	PROJECT NAME			
			JULY 2016		02-10-03	LECCO RIDGE			

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ENGINEERED FLOOR SYSTEM  
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout



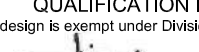
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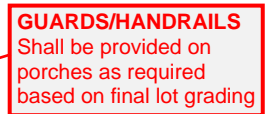
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

JUNIPER 2  
ENERGY STAR



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4.					FIRST FLOOR PLAN			
3.					ELEV. 2			
2.					SCALE	BY	AREA	PAGE No.
1.	ISSUED FOR COORDINATION				3/16"=1'-0"	ZMP	2710	2-2
REVISIONS		DATE		PROJECT				
		JULY 2016		02-10-03				





STRUDET INC.



FOR STRUCTURE ONLY

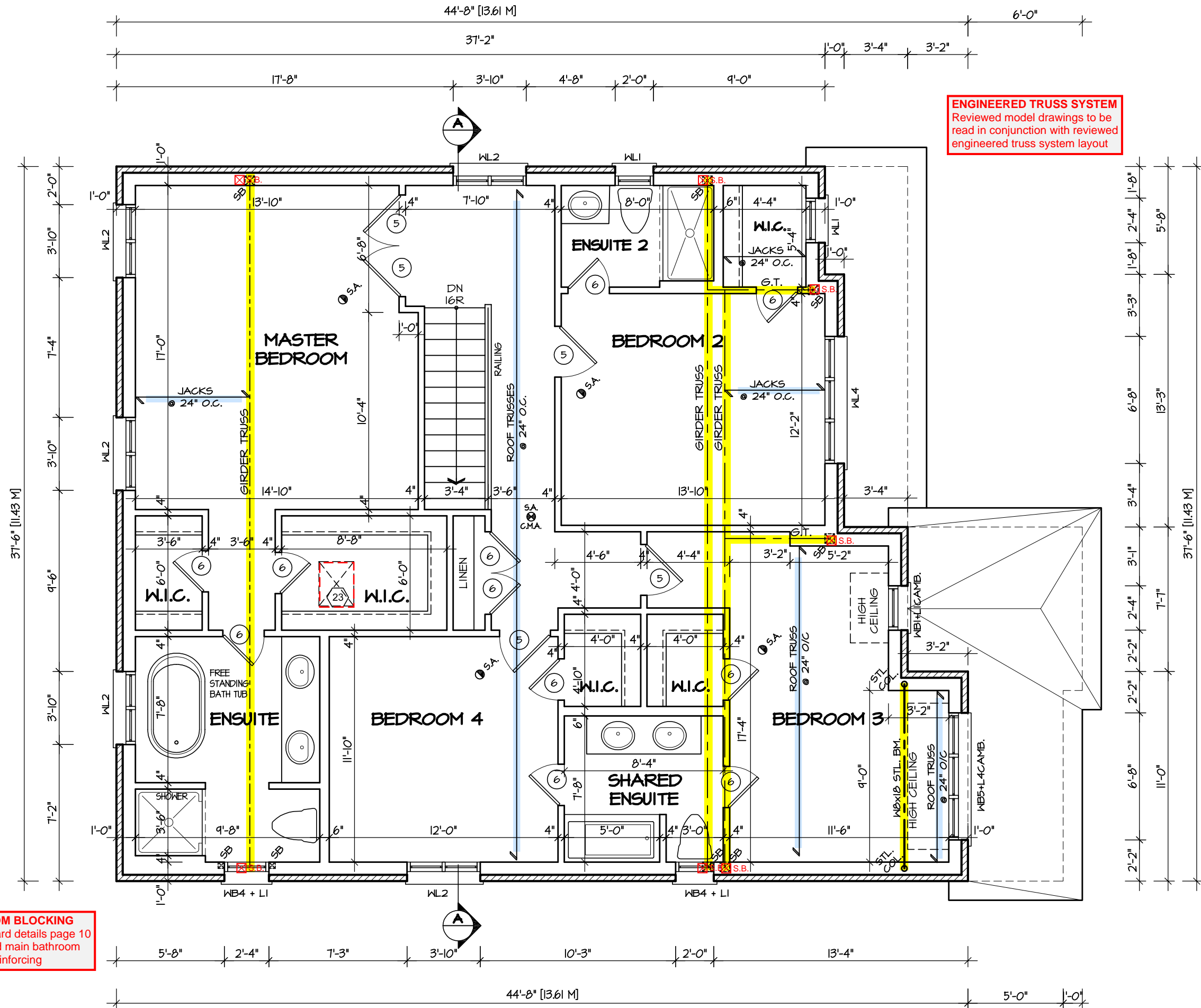
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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 2**  
ENERGY STAR

	
PROJECT NAME	LECCO RIDGE

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION



**BATHROOM BLOCKING**  
See standard details page 10  
for required main bathroom  
grab bar reinforcing

SECOND FLOOR PLAN ELEV. I

STRUDET INC.




FOR STRUCTURE ONLY

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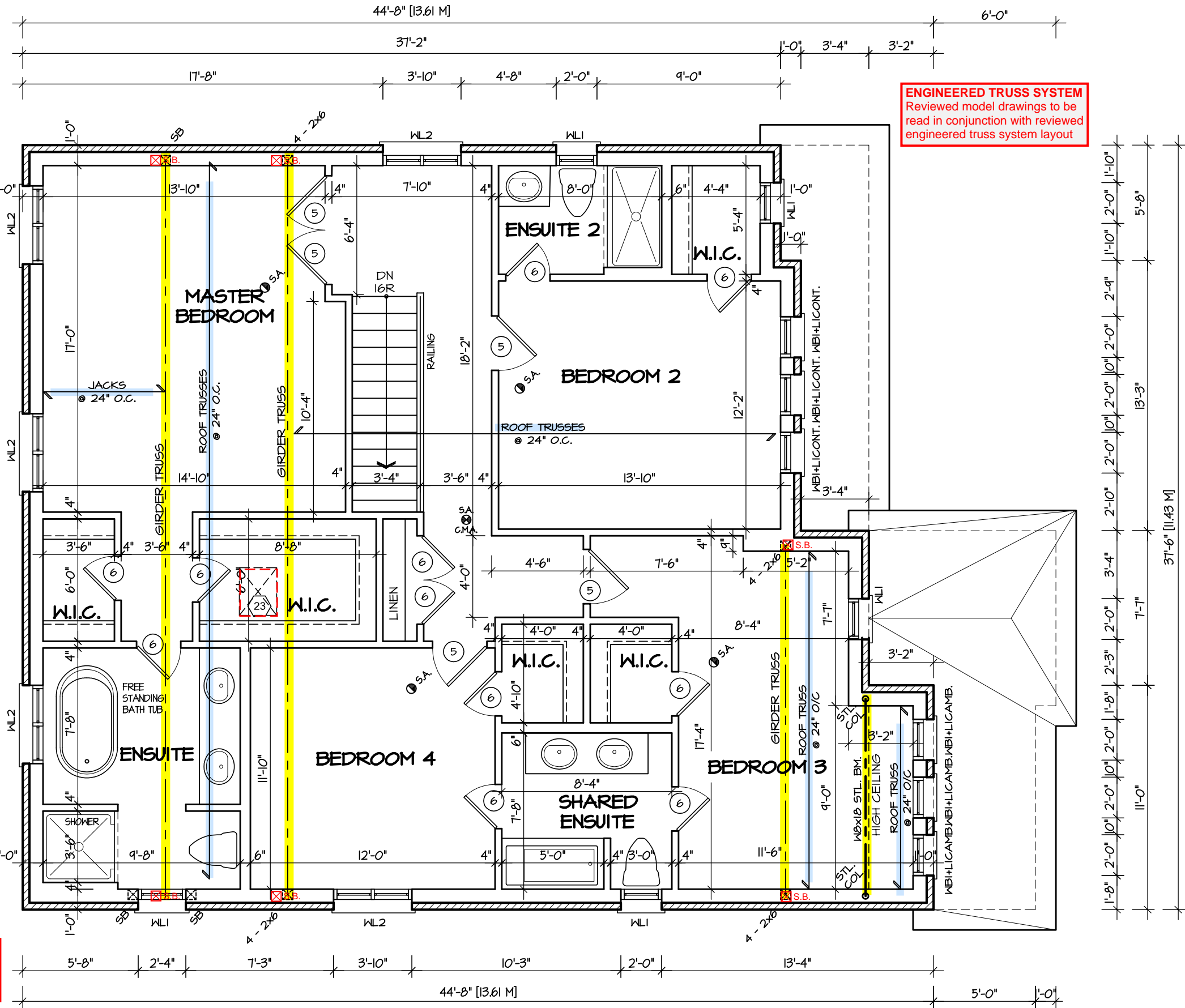
**JUNIPER 2**  
ENERGY STAR

