

2363 SF.

PAD FOOTINGS

120 KPa. NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa. ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
L5 = 6" x 4" x 7/16" L (152x102x11.0L)
L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8" TO 9" CEILING	HEIGHT 10" OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

GENERAL NOTES/CONSTRUCTION DETAILS

Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS

Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

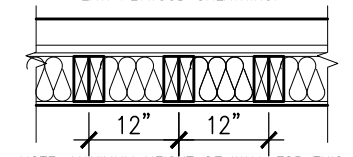
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

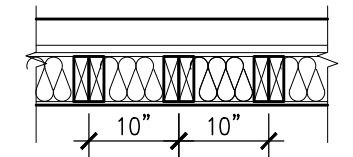
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

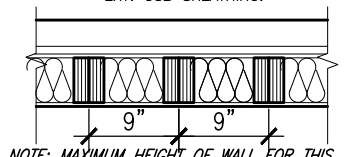
2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING GLUED AND NAILED.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-4" AND MAX. WIDTH IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

IVY 12 AND ELEVATION 1	ENERGY EFFICIENCY - ENERGY STAR		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	510.53 S.F.	102.48 S.F.	20.07 %
LEFT SIDE	1101.32 S.F.	227.35 S.F.	20.64 %
RIGHT SIDE	1067.69 S.F.	0.0 S.F.	0.00 %
REAR	510.24 S.F.	121.75 S.F.	23.86 %
TOTAL SQ. FT.	3189.78 S.F.	451.58 S.F.	14.16 %
TOTAL SQ. M.	296.34 S.M.	41.95 S.M.	14.16 %

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

IVY 12 AND ELEVATION 2	ENERGY EFFICIENCY - ENERGY STAR		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	528.25 S.F.	86.83 S.F.	16.44 %
LEFT SIDE	1116.36 S.F.	185.24 S.F.	16.59 %
RIGHT SIDE	1067.77 S.F.	0.0 S.F.	0.00 %
REAR	508.90 S.F.	121.75 S.F.	23.92 %
TOTAL SQ. FT.	3221.28 S.F.	393.82 S.F.	12.23 %
TOTAL SQ. M.	299.26 S.M.	36.59 S.M.	12.23 %

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

IVY 12 AND ELEVATION 3	ENERGY EFFICIENCY - ENERGY STAR		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	521.96 S.F.	83.58 S.F.	16.01 %
LEFT SIDE	1067.69 S.F.	191.06 S.F.	17.89 %
RIGHT SIDE	1067.69 S.F.	0.0 S.F.	0.00 %
REAR	521.96 S.F.	121.75 S.F.	23.33 %
TOTAL SQ. FT.	3179.30 S.F.	396.39 S.F.	12.47 %
TOTAL SQ. M.	295.36 S.M.	36.83 S.M.	12.47 %



ENERGY STAR- V 12.7

AREA CALCULATIONS

ELEV '1'

GROUND FLOOR AREA 1090 SF
SECOND FLOOR AREA 1273 SF

TOTAL FLOOR AREA 2363 SF
(219.53 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA XX SF
ADD TOTAL OPEN AREAS +XX SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 2363 SF
(219.53 m2)

GROUND FLOOR COVERAGE 1090 SF
GARAGE COVERAGE/AREA 203 SF
PORCH COVERAGE/AREA 148 SF

COVERAGE W/ PORCH 1441 SF
(133.87 m2)

COVERAGE W/O PORCH 1293 SF
(120.12 m2)

AREA CALCULATIONS

ELEV '2'

GROUND FLOOR AREA 1080 SF
SECOND FLOOR AREA 1289 SF

TOTAL FLOOR AREA 2369 SF
(220.09 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA XX SF
ADD TOTAL OPEN AREAS +XX SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 2369 SF
(220.09 m2)

GROUND FLOOR COVERAGE 1080 SF
GARAGE COVERAGE/AREA 202 SF
PORCH COVERAGE/AREA 148 SF

COVERAGE W/ PORCH 1430 SF
(132.85 m2)

COVERAGE W/O PORCH 1282 SF
(119.10 m2)

AREA CALCULATIONS

ELEV '3'

GROUND FLOOR AREA 1102 SF
SECOND FLOOR AREA 1302 SF

TOTAL FLOOR AREA 2404 SF
(223.34 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA XX SF
ADD TOTAL OPEN AREAS +XX SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 2404 SF
(223.34 m2)

GROUND FLOOR COVERAGE 1102 SF
GARAGE COVERAGE/AREA 202 SF
PORCH COVERAGE/AREA 123 SF

COVERAGE W/ PORCH 1427 SF
(132.57 m2)

COVERAGE W/O PORCH 1304 SF
(121.33 m2)

IVY-12
ENERGY STAR/ PANEL



BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON

MAR 29, 2017
IVY 12F

BUILDING DIVISION



9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED MASTER ENSUITE.	OCT 05/16	GW
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW
2	REVISED. REISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

project no.
16015

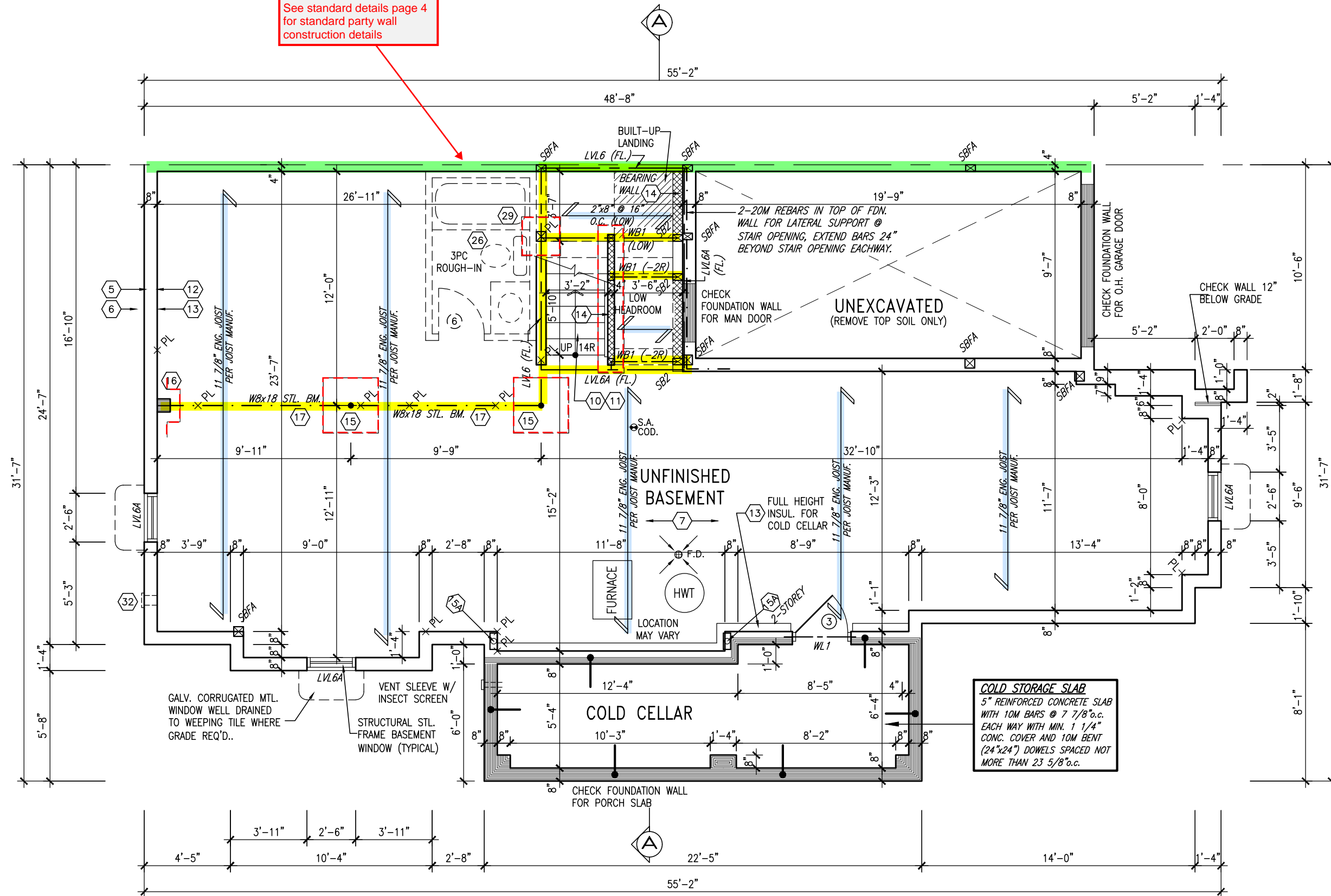
date
JULY, 2016
drawn by
WT
checked by
3/16" = 1'-0"
scale
GENERAL NOTES & CHARTS
file name
16015-IVY-12
date
Mon - Apr 10 2017 - 5:01 PM

drawing no.
A0

2363 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

**TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL**
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



BASEMENT PLAN - ELEV. '1'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED MASTER ENSUITE.	OCT 05/16	GW
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW
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signature
name
registration information
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VA3 DESIGN
255 Consumers Rd Suite 120
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va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
project no.
16015
date
JULY, 2016
drawn by
WT
checked by
3/16" = 1'-0"
scale
file name
16015-IVY-12
drawing no.
A1

IVY-12
ENERGY STAR/ PANEL

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE DOOR
Requires weatherstripping
and a self closing device

GARAGE AIR BARRIER
Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

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Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

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TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL
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SCOTT SHERRIFFS APR 19, 2017
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ENGINEERED FLOOR FRAMING INFO
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ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



GROUND FLOOR PLAN - ELEV. '1'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

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Greenpark.
project name
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3/16" = 1'-0"
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16015-IVY-12
drawing no.
A2

IVY-12
ENERGY STAR/ PANEL

IVY-12

project no.
16015

2363 SF.

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

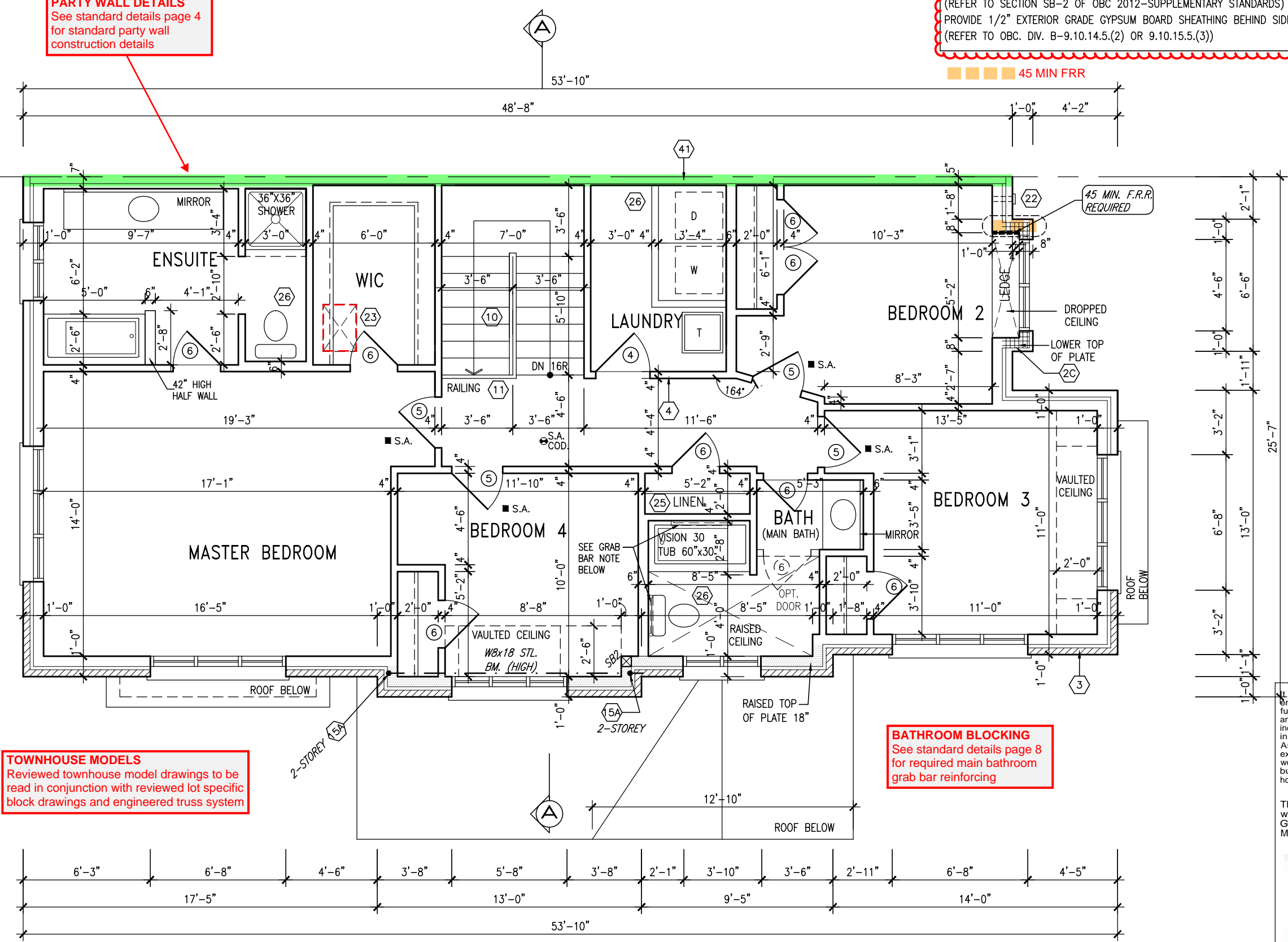
45 MINUTE FIRE RATED WALL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE/PARTY WALL)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)
PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING (REFER TO OBC. DIV. B-9.10.14.5.(2) OR 9.10.15.5.(3))

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

45 MIN FRR



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MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

SECOND FLOOR PLAN - ELEV. '1'

IVY-12
ENERGY STAR/ PANEL

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qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658
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VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
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va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-12
drawing no.
A3

IVY-12
project no.
16015
drawing no.
A3

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE

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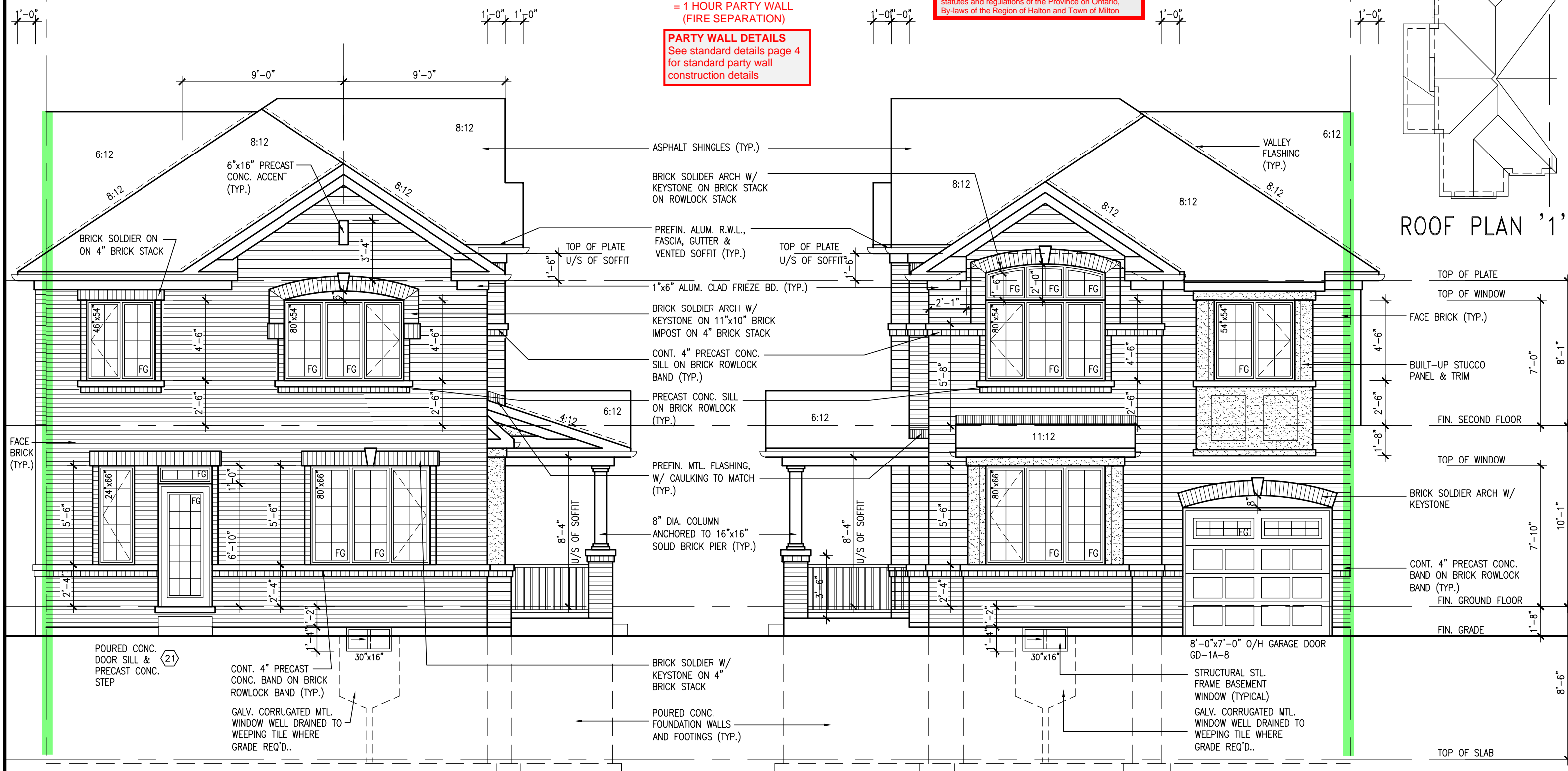
RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

