2284 SF.

PAD FOOTINGS

120 KPa. NATIVE SOIL	90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 =3-1/2" x 3-1/2" x 1/4"L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 =4" x 3-1/2" x 5/16"L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 =5" x 3-1/2" x 5/16"L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 =6" x 3-1/2" x 7/16"L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 =6" x 4" x 7/16"L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 =5" x 3-1/2" x 5/16"L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 =5" x 3-1/2" x 5/16"L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 =5" x 3-1/2" x 5/16"L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 =6" x 4" x 7/16"L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 =2-2"x8" (2-38x184) SPR. No.2
WB2 =3-2"x8" (3-38x184) SPR. No.2
WB3 =2-2"x10" (2-38x235) SPR. No.2
WB4 =3-2"x10" (3-38x235) SPR. No.2
WB5 =2-2"x12" (2-38x286) SPR. No.2
WB6 =3-2"x12" (3-38x286) SPR. No.2
WB7 =5-2"x12" (5-38x286) SPR. No.2
WB11 =4-2"x10" (4-38x235) SPR. No.2
WB12 =4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A =1-1 3/4"x7 1/4" (1-45x184)
LVL1 =2-1 3/4"x7 1/4" (2-45x184)
LVL2 =3-1 3/4"x7 1/4" (3-45x184)
LVL3 =4-1 3/4"x7 1/4" (4-45x184)
LVL4A =1-1 3/4"x9 1/2" (1-45x240)
LVL4 =2-1 3/4"x9 1/2" (2-45x240)
LVL5 =3-1 3/4"x9 1/2" (3-45x240)
LVL5A =4-1 3/4"x9 1/2" (4-45x240)
LVL6A =1-1 3/4"x11 7/8" (1-45x300)
LVL6 =2-1 3/4"x11 7/8" (2-45x300)
LVL7 =3-1 3/4"x11 7/8" (3-45x300)
LVL7A =4-1 3/4"x11 7/8" (4-45x300)
LVL8 =2-1 3/4"x14" (2-45x356)
LVL9 =3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 =3-1/2" x 3-1/2" x 1/4"L (89x89x6.4L)
L2 =4" x 3-1/2" x 5/16"L (102x89x7.9L)
L3 =5" x 3-1/2" x 5/16"L (127x89x7.9L)
L4 =6" x 3-1/2" x 7/16"L (152x89x11.0L)
L5 =6" x 4" x 7/16"L (152x102x11.0L)
L6 =7" x 4" x 7/16"L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

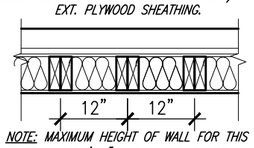
NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

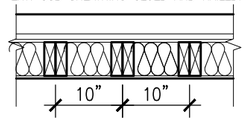
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

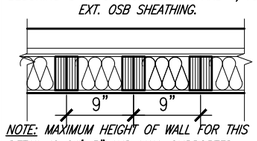
2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-4" AND MAX. WIDTH IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

IVY 7E AND ELEVATION 1	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	548.72 S.F.	102.67 S.F.	18.71 %
LEFT SIDE	944.18 S.F.	69.07 S.F.	7.32 %
RIGHT SIDE	944.18 S.F.	0.0 S.F.	0.00 %
REAR	548.72 S.F.	132.24 S.F.	24.10 %
TOTAL SQ. FT.	2985.80 S.F.	303.98 S.F.	10.18 %
TOTAL SQ. M.	277.39 S.M.	28.24 S.M.	10.18 %

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	1064 SF
SECOND FLOOR AREA	1220 SF
TOTAL FLOOR AREA	**2284 SF** (212.19 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	**2284 SF** (212.19 m2)
GROUND FLOOR COVERAGE	1064 SF
GARAGE COVERAGE/AREA	217 SF
PORCH COVERAGE/AREA	104 SF
COVERAGE W/ PORCH	**1385 SF** (128.67 m2)
COVERAGE W/O PORCH	**1281 SF** (119.01 m2)

