

2259 SF.

PAD FOOTINGS

120 KPa. NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa. ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
L5 = 6" x 4" x 7/16" L (152x102x11.0L)
L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8" to 9" CEILING	HEIGHT 10" OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

GENERAL NOTES/CONSTRUCTION DETAILS

Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS

Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

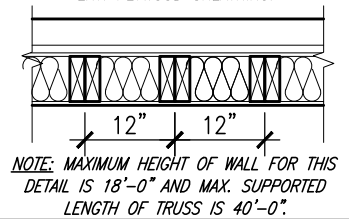
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

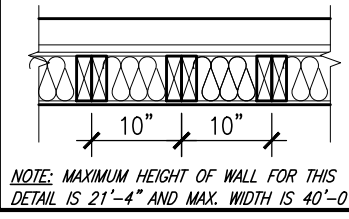
TWO STOREY HEIGHT
WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



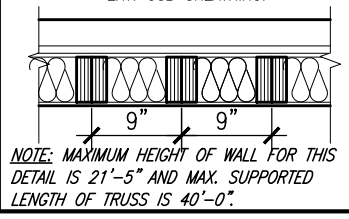
TWO STOREY HEIGHT
WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING GLUED AND NAILED.



TWO STOREY HEIGHT
WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



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UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))			
IVY 11 AND ELEVATION 1	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	509.06 S.F.	106.31 S.F.	20.88 %
LEFT SIDE	1087.53 S.F.	233.74 S.F.	21.49 %
RIGHT SIDE	1087.53 S.F.	0.0 S.F.	0.00 %
REAR	509.06 S.F.	110.83 S.F.	21.77 %
TOTAL SQ. FT.	3193.18 S.F.	450.88 S.F.	14.12 %
TOTAL SQ. M.	296.65 S.M.	41.89 S.M.	14.12 %

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))			
IVY 11 AND ELEVATION 2	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	509.06 S.F.	103.49 S.F.	20.33 %
LEFT SIDE	1089.18 S.F.	203.06 S.F.	18.64 %
RIGHT SIDE	1089.18 S.F.	0.0 S.F.	0.00 %
REAR	509.06 S.F.	110.83 S.F.	21.77 %
TOTAL SQ. FT.	3196.48 S.F.	417.38 S.F.	13.06 %
TOTAL SQ. M.	296.96 S.M.	38.78 S.M.	13.06 %

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))			
IVY 11 AND ELEVATION 3	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	509.06 S.F.	103.49 S.F.	20.33 %
LEFT SIDE	1089.18 S.F.	251.48 S.F.	23.09 %
RIGHT SIDE	1089.18 S.F.	0.0 S.F.	0.00 %
REAR	509.06 S.F.	110.83 S.F.	21.77 %
TOTAL SQ. FT.	3196.48 S.F.	465.80 S.F.	14.57 %
TOTAL SQ. M.	296.96 S.M.	43.27 S.M.	14.57 %



ENERGY STAR- V 12.7

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	1069 SF
SECOND FLOOR AREA	1184 SF
TOTAL FLOOR AREA	2253 SF (209.31 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	6 SF
ADD TOTAL OPEN AREAS	+ 6 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2259 SF (209.87 m2)
GROUND FLOOR COVERAGE	1069 SF
GARAGE COVERAGE/AREA	202 SF
PORCH COVERAGE/AREA	136 SF
COVERAGE W/ PORCH	1407 SF (130.71 m2)
COVERAGE W/O PORCH	1271 SF (118.08 m2)

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	1066 SF
SECOND FLOOR AREA	1179 SF
TOTAL FLOOR AREA	2245 SF (208.57 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	6 SF
ADD TOTAL OPEN AREAS	+ 6 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2251 SF (209.12 m2)
GROUND FLOOR COVERAGE	1066 SF
GARAGE COVERAGE/AREA	202 SF
PORCH COVERAGE/AREA	113 SF
COVERAGE W/ PORCH	1381 SF (128.30 m2)
COVERAGE W/O PORCH	1268 SF (117.80 m2)

AREA CALCULATIONS	ELEV '3'
GROUND FLOOR AREA	1081 SF
SECOND FLOOR AREA	1175 SF
TOTAL FLOOR AREA	2256 SF (209.59 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	6 SF
ADD TOTAL OPEN AREAS	+ 6 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2262 SF (210.14 m2)
GROUND FLOOR COVERAGE	1081 SF
GARAGE COVERAGE/AREA	202 SF
PORCH COVERAGE/AREA	169 SF
COVERAGE W/ PORCH	1452 SF (134.90 m2)
COVERAGE W/O PORCH	1283 SF (119.19 m2)

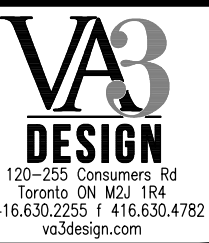
IVY-11
ENERGY STAR/ PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	ISSUED FOR PERMIT.	MAR. 01/17	GW	Richard Vink 24488
6	ISSUED FOR PRICING.	DEC. 21/16	GW	signature BCIN
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW	name registration information
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	VA3 Design Inc. 42658
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW	
no.	description	date	by	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



Greenpark.		IVY-11	
project name	LECCO RIDGE DEVELOPMENTS INC.	municipality	MILTON, ONT.
date	JULY, 2016	checked by	scale
drawn by	WT	3/16" = 1'-0"	16015-IVY-11
file name	H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\WY\IVY-11\16015-IVY-11.dwg		
drawing no.	A0		

2259 SF.

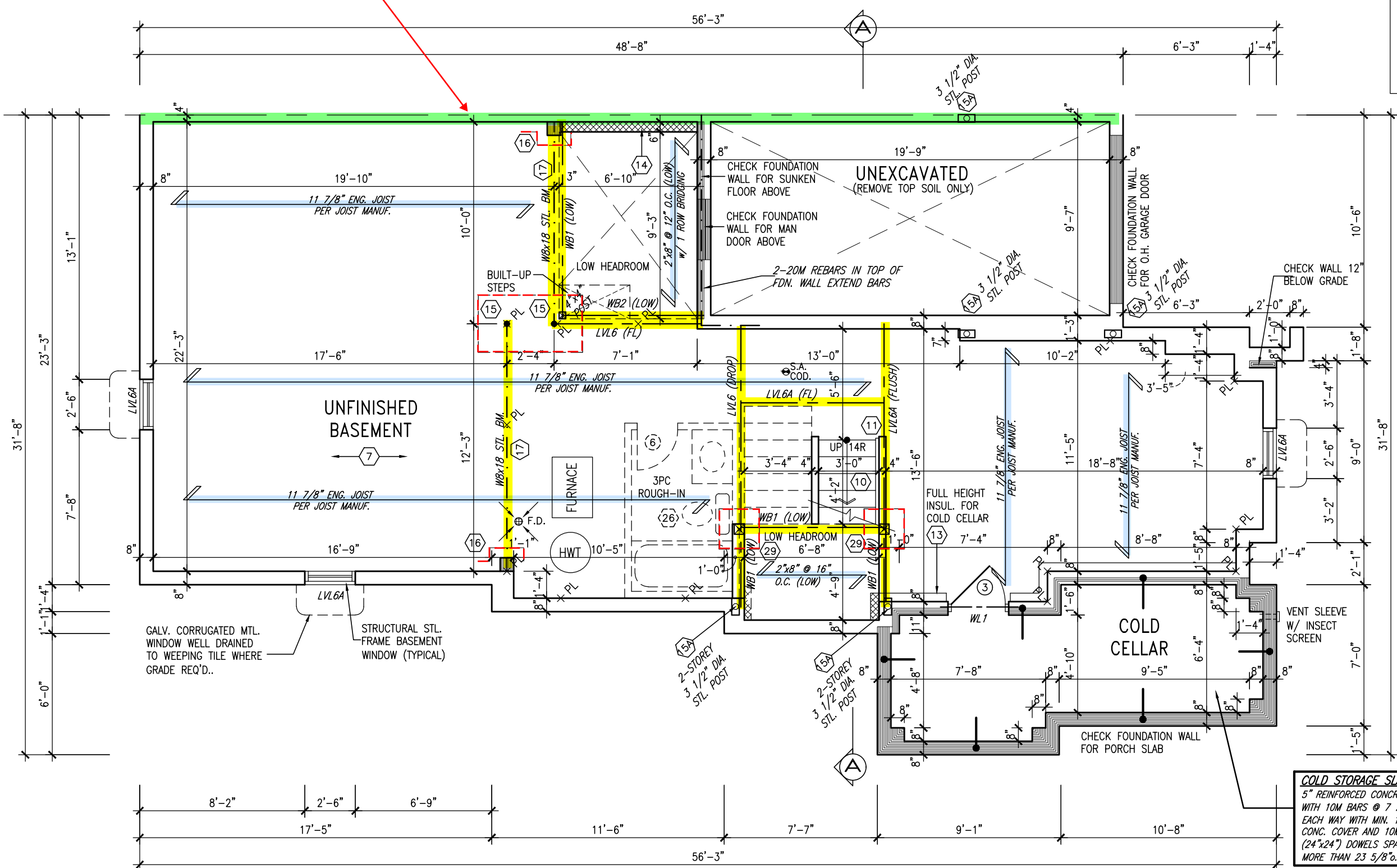
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



BASEMENT PLAN - ELEV. '1'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
APR 19, 2017
PLANS EXAMINER
DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

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MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



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5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW	name	
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information	42658
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	VA3 Design Inc.	
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW	date	by
no.	description	date	by		

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
project no.
16015
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A1

2259 SF.

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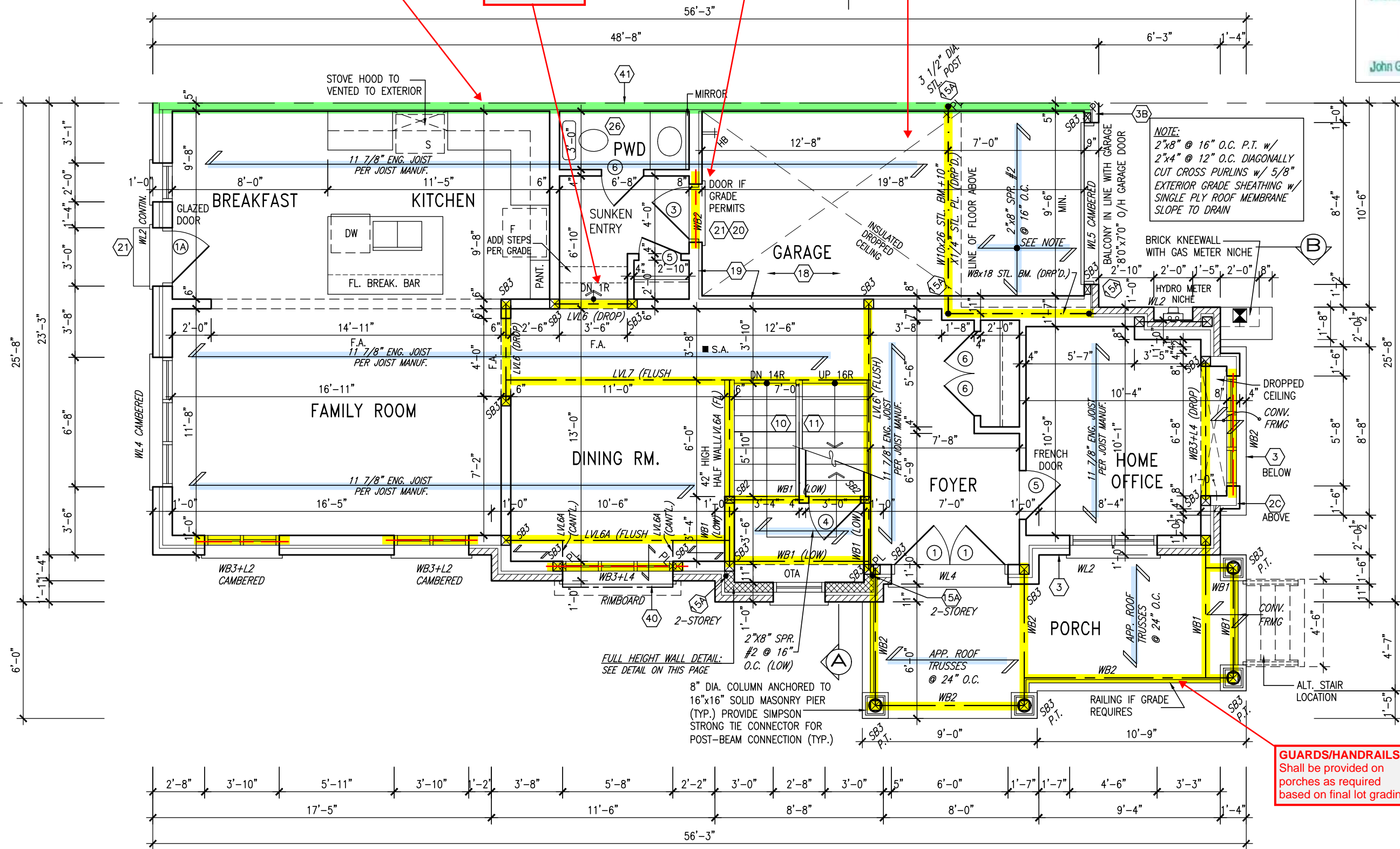
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

= 1 HOUR PARTY WALL (FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

HANDRAIL
Required for interior stairs with more than 2 risers

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping and a self closing device



GROUND FLOOR PLAN - ELEV. '1'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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JUNIPER 11F
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2			
1			
no.	description	date	by

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qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

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VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

project no.
16015

date
JULY, 2016

checked by
scale
3/16" = 1'-0"

file name
16015-IVY-11

drawing no.
A2

GROUND FLOOR PLAN - ELEV. '1'