2363 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

ROOF PLAN '1'



REAR ELEVATION '1'

FRONT ELEVATION '1'

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

IVY-12
ENERGY STAR/ PANEL

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

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drawing no.
A4

IVY-12

project no.
16015

drawing no.
A4

2363 SF.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams, Architect



FLANKAGE ELEVATION '1'

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TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

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FLANKAGE ELEVATION '1'

IVY-12

project no.
16015

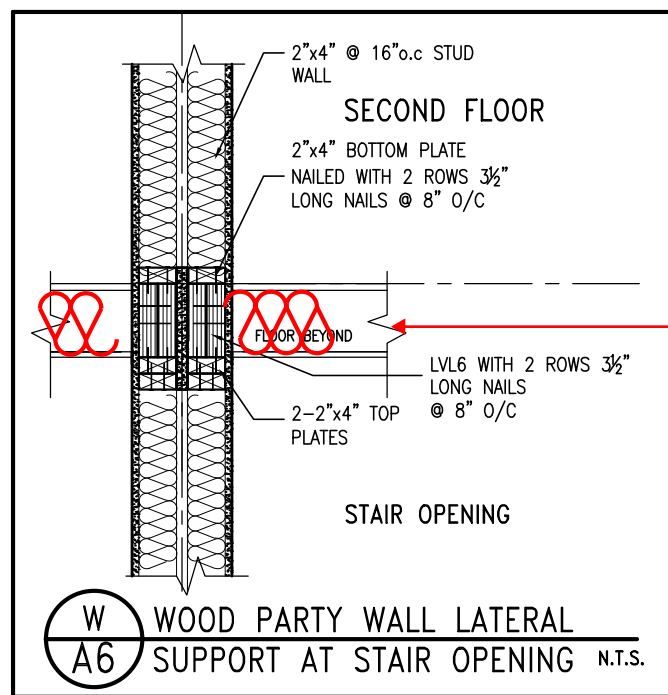
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drawing no.
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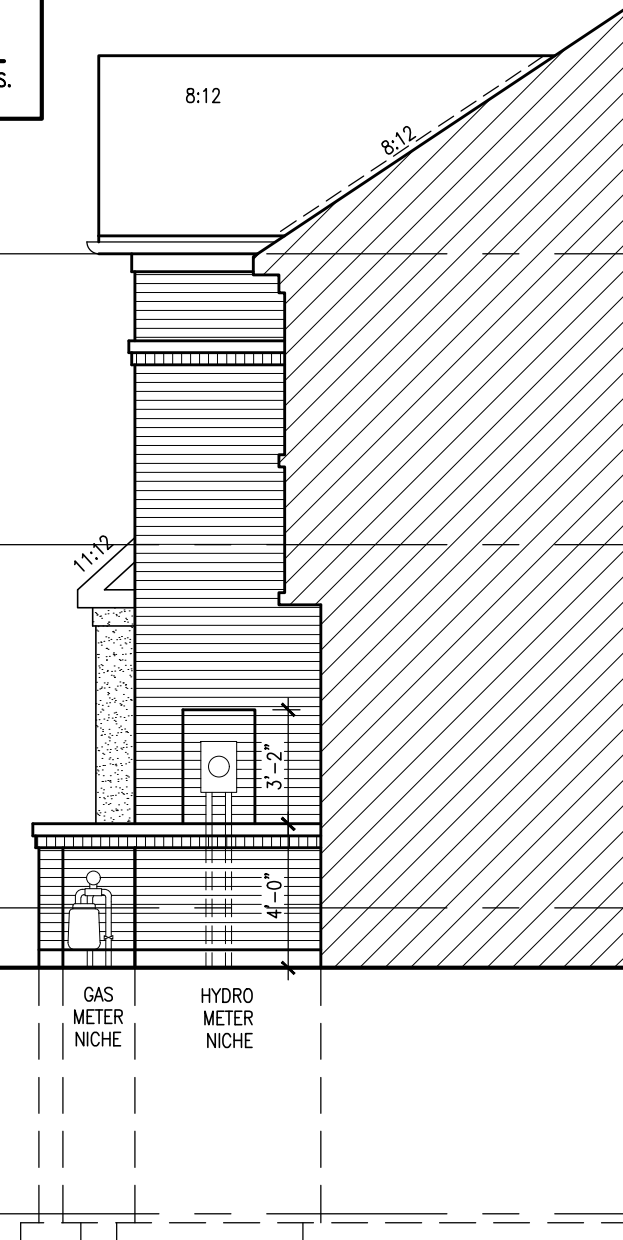
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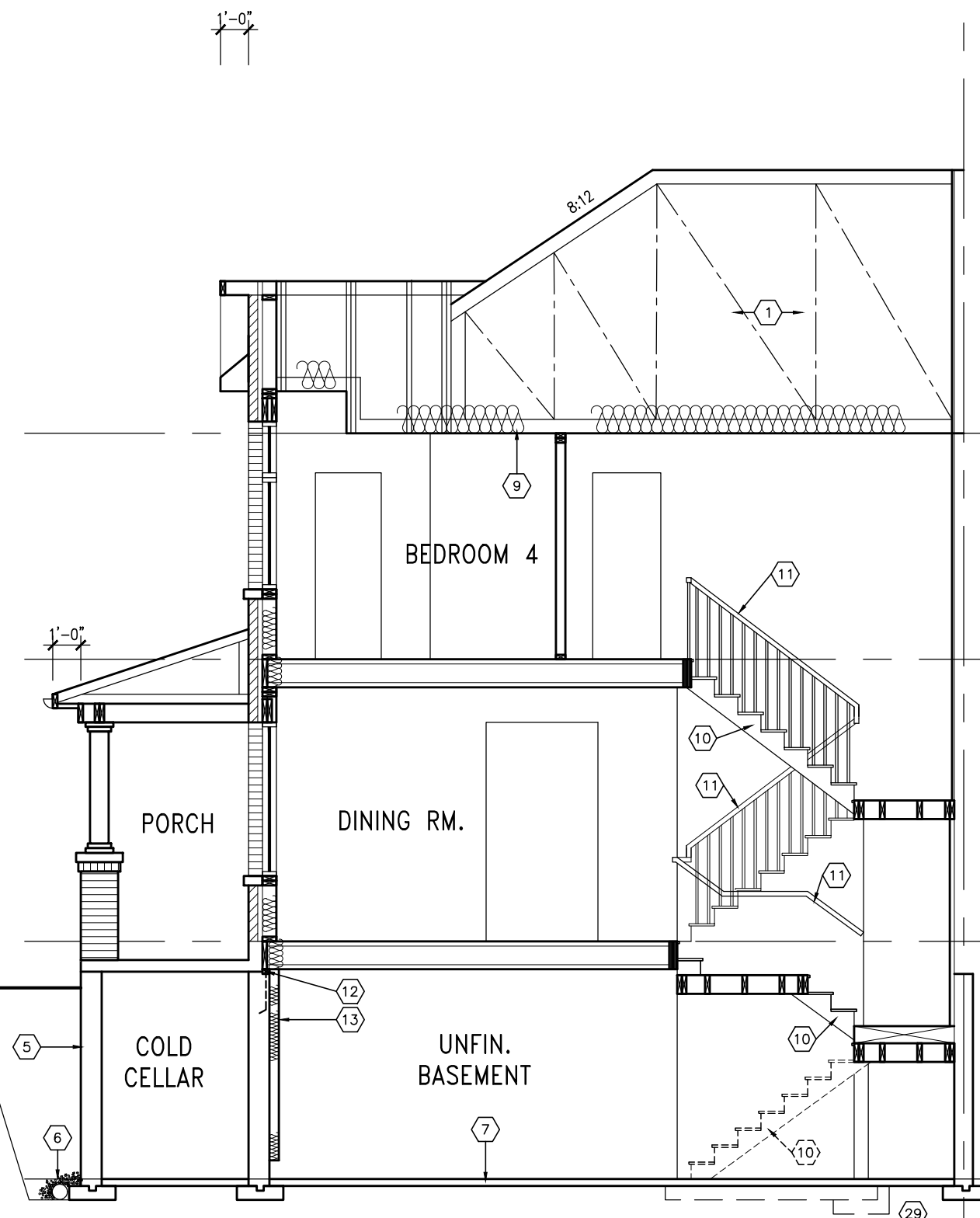
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PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



SECTION B



SECTION A-A ELEV. 1

TOP OF PLATE

TOP OF WINDOW

7'-0"

8'-1"

FIN. SECOND FLOOR

TOP OF WINDOW

7'-10"

10'-1"

FIN. GROUND FLOOR

8'-6"

TOP OF SLAB



RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
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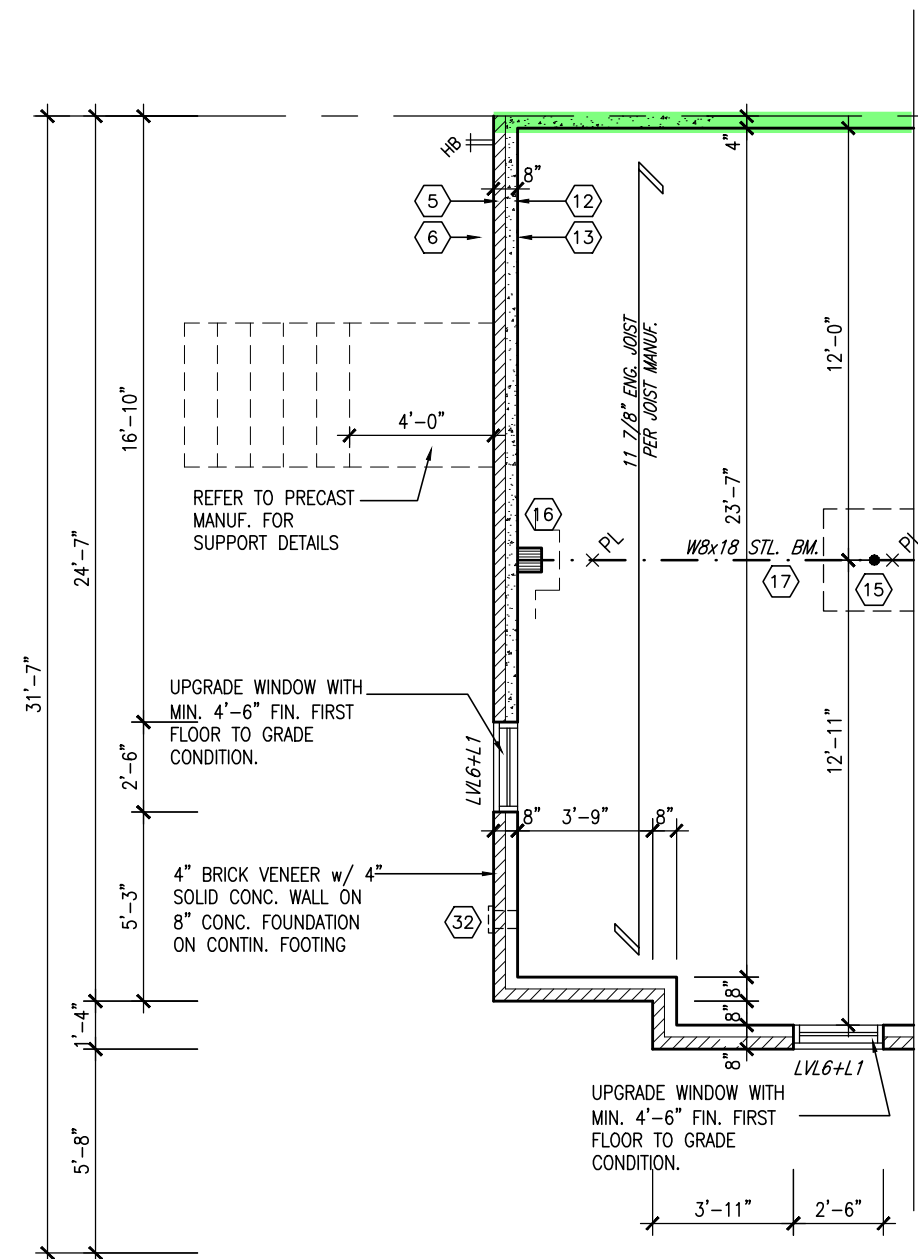
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IVY-12
ENERGY STAR/ PANEL

project no.
16015

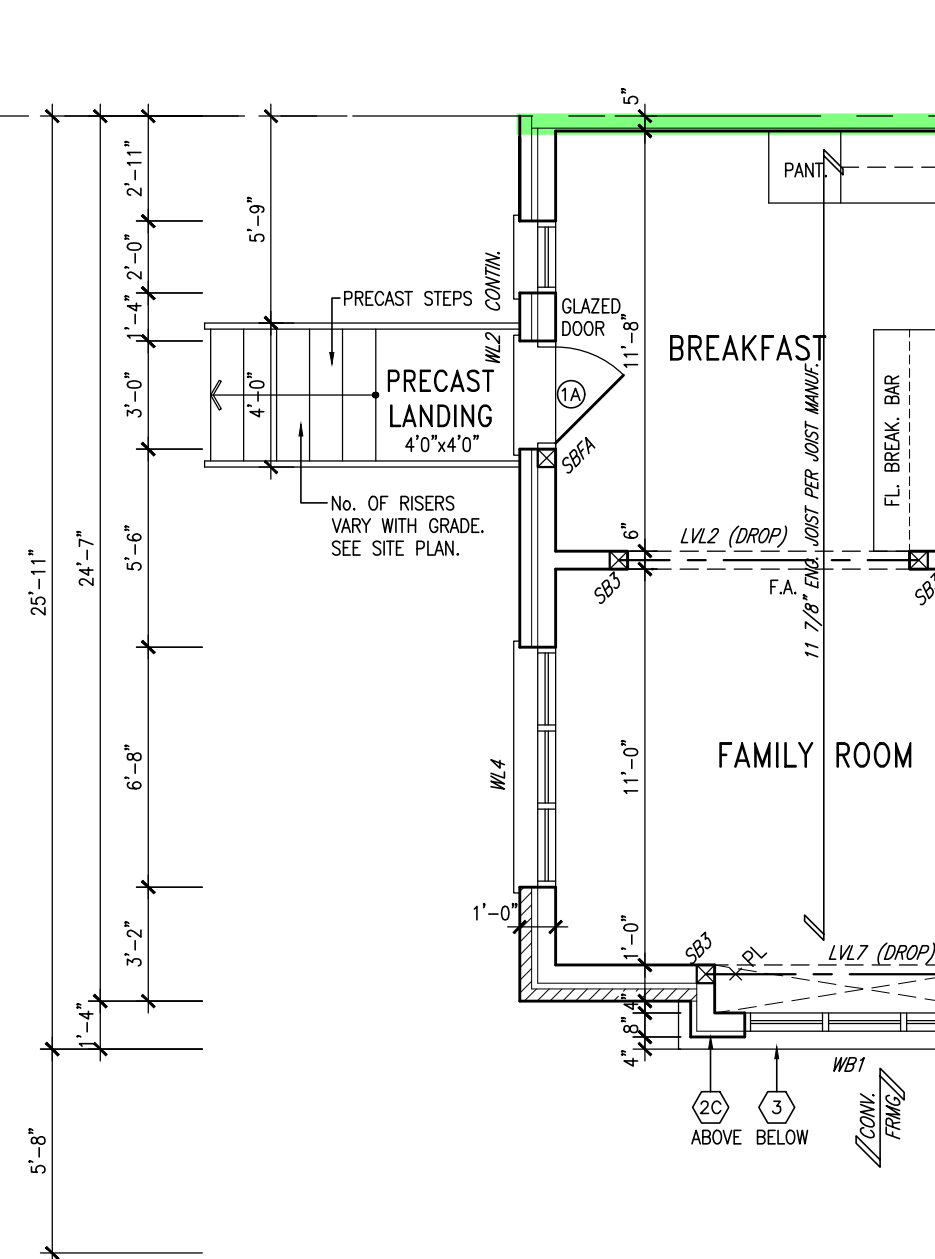
drawing no.
A6

SECTION A-A ELEV. 1



PART. BASEMENT PLAN ELEV. 1
W.O.D CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing



PART. GROUND FLOOR PLAN ELEV. 1
W.O.D CONDITION (7R MAX.)