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

IVY 7E AND ELEVATION 2	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	548.72 S.F.	70.42 S.F.	12.83 %
LEFT SIDE	944.18 S.F.	69.07 S.F.	7.32 %
RIGHT SIDE	944.18 S.F.	0.0 S.F.	0.00 %
REAR	548.72 S.F.	132.24 S.F.	24.10 %
TOTAL SQ. FT.	2985.80 S.F.	271.73 S.F.	9.10 %
TOTAL SQ. M.	277.39 S.M.	25.24 S.M.	9.10 %

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	1064 SF
SECOND FLOOR AREA	1211 SF
TOTAL FLOOR AREA	**2275 SF** (211.35 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	**2275 SF** (211.35 m2)
GROUND FLOOR COVERAGE	1064 SF
GARAGE COVERAGE/AREA	217 SF
PORCH COVERAGE/AREA	104 SF
COVERAGE W/ PORCH	**1385 SF** (128.67 m2)
COVERAGE W/O PORCH	**1281 SF** (119.01 m2)

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

IVY 7E AND ELEVATION 3	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	548.72 S.F.	101.93 S.F.	18.58 %
LEFT SIDE	944.18 S.F.	69.07 S.F.	7.32 %
RIGHT SIDE	944.18 S.F.	0.0 S.F.	0.00 %
REAR	548.72 S.F.	132.24 S.F.	24.10 %
TOTAL SQ. FT.	2985.80 S.F.	303.24 S.F.	10.16 %
TOTAL SQ. M.	277.39 S.M.	28.17 S.M.	10.16 %

AREA CALCULATIONS	ELEV '3'
GROUND FLOOR AREA	1057 SF
SECOND FLOOR AREA	1204 SF
TOTAL FLOOR AREA	**2261 SF** (210.05 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	**2261 SF** (210.05 m2)
GROUND FLOOR COVERAGE	1058 SF
GARAGE COVERAGE/AREA	217 SF
PORCH COVERAGE/AREA	102 SF
COVERAGE W/ PORCH	**1377 SF** (127.93 m2)
COVERAGE W/O PORCH	**1275 SF** (118.45 m2)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
ZONE
ZONING: **APPROVED**
Matthew Seymour APR 25, 2017
ZONING OFFICER DATE

ESCC MODEL
ENERGY STAR- V 12.7

IVY-7E
ENERGY STAR/ PANEL

no.	description	date	by
9	.	.	.
8	.	.	.
7	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
6	ISSUED FOR PERMIT.	MAR. 01/17	GW
5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FLR WINDOW PANEL ADDED.	SEP 07/16	GW
3	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
2	RELOCATE GAS/HYDRO METERS	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark™

project name	municipality	project no.
LECCO RIDGE DEV. INC.	MILTON, ONT.	16015

IVY-7E
-

date	GENERAL NOTES & CHARTS	drawing no.
JULY, 2016		A0
drawn by: WT	checked by: -	scale: 3/16" = 1'-0"
file name: 16015-IVY-7E		

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2284 SF.