WED - Mar 1 2017 - 9:36 AM

2259 SF.

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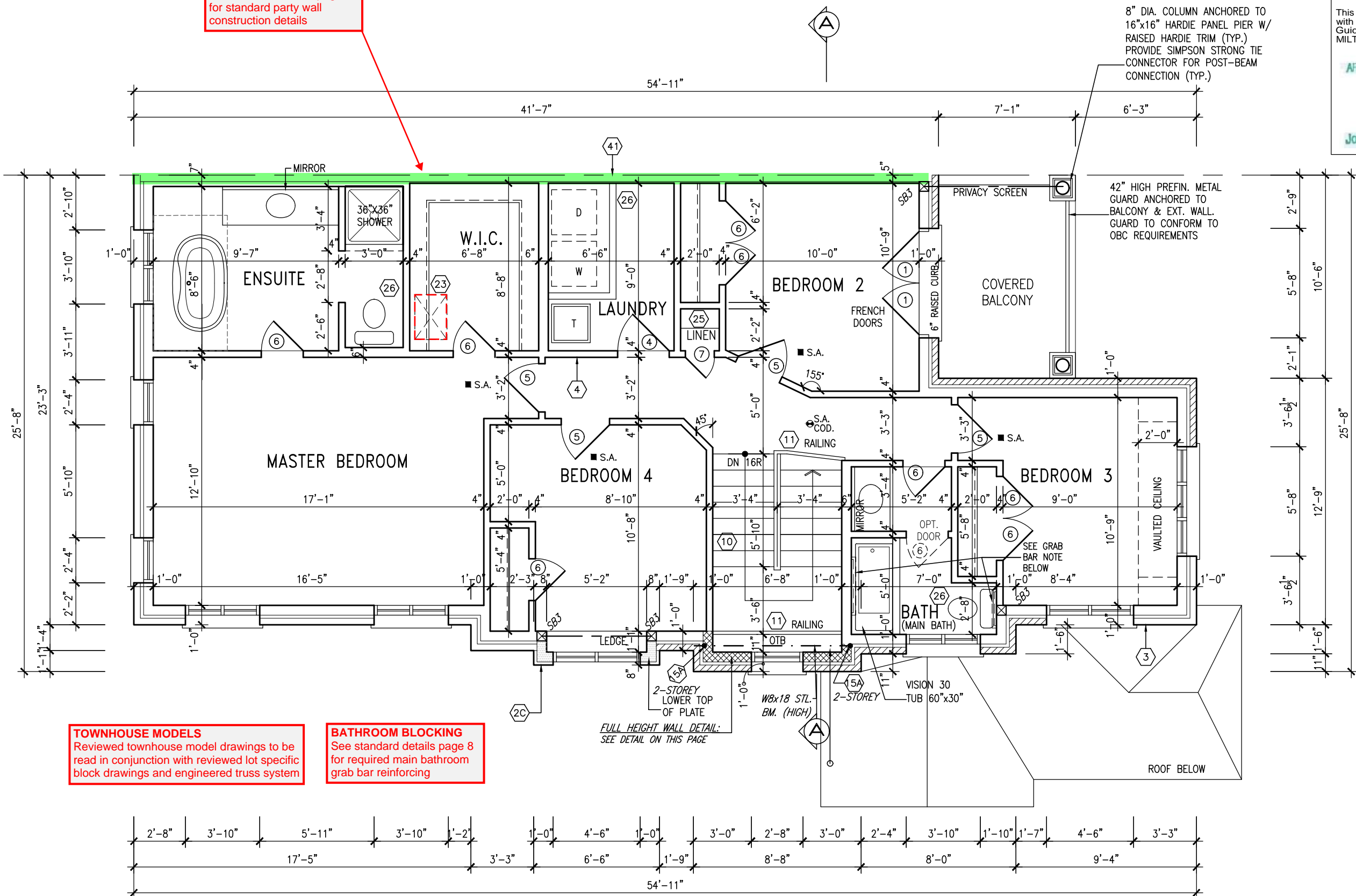
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

8" DIA. COLUMN ANCHORED TO
16"x16" HARDIE PANEL PIER W/
RAISED HARDIE TRIM (TYP.)
PROVIDE SIMPSON STRONG TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.)

42" HIGH PREFIN. METAL
GUARD ANCHORED TO
BALCONY & EXT. WALL.
GUARD TO CONFORM TO
OBC REQUIREMENTS



TOWNHOUSE MODELS
Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

FULL HEIGHT WALL DETAIL:
SEE DETAIL ON THIS PAGE

SECOND FLOOR PLAN - ELEV. '1'

IVY-11
ENERGY STAR/ PANEL

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
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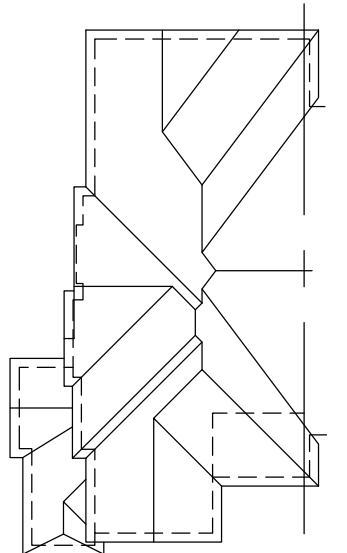
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3/16" = 1'-0"
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drawing no.
A3

IVY-11
-
project no.
16015
drawing no.
A3

2259 SF.



ROOF PLAN '1'

42" HIGH PREFIN. METAL GUARD ANCHORED TO BALCONY & EXT. WALL. GUARD TO CONFORM TO OBC REQUIREMENTS

TOP OF PLATE
TOP OF DOOR

8" DIA. COLUMN ANCHORED TO 16"x16" HARDIE PANEL PIER W/ RAISED HARDIE TRIM (TYP.)

6" CURB AT DOOR
TOP OF DOOR CURB

FIN. SECOND FLOOR
CONT. BRICK SOLDIER BAND
TOP OF WINDOW

BRICK SOLDIER ARCH W/ KEYSTONE

FACE BRICK (TYP.)

CONT. 4" PRECAST CONC. SILL ON BRICK ROWLOCK BAND (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

8'-6"

TOP OF SLAB

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

8'-6"

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

ASPHALT SHINGLES (TYP.)

BRICK SOLDIER ARCH W/
KEYSTONE ON 10" & 4" BRICK
STACK

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)

CONT. 4" PRECAST CONC.
SILL ON BRICK ROWLOCK
BAND (TYP.)
STUCCO FINISH (TYP.)

PRECAST CONC. SILL
ON BRICK ROWLOCK
(TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

8" DIA. COLUMN
ANCHORED TO 16"x16"
SOLID BRICK PIER (TYP.)
PROVIDE SIMPSON
STRONG TIE CONNECTOR
FOR POST-BEAM
CONNECTION (TYP.)

STUCCO FINISH (TYP.)

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS (TYP.)

VALLEY
FLASHING (TYP.)

BRICK SOLDIER ON
4" BRICK STACK

8'-0"x7'-0" O/H GARAGE DOOR
GD-1A-8

STRUCTURAL STL.
FRAME BASEMENT
WINDOW (TYPICAL)

GALV. CORRUGATED MTL.
WINDOW WELL DRAINED TO
WEeping TILE WHERE
GRADE REQ'D..

REAR ELEVATION '1'

FRONT ELEVATION '1'

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER
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no.	description	date	by
9			
8			
7	ISSUED FOR PERMIT.	MAR. 01/17	GW
6	ISSUED FOR PRICING.	DEC. 21/16	GW
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW

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VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A4

IVY-11
ENERGY STAR/ PANEL

IVY-11
project no.
16015
drawing no.
A4

2259 SF.

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FLANKAGE ELEVATION '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
BUILDING: REVIEWED
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JUNIPER 11F
BUILDING DIVISION

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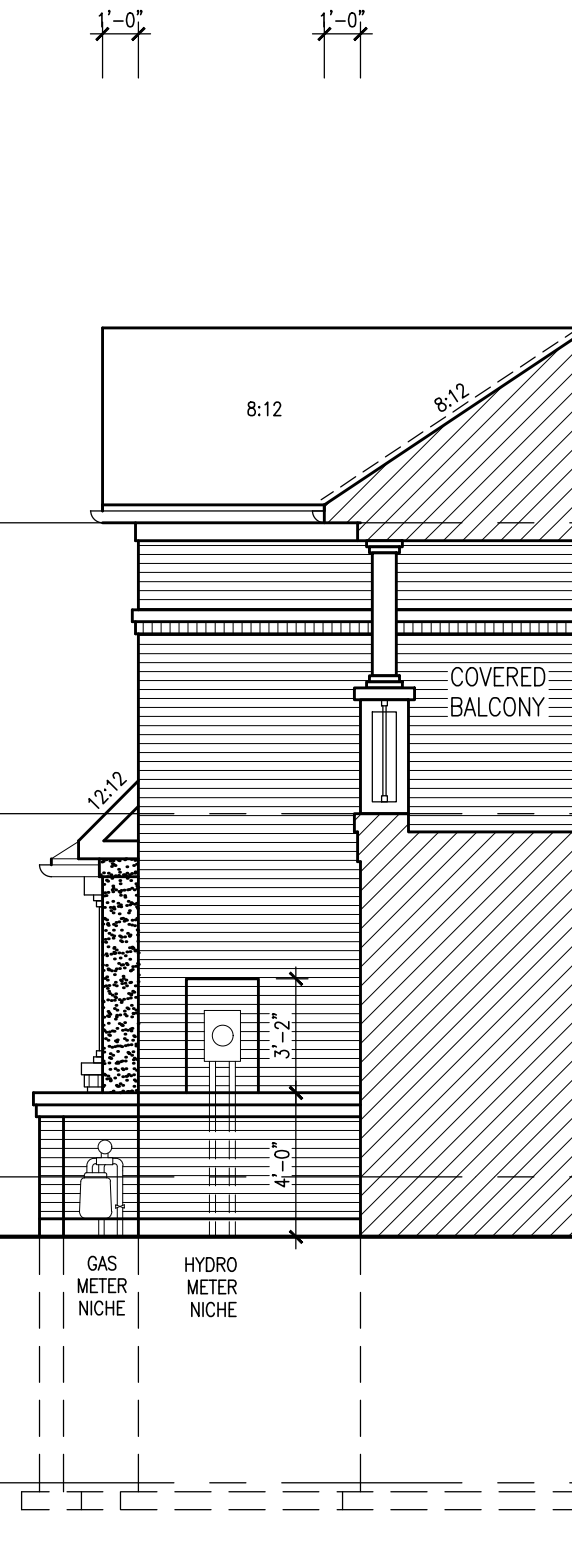
Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A5

IVY-11
project no.
16015
drawing no.
A5

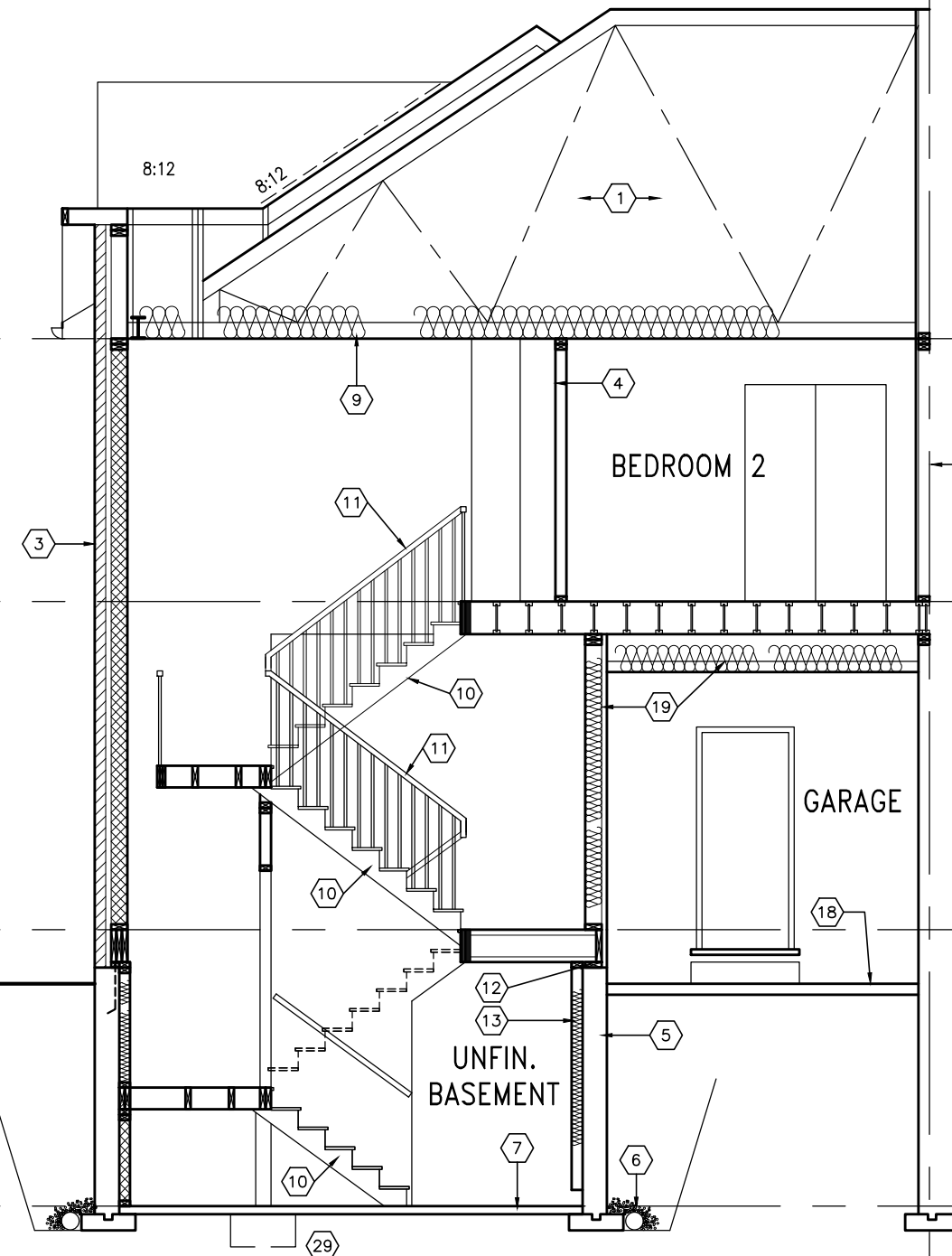
2259 SF.

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SECTION B



SECTION A-A ELEV. 1

TOP OF PLATE
TOP OF WINDOW
7'-0"
8'-1"
FIN. SECOND FLOOR
TOP OF WINDOW
7'-10"
10'-1"
FIN. GROUND FLOOR
8'-6"
TOP OF SLAB

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A6

SECTION A-A ELEV. 1

project no.
16015

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

2259 SF.

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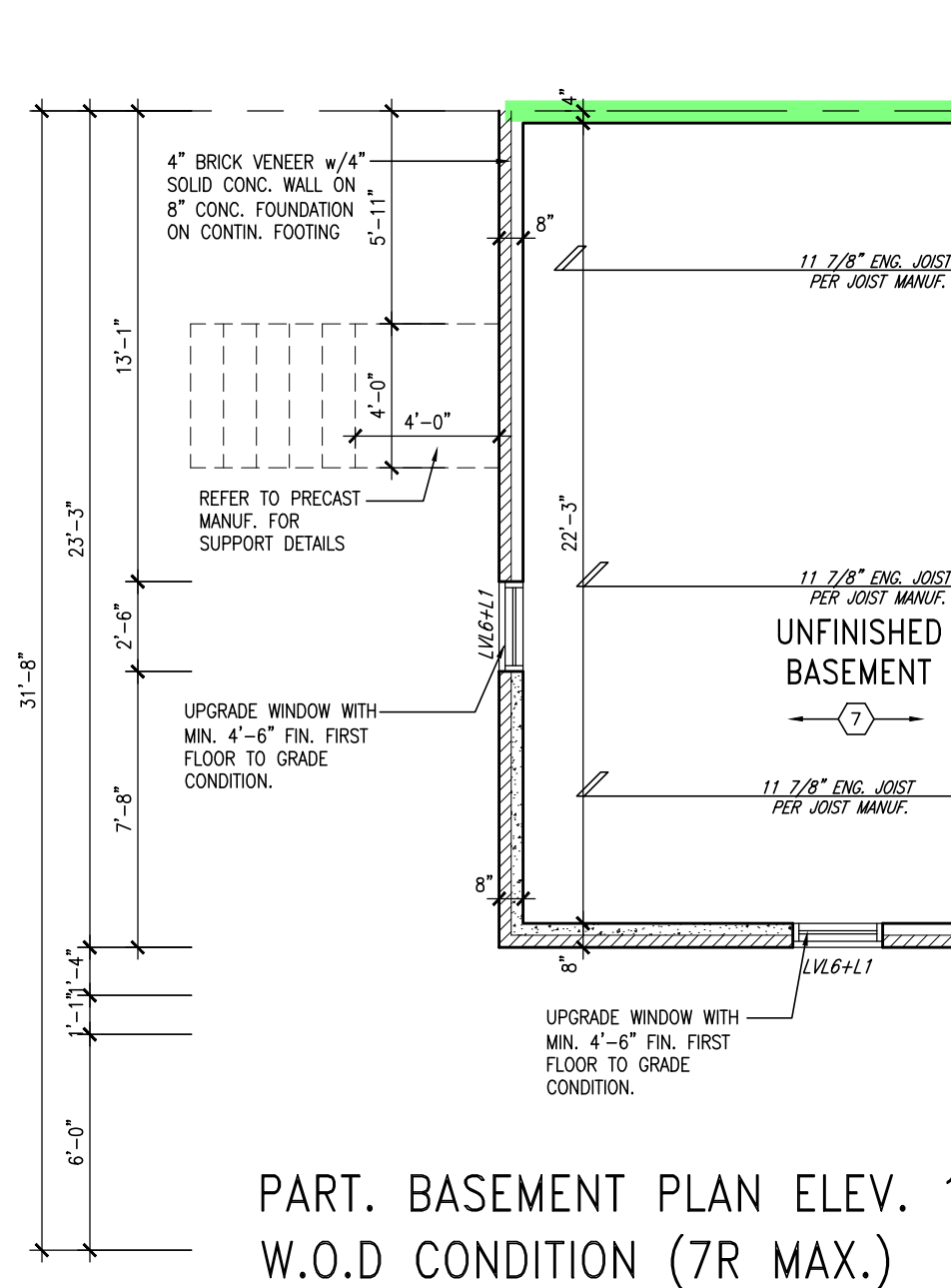
ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