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4.					SECOND FLOOR PLAN				
3.					ELEV. 1				
2.					SCALE	BY	AREA	PAGE No.	
1.	ISSUED FOR COORDINATION				JULY 2016	3/16"=1'-0"	ZMP	2710	
REVISIONS			DATE	TYPE	PROJECT				
			JULY 2016		02-10-03				



ENGINEERED TRUSS SYSTEM  
Reviewed model drawings to be read in conjunction with reviewed engineered truss system layout

BATHROOM BLOCKING  
See standard details page 10 for required main bathroom grab bar reinforcing



SECOND FLOOR PLAN ELEV.2



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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
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JUNIPER 2  
ENERGY STAR



PROJECT NAME  
LECCO RIDGE

5.		
4.		
3.		
2.		
1.	ISSUED FOR COORDINATION	JULY 2016
REVISIONS		

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VIKAS GAJJAR  
NAME SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
SECOND FLOOR PLAN  
ELEV. 2  
SCALE  
3/16"=1'-0"  
DATE  
JULY 2016  
BY  
ZMP  
TYPE  
PROJECT  
02-10-03

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
2710  
PAGE No.  
3-2

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION



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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 2**  
ENERGY STAR



PROJECT NAME	LECCO RIDGE
--------------	-------------

5.		
4.		
3.		
2.		
1.	ISSUED FOR COORDINATION	JULY 2016
<b>REVISIONS</b>		

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NAME	SIGNATURE	BCIN

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8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**R**EGION  
**D**ESIGN  
**I**NC.

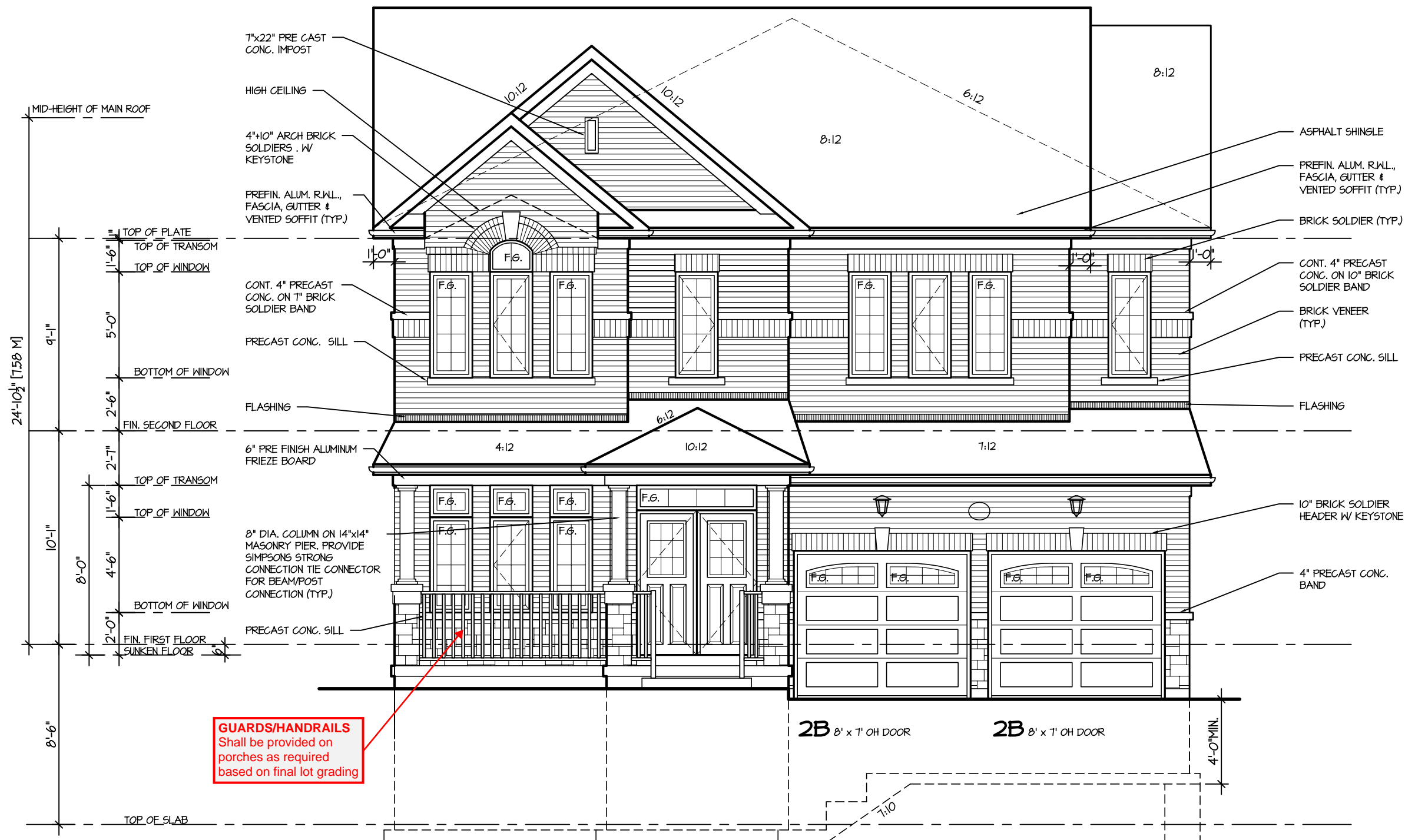
SHEET TITLE	
<p align="center"><b>SECOND FLOOR PLAN</b></p> <p align="center"><b>ELEV. 3</b></p>	
SCALE	BY
3/16"=1'-0"	ZMP
DATE	TYPE
JULY 2016	

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

AREA 2710	PAGE No. 3-3
PROJECT 02-10-03	







MID-HEIGHT OF MAIN ROOF

24'-10 1/2" [7.58 M]

8'-6"