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

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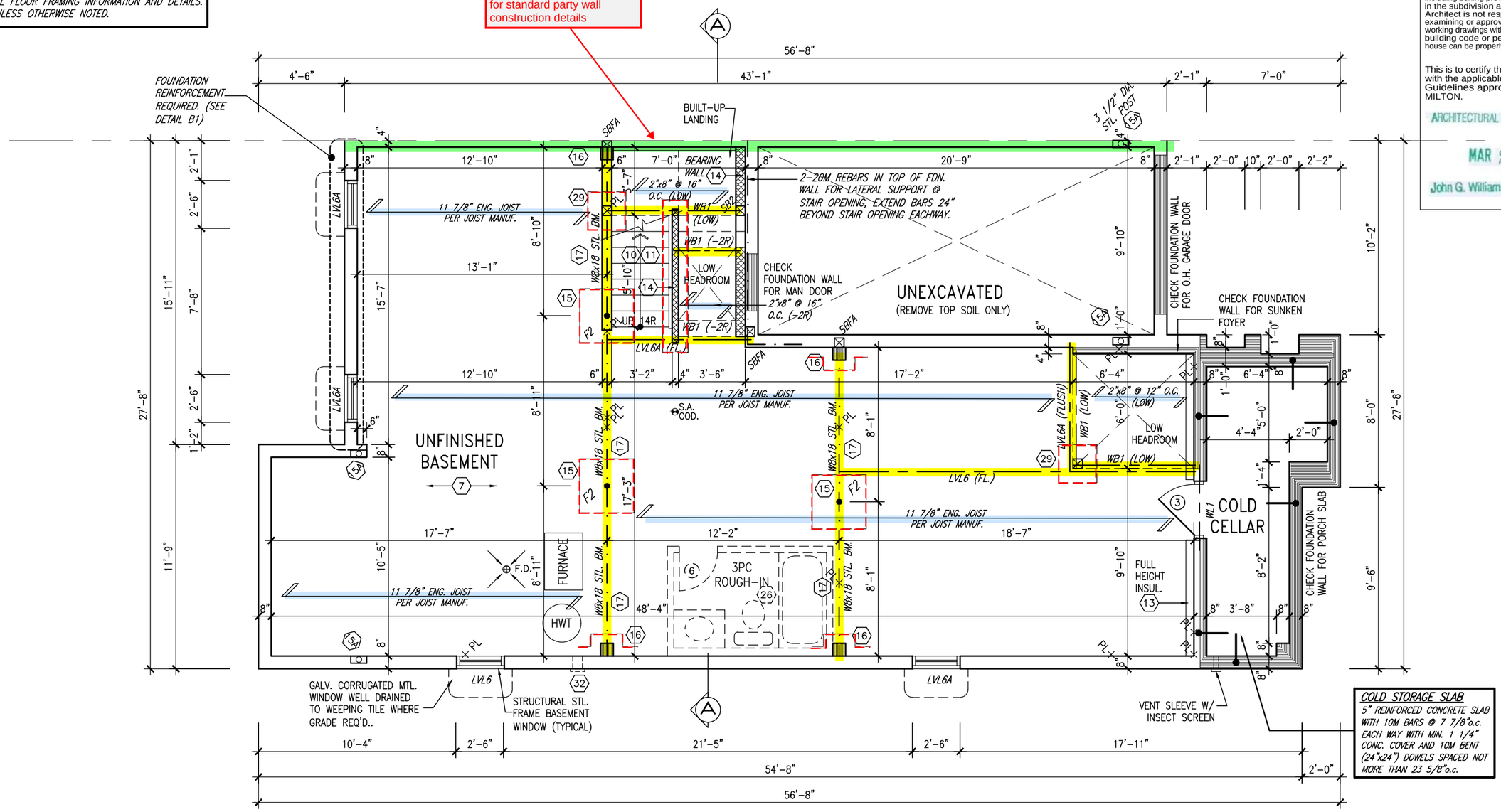
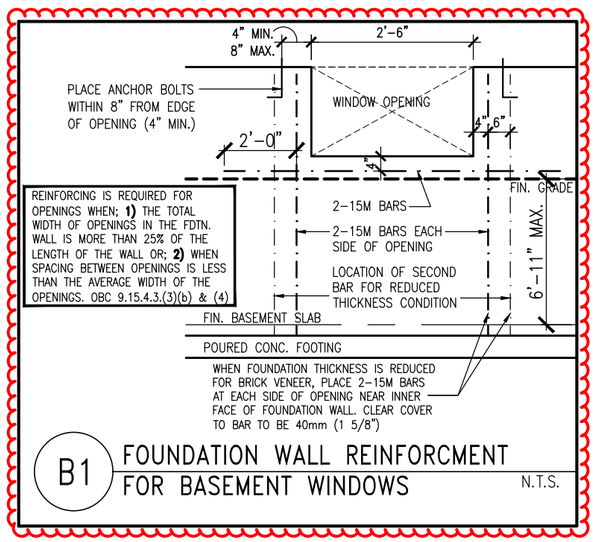
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

BASEMENT PLAN – ELEV. '1'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout