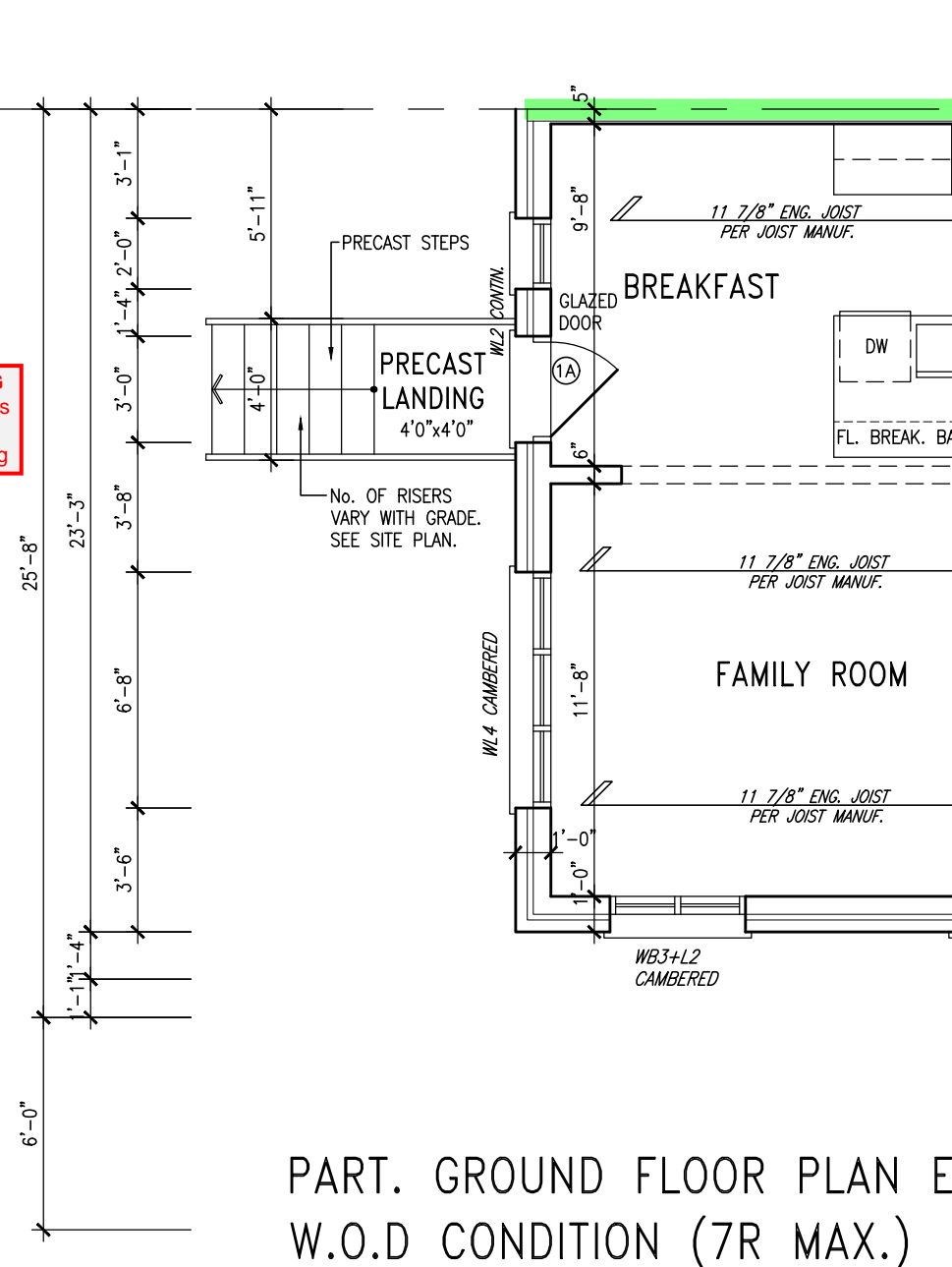
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



PART. BASEMENT PLAN ELEV. 1
W.O.D CONDITION (7R MAX.)

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing



PART. GROUND FLOOR PLAN ELEV. 1
W.O.D CONDITION (7R MAX.)

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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va3design.com

Greenpark.

project name	LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.	municipality	project no.	16015
date	JULY, 2016	checked by	scale	3/16" = 1'-0"
drawn by	WT	checked by	scale	3/16" = 1'-0"
file name	16015-IVY-11	drawing no.	A7	

IVY-11
ENERGY STAR/ PANEL

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MAR 29, 2017
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2259 SF.

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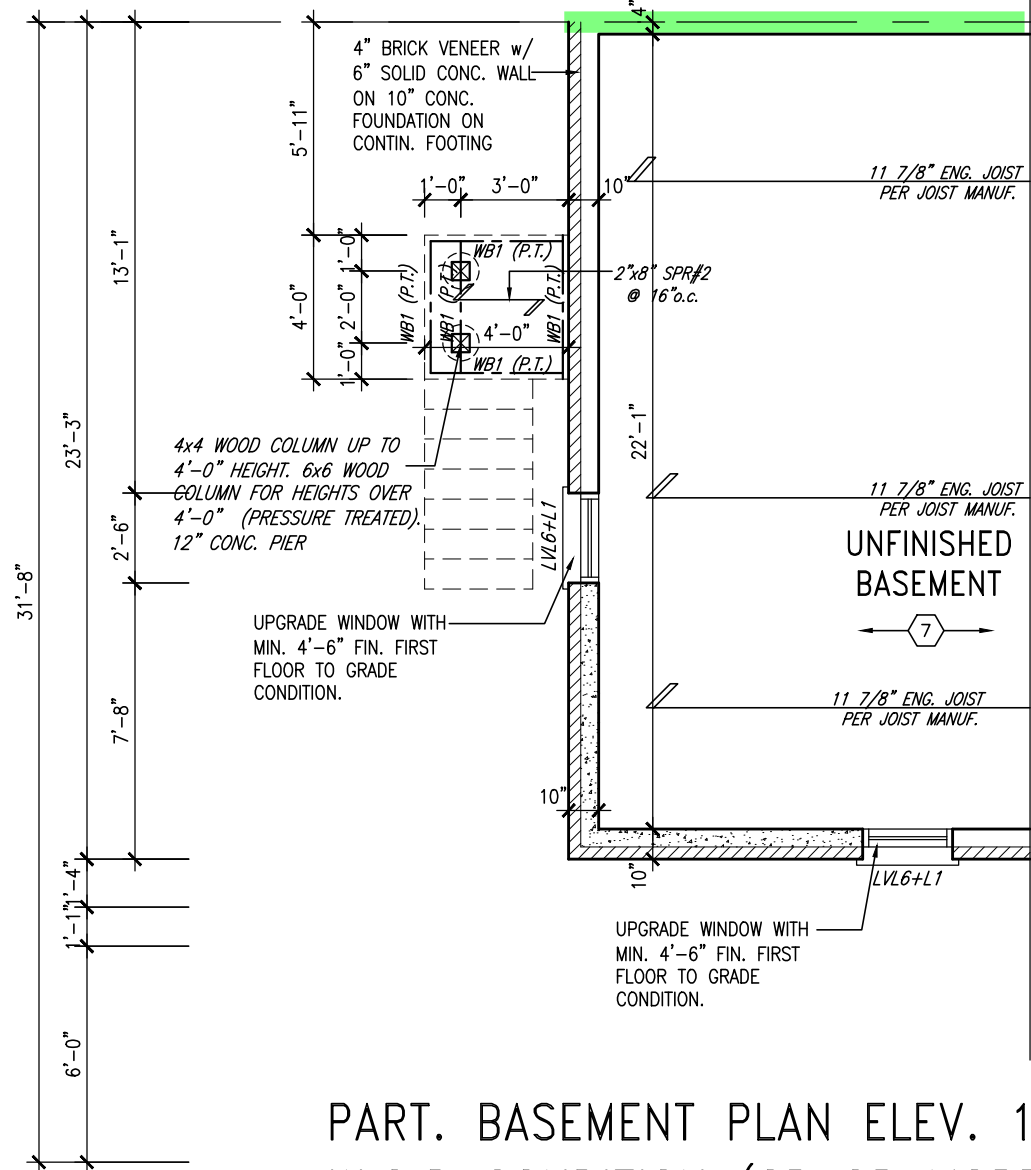
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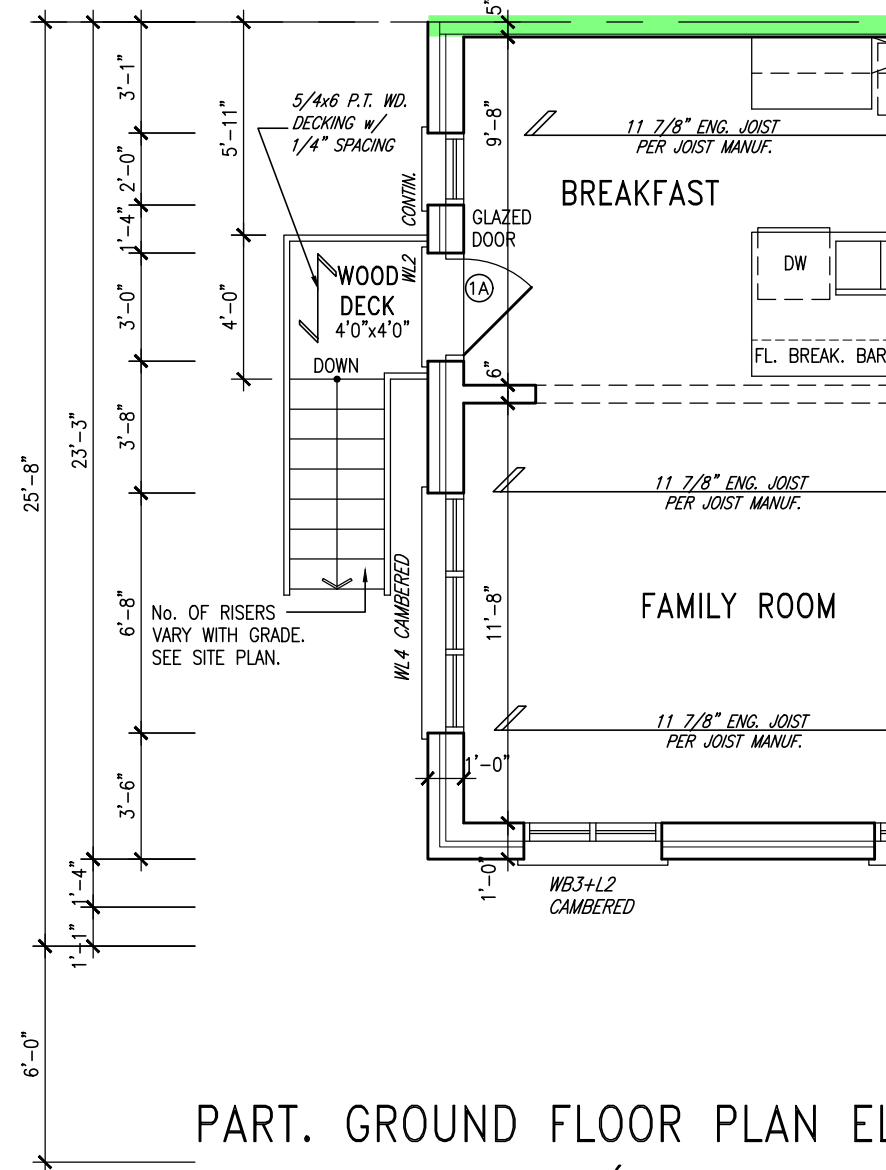
= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



PART. BASEMENT PLAN ELEV. 1
W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN ELEV. 1
W.O.D CONDITION (8R OR MORE)

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
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2			
1			
no.	description	date	by

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va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
project no.
16015
date
JULY, 2016
PART. PLANS ELEV. 1 - DECK CONDITION (8R OR MORE)
drawn by
WT
checked by
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3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A8