TOP OF SLAB

7"x22" PRE CAST  
CONC. IMPOST

HIGH CEILING

4"x10" ARCH BRICK  
SOLDIERS, W/  
KEYSTONE

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

TOP OF PLATE  
TOP OF TRANSOM  
TOP OF WINDOW

CONT. 4" PRECAST  
CONC. ON 10" BRICK  
SOLDIER BAND

PRECAST CONC. SILL

BOTTOM OF WINDOW

FLASHING

6" PRE FINISH ALUMINUM  
FRIEZE BOARD

TOP OF TRANSOM

TOP OF WINDOW

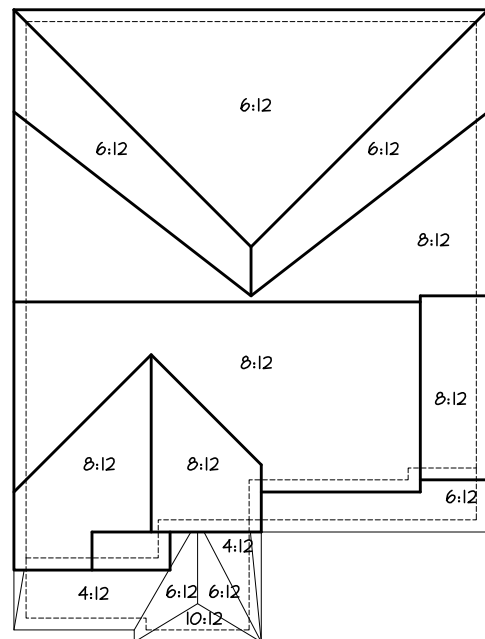
8" DIA. COLUMN ON 14"x14"  
MASONRY PIER, PROVIDE  
SIMPSON'S STRONG  
CONNECTION TIE CONNECTOR  
FOR BEAM/POST  
CONNECTION (TYP.)

PRECAST CONC. SILL

FIN. FIRST FLOOR  
SUNKEN FLOOR

**GUARDS/HANDRAILS**  
Shall be provided on  
porches as required  
based on final lot grading

FRONT ELEVATION 2



ROOF PLAN 2

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
JUNIPER 2 MODEL

**BUILDING: REVIEWED**  
SCOTT SHERRIFFS  
PLANS EXAMINER

**APR 13, 2017**  
DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

**RECEIVED**  
TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 2**  
ENERGY STAR

5.		
4.		
3.		
2.		
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REVISIONS		

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NAME	SIGNATURE	BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**FRONT ELEVATION  
ELEV. 2**

SCALE 3/16"=1'-0"	BY ZMP
DATE JULY 2016	TYPE

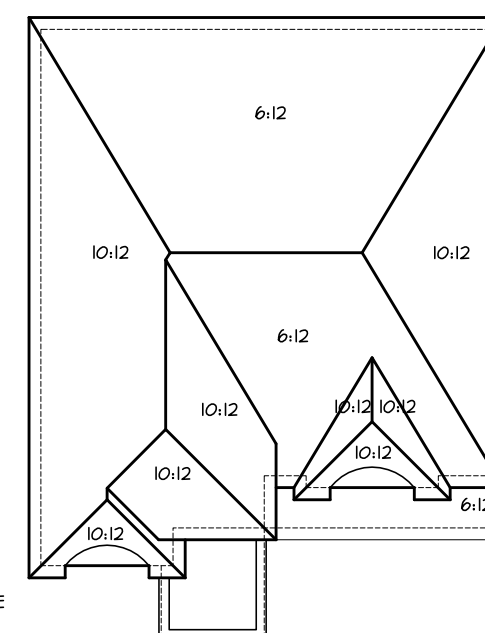
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AREA 2710	PAGE No. 4-2
PROJECT 02-10-03	

**Greenpark.**

PROJECT NAME  
LECCO RIDGE





ROOF PLAN 3

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
JUNIPER 2 MODEL

**BUILDING: REVIEWED**  
**SCOTT SHERRIFFS**  
PLANS EXAMINER  
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**DATE**  
APR 13, 2017