B1 FOUNDATION WALL REINFORCMENT FOR BASEMENT WINDOWS N.T.S.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
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REGISTERED PROFESSIONAL ENGINEER R. MARINKOVIC PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
9	.	.	.
8	.	.	.
7	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
6	ISSUED FOR PERMIT.	MAR. 01/17	GW
5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FLR WINDOW PANEL ADDED.	SEP 07/16	GW
3	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
2	RELOCATE GAS/HYDRO METERS	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information Richard Vink 24488
name signature BCIN
registration information VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark™

IVY-7E
IVY-7E ENERGY STAR/ PANEL

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015
date: JULY, 2016
BASEMENT PLAN – ELEV. '1'
drawn by: WT
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A1
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2284 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping and a self closing device

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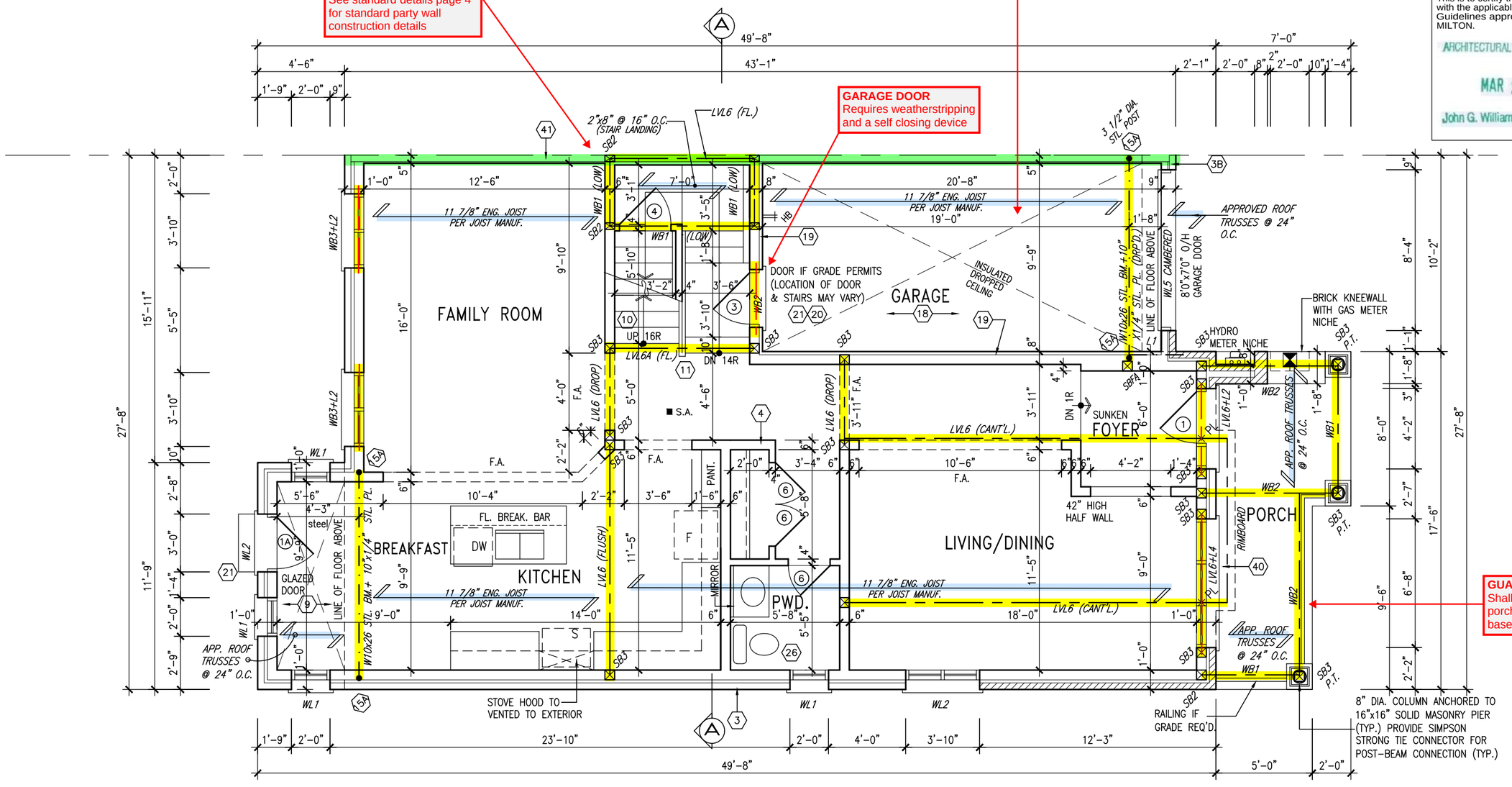
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