IVY-11
ENERGY STAR/ PANEL

2259 SF.

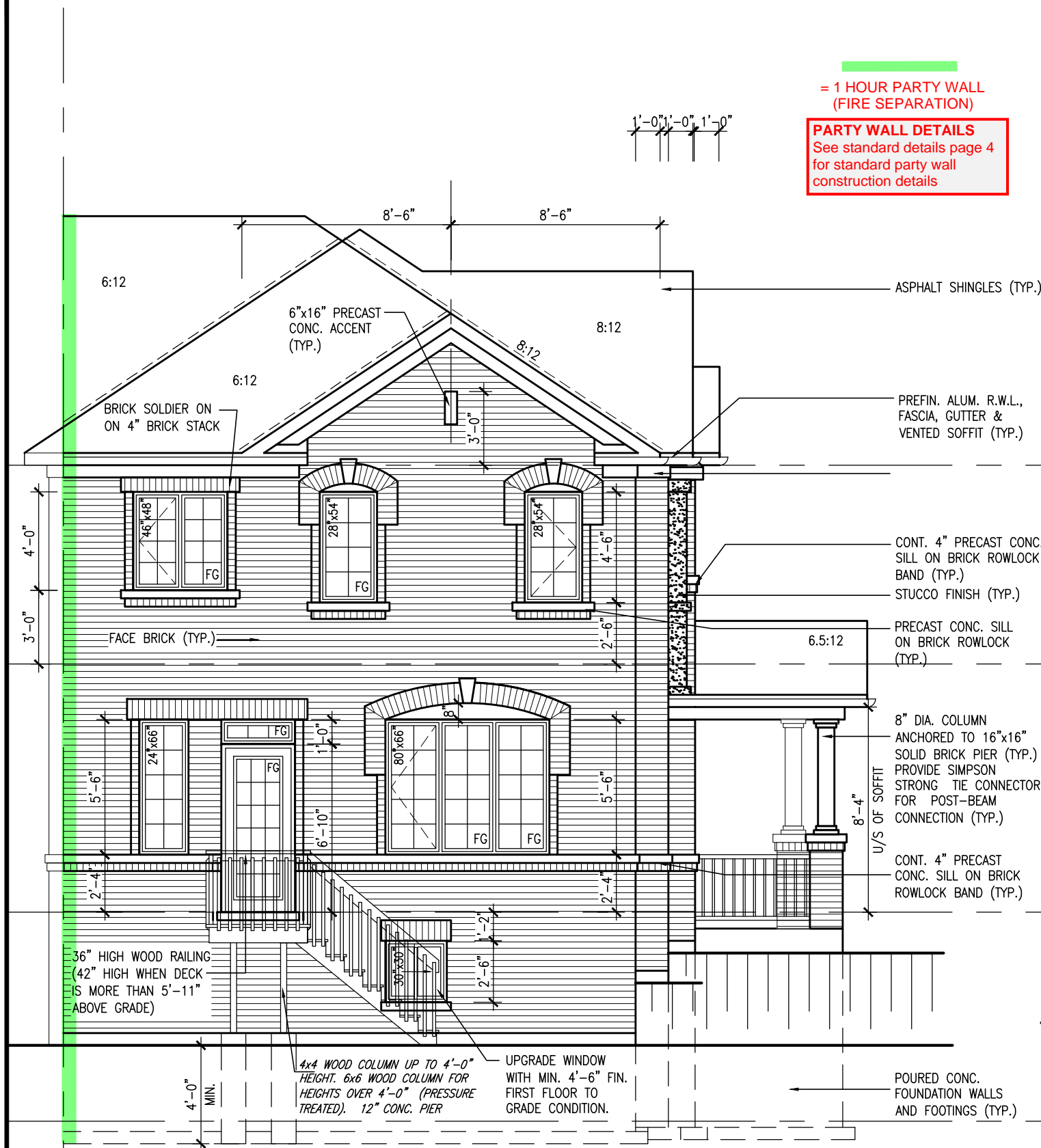
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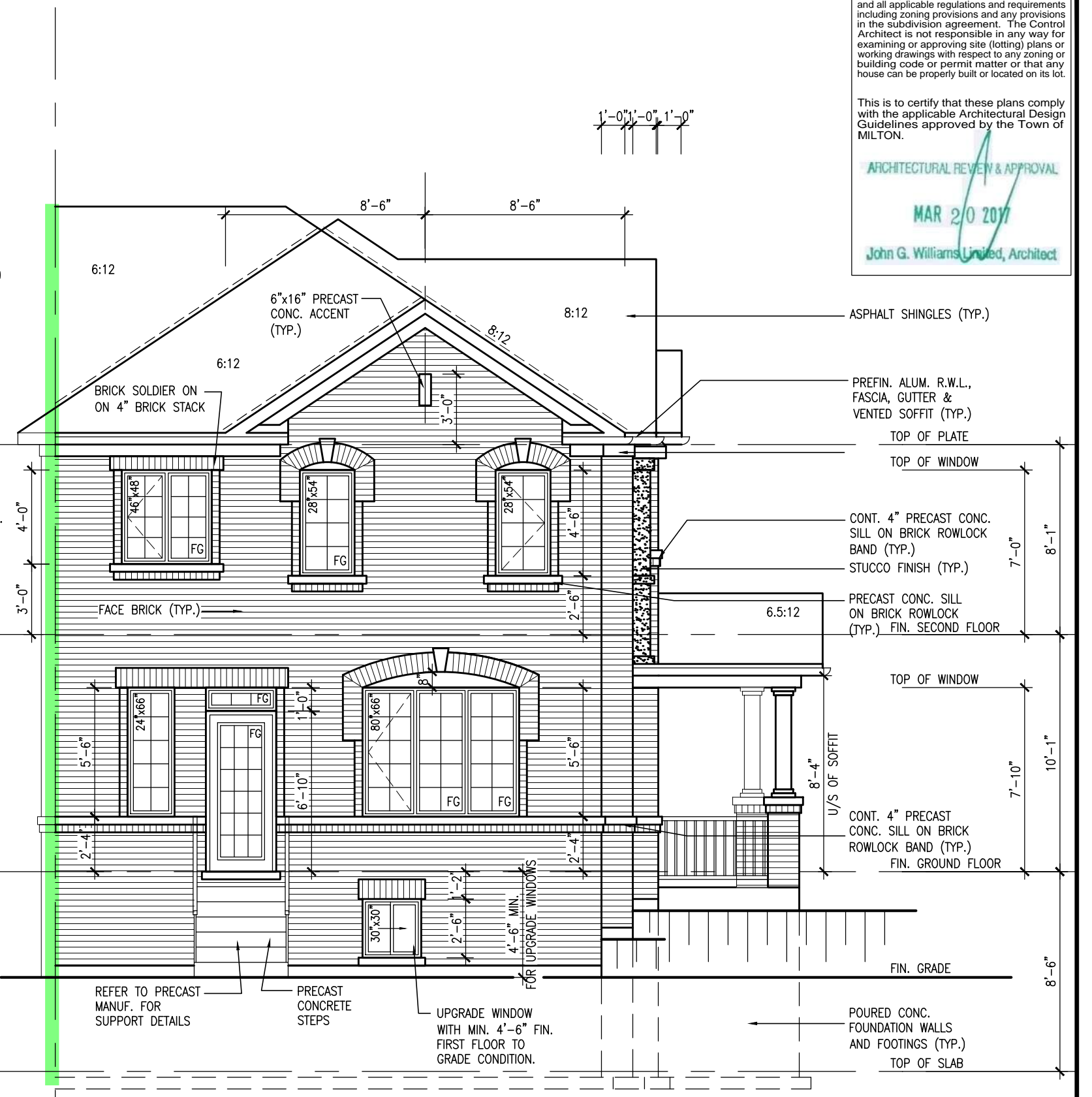
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(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
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construction details



REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
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SCOTT SHERRIFFS APR 19, 2017
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IVY-11
ENERGY STAR/ PANEL

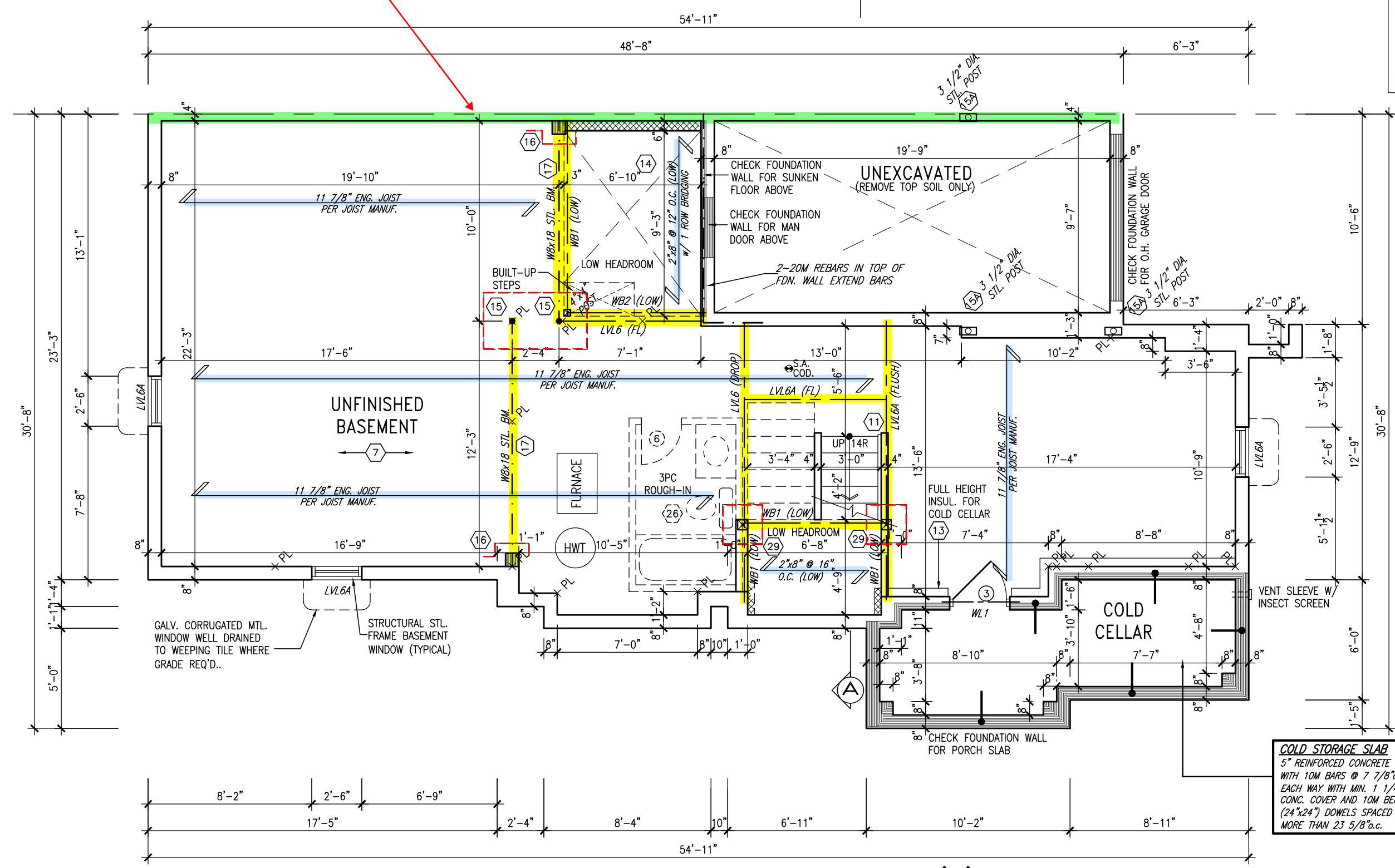
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= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



BASEMENT PLAN - ELEV. '2'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
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SCOTT SHERRIFFS
APR 19, 2017
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JUNIPER 11F
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ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



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checked by
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A1a
BASEMENT PLAN - ELEV. '2'

IVY-11
ENERGY STAR/ PANEL

2259 SF.

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NOTE:
2"x8" @ 16" O.C. P.T. w/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS w/ 5/8"
EXTERIOR GRADE SHEATHING w/
SINGLE PLY ROOF MEMBRANE
SLOPE TO DRAIN

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

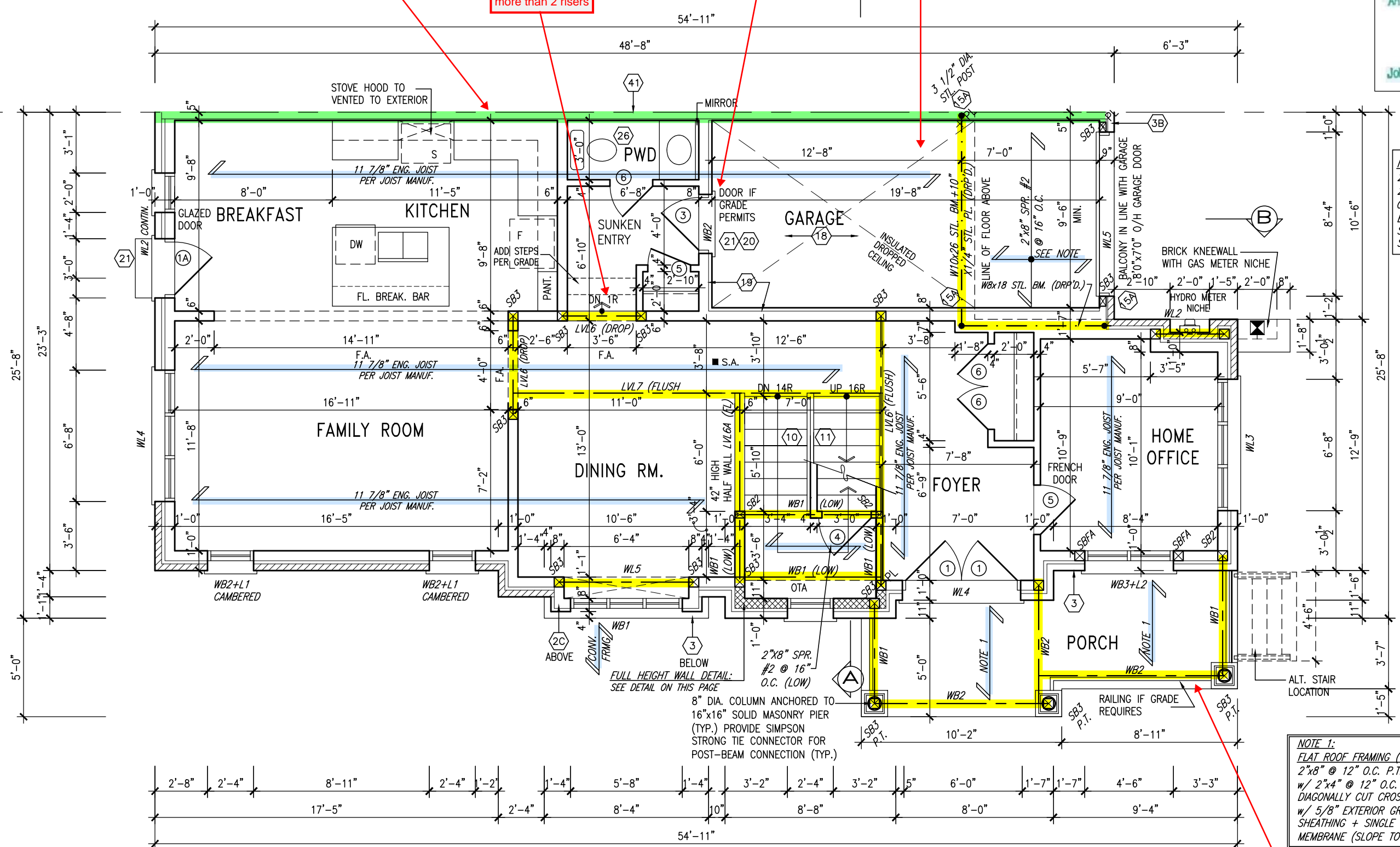
IVY-11
ENERGY STAR/ PANEL

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE DOOR
Requires weatherstripping
and a self closing device

GARAGE AIR BARRIER
Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound



GROUND FLOOR PLAN - ELEV. '2'

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE

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9	ISSUED FOR PERMIT.	MAR. 01/17	GW
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7	REV. PER CLIENT COMMENTS.	OCT 03/16	GW
6	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
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4	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
3	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW
2			
1			
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