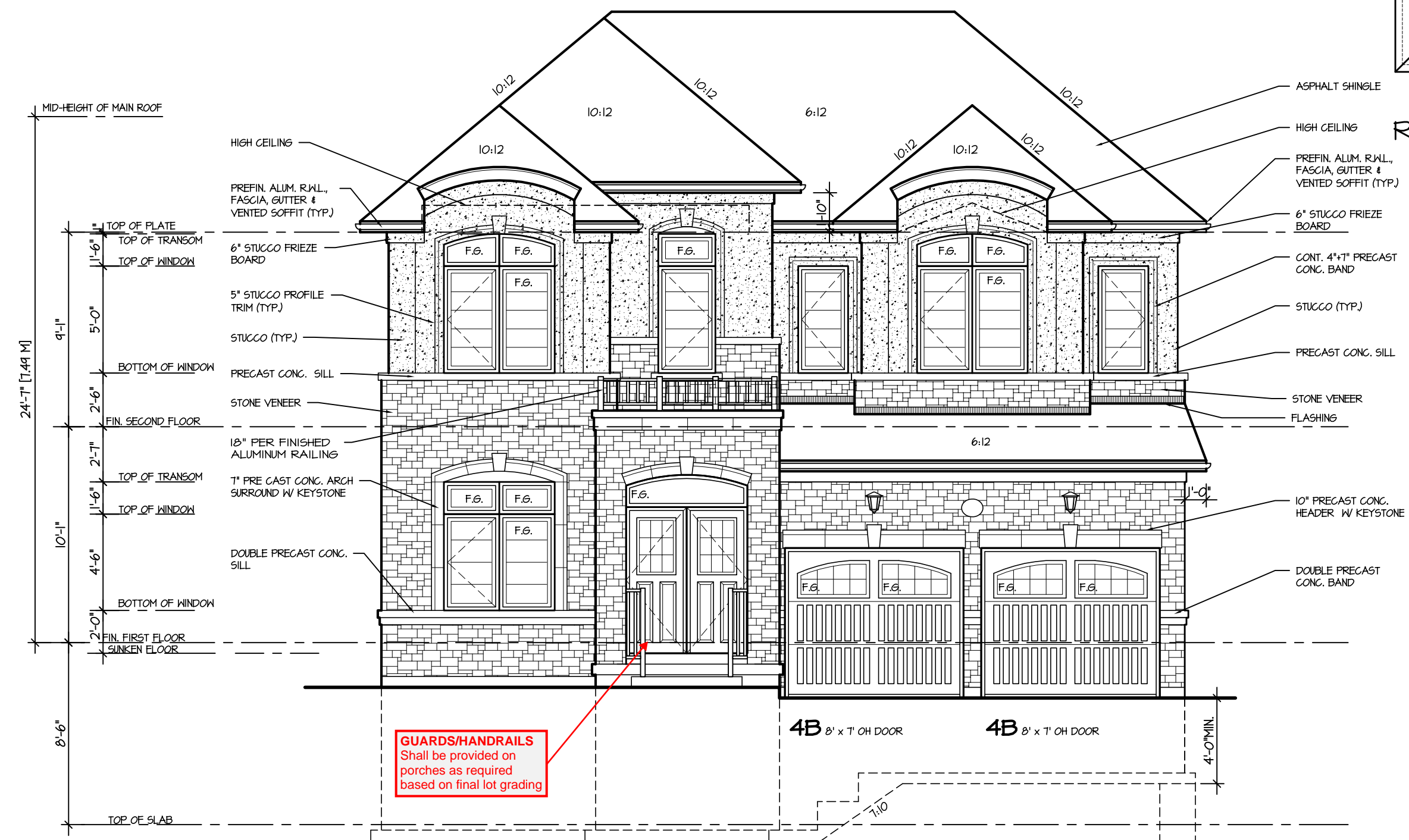
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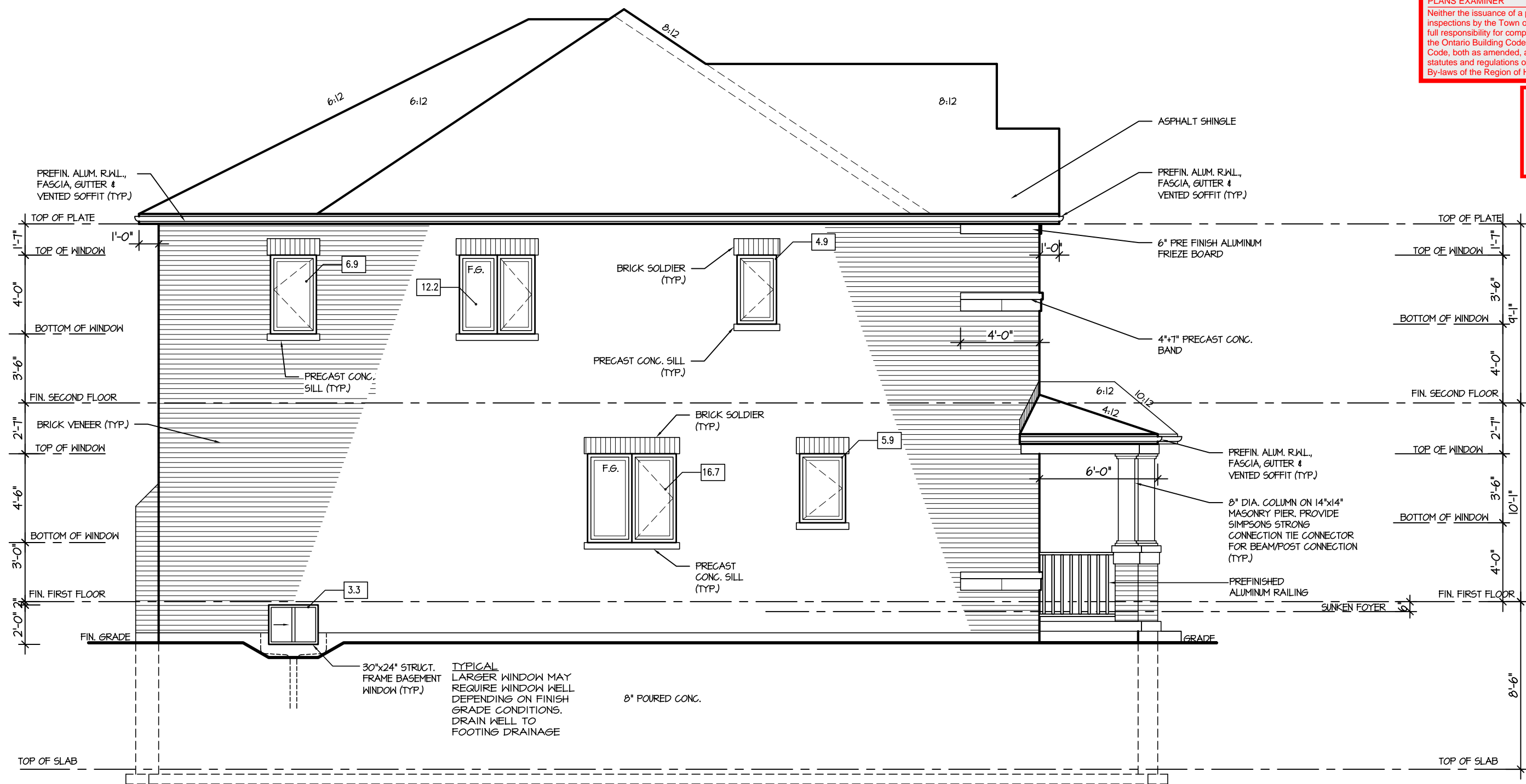
**JUNIPER 2**  
ENERGY STAR



FRONT ELEVATION 3

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4.					FRONT ELEVATION							
3.					ELEV. 3		SCALE			BY	AREA	PAGE No.
2.					3/16"=1'-0"		ZMP			2710		4-3
1.	ISSUED FOR COORDINATION				JULY 2016	DATE		TYPE		PROJECT		
REVISIONS			JULY 2016			02-10-03		PROJECT NAME				
								LECCO RIDGE				

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION



## LEFT ELEVATION I

### ALLOWABLE GLAZING

WALL AREA		944.17
ALLOWABLE WINDOW AREA @ 70.00 % (1.2 M SIDEYARD)		66.44
ACTUAL WINDOW AREA		44.90

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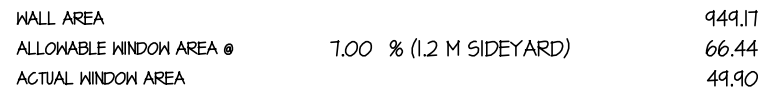
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**JUNIPER 2**  
ENERGY STAR

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						SCALE 3/16"=1'-0"	BY ZMP	AREA 2710	PAGE No. <b>5</b>		
4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			DATE JULY 2016	TYPE	PROJECT 02-10-03			
3.			VIKAS GAJJAR								
2.			SIGNATURE								
1.	ISSUED FOR COORDINATION	JULY 2016	28770	BCIN							
REVISIONS											