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

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TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

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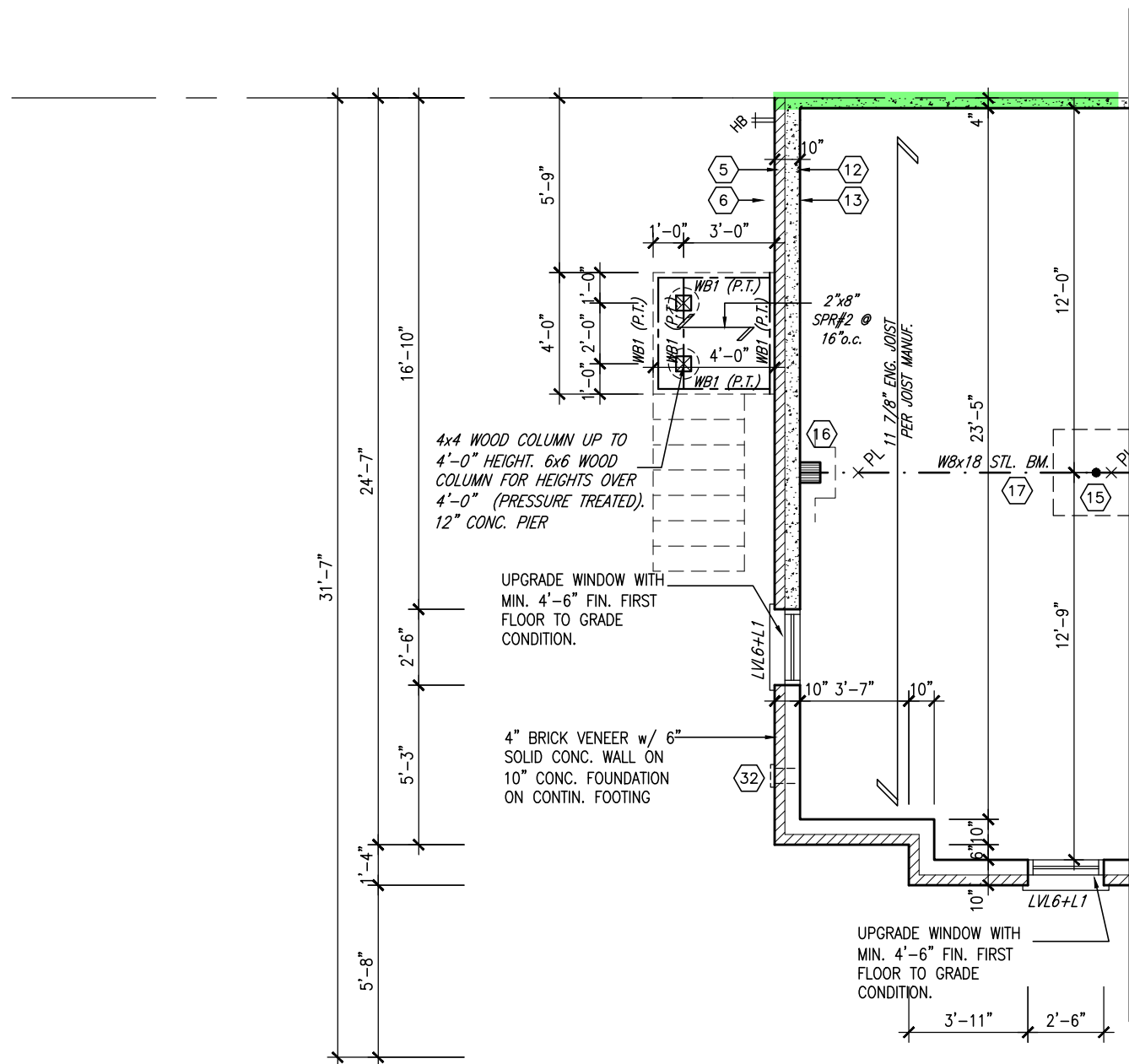
Greenpark.

project name **LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.** municipality
date **JULY, 2016** PART. PLANS ELEV. 1 - DECK CONDITION (7R MAX.)
drawn by **WT** checked by **3/16" = 1'-0"** scale
file name **16015-IVY-12**
drawing no. **A7**

project no. **16015**

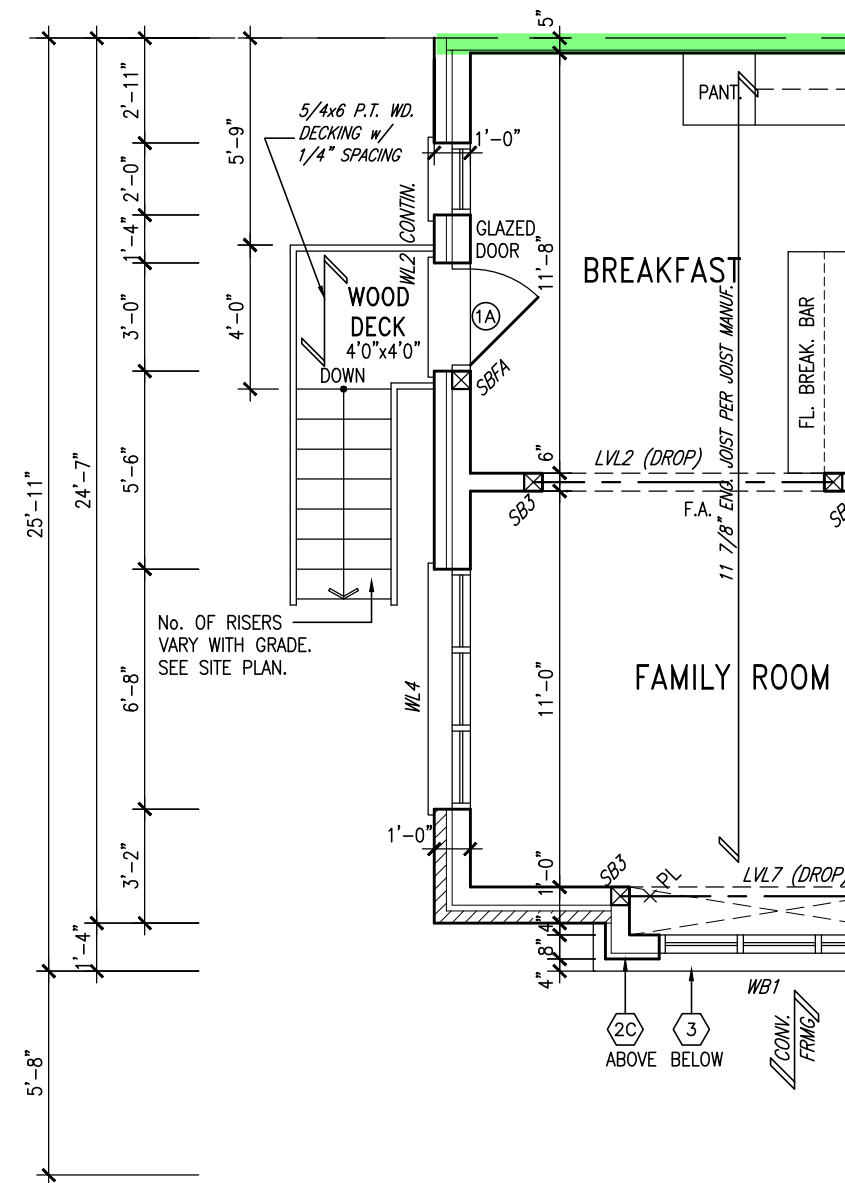
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2363 SF.



PART. BASEMENT PLAN ELEV. 1
W.O.D CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



PART. GROUND FLOOR PLAN ELEV. 1
W.O.D CONDITION (8R OR MORE)

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TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL
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municipality
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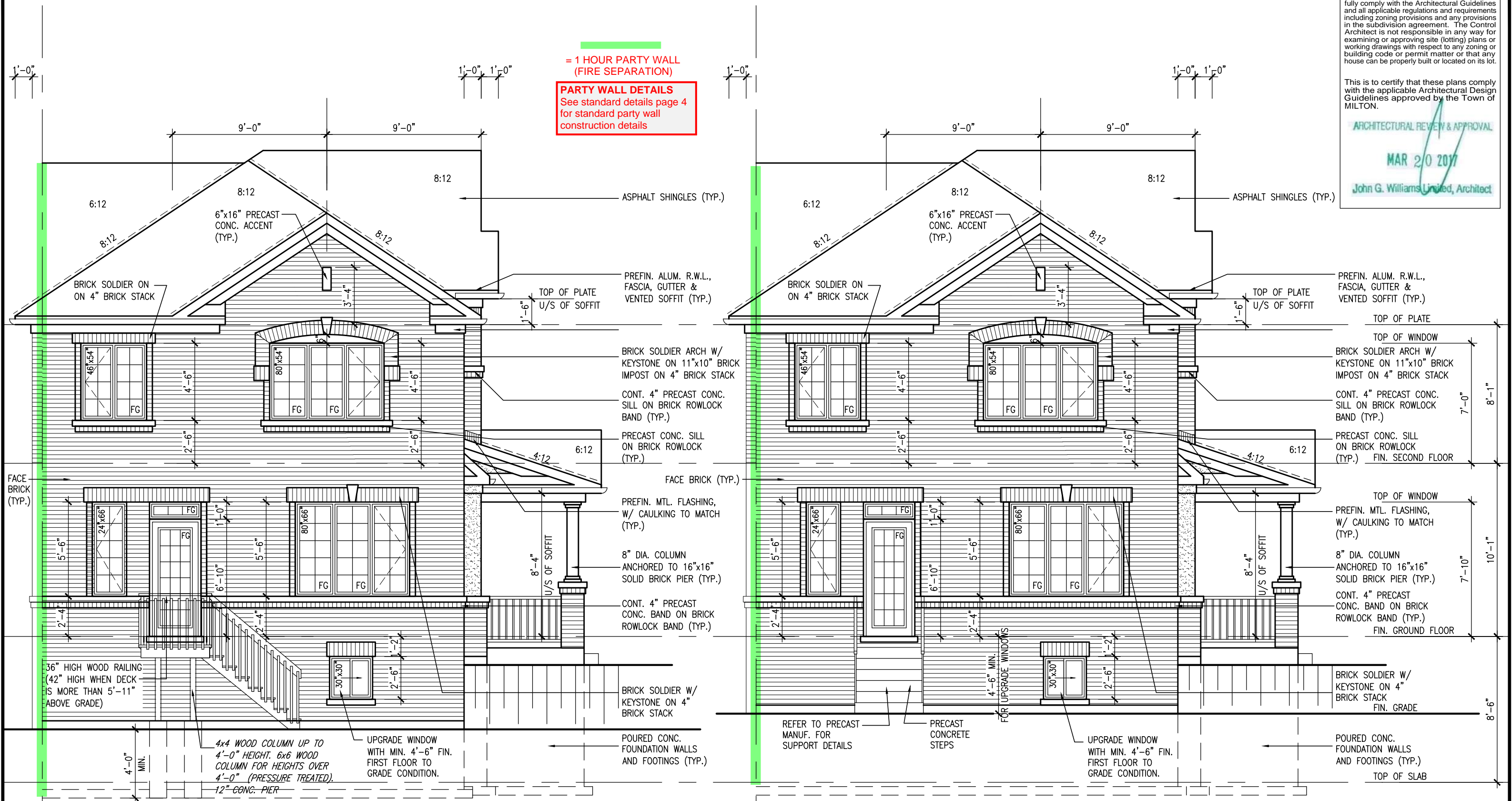
IVY-12
ENERGY STAR/ PANEL

2363 SF.

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REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
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SCOTT SHERRIFFS APR 19, 2017
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MAR 29, 2017
IVY 12F
BUILDING DIVISION

REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

IVY-12
ENERGY STAR/ PANEL

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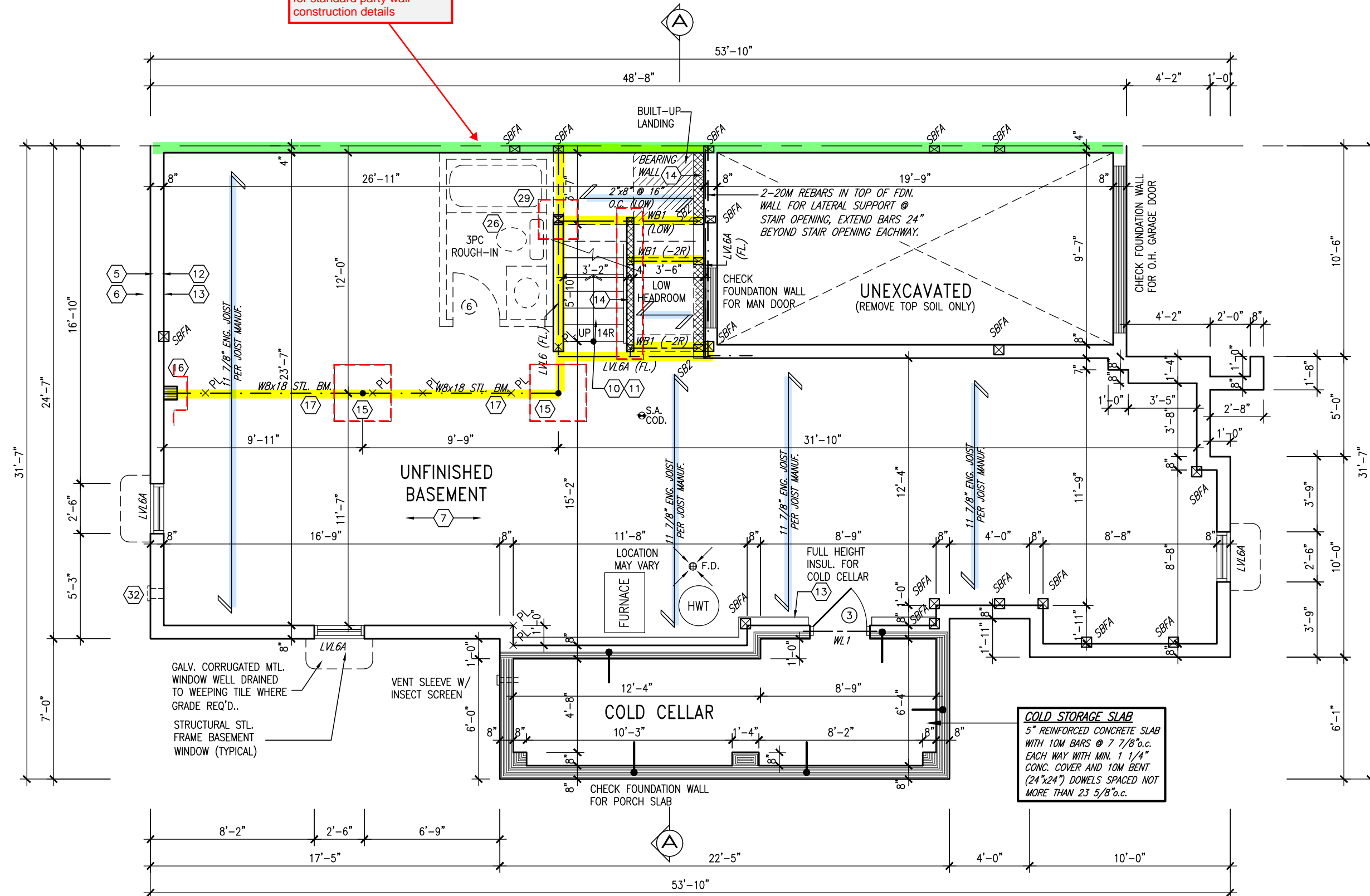
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REAR ELEVATION ELEV. 1 - DECK CONDITION
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drawing no.
A9

project no.
16015
drawing no.
A9

2363 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



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ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



BASEMENT PLAN - ELEV. '2'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

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IVY-12
ENERGY STAR/ PANEL

IVY-12
project no.
16015
drawing no.
A1a

2363 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE AIR BARRIER
Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping
and a self closing device

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

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ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
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building code or permit matter or that any
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with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

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TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
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inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



GROUND FLOOR PLAN - ELEV. '2'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED MASTER ENSUITE.	OCT 05/16	GW
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW
2	REVISED. REISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
date
JULY, 2016
drawn by
WT
checked by
3/16" = 1'-0"
scale
file name
16015-IVY-12
drawing no.
A2a

IVY-12
ENERGY STAR/ PANEL

IVY-12

project no.
16015

drawing no.