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VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

date
JULY, 2016

drawn by
checked by
scale
3/16" = 1'-0"

file name
16015-IVY-11

drawing no.
A2a

project no.
16015

2259 SF.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

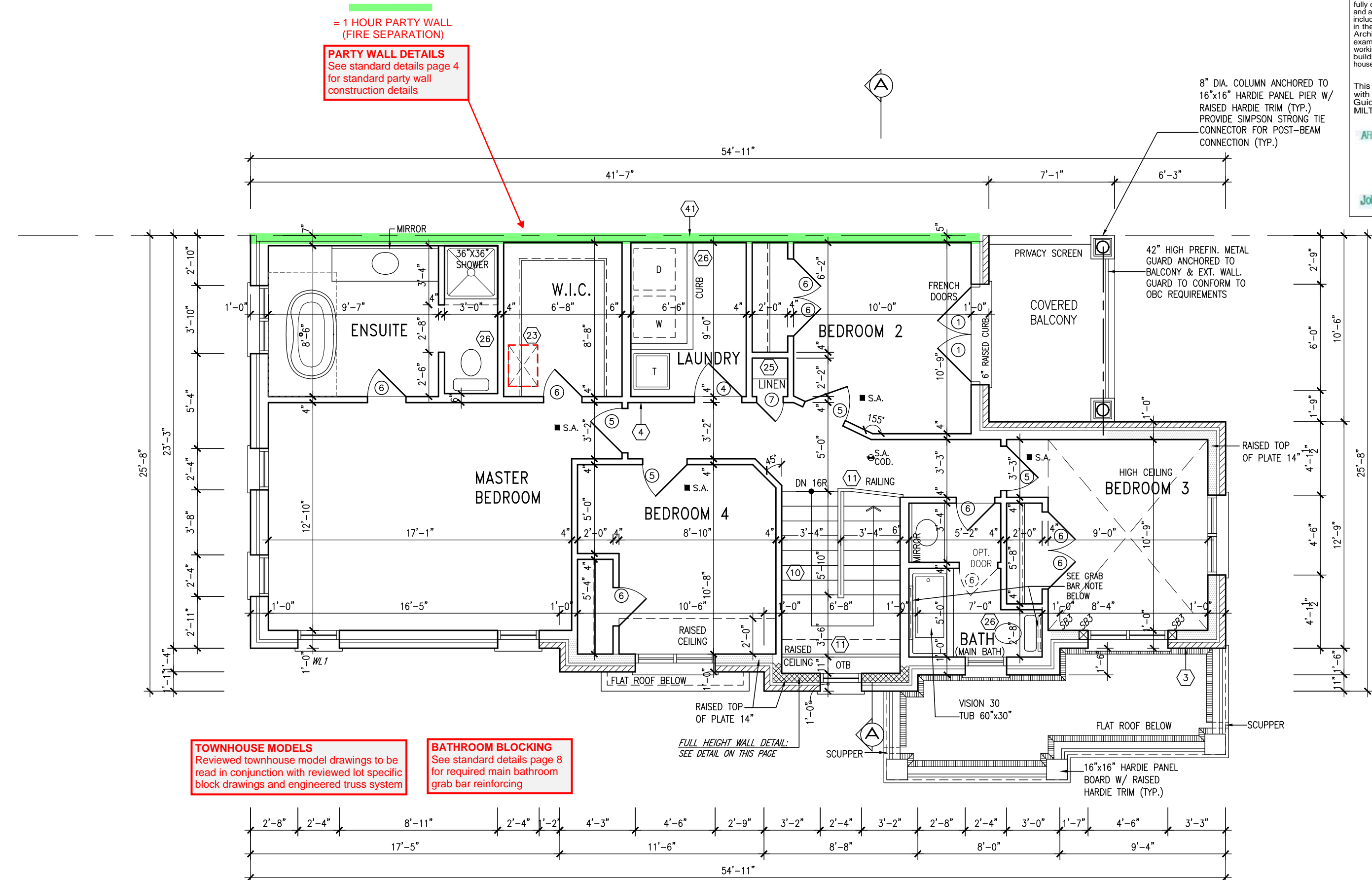
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

8" DIA. COLUMN ANCHORED TO
16"x16" HARDIE PANEL PIER W/
RAISED HARDIE TRIM (TYP.)
PROVIDE SIMPSON STRONG TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.)

42" HIGH PREFIN. METAL
GUARD ANCHORED TO
BALCONY & EXT. WALL.
GUARD TO CONFORM TO
OBC REQUIREMENTS



TOWNHOUSE MODELS
Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

FULL HEIGHT WALL DETAIL:
SEE DETAIL ON THIS PAGE

SECOND FLOOR PLAN - ELEV. '2'

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

**TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL**
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DESIGN**
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A3a

**IVY-11
ENERGY STAR/ PANEL**

IVY-11

project no.

16015

drawing no.

A3a

2259 SF.

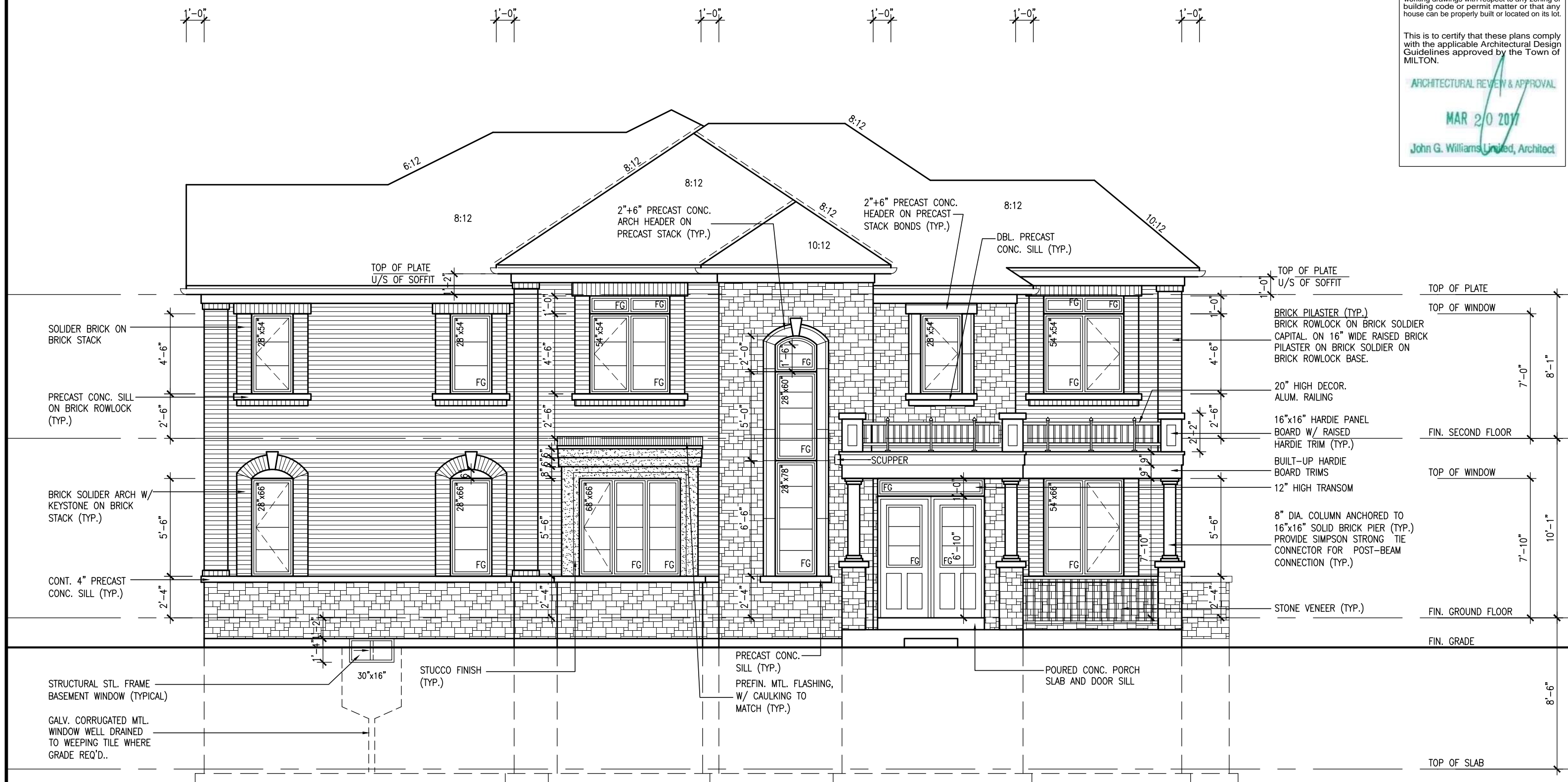
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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect



FLANKAGE ELEVATION '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

IVY-11
ENERGY STAR/ PANEL

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TOWN OF MILTON
MAR 29, 2017
JUNIPER 11F
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
BUILDING: REVIEWED
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Toronto ON M2J 1R4
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va3design.com

Greenpark.

project name
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date
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drawn by
WT
checked by
scale
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FLANKAGE ELEVATION '2'

IVY-11

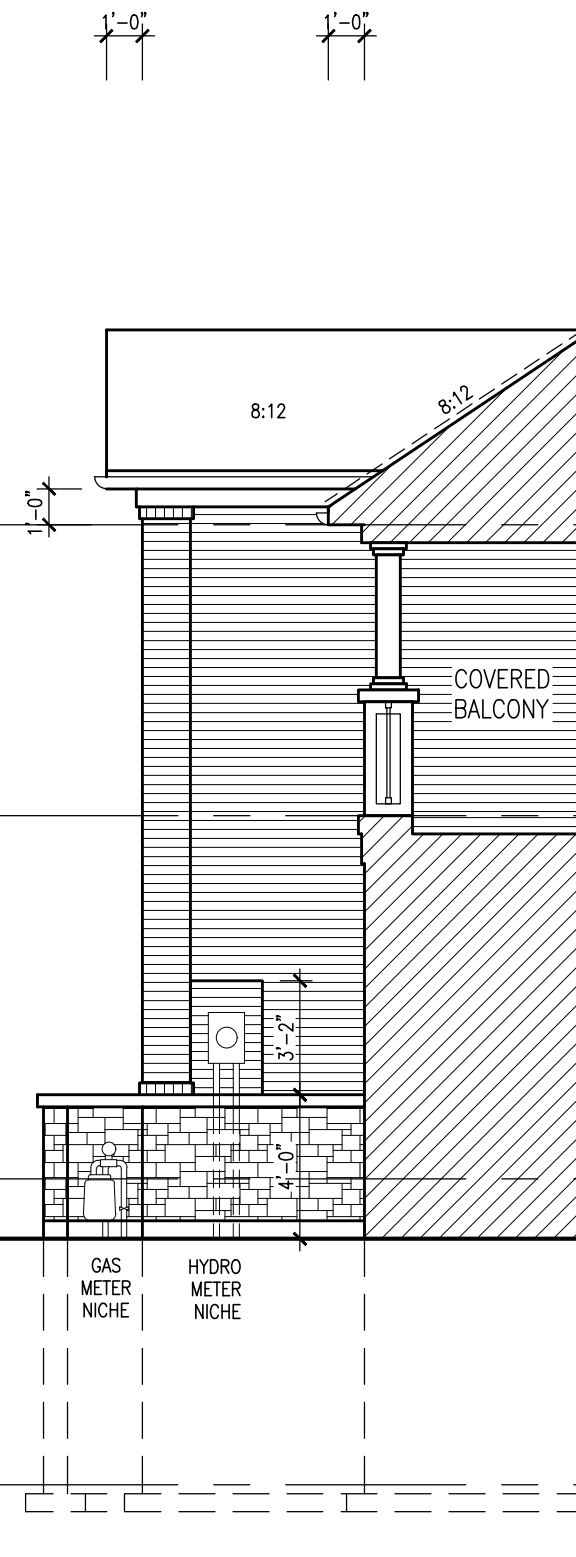
drawing no.

A5a

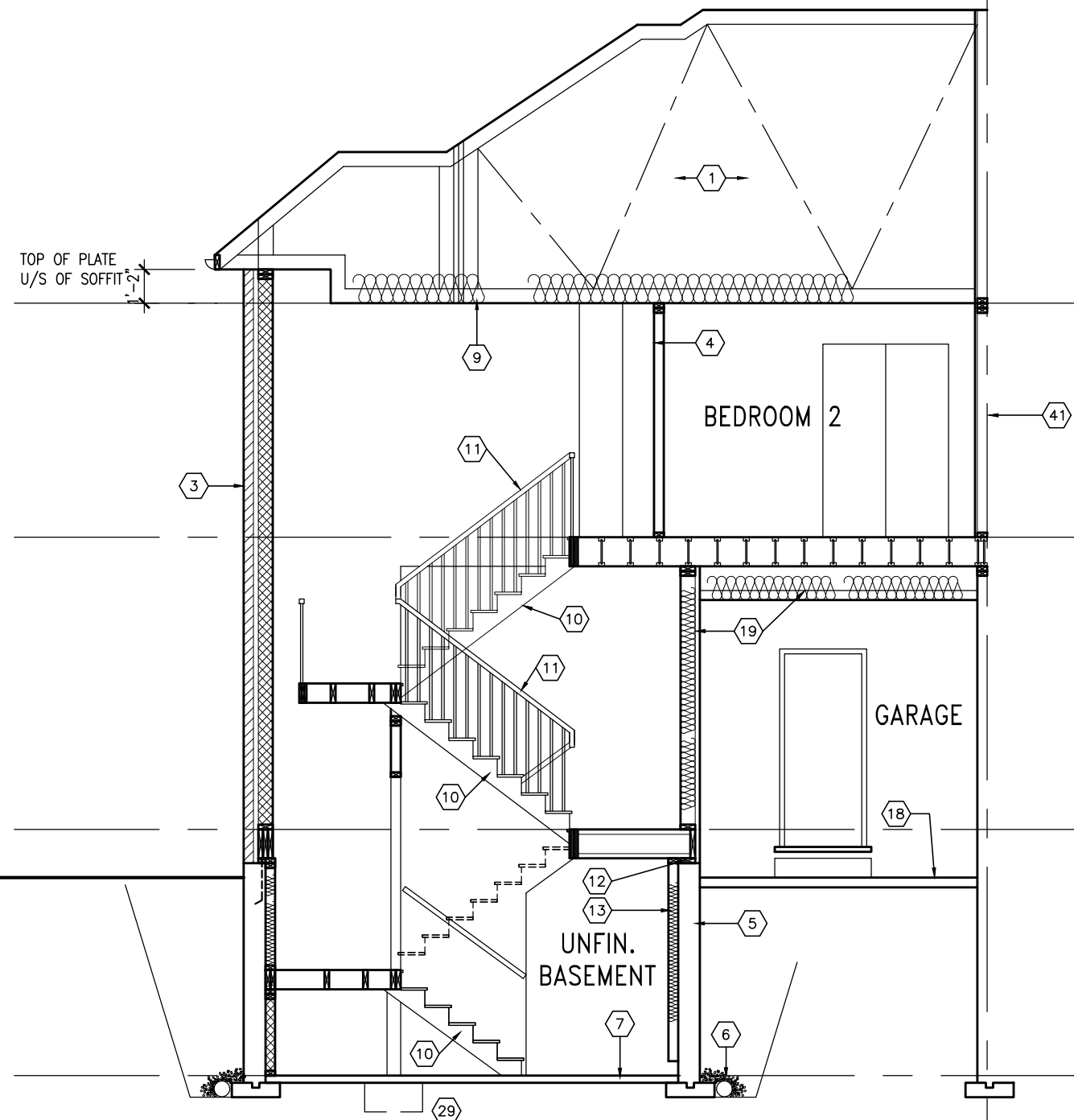
2259 SF.

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SECTION B



SECTION A-A ELEV. 2

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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Greenpark.

project name
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date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"

SECTION A-A ELEV. 2

IVY-11

project no.
16015

drawing no.

A6a

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2259 SF.