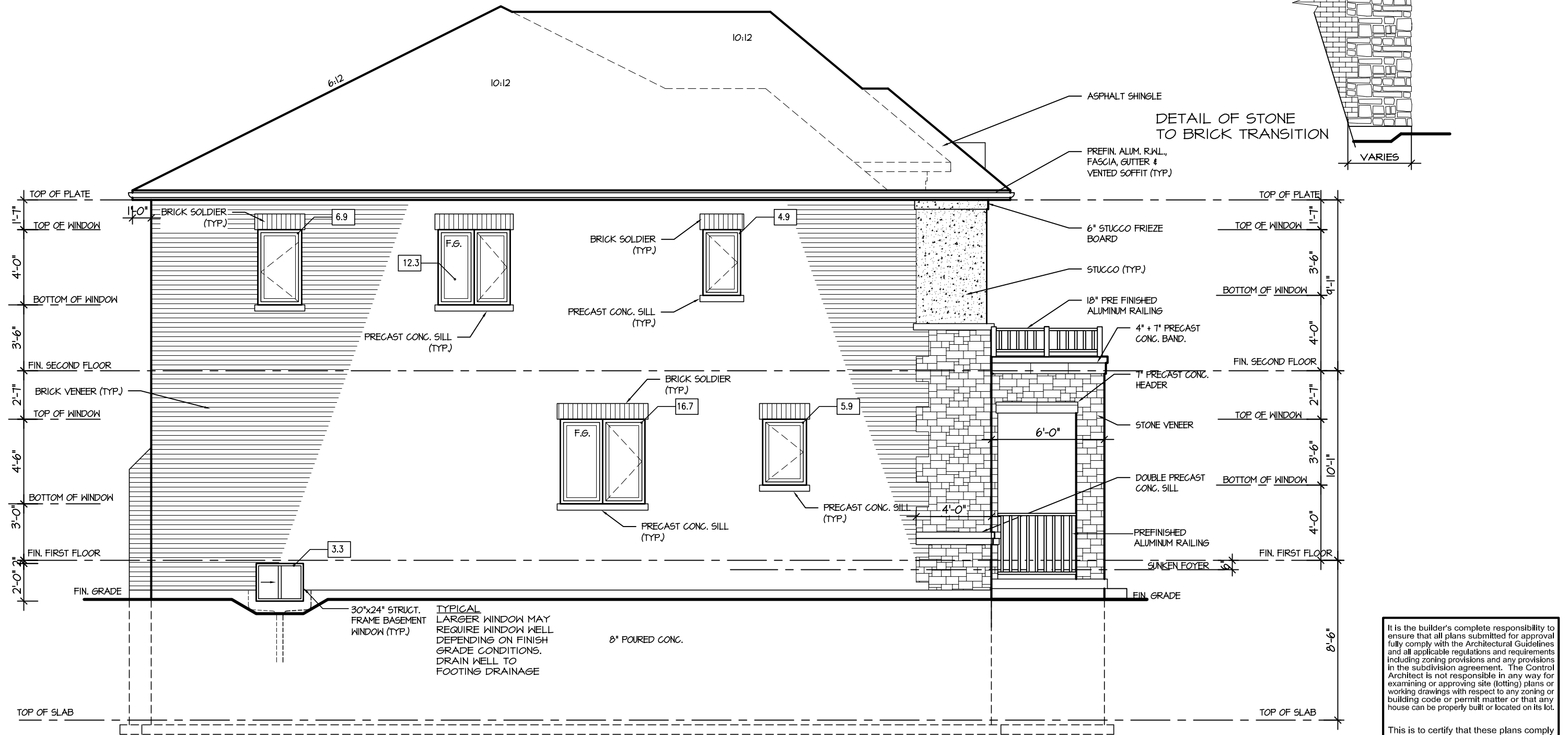


ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

ENERGY STAR

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
JUNIPER 2 MODEL  
BUILDING: REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
DATE  
APR 13, 2017  
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### LEFT ELEVATION 3

#### ALLOWABLE GLAZING

WALL AREA		949.17
ALLOWABLE WINDOW AREA @ 70.0 % (1.2 M SIDEYARD)		66.44
ACTUAL WINDOW AREA		49.90

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John G. Williams Limited, Architect

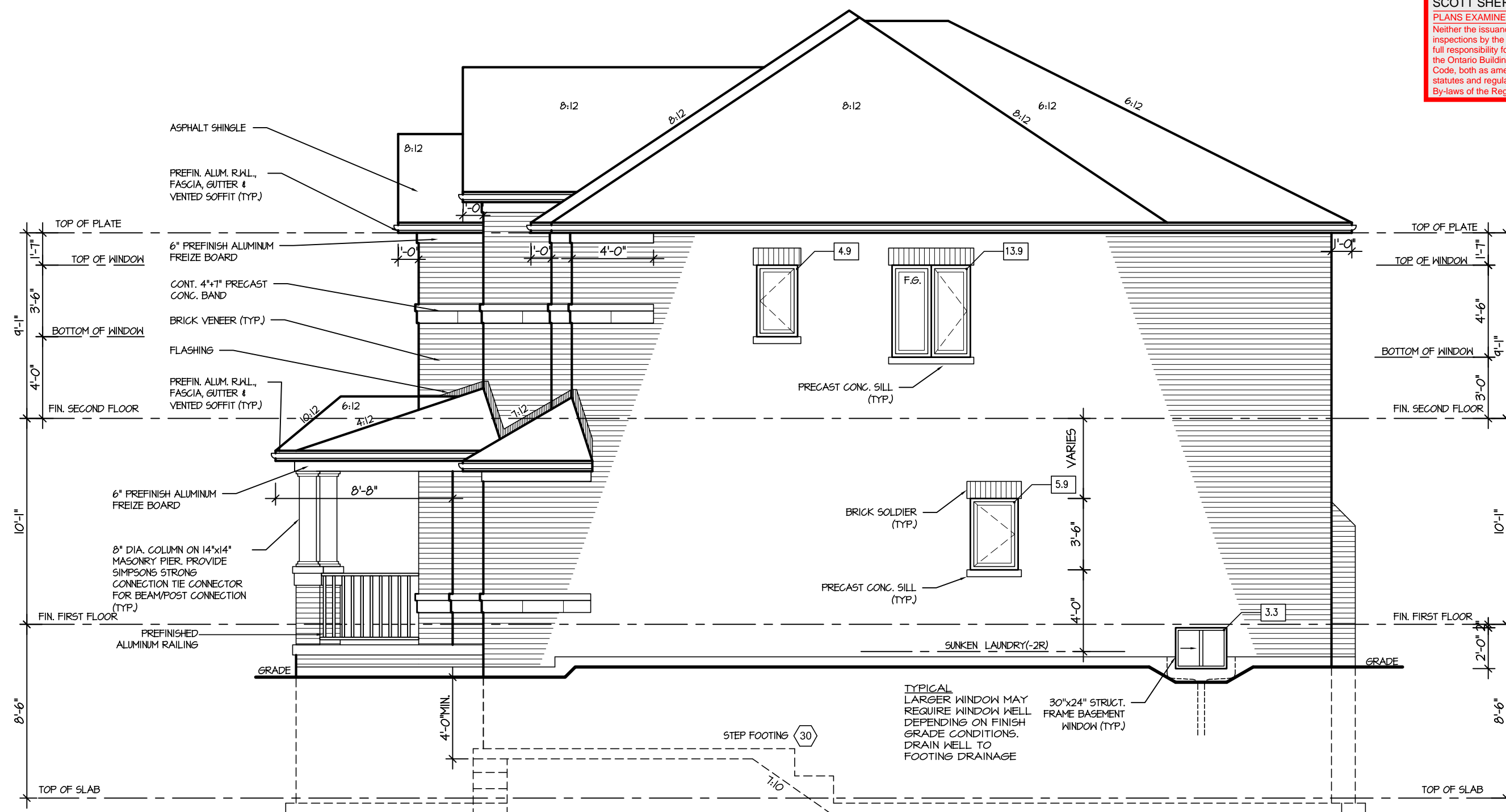
## JUNIPER 2

ENERGY STAR

5. REVISIONS		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		SHEET TITLE LEFT SIDE ELEVATION ELEV. 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME LECCO RIDGE	
1.	ISSUED FOR COORDINATION	JULY 2016	VIKAS GAJJAR	28770	BCIN	SCALE 3/16"=1'-0"	BY ZMP	AREA 2710	PAGE No. 5-3	PROJECT 02-10-03	
2.						DATE JULY 2016	TYPE				
3.											
4.											