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

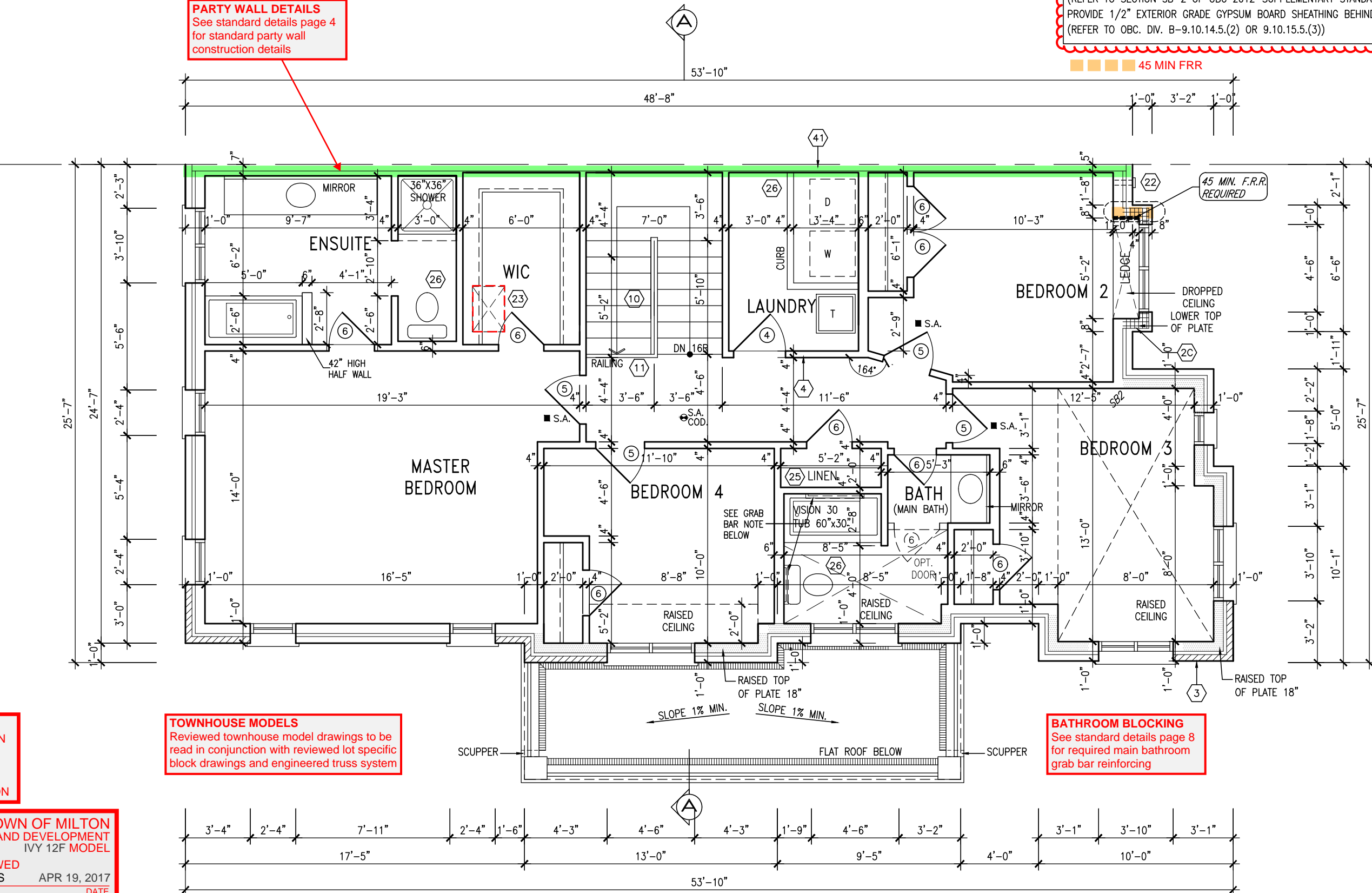
45 MINUTE FIRE RATED WALL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE/PARTY WALL)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION for BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)
PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING (REFER TO OBC. DIV. B-9.10.14.5.(2) OR 9.10.15.5.(3))

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

45 MIN FRR



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TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
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SECOND FLOOR PLAN - ELEV. '2'

IVY-12
ENERGY STAR/ PANEL

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	24488	42658	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Greenpark.	LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.	IVY-12	project no. 16015
8	ISSUED FOR PERMIT.	MAR. 01/17	GW	qualification information							
7	ISSUED FOR PRICING.	DEC. 21/16	GW	signature							
6	REVISED MASTER ENSUITE.	OCT 05/16	GW	Richard Vink							
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW	name registration information							
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TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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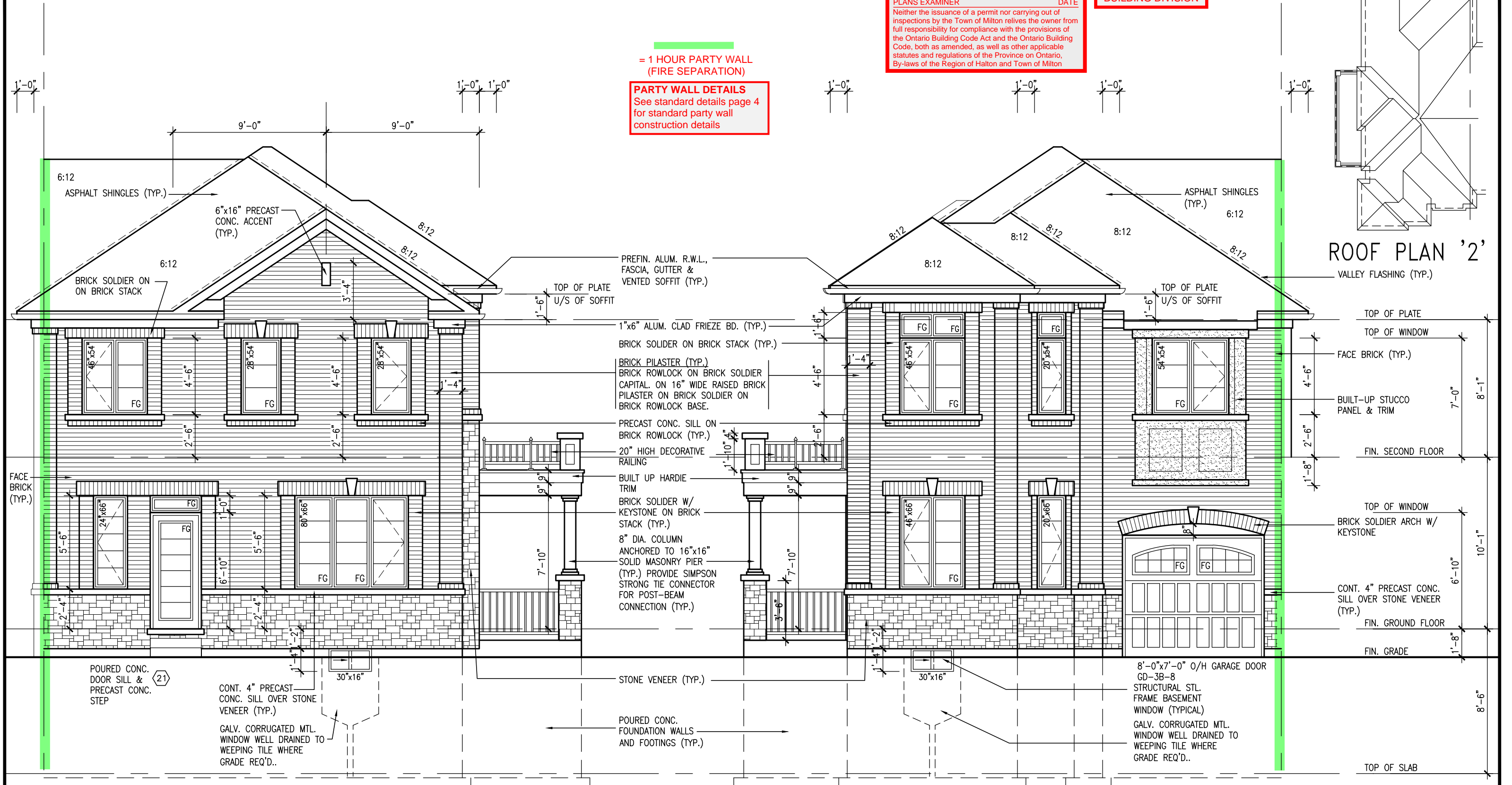
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IVY 12F
BUILDING DIVISION

2363 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION '2'

FRONT ELEVATION '2'

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

IVY-12
ENERGY STAR/ PANEL

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VA3
DESIGN
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-12
drawing no.
A4a

IVY-12
project no.
16015
drawing no.
A4a

2363 SF.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect



FLANKAGE ELEVATION '2'

IVY-12
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

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qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

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scale
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drawing no.
A5a

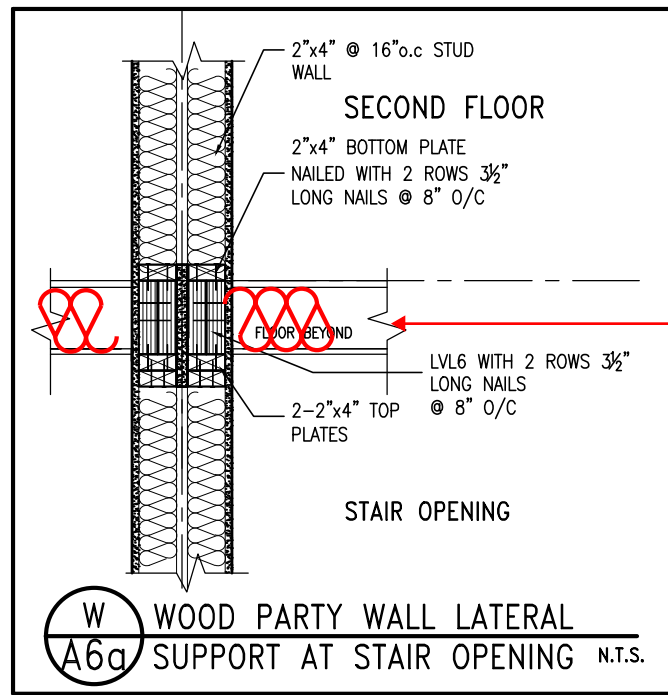
FLANKAGE ELEVATION '2'

project no.
16015

2363 SF.

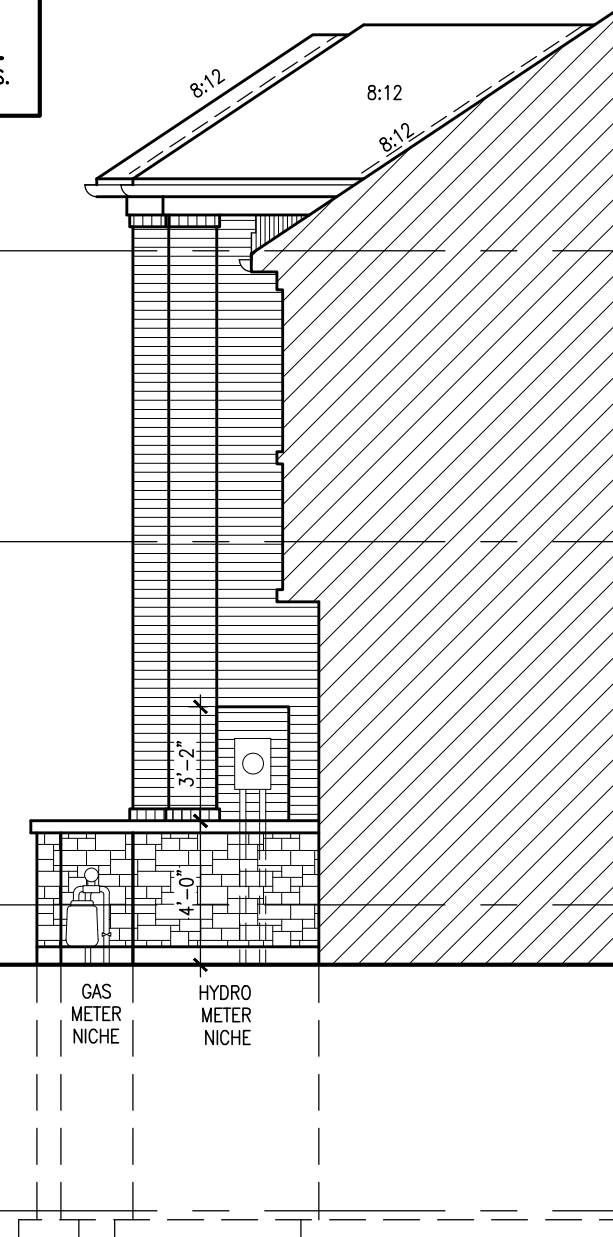
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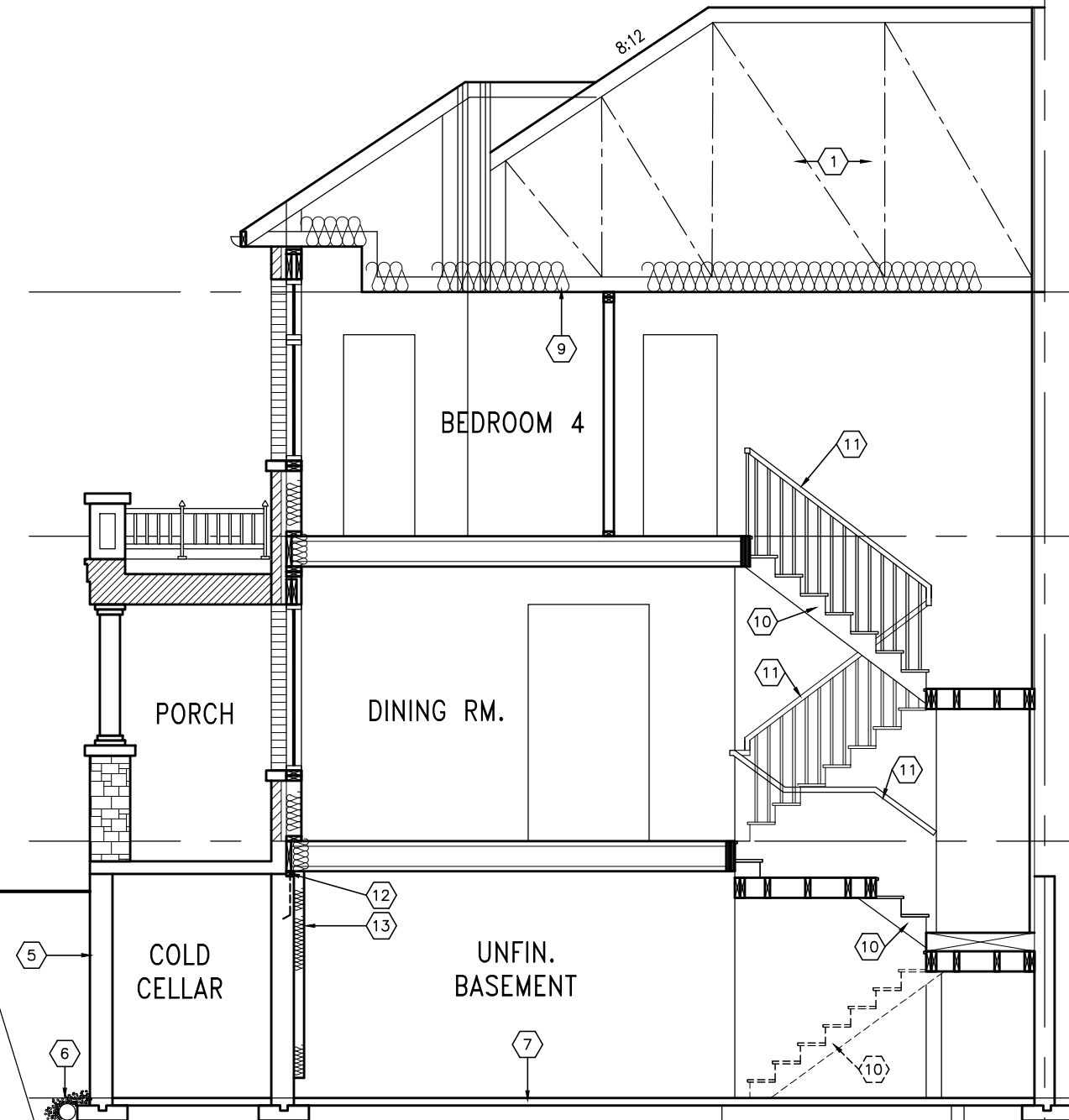


PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details

1'-0"



SECTION B



SECTION A-A ELEV. 2

TOP OF PLATE

TOP OF WINDOW

7'-0"

8'-1"

FIN. SECOND FLOOR

TOP OF WINDOW

7'-10"

10'-1"

FIN. GROUND FLOOR

8'-6"

TOP OF SLAB



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PLANNING AND DEVELOPMENT
IVY 12F MODEL

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SCOTT SHERRIFFS APR 19, 2017

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VA3 DESIGN

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Greenpark.