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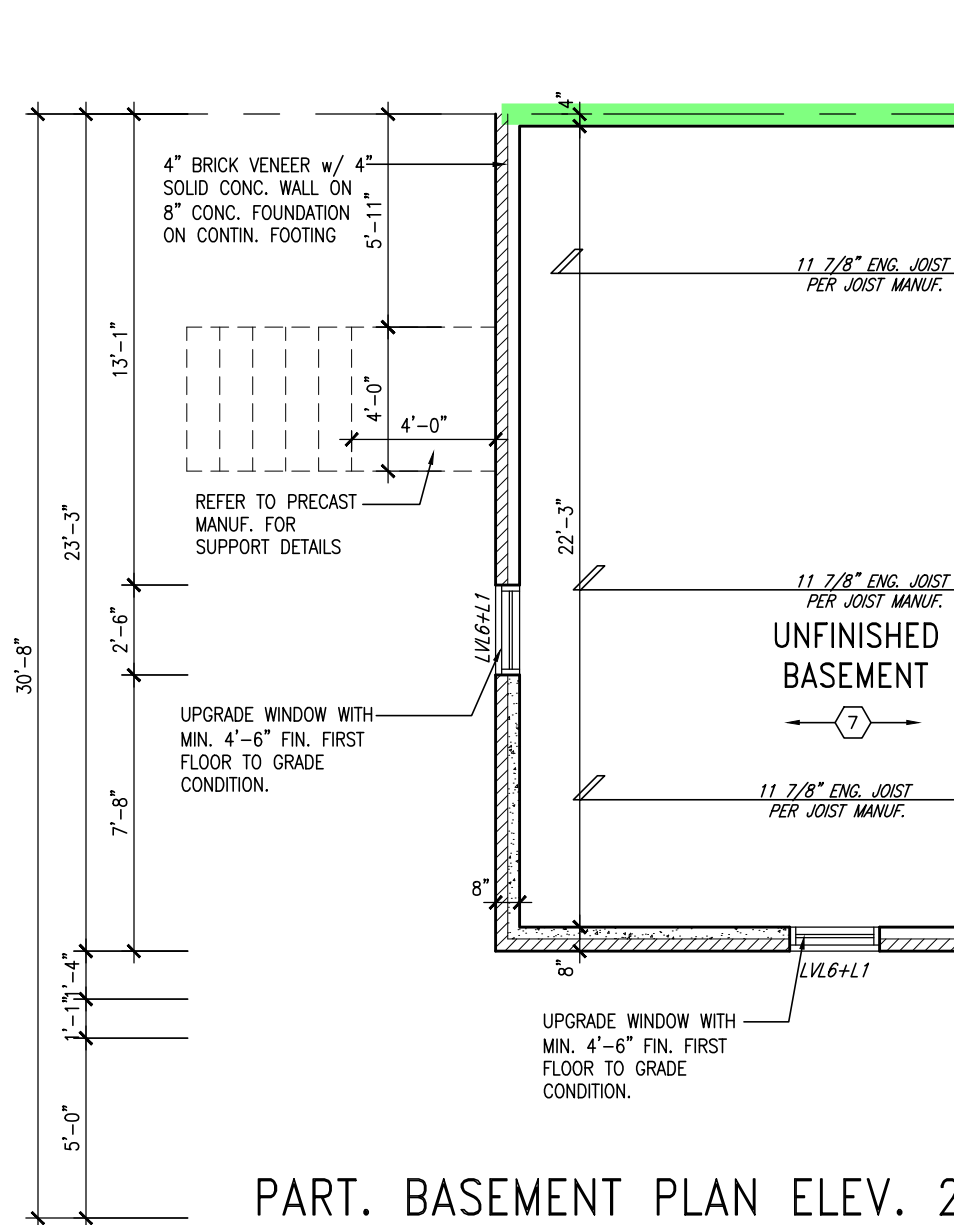
ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

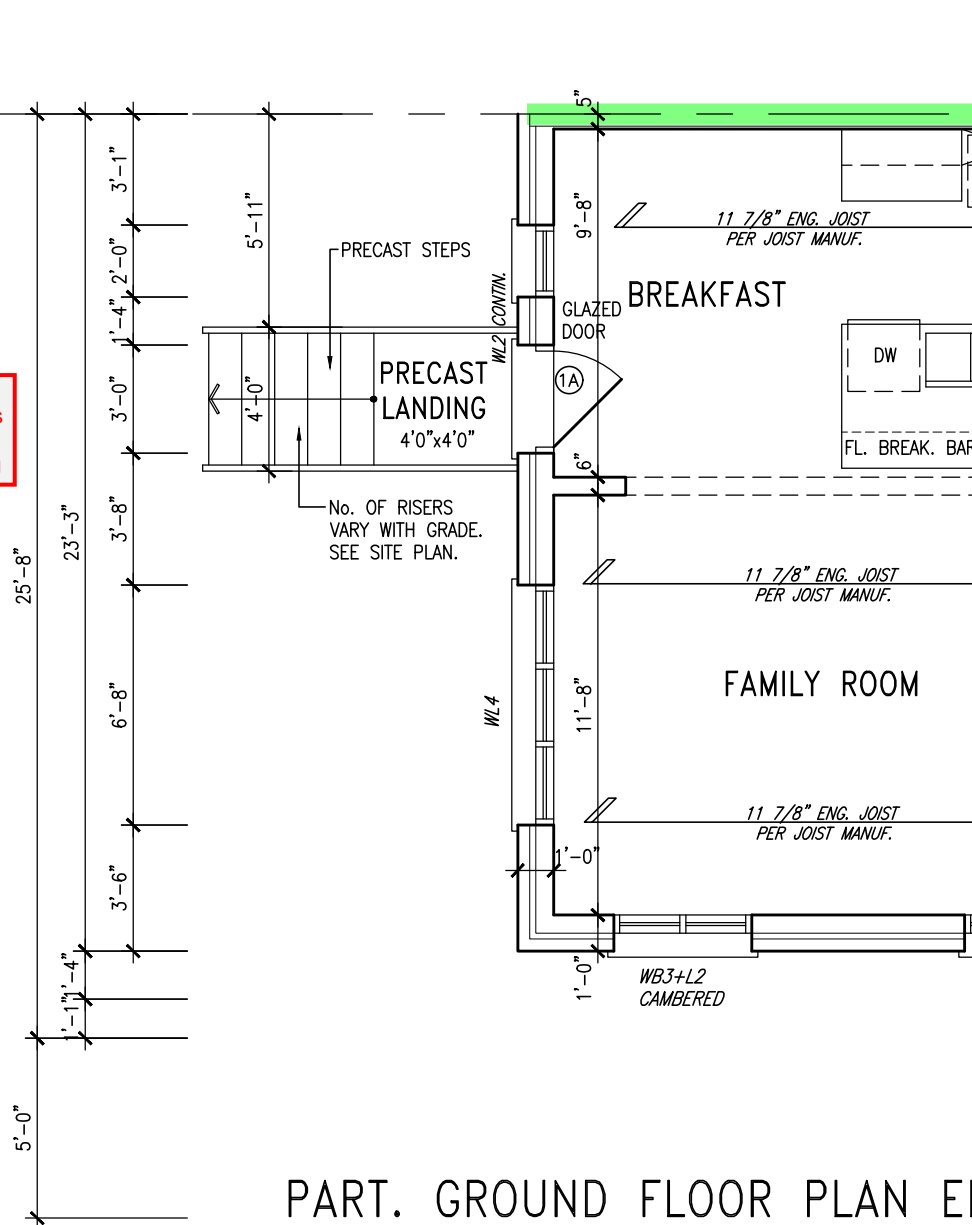
= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



PART. BASEMENT PLAN ELEV. 2
W.O.D CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing



PART. GROUND FLOOR PLAN ELEV. 2
W.O.D CONDITION (7R MAX.)

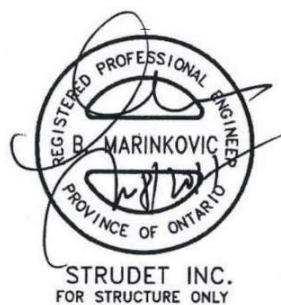
VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL

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Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

date
JULY, 2016

drawn by
WT

checked by
scale
3/16" = 1'-0"

file name
16015-IVY-11

drawing no.
A7a

IVY-11
ENERGY STAR/ PANEL

IVY-11

project no.
16015

drawing no.
A7a

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



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4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information VA3 Design Inc. 4265
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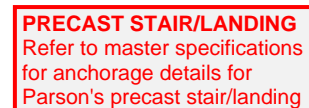
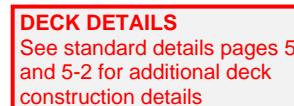
IVY-11
ENERGY STAR/ PANEL

IVY-11

project name	municipality	project no.
LECCO RIDGE DEVELOPMENTS INC.	MILTON, ONT.	16015
date JULY, 2016		
PART. PLANS ELEV. 2 - DECK CONDITION (8R OR MORE)		
drawn by	checked by	scale
WG	-	3/16" = 1'-0"
file name		drawing no.
16015-IVY-11		A8a
<small> (PRTG - H:\ARCHIVE\WORKING\2016\16015.GR\INITS\04\IVY-11\16015-IVY-11.dwg - Wed - Mar 1 2017 - 9:37 AM 2 </small>		

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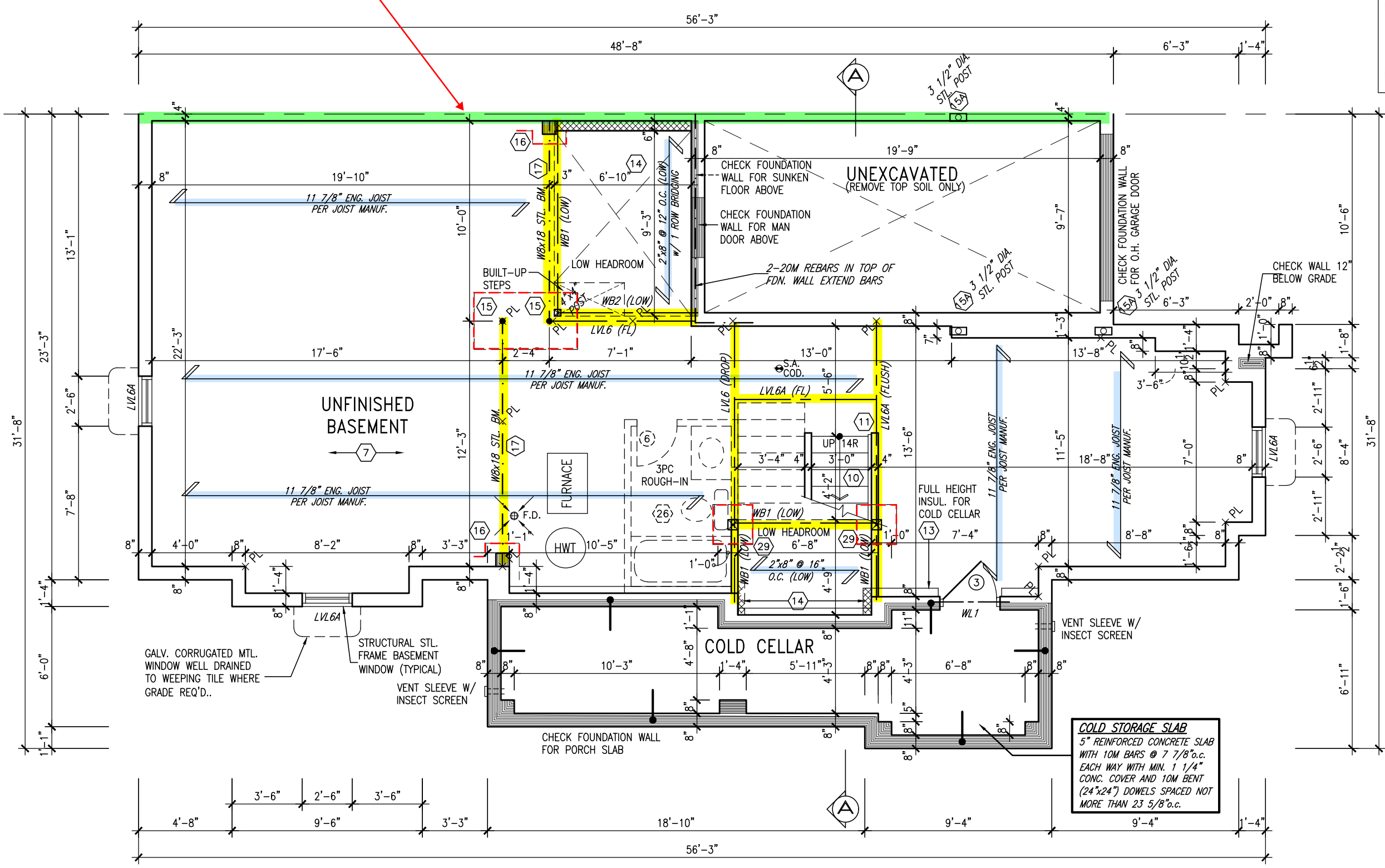
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MAR 20 2017
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= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



BASEMENT PLAN - ELEV. '3'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 19, 2017
DATE

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MAR 29, 2017
JUNIPER 11F
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ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



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Greenpark.