GROUND FLOOR PLAN - ELEV. '1'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
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ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
9	.	.	.
8	.	.	.
7	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
6	ISSUED FOR PERMIT.	MAR. 01/17	GW
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va3design.com

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IVY-7E
-

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015
date: JULY, 2016
GROUND FLOOR PLAN - ELEV. '1'
drawing no.: A2
drawn by: WT
checked by:
scale: - 3/16" = 1'-0"
file name: 16015-IVY-7E
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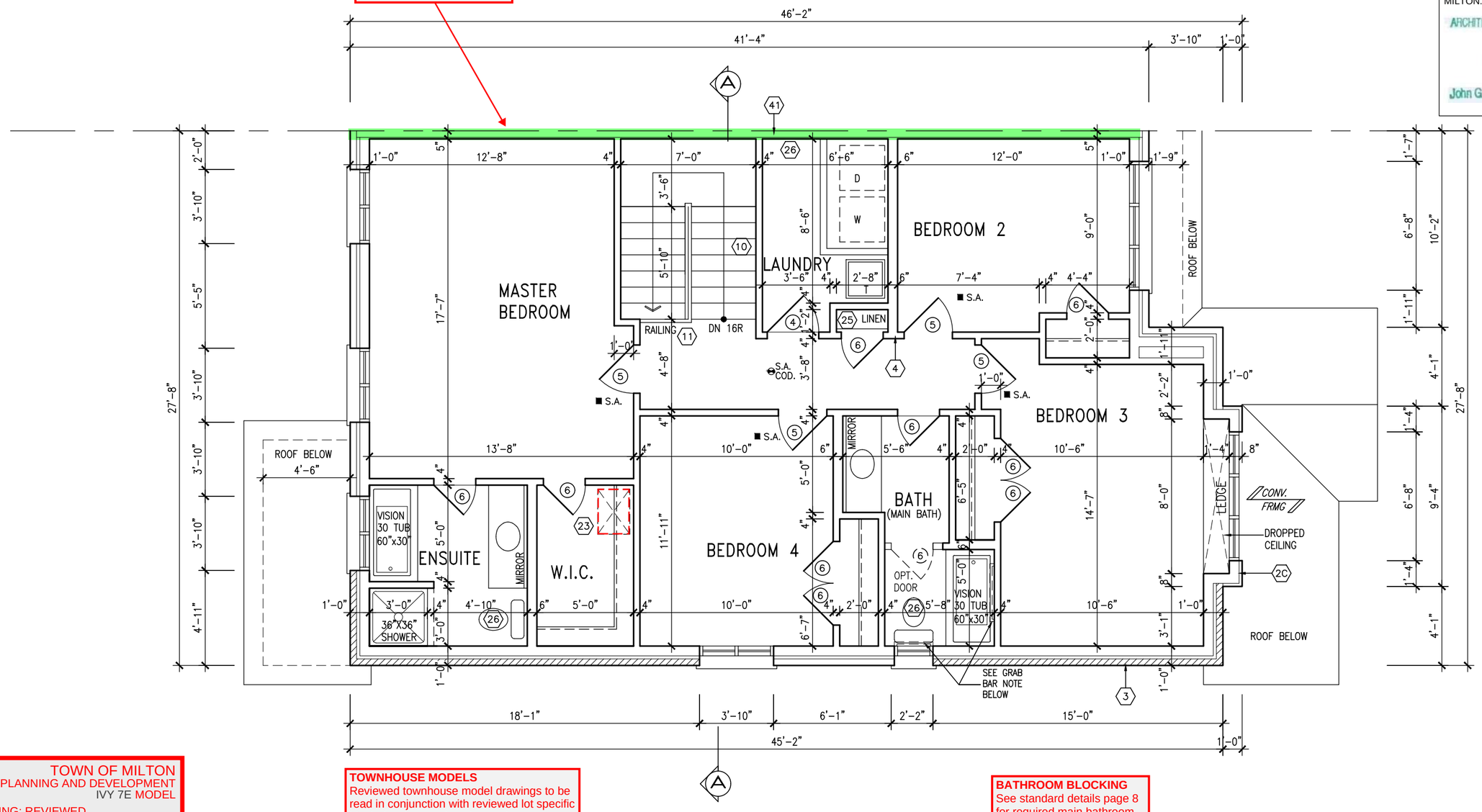
IVY-7E
ENERGY STAR/ PANEL