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MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION



## ALLOWABLE GLAZING

WALL AREA		449.17
ALLOWABLE WINDOW AREA @	7.00 % (1.2 M SIDEYARD)	66.44
ACTUAL WINDOW AREA		28.00

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ARCHITECTURAL REVIEW &amp; APPROVAL

MAR 2/0 201

John G. Williams Limited, Architects

# JUNIPER 2

ENERGY STAR

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4.					RIGHT SIDE ELEVATION					<p>AREA 2710</p> <p>PAGE No. 6</p>
3.					ELEV. 1					
2.					SCALE 3/16"=1'-0"	BY ZMP				
1.	ISSUED FOR COORDINATION				JULY 2016	DATE JULY 2016	TYPE	PROJECT 02-10-03		
REVISIONS										





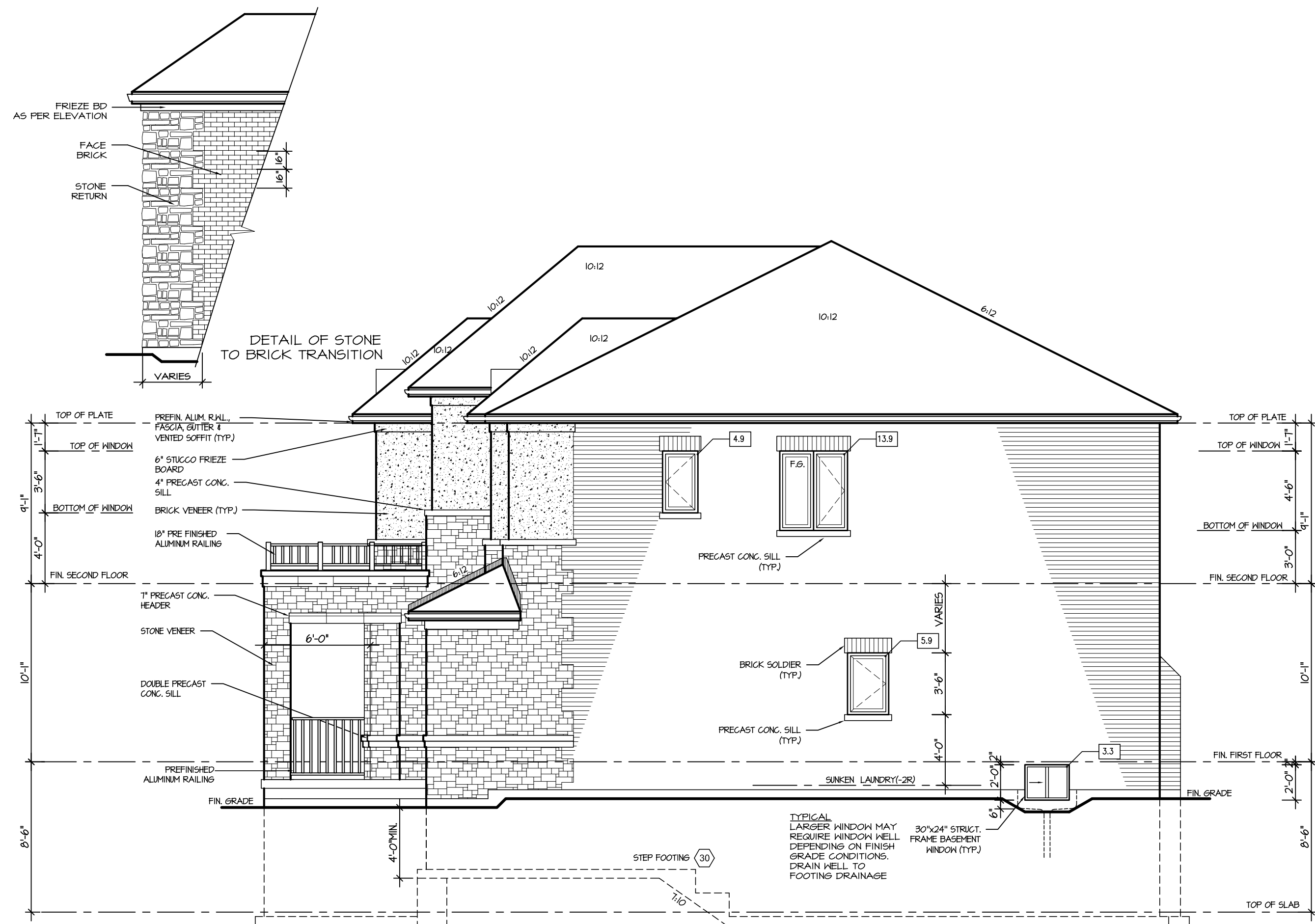
RECEIVED

TOWN OF MILTON

MAR 29, 2017

JUNIPER 2

BUILDING DIVISION



RIGHT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA		449.17
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)		66.44
ACTUAL WINDOW AREA		28.00

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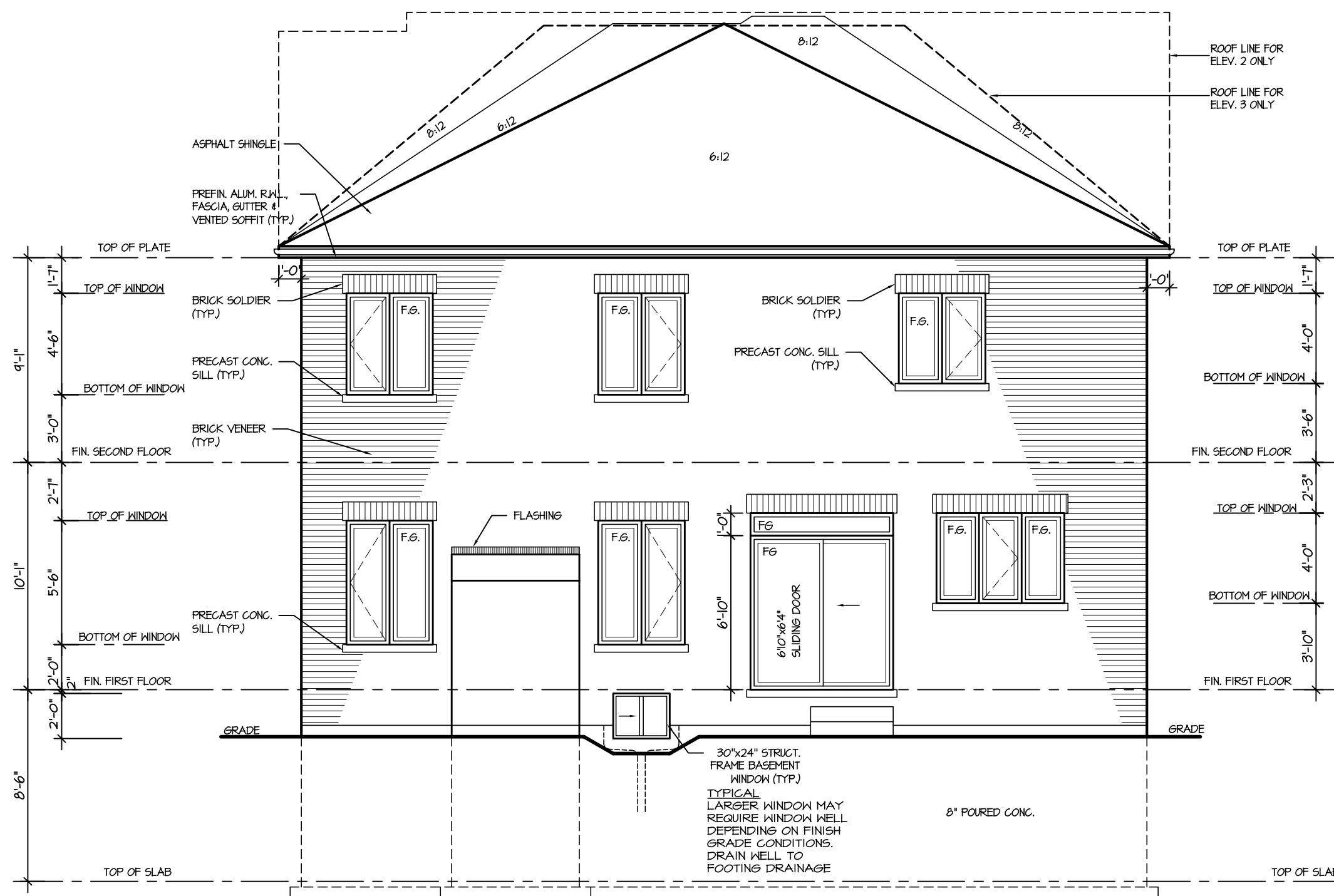
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4.					RIGHT SIDE ELEVATION							
3.					ELEV. 3		SCALE			BY	AREA	PAGE No.
2.					3/16"=1'-0"		ZMP	2710		6-3		
1.	ISSUED FOR COORDINATION				JULY 2016	DATE	TYPE	PROJECT				
REVISIONS			JULY 2016		02-10-03	PROJECT NAME						
						LECCO RIDGE						