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A1b

IVY-11
ENERGY STAR/ PANEL

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NOTE:
2"x8" @ 16" O.C. P.T. w/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS w/ 5/8"
EXTERIOR GRADE SHEATHING w/
SINGLE PLY ROOF MEMBRANE
SLOPE TO DRAIN

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

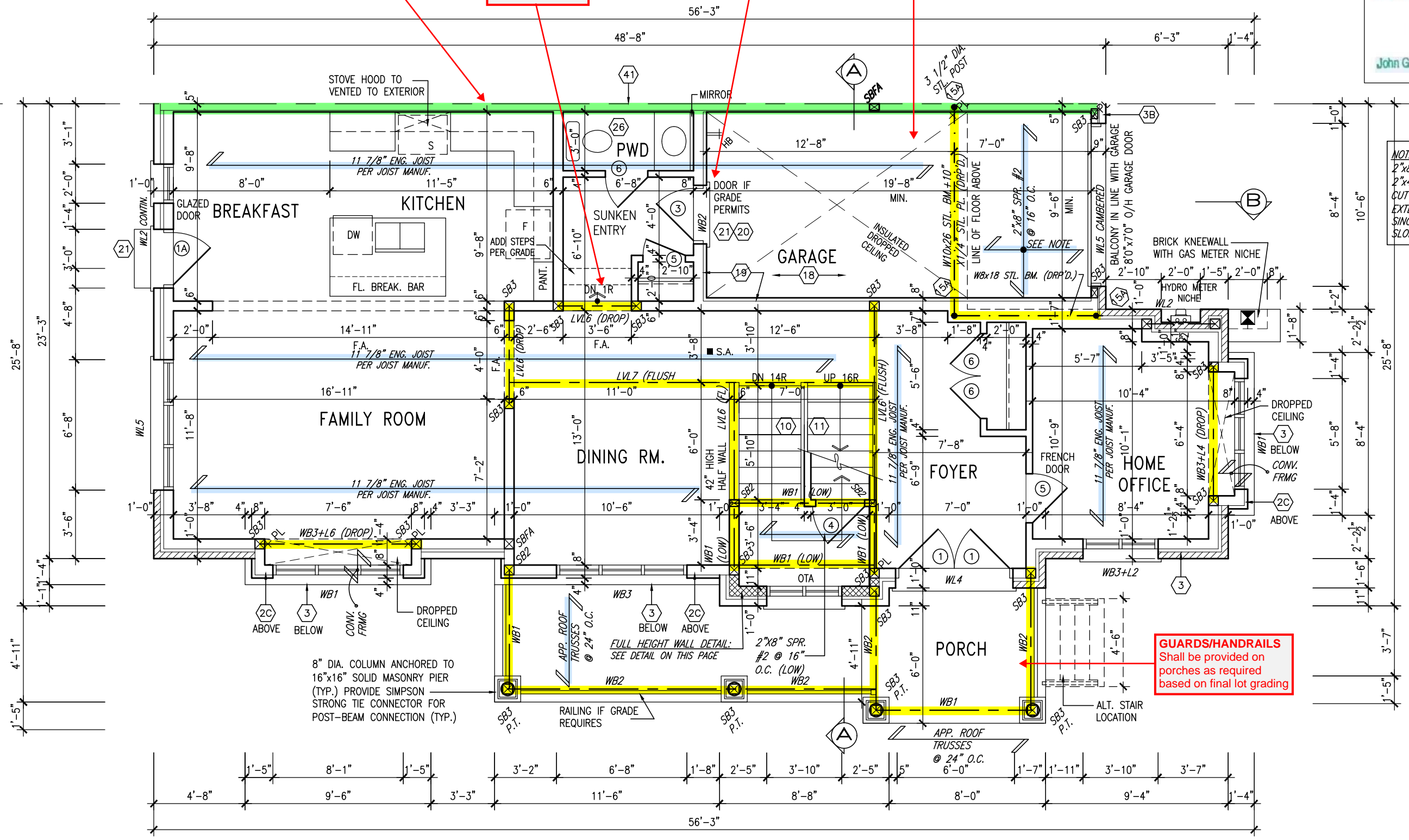
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Requires weatherstripping
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for standard party wall
construction details

= 1 HOUR PARTY WALL
(FIRE SEPARATION)



GROUND FLOOR PLAN - ELEV. '3'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
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engineered floor system layout

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
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project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A2b
project no.
16015

2259 SF.

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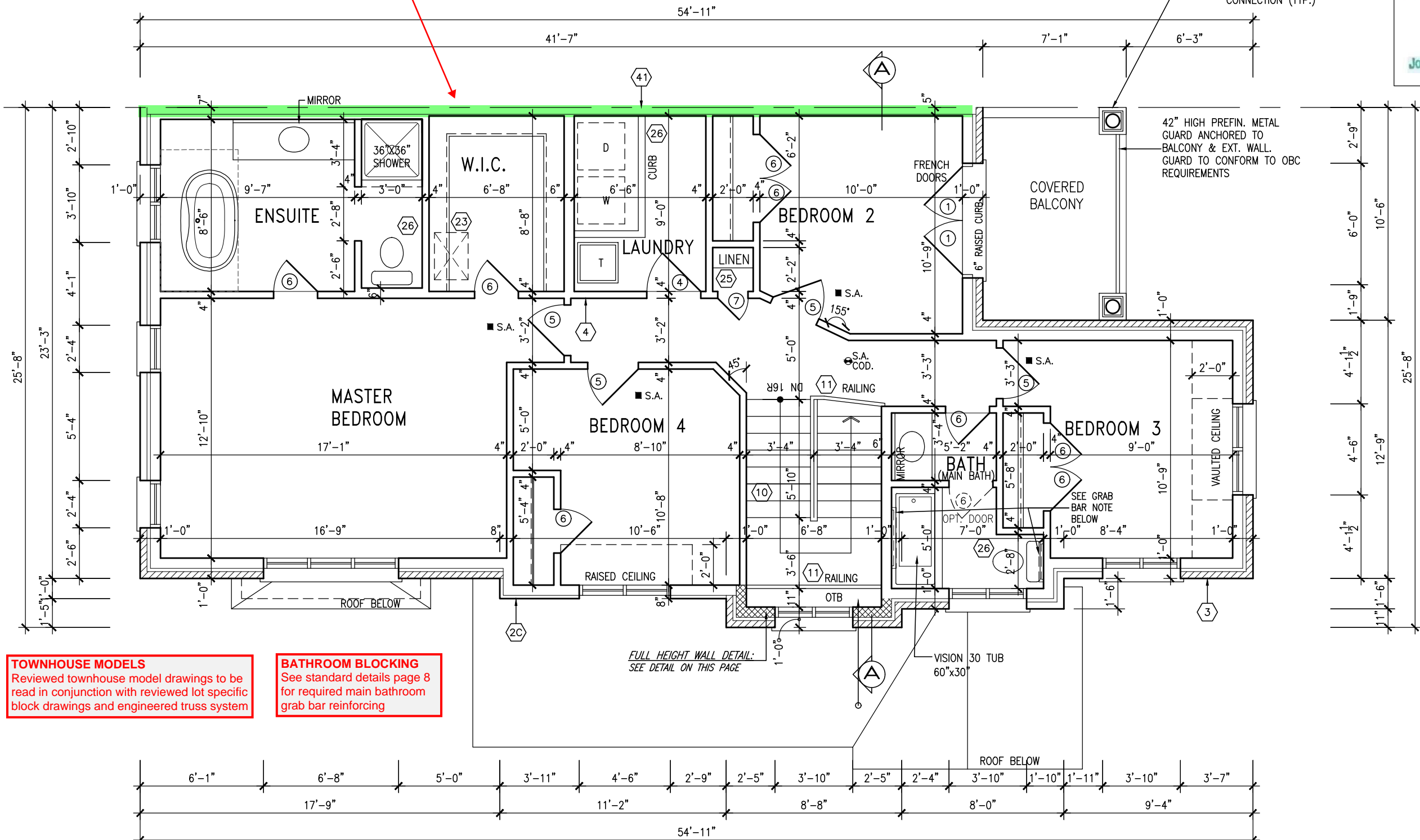
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

8" DIA. COLUMN ANCHORED TO
16"x16" HARDIE PANEL PIER W/
RAISED HARDIE TRIM (TYP.)
PROVIDE SIMPSON STRONG TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.)

42" HIGH PREFIN. METAL
GUARD ANCHORED TO
BALCONY & EXT. WALL.
GUARD TO CONFORM TO OBC
REQUIREMENTS



TOWNHOUSE MODELS
Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

FULL HEIGHT WALL DETAIL:
SEE DETAIL ON THIS PAGE

SECOND FLOOR PLAN - ELEV. '3'

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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TOWN OF MILTON
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8	.	.	.	qualification information
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4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	VA3 Design Inc. 42658
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	
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va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
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drawing no.
A3b

IVY-11
ENERGY STAR/ PANEL

IVY-11
project no.
16015
drawing no.
A3b

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IVY-11
ENERGY STAR/ PANEL



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no.	description	date	by	



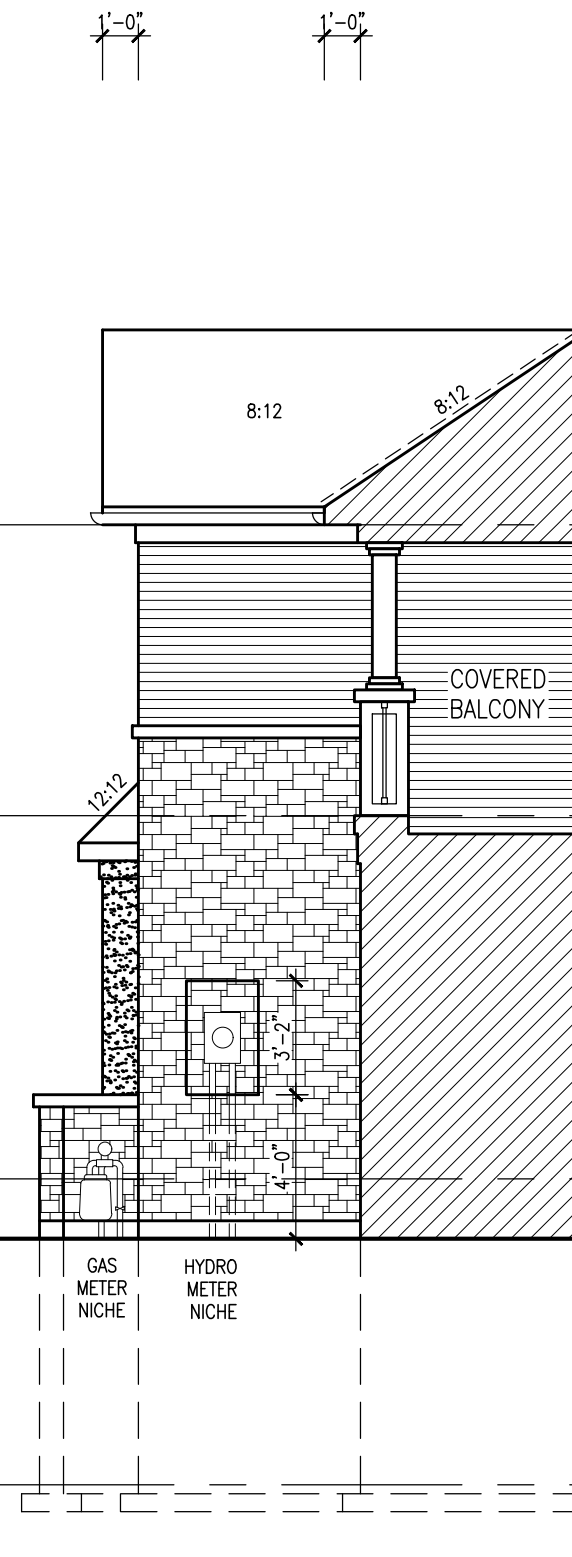
project name	LECCO RIDGE DEVELOPMENTS INC.	municipality	MILTON, ONT.	project no.	16015
date	JULY, 2016			FLANKAGE ELEVATION '3'	drawing no.
drawn by	checked by	scale	file name	A5b	
-		3/16" = 1'-0"	16015-IVY-11		
<small> GRFG - H:\ARCHIVE\WORKING\2016\16015.GRFG\INITS\04\IVY-11\16015-IVY-11.dwg - Wed - Mar 1 2017 - 9:37 AM </small>					

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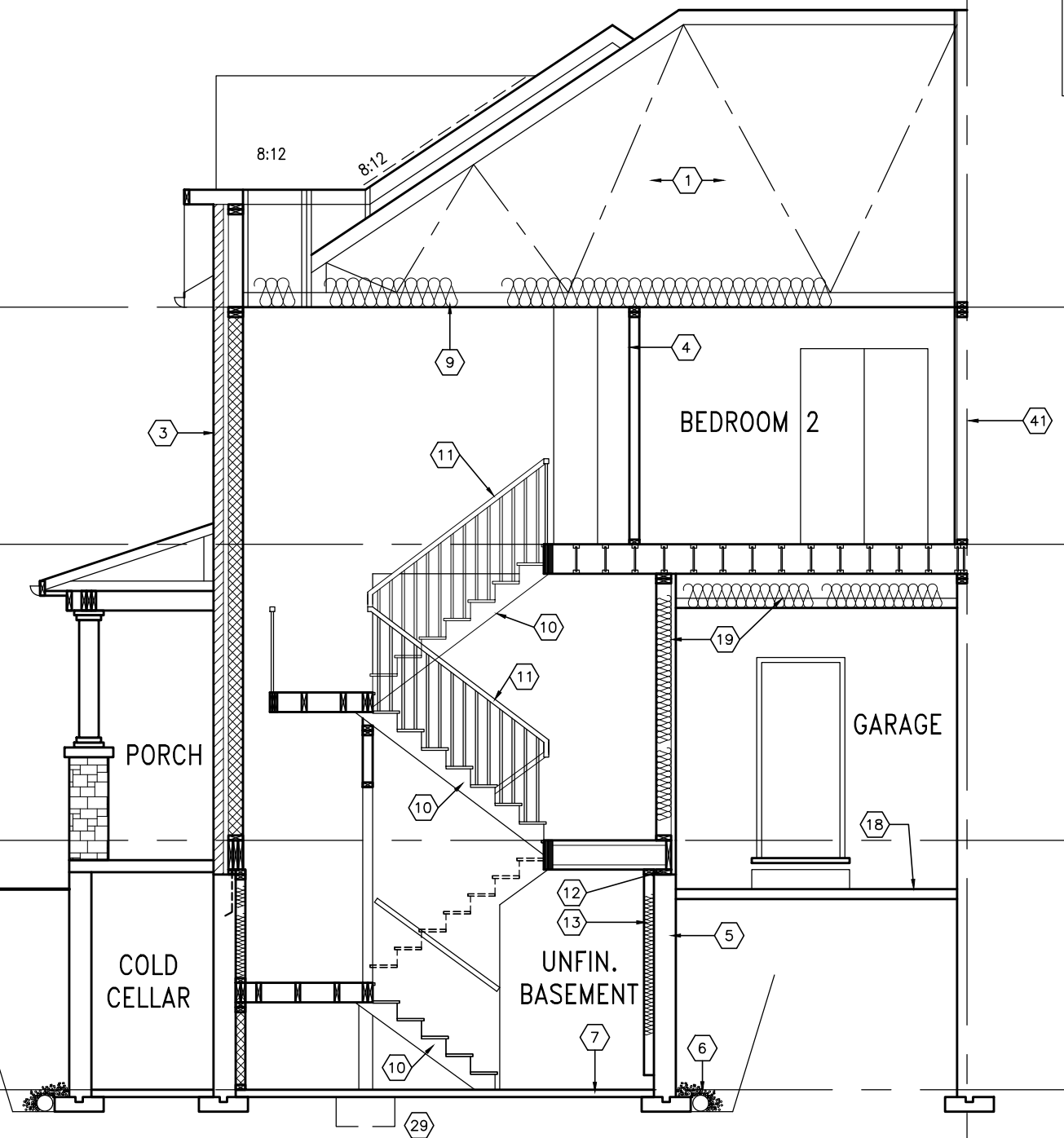
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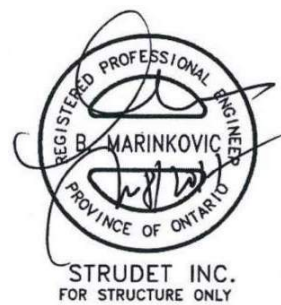
SECTION B



SECTION A-A ELEV. 3

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 11F MODEL
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Richard Vink
signature
24488
BCIN
VA3 Design Inc.
42658
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va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
project no.
16015
date
JULY, 2016
drawn by
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checked by
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drawing no.
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SECTION A-A ELEV. 3