2284 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

SECOND FLOOR PLAN ELEV. '1'

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

no.	description	date	by
9	.	.	.
8	.	.	.
7	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
6	ISSUED FOR PERMIT.	MAR. 01/17	GW
5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FLR WINDOW PANEL ADDED.	SEP 07/16	GW
3	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
2	RELOCATE GAS/HYDRO METERS	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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t 416.630.2255 f 416.630.4782
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Greenpark™

IVY-7E
-

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015
date: JULY, 2016
SECOND FLOOR PLAN - ELEV. '1'
drawn by: WT
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A3
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-7E\16015-IVY-7E.dwg - Tue - Apr 11 2017 - 1:41 PM

IVY-7E
ENERGY STAR/ PANEL

2284 SF.

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ARCHITECTURAL REVIEW & APPROVAL
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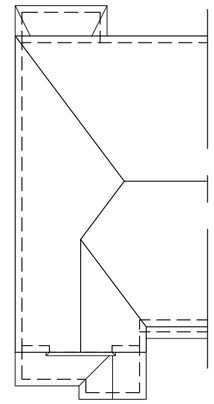
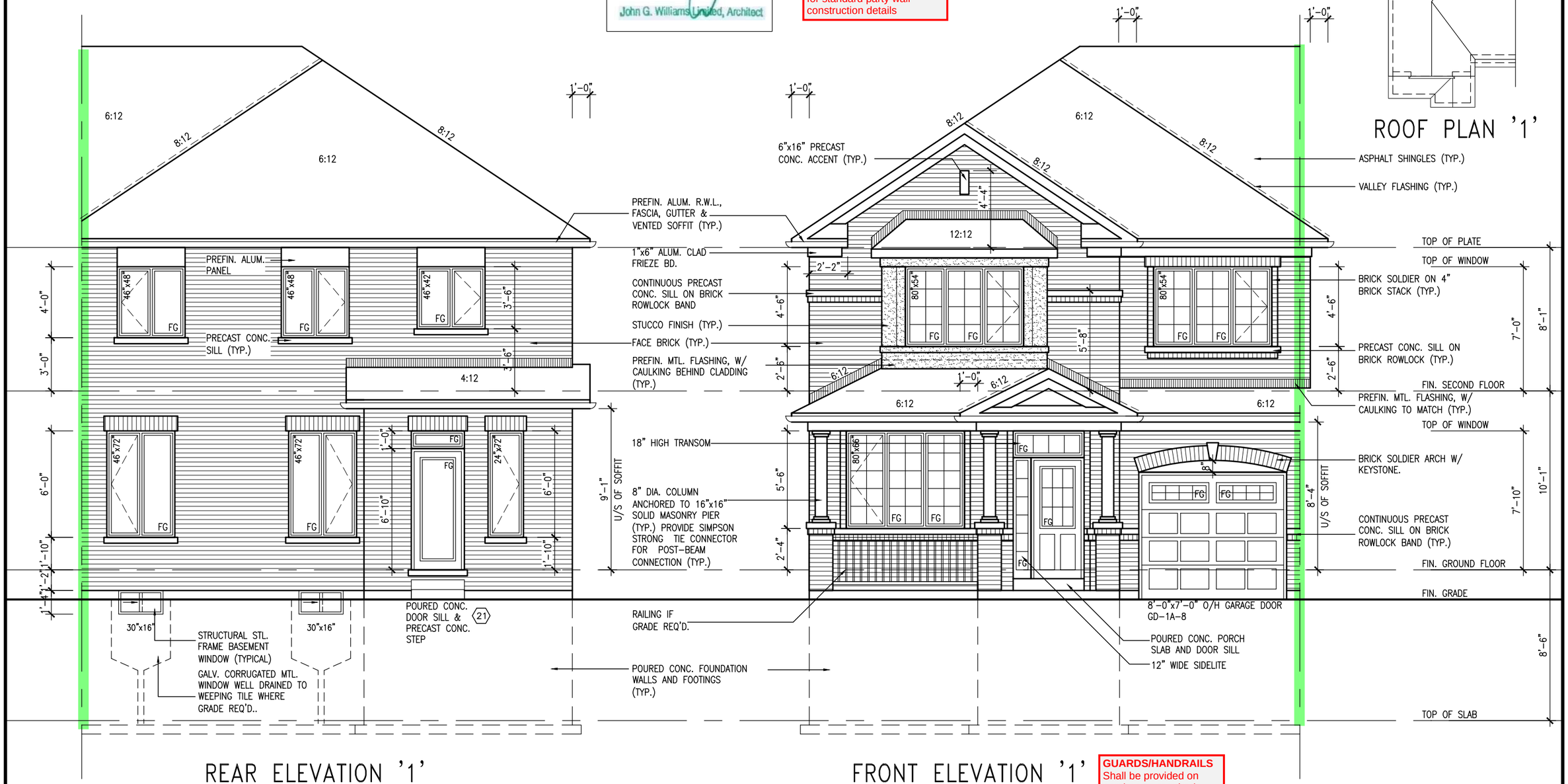
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