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JULY, 2016

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WT

checked by
3/16" = 1'-0"

scale

project no.
16015

drawing no.
A6a

IVY-12
ENERGY STAR/ PANEL

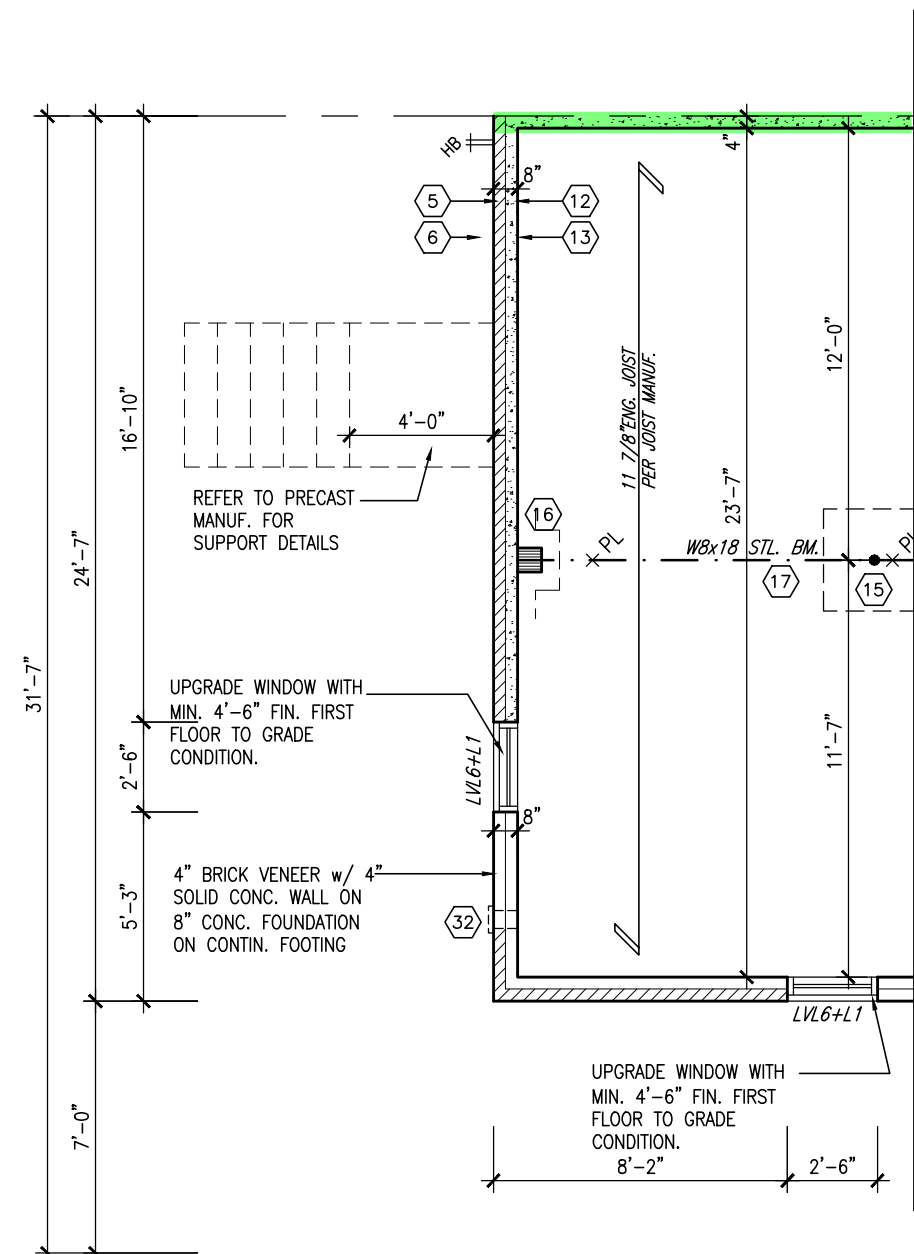
IVY-12

SECTION A-A ELEV. 2

16015-IVY-12

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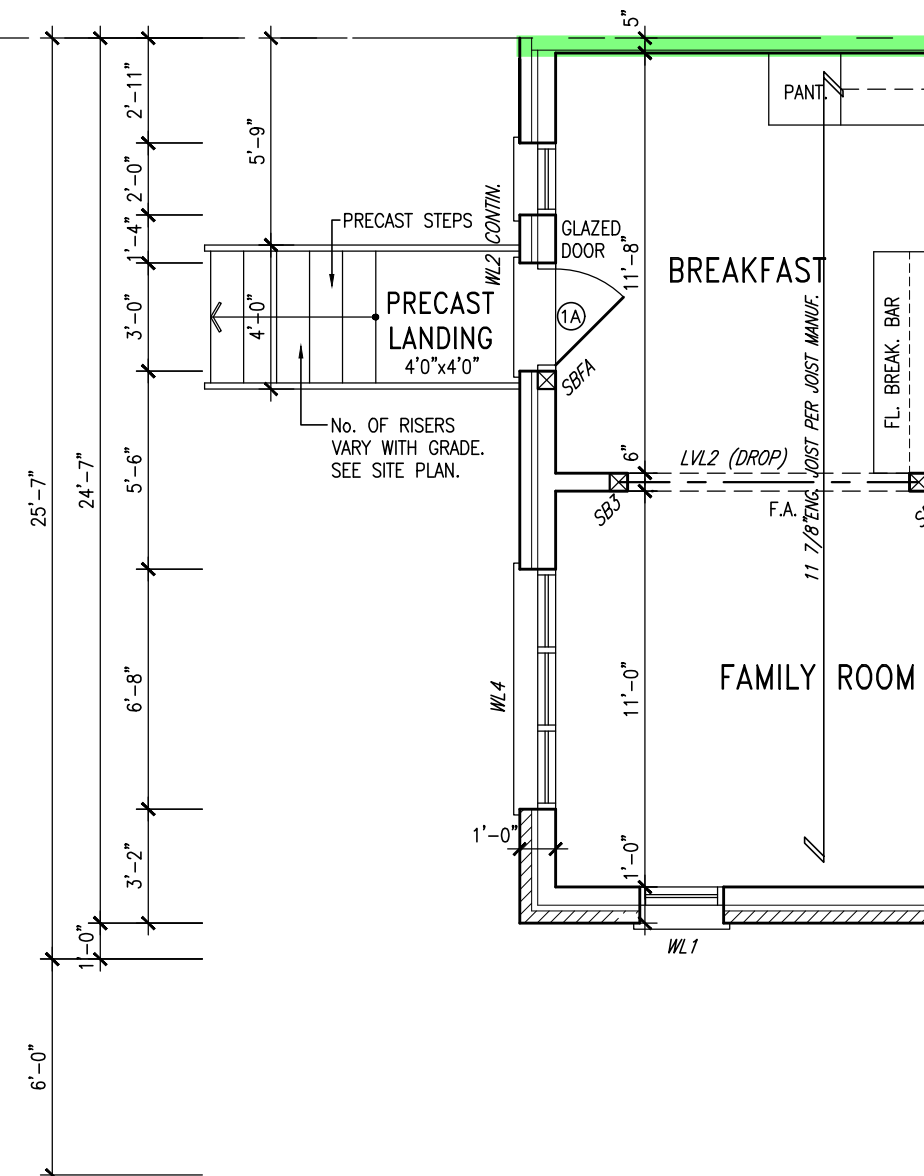
2363 SF.



PART. BASEMENT PLAN ELEV. 2
W.O.D CONDITION (7R MAX.)

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing



PART. GROUND FLOOR PLAN ELEV. 2
W.O.D CONDITION (7R MAX.)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

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ARCHITECTURAL REVIEW AND APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

IVY-12
ENERGY STAR/ PANEL



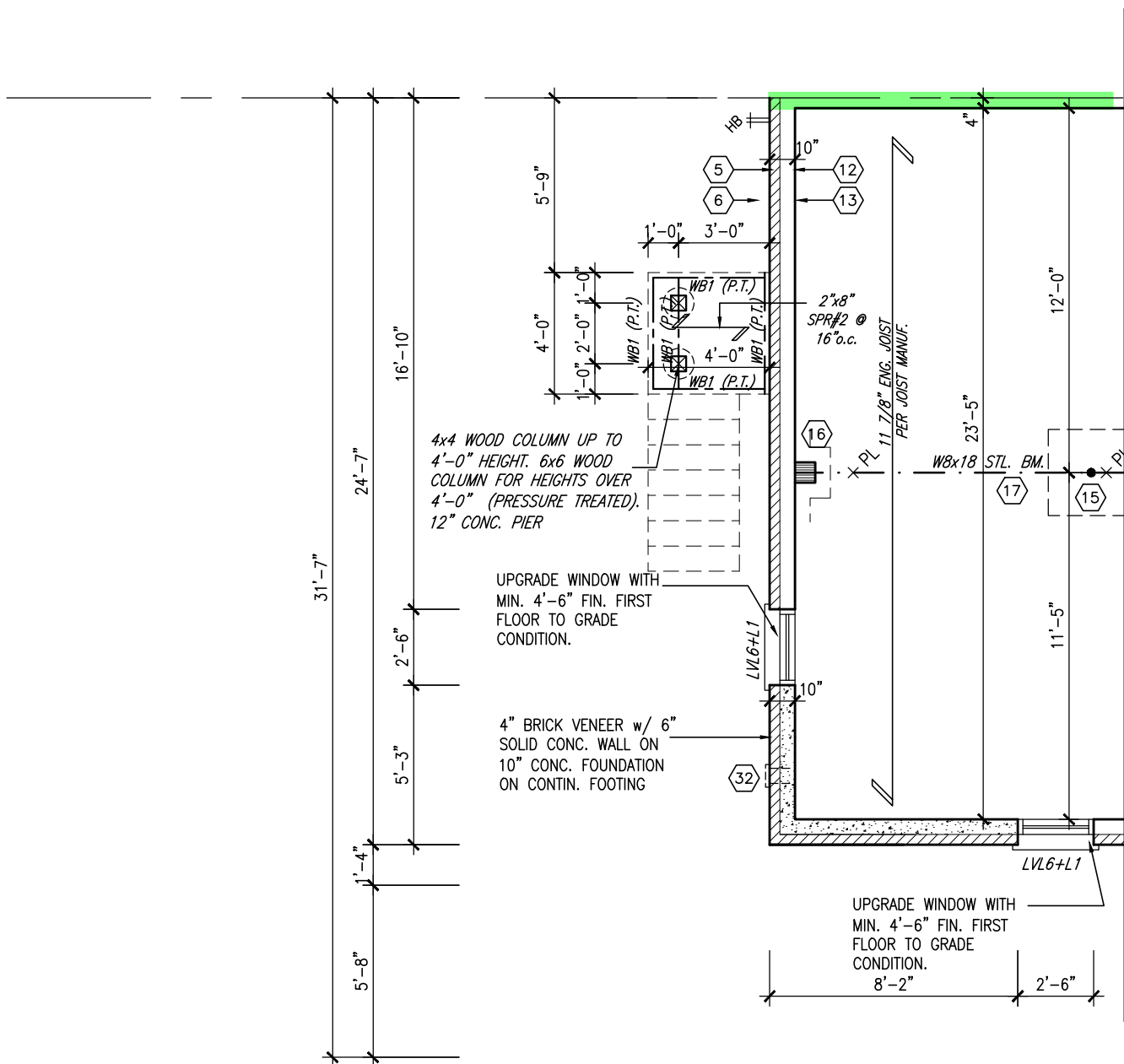
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6	REVISED MASTER ENSUITE.	OCT 05/16	GW	Richard Vink	2448
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW	name <i>R Vink</i> signature	BC
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information VA3 Design Inc.	4265
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW		
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IVY-12
-
project no.
16015
drawing no.
A7a

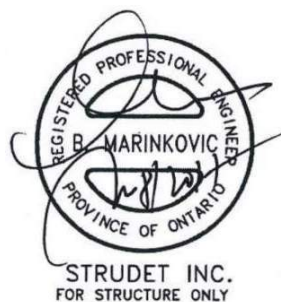
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PART. BASEMENT PLAN ELEV. 2
W.O.D CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



no.	description	date	by
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qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658

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project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

date
JULY, 2016

drawn by
WT

checked by
3/16" = 1'-0"

scale
16015-IVY-12

file name
16015-IVY-12

drawing no.
A8a

project no.
16015

IVY-12

ENERGY STAR/ PANEL

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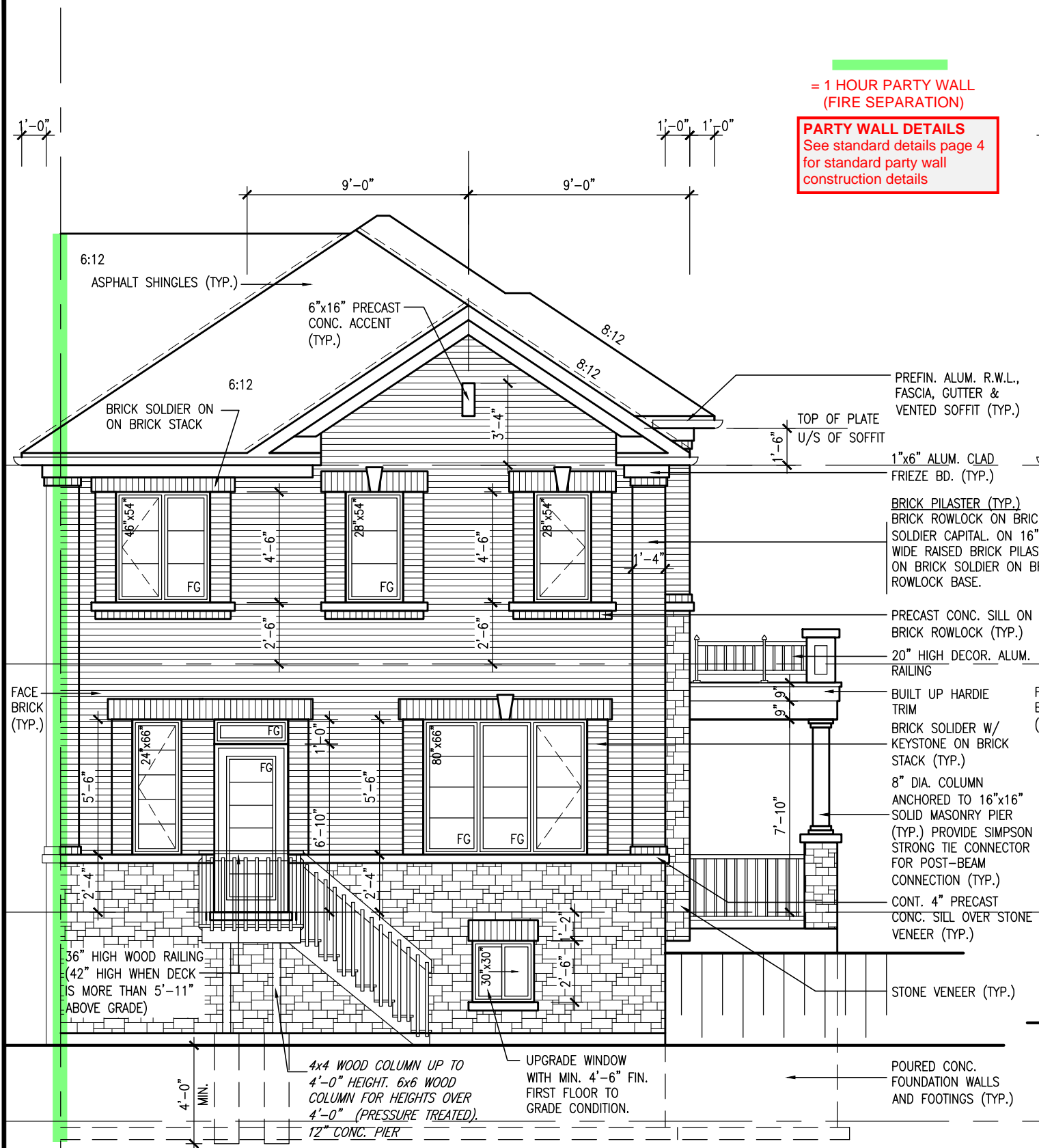
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