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TOWN OF MILTON  
MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION



REAR ELEVATION 1, 2 & 3

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ARCHITECTURAL REVIEW &amp; APPROVAL

MAR 2/0 2011

John G. Williams Limited, Architect

## JUNIPER 2

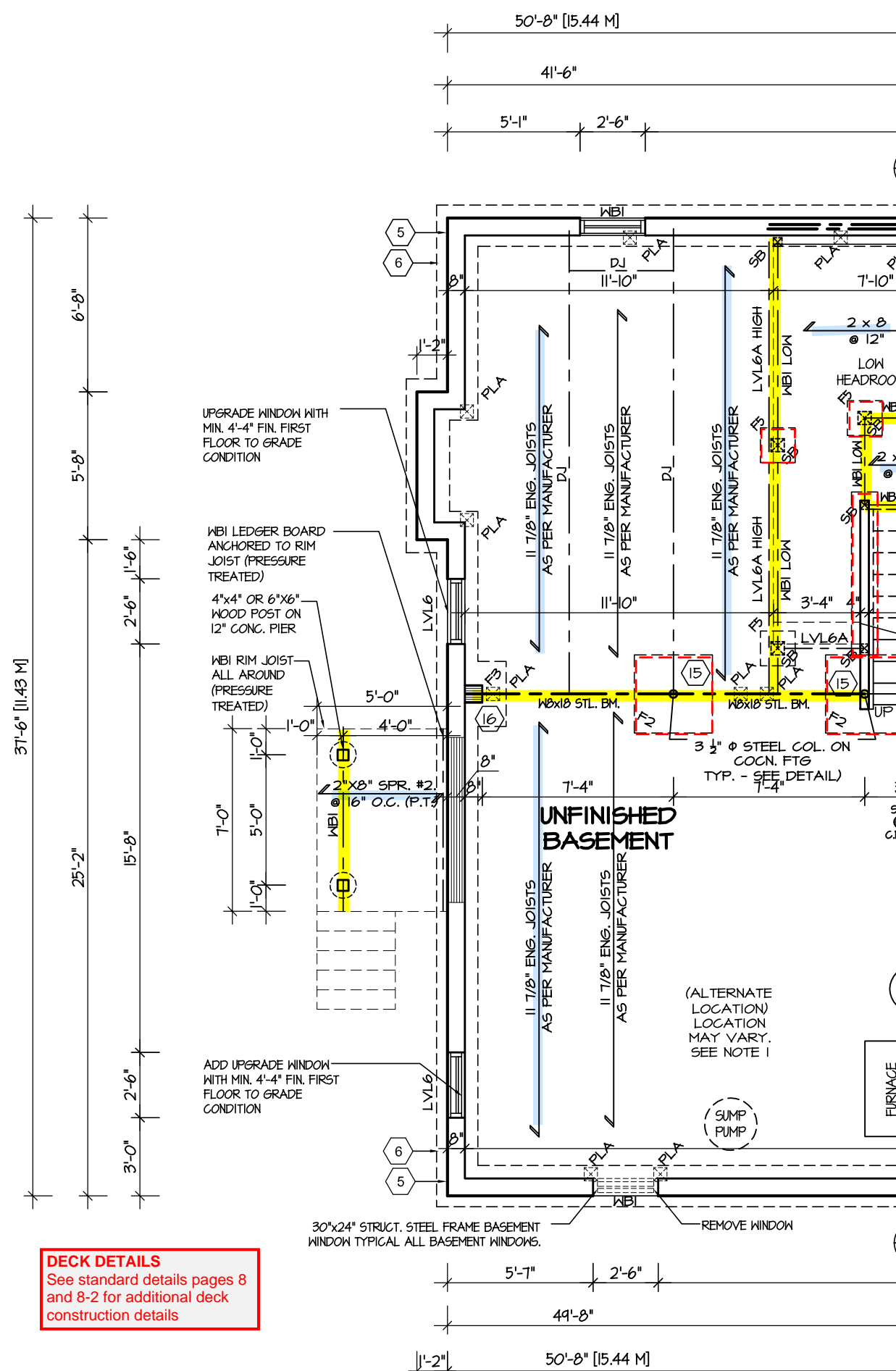
ENERGY STAR

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  <b>28770</b></p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 <p>PROJECT NAME</p> <p>LECCO RIDGE</p>	
4.						REAR ELEVATION 1					<p>PAGE No.</p> <p><b>7</b></p>
3.						SCALE	BY	AREA	PROJECT		
2.						3/16"=1'-0"	ZMP	2710			
1.	ISSUED FOR COORDINATION	JULY 2016				DATE	TYPE	02-10-03			
REVISIONS											