ROOF PLAN '1'



REAR ELEVATION '1'

FRONT ELEVATION '1'

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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IVY-7E
ENERGY STAR/ PANEL

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IVY-7E
-

project name: LECCO RIDGE DEV. INC. | municipality: MILTON, ONT. | project no.: 16015
date: JULY, 2016 | FRONT / REAR ELEVATION- ELEV. '1'
drawn by: WT | checked by: - | scale: 3/16" = 1'-0" | file name: 16015-IVY-7E
drawing no.: A4

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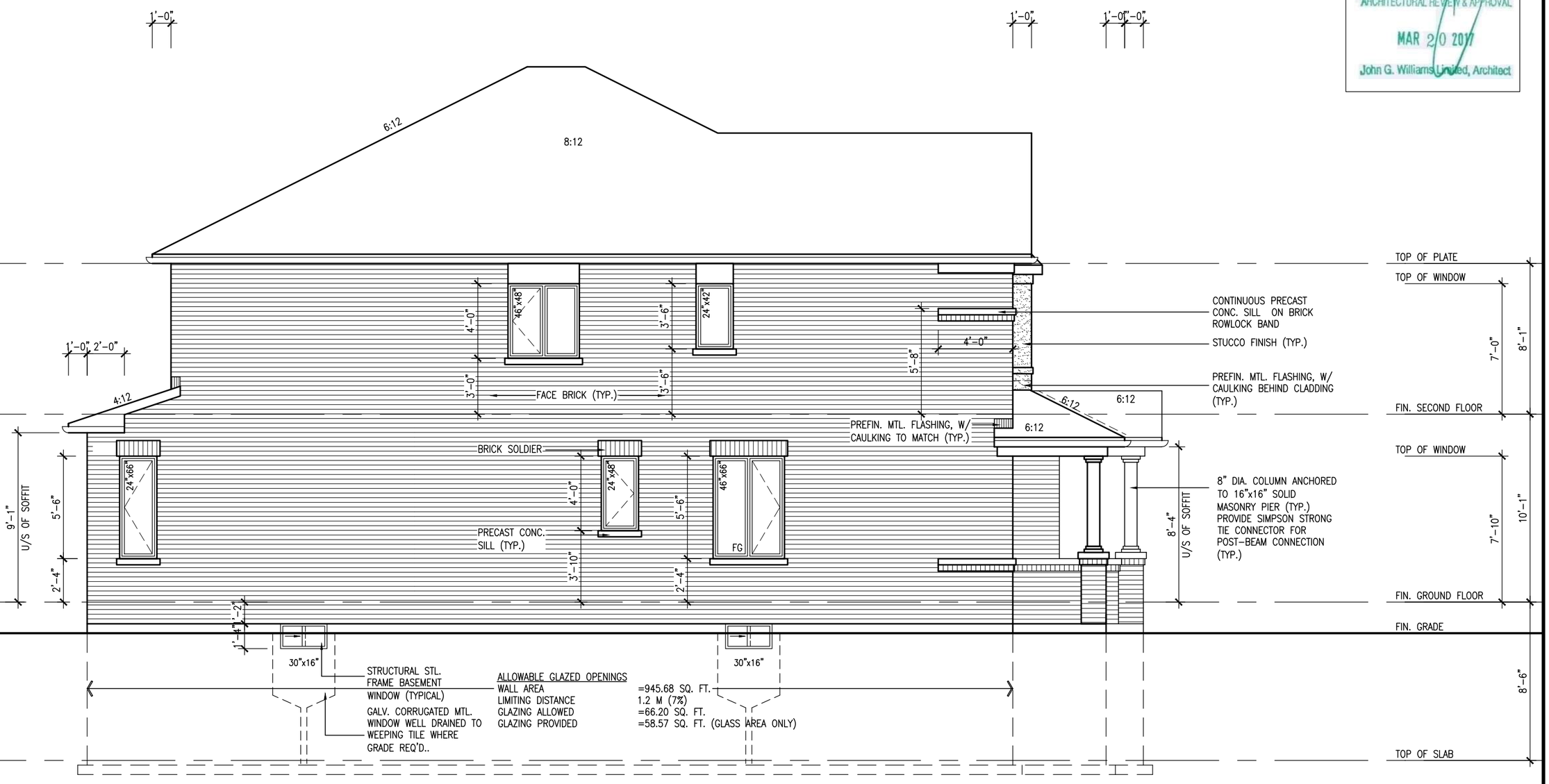