2363 SF.

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REAR ELEVATION ELEV. 2
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details

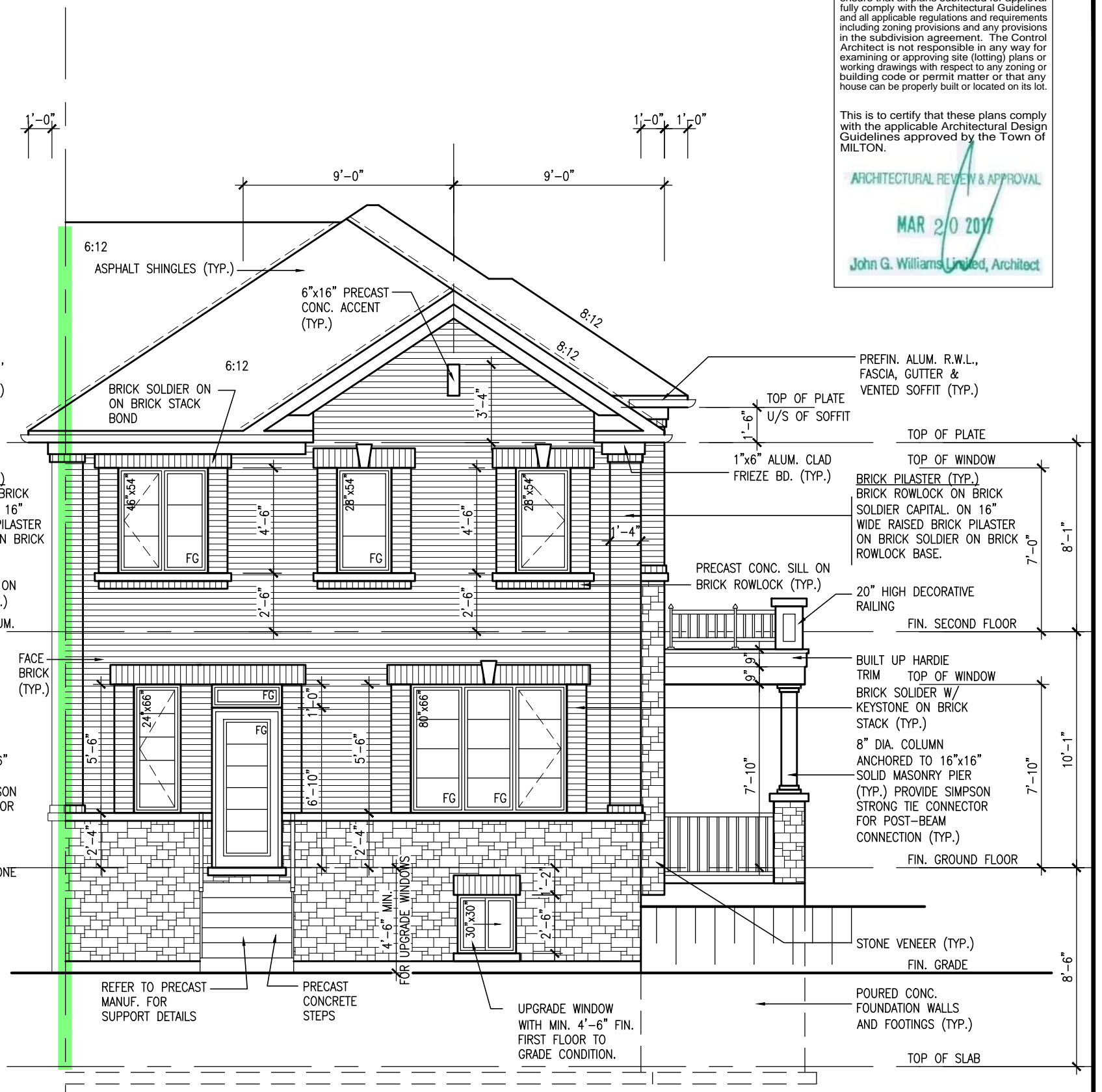
ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

BUILDING: REVIEWED
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REAR ELEVATION ELEV. 2
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

IVY-12
ENERGY STAR/ PANEL

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

project no.
16015

date
JULY, 2016

drawn by
WT

checked by
3/16" = 1'-0"

scale

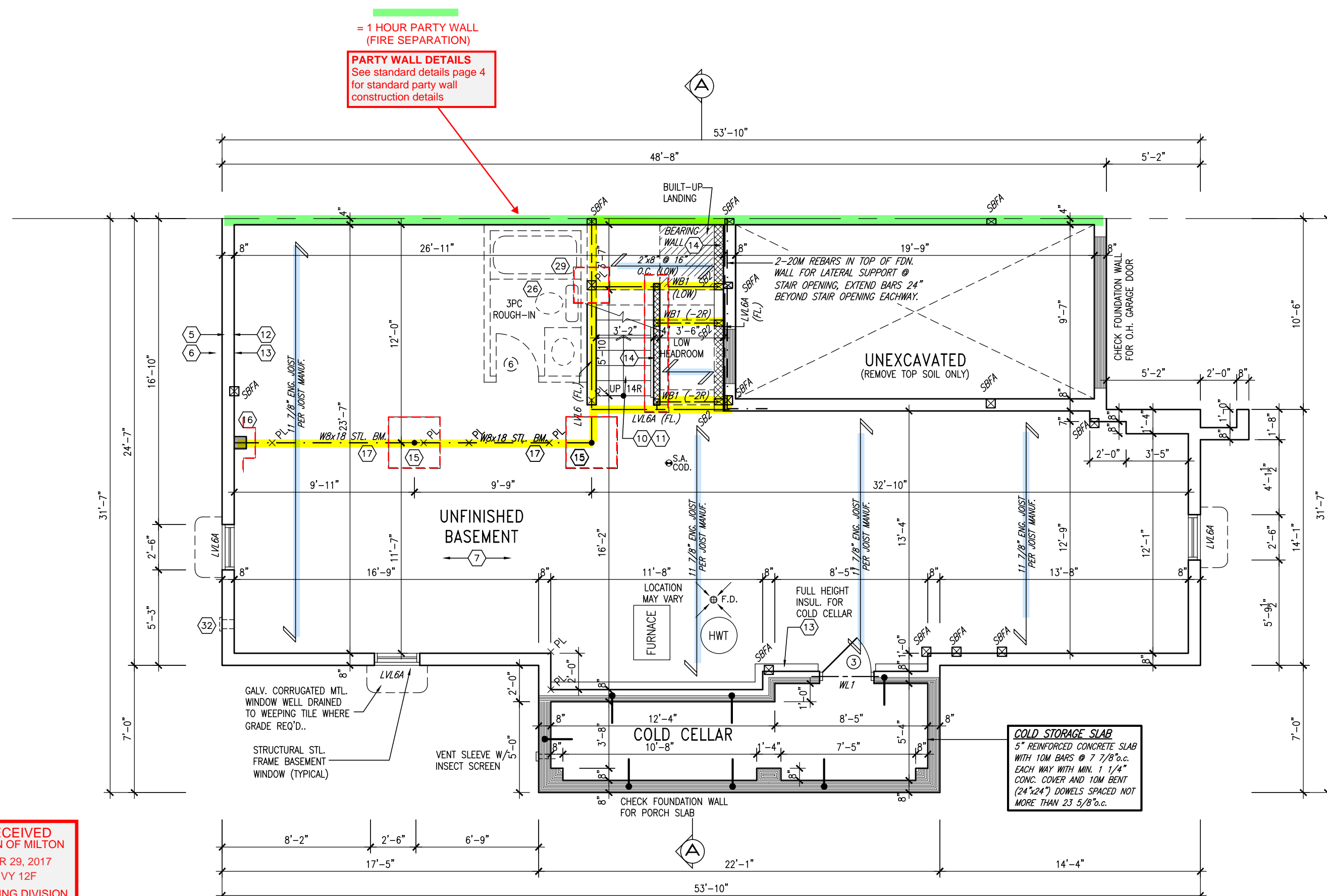
REAR ELEVATION ELEV. 2 - DECK CONDITION

file name
16015-IVY-12

drawing no.
A9a

Greg - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\WY\IVY-12.dwg - Mon - Apr 10 2017 - 5:01 PM

2363 SF.



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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE

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ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



BASEMENT PLAN - ELEV. '3'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED MASTER ENSUITE.	OCT 05/16	GW
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW
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3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW
2	REVISED. REISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature BCIN
name
registration information
VA3 Design Inc. 42658

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project name
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date
JULY, 2016

drawn by
WT

checked by
3/16" = 1'-0"

scale
3/16" = 1'-0"

file name
16015-IVY-12

drawing no.
A1b

municipality
MILTON, ONT.

project no.
16015

BASEMENT PLAN - ELEV. '3'

IVY-12
ENERGY STAR/ PANEL

2363 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE DOOR
Requires weatherstripping
and a self closing device

GARAGE AIR BARRIER
Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

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MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

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TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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UNLESS OTHERWISE NOTED.



GROUND FLOOR PLAN - ELEV. '3'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

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Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
registration information
VA3 Design Inc. 42658
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va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
date
JULY, 2016
drawn by
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-12
drawing no.
A2b

IVY-12
ENERGY STAR/ PANEL

IVY-12

project no.
16015

drawing no.
A2b

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

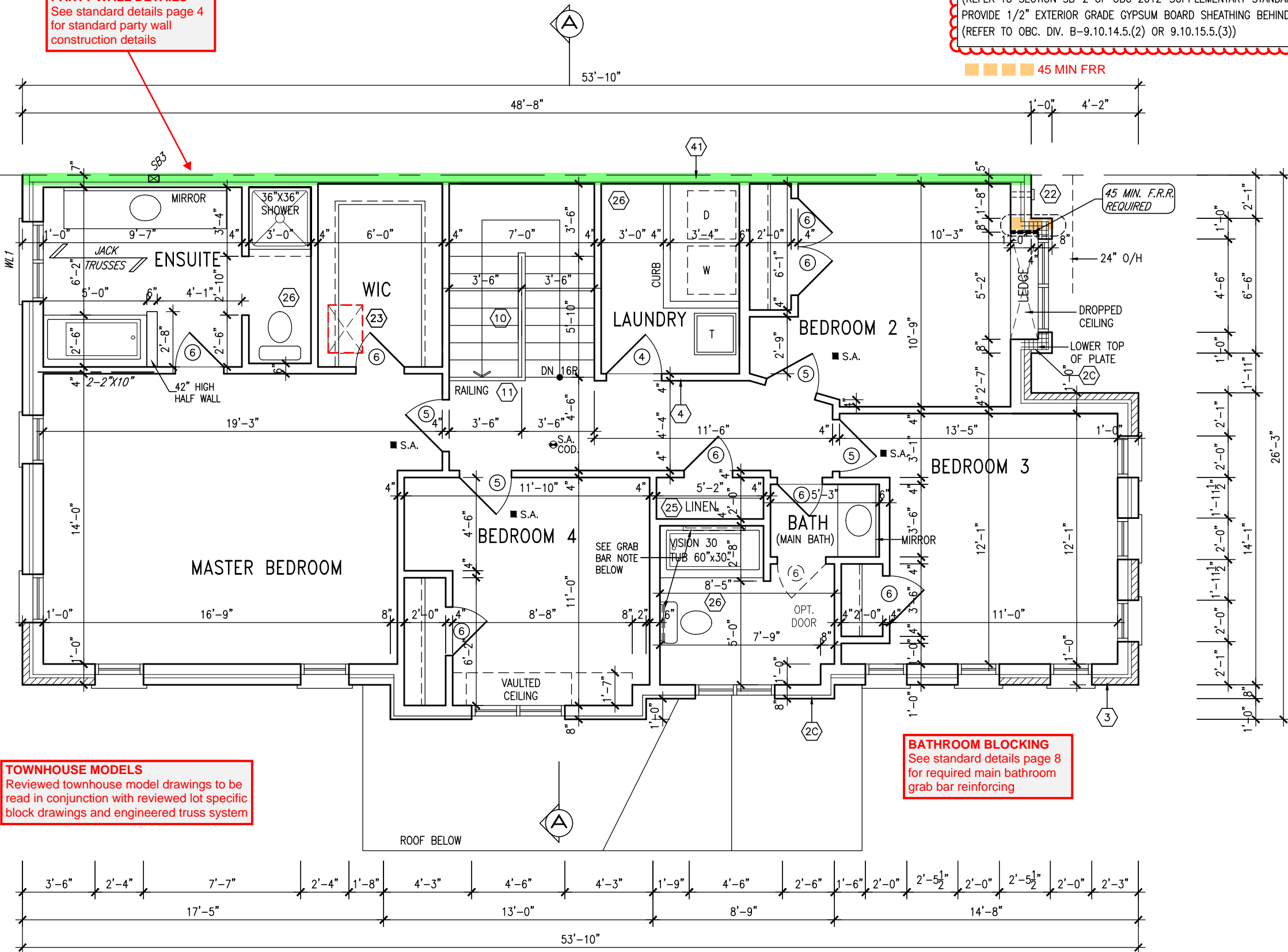
45 MINUTE FIRE RATED WALL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE/PARTY WALL)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION for BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)
PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING (REFER TO OBC. DIV. B-9.10.14.5.(2) OR 9.10.15.5.(3))

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

45 MIN FRR



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MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE

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SECOND FLOOR PLAN - ELEV. '3'

IVY-12
ENERGY STAR/ PANEL

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	ISSUED FOR PERMIT.	MAR. 01/17	GW	qualification information
7	ISSUED FOR PRICING.	DEC. 21/16	GW	Richard Vink 24488
6	REVISED MASTER ENSUITE.	OCT 05/16	GW	signature BCIN
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW	name registration information
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	VA3 Design Inc. 42658
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	
2	REVISED. REISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW	
no.	description	date	by	

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

date
JULY, 2016

drawn by
WT

project no.
16015

second floor plan - ELEV. '3'

file name
16015-IVY-12

date
JULY, 2016

scale
3/16" = 1'-0"

project no.
16015

drawing no.
A3b

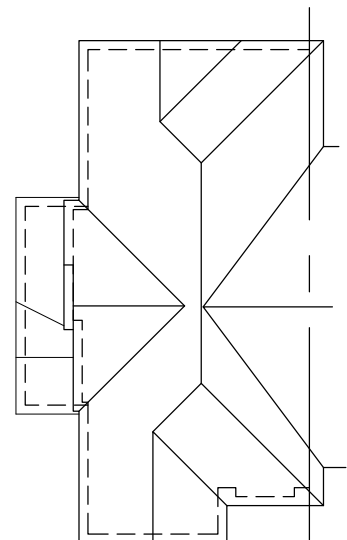
TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE