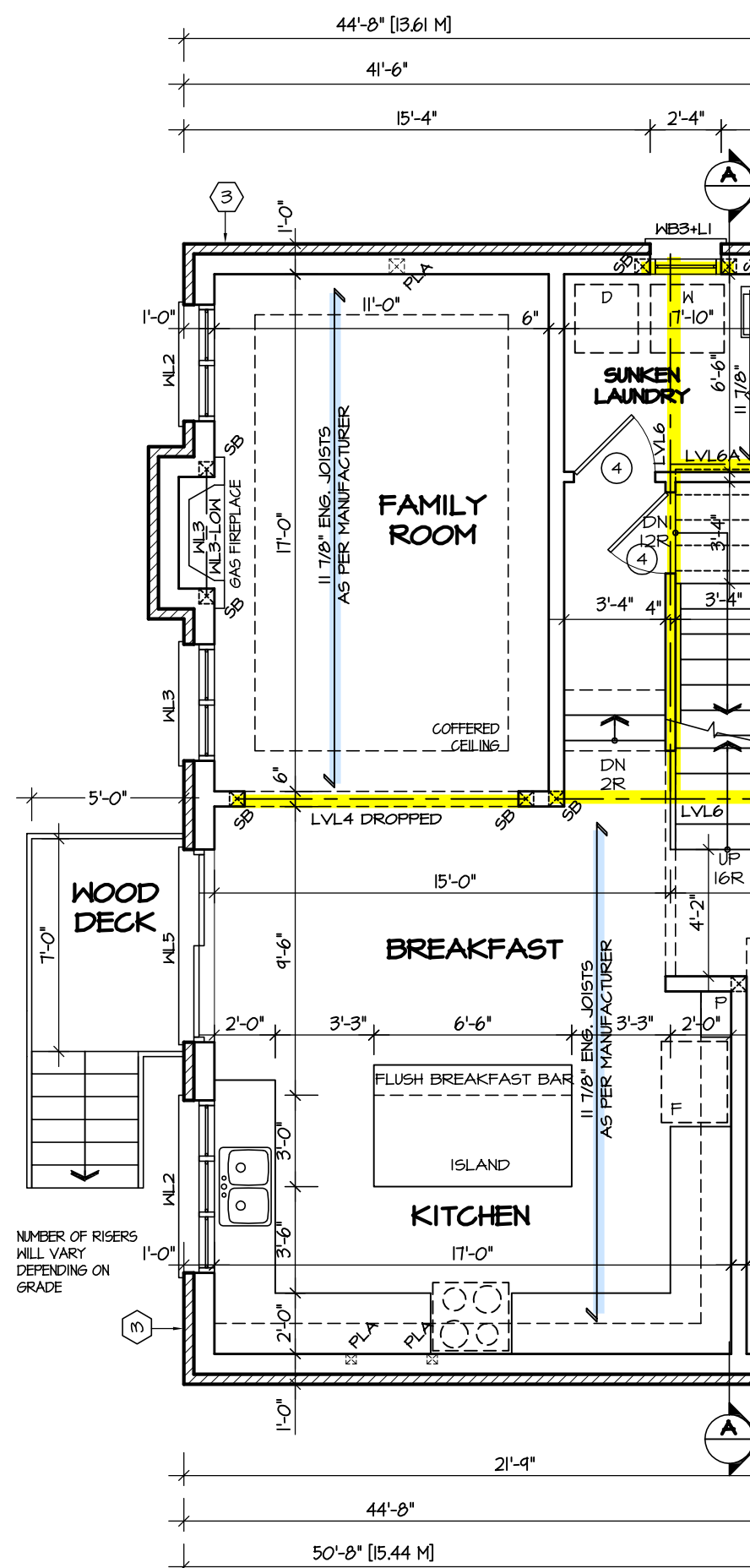




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MAR 29, 2017  
JUNIPER 2  
BUILDING DIVISION



### PARTIAL BASEMENT PLAN FOR DECK CONDITION



## PARTIAL FIRST FLOOR PLAN FOR DECK CONDITION

STRUDET INC.



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ARCHITECTURAL REVIEW &amp; APPROVAL

MAR 2/0 201

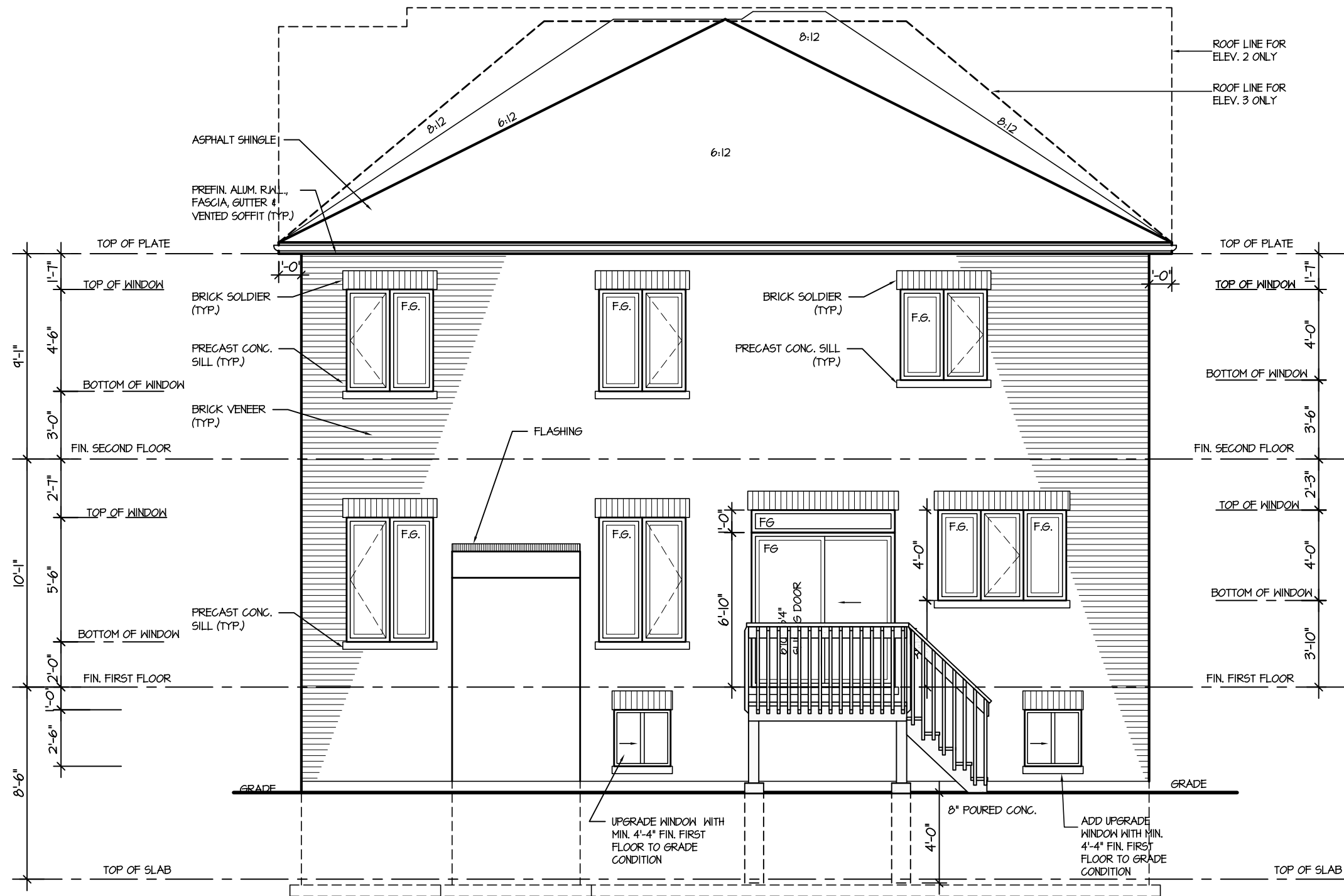
John G. Williams Limited, Architect

## JUNIPER 2

ENERGY STAR

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4.					DECK PLAN					<div>PAGE No.</div> <div>9</div>
3.					SCALE	BY	AREA			
2.					3/16"=1'-0"	ZMP	2710			
1.	ISSUED FOR COORDINATION				DATE	TYPE	PROJECT			
		JULY 2016		02-10-03						
REVISIONS										

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**REAR ELEVATION 1,2 & 3  
FOR DECK CONDITION**

**DECK DETAILS**  
See standard details pages 8  
and 8-2 for additional deck  
construction details

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**ARCHITECTURAL REVIEW & APPROVAL**  
MAR 20 2017  
John G. Williams Limited, Architect

**JUNIPER 2**  
ENERGY STAR

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4.						SCALE	3/16"=1'-0"	BY	ZMP	AREA	2710		PAGE No.	10	PROJECT NAME LECCO RIDGE
3.						DATE	JULY 2016	TYPE		PROJECT	02-10-03				
2.															
1.	ISSUED FOR COORDINATION	JULY 2016													
REVISIONS															