LEFT SIDE ELEVATION '1'

IVY-7E
ENERGY STAR/ PANEL

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TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
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IVY-7E
-

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015
date: JULY, 2016
LEFT SIDE ELEVATION - ELEV. '1'
drawn by: WT
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A5
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2284 SF.

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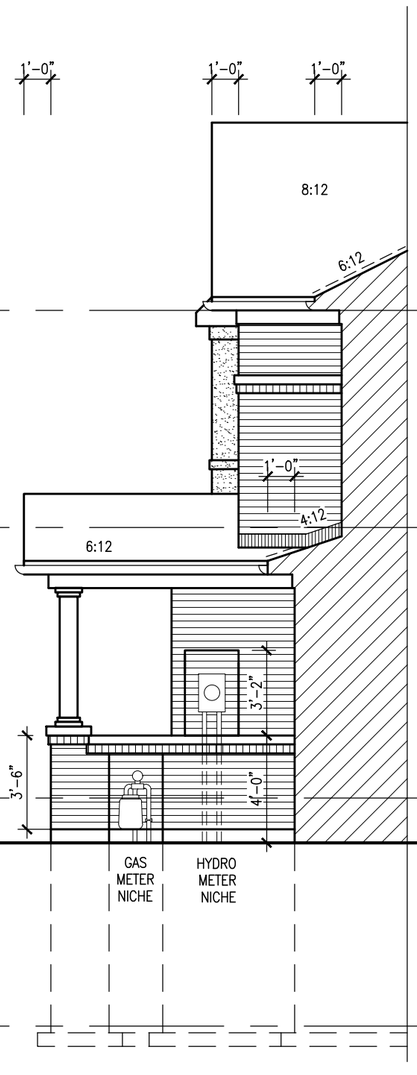