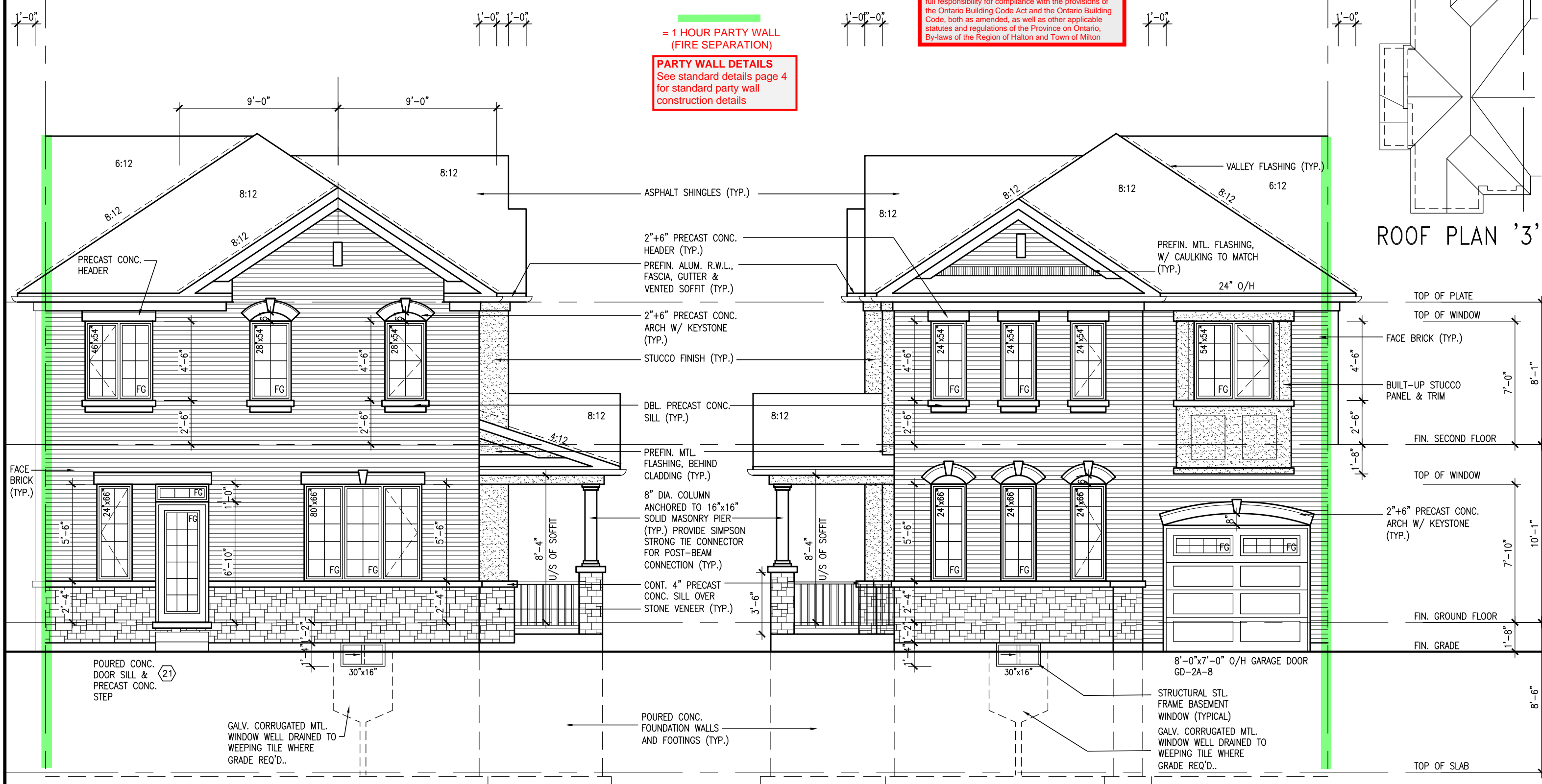
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TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

2363 SF.



ROOF PLAN '3'



REAR ELEVATION '3'

FRONT ELEVATION '3'

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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qualification information
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signature BCIN
name registration information
VA3 Design Inc. 42658

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VA3 DESIGN

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va3design.com

Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

date
JULY, 2016

drawn by
WT

checked by
3/16" = 1'-0"

scale

project no.
16015

municipality
MILTON, ONT.

file name
16015-IVY-12

drawing no.
A4b

IVY-12
ENERGY STAR/ PANEL

IVY-12
-
project no.
16015

2363 SF.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect



FLANKAGE ELEVATION '3'

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017

PLANS EXAMINER DATE

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MAR 29, 2017
IVY 12F
BUILDING DIVISION

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qualification information

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signature

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name registration information

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date
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drawn by
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3/16" = 1'-0"

scale

FILE NAME
16015-IVY-12

drawing no.
A5b

IVY-12
ENERGY STAR/ PANEL

IVY-12

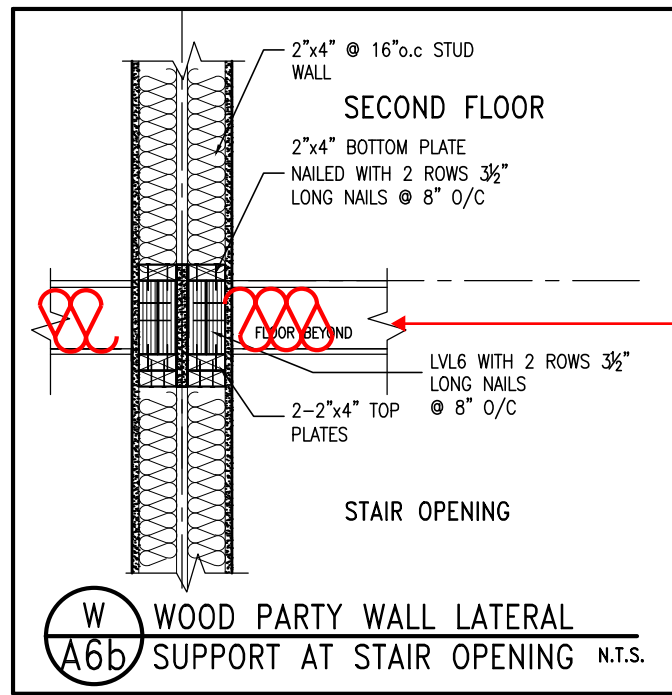
project no.
16015

drawing no.
A5b

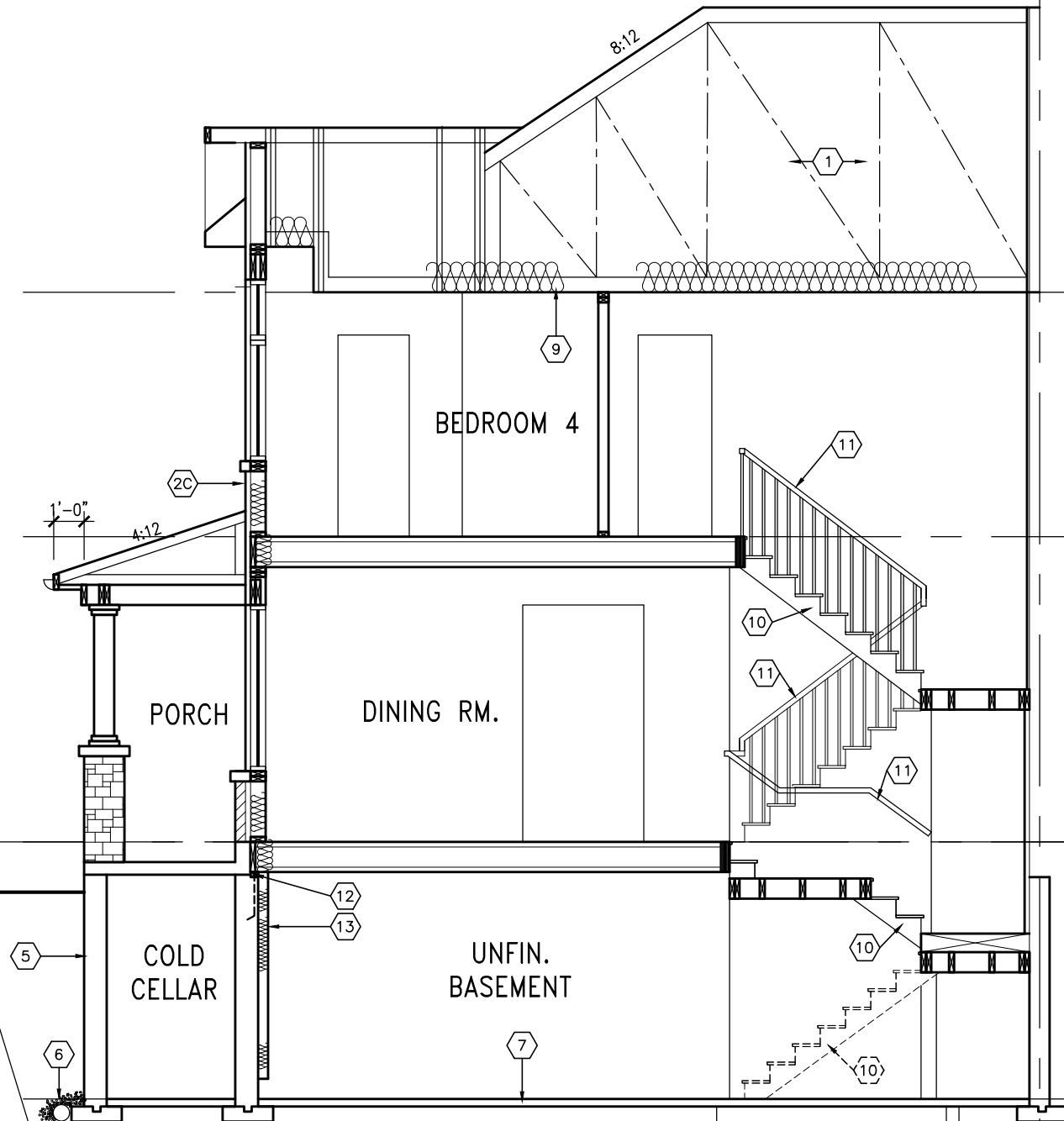
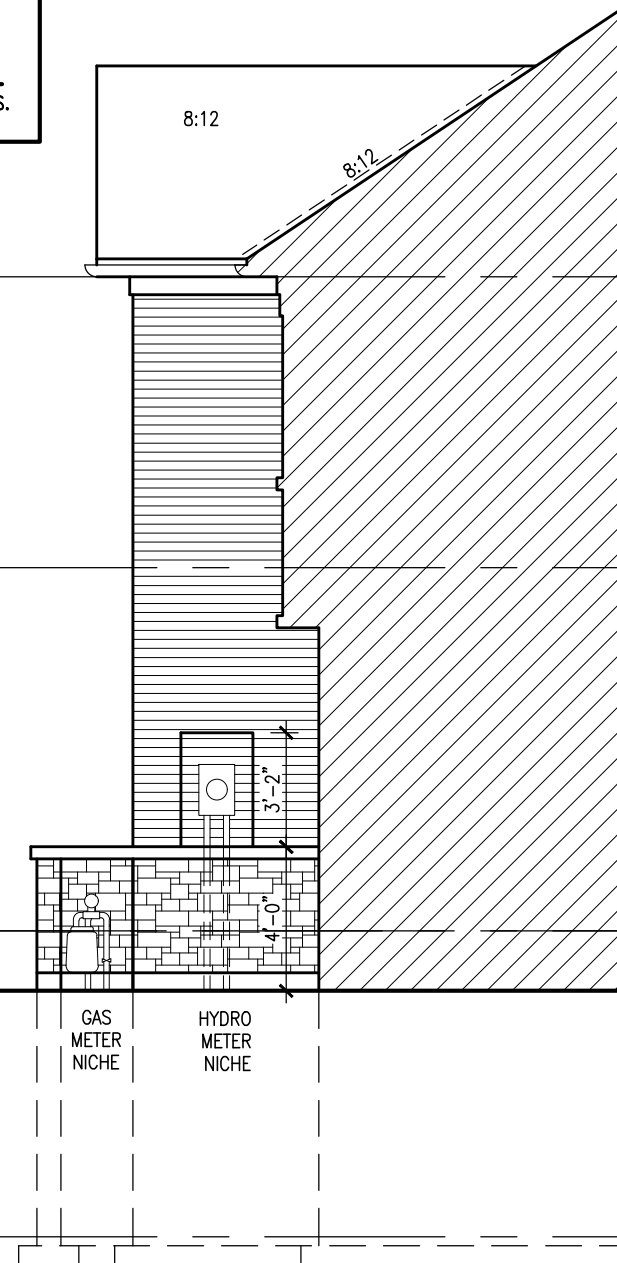
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PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



TOP OF PLATE

TOP OF WINDOW

7'-0"

8'-1"

FIN. SECOND FLOOR

TOP OF WINDOW

7'-10"

10'-1"

FIN. GROUND FLOOR

8'-6"

TOP OF SLAB



RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

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SCOTT SHERRIFFS APR 19, 2017

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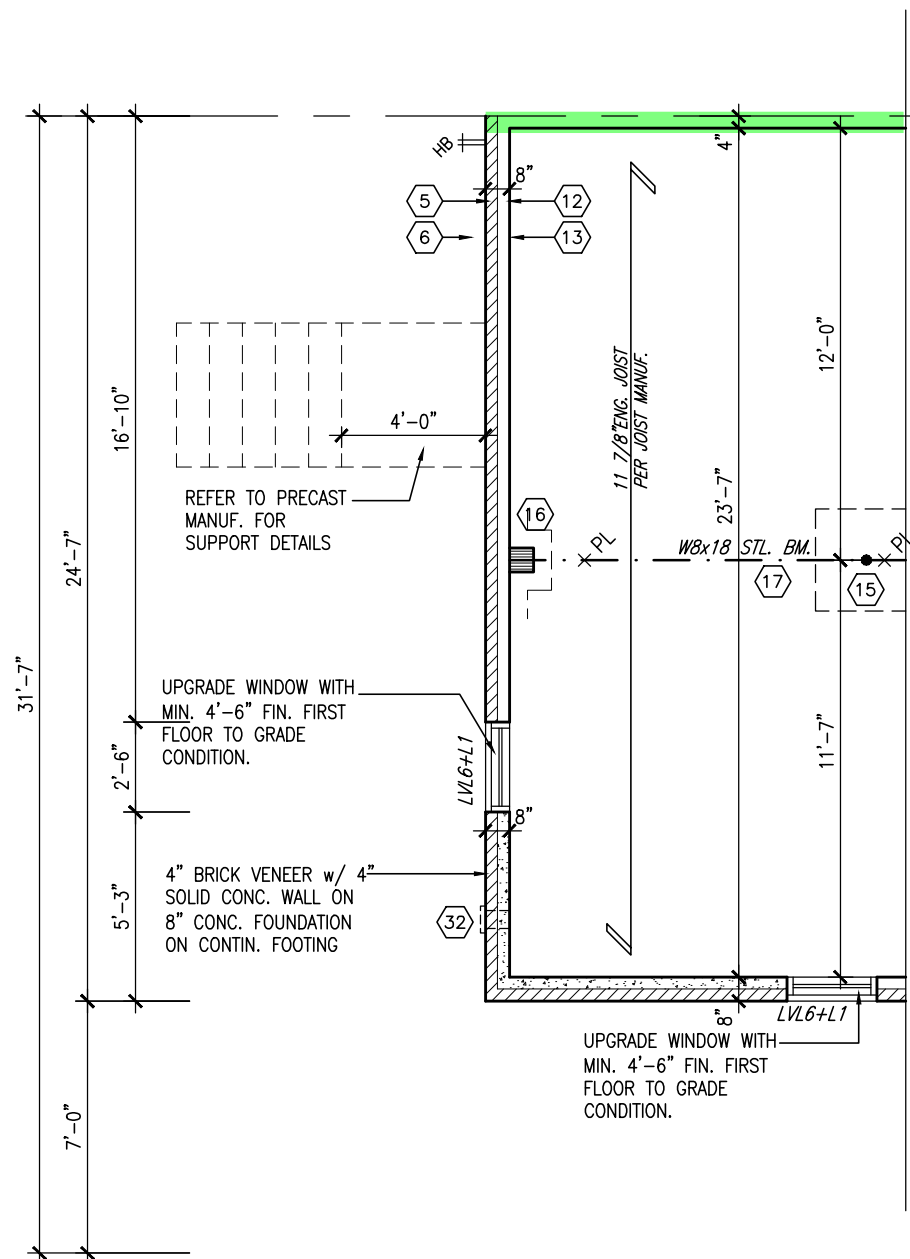
scale