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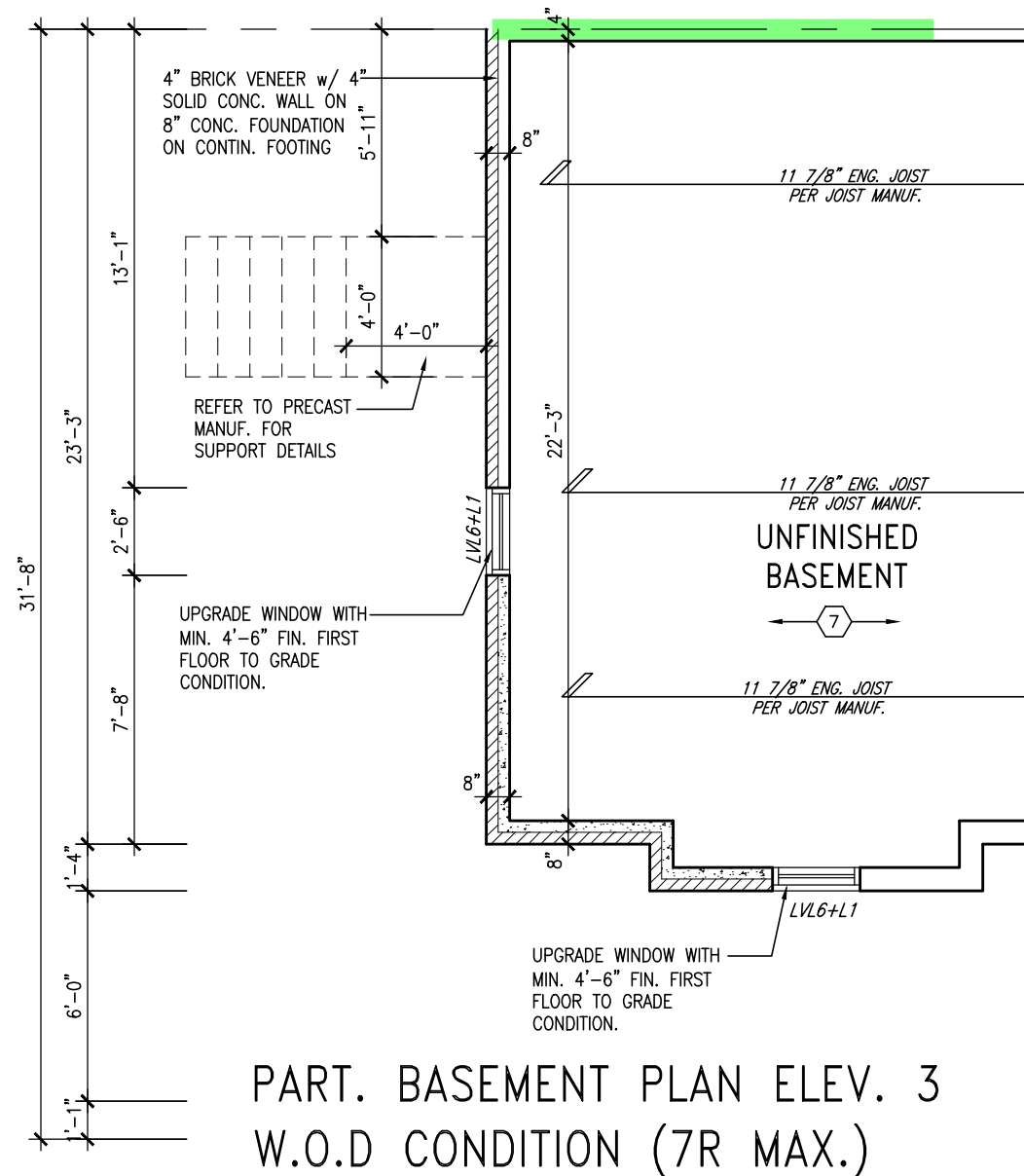
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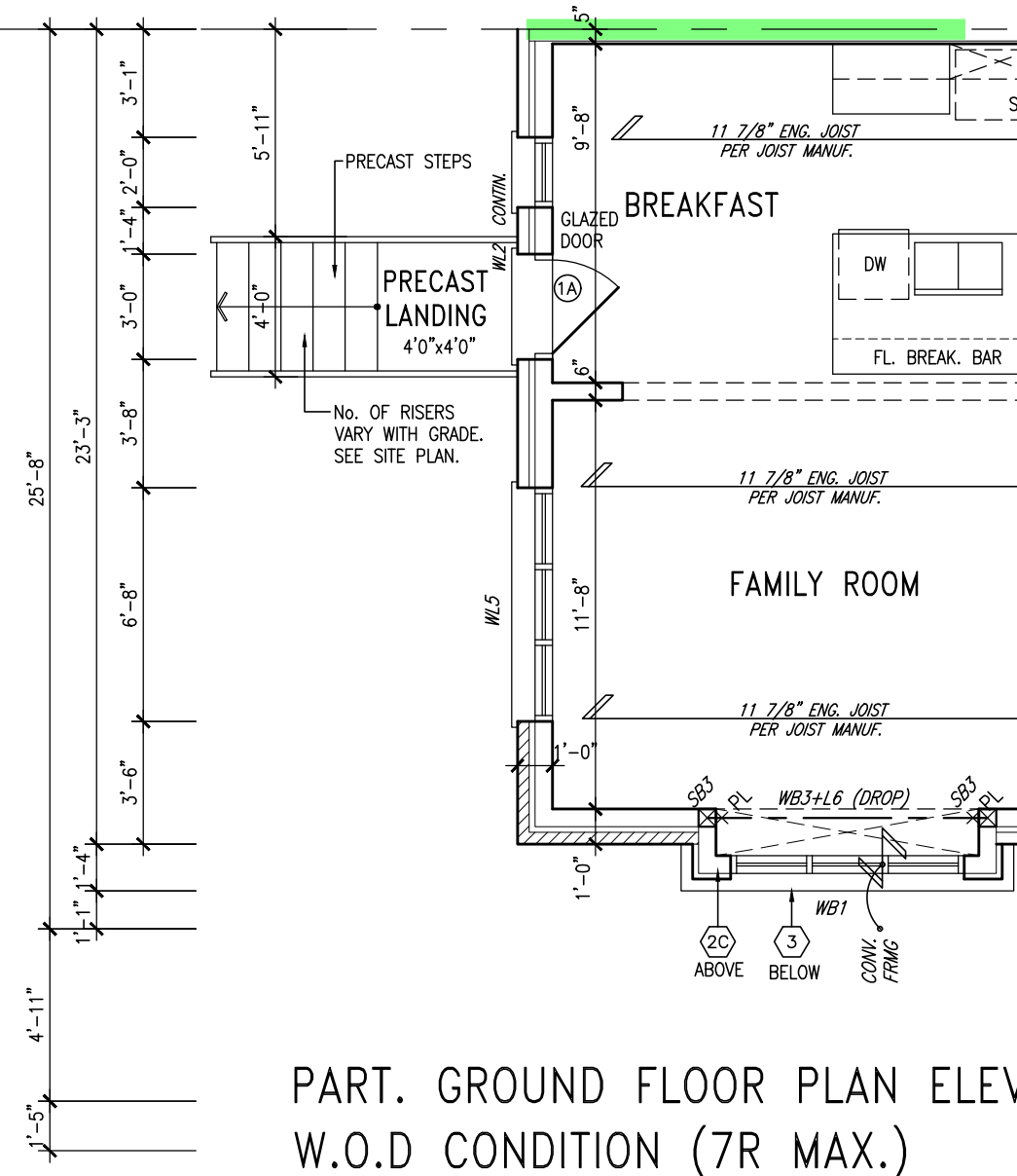
= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



PART. BASEMENT PLAN ELEV. 3
W.O.D CONDITION (7R MAX.)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing



PART. GROUND FLOOR PLAN ELEV. 3
W.O.D CONDITION (7R MAX.)

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IVY-11
ENERGY STAR/ PANEL

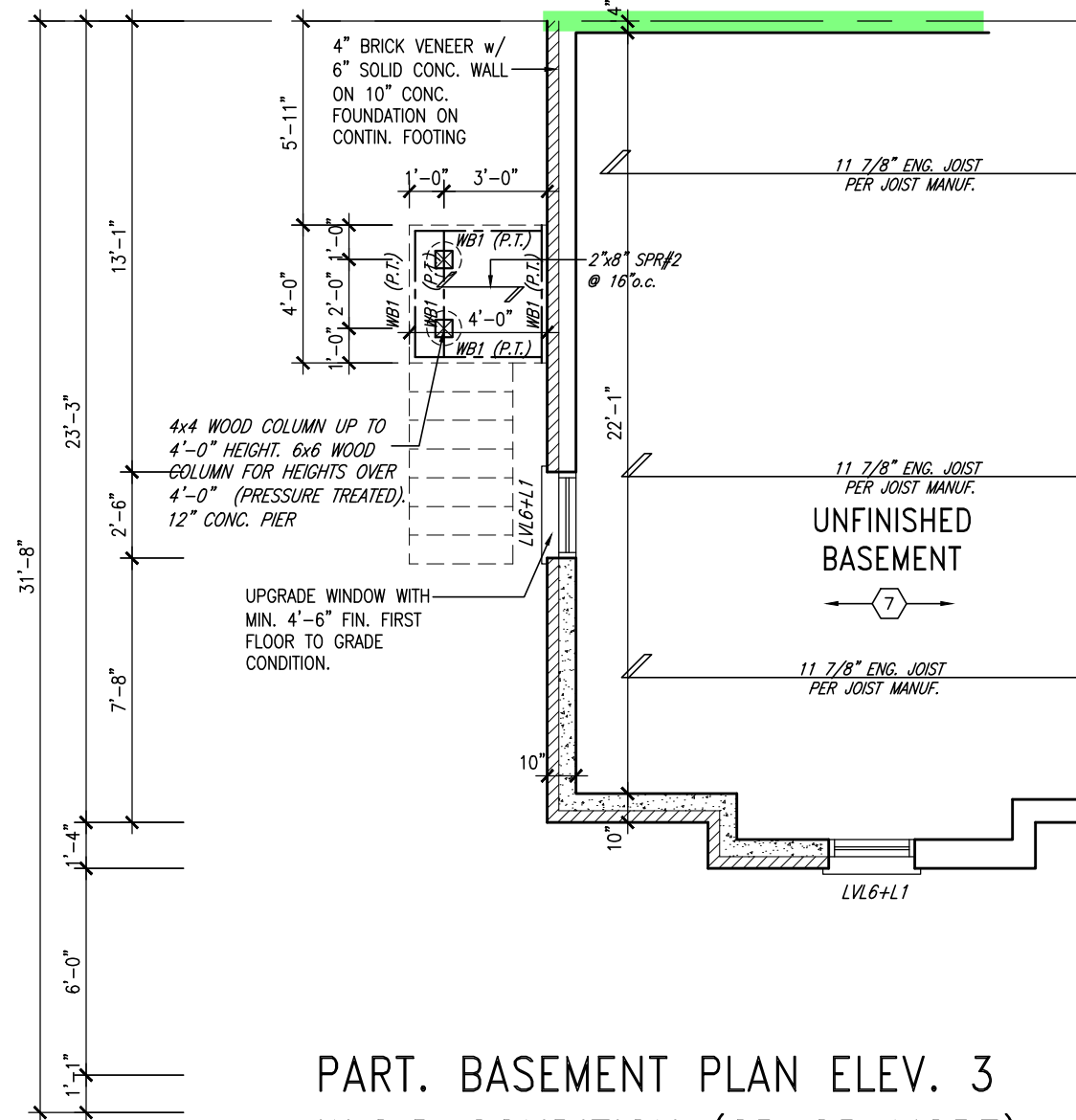
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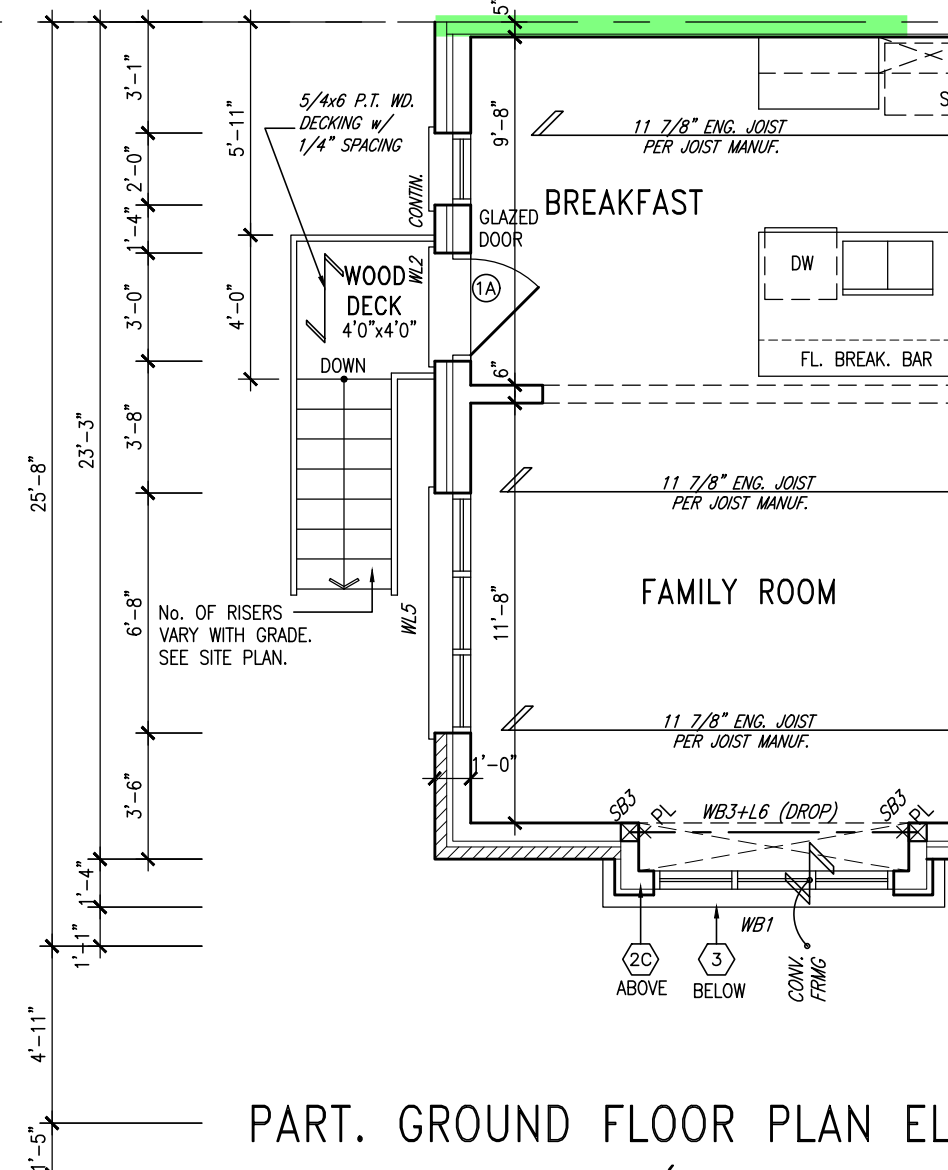
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PART. BASEMENT PLAN ELEV. 3
W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN ELEV. 3
W.O.D CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

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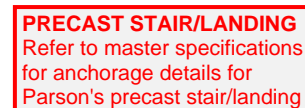
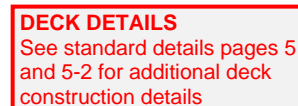
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PART. PLANS ELEV. 3 - DECK CONDITION (8R OR MORE)
drawn by
WT
checked by
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scale
16015-IVY-11
drawing no.
A8b
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ENERGY STAR/ PANEL

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project name LECCO RIDGE DEVELOPMENTS INC.		municipality MILTON, ONT.	
date JULY, 2016		project no. 16015	
title REAR ELEVATION ELEV. 3 - DECK CONDITION		drawing no. A9b	
drawn by WT	checked by -	scale 3/16" = 1'-0"	file name 16015-IVY-11
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