SECTION A-A ELEV. 3

file name
16015-IVY-12

drawing no.
A6b

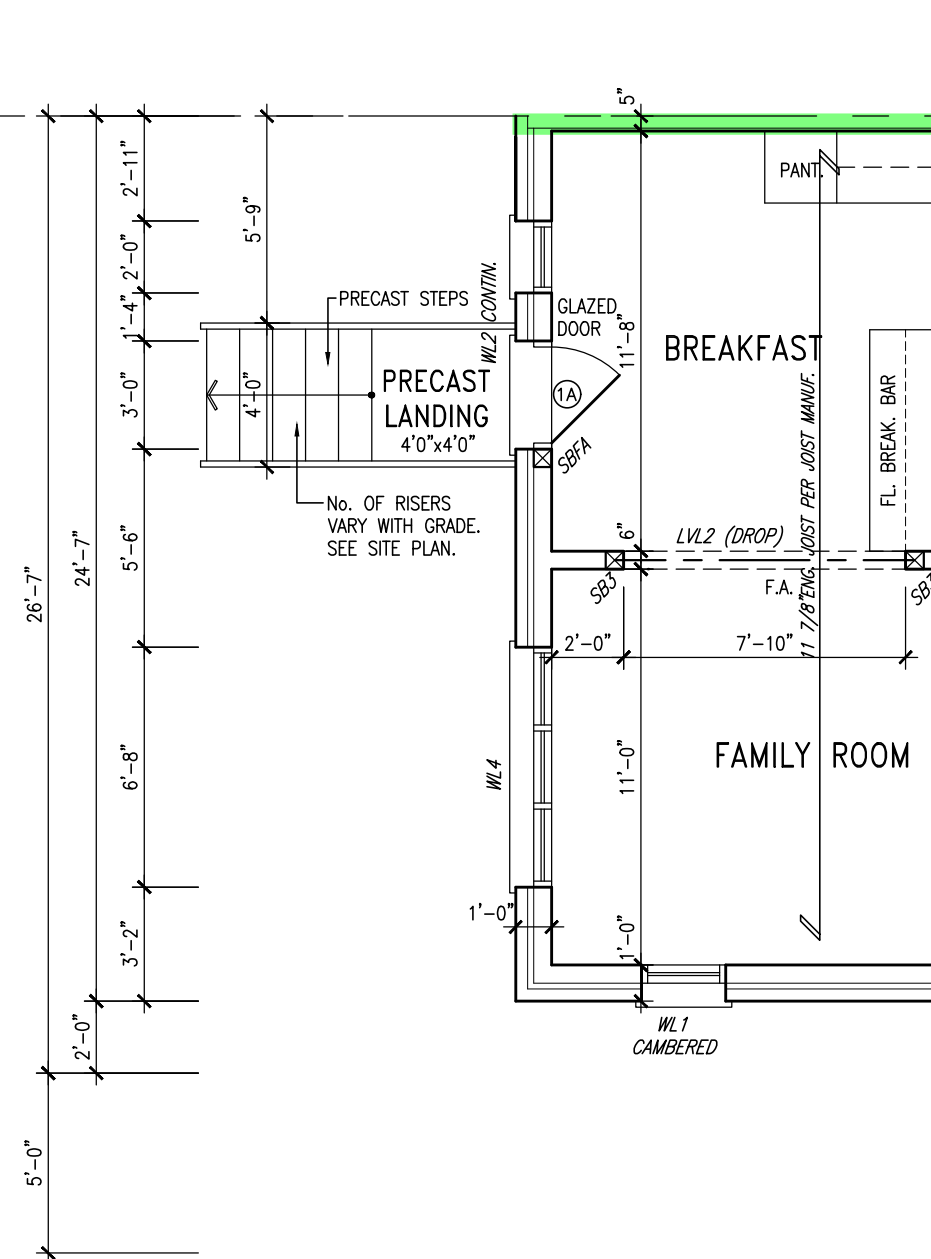
IVY-12
ENERGY STAR/ PANEL



PART. BASEMENT PLAN ELEV. 3
W.O.D CONDITION (7R MAX.)

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing



PART. GROUND FLOOR PLAN ELEV. 3
W.O.D CONDITION (7R MAX.)

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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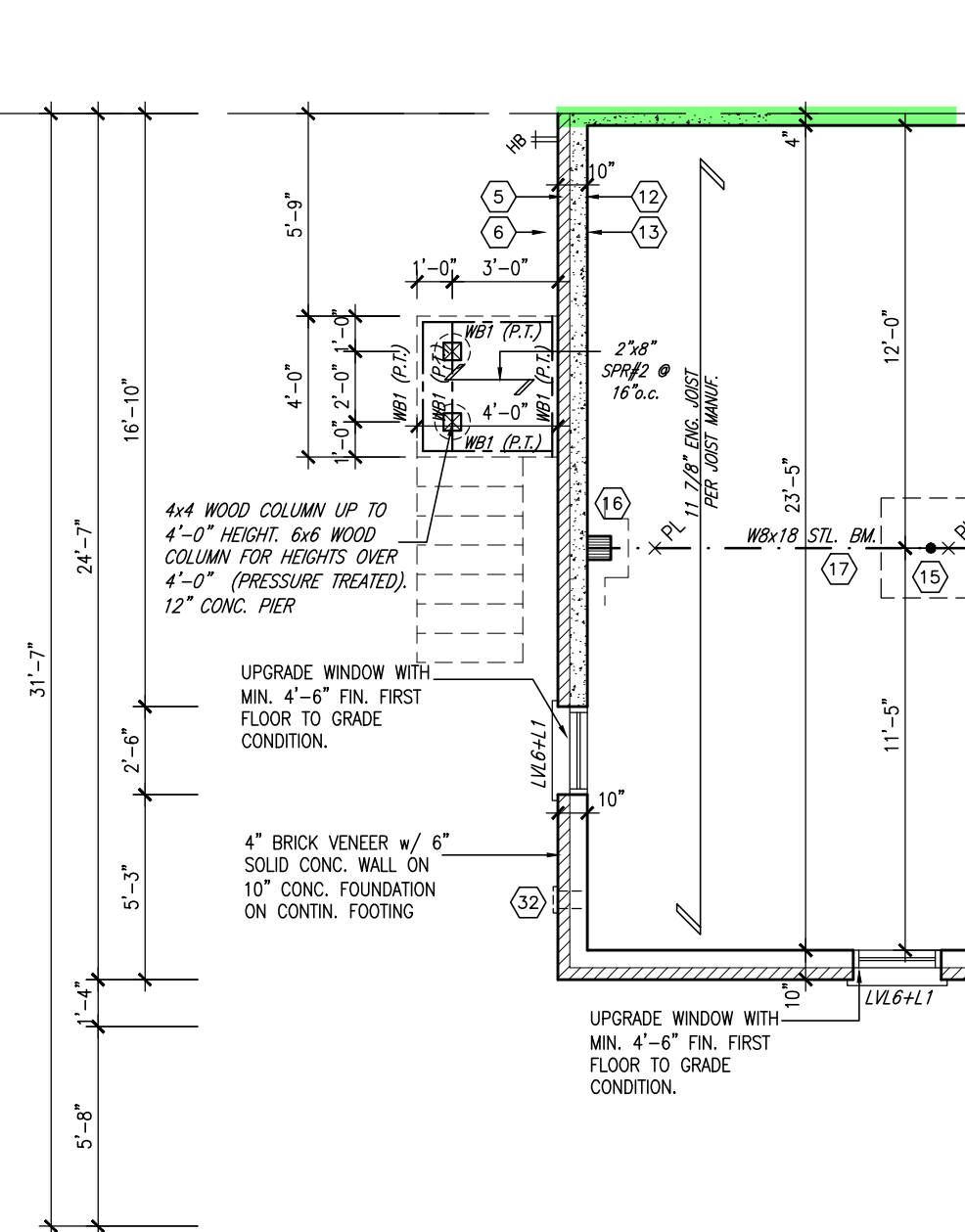
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qualification information
Richard Vink 24488 BCIN
signature
VA3 Design Inc. 42658
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		IVY-12 ENERGY STAR/ PANEL	
project name LECCO RIDGE DEVELOPMENTS INC.	municipality MILTON, ONT.	project no. 16015	drawing no. A7b
date JULY, 2016	checked by WT	scale 3/16" = 1'-0"	file name 16015-IVY-12
PART. PLANS ELEV. 3 - DECK CONDITION (7R MAX.)			
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\NY\IVY-12\16015-IVY-12.dwg - Mon - Apr 10 2017 - 5:02 PM			

2363 SF.



PART. BASEMENT PLAN ELEV. 3
W.O.D CONDITION (8R OR MORE)

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION

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8	ISSUED FOR PERMIT.	MAR. 01/17	GW	Ontario Building Code to be a Designer.	
7	ISSUED FOR PRICING.	DEC. 21/16	GW	qualification information	
6	REVISED MASTER ENSUITE.	OCT 05/16	GW	Richard Vink	2448
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW	name	BC
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information	
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	VA3 Design Inc.	4265
2	REVISED. REISSUED FOR CLIENT REVIEW.	AUG 10/16	GW		
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

[illegible]

PART. GROUND FLOOR PLAN ELEV. 3
W.O.D CONDITION (8R OR MORE)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 2/0 2017

John G. Williams Limited, Architect

IVY-12
ENERGY STAR/ PANEL

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



project name	municipality
LECCO RIDGE DEVELOPMENTS INC.	MILTON, ONT.

date
JULY, 2016 PART. PLANS ELEV. 3 - DECK CONDITION (8R OR MORE)

drawn by checked by scale file name
WT - 3/16" = 1'-0" 16015-IVY-12
GREG - H:\ARCHIVE\WORKING\2016\16015 GRE\UNITS\IVY\IVY-12\16015-IVY-12.dwg - Mon - Apr 10 2017 - 5:02 PM

IVY-12

Project no.
6015

drawing no.

100

A8b I

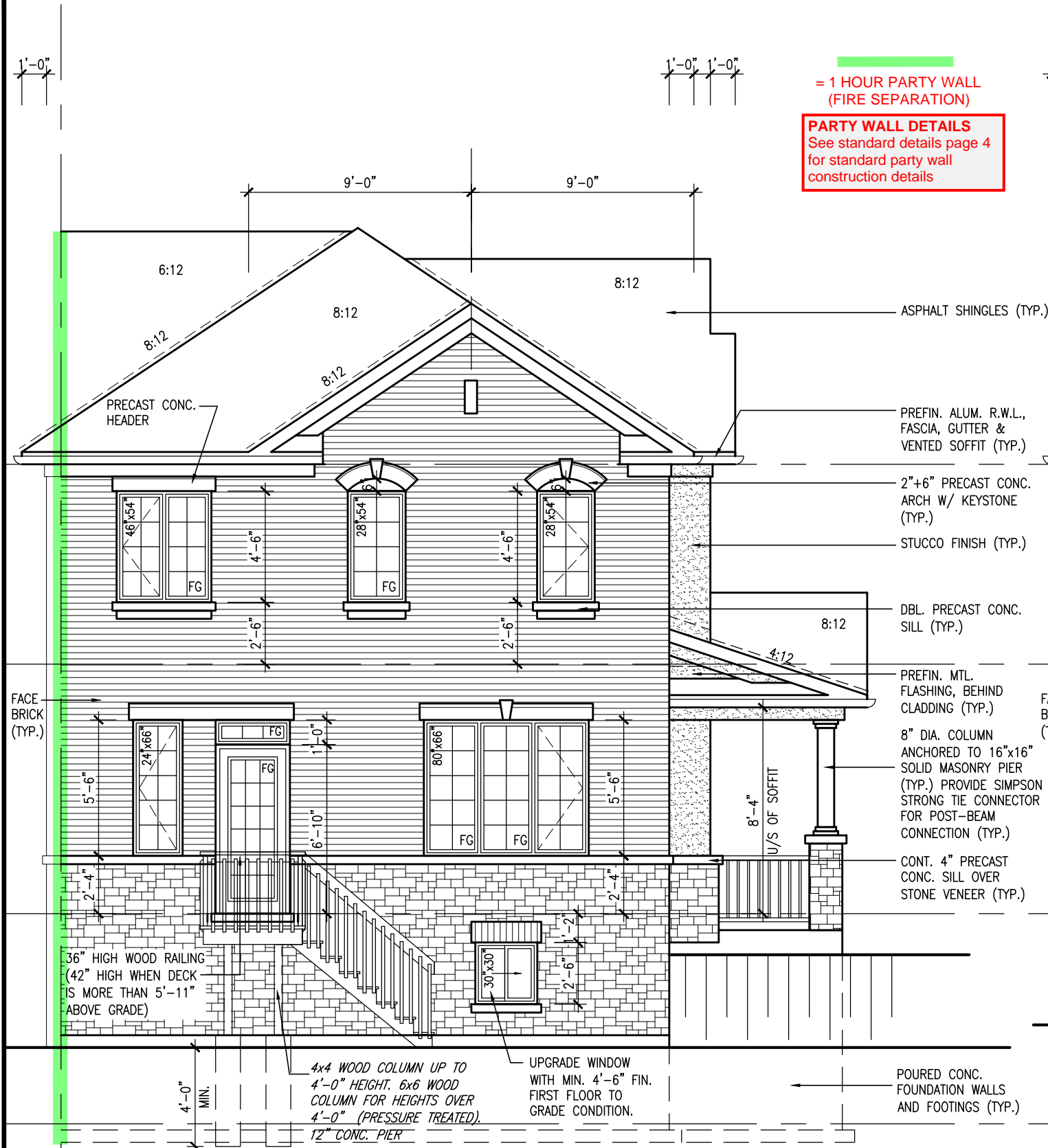
All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

2363 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



REAR ELEVATION ELEV. 3
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

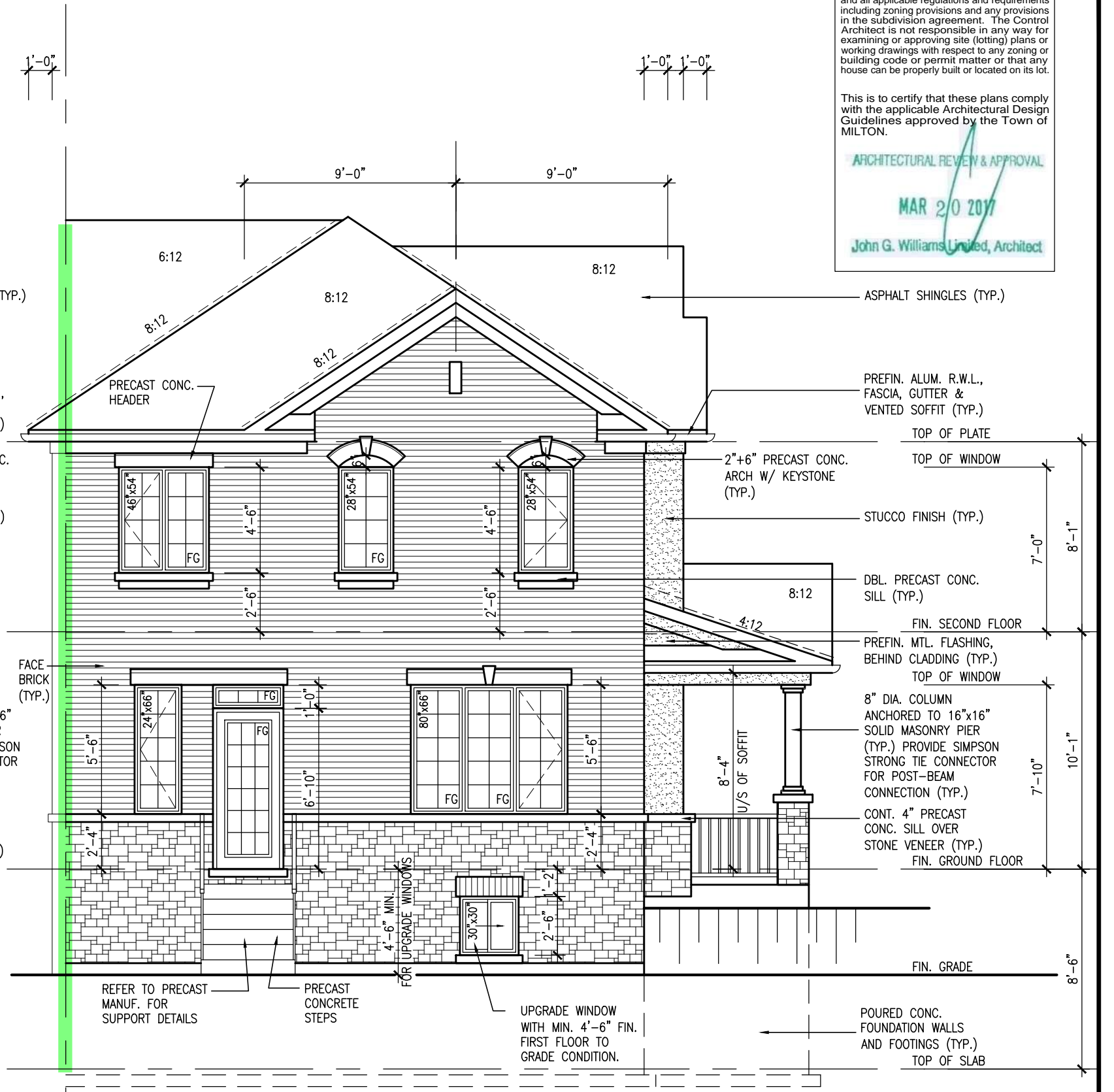
TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 12F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017

PLANS EXAMINER **DATE**

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 12F
BUILDING DIVISION



REAR ELEVATION ELEV. 3
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

IVY-12
ENERGY STAR/ PANEL

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED MASTER ENSUITE.	OCT 05/16	GW
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1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

date
JULY, 2016

drawn by
WT

scale
3/16" = 1'-0"

checked by
16015-IVY-12

IVY-12

project no.
16015

drawing no.
A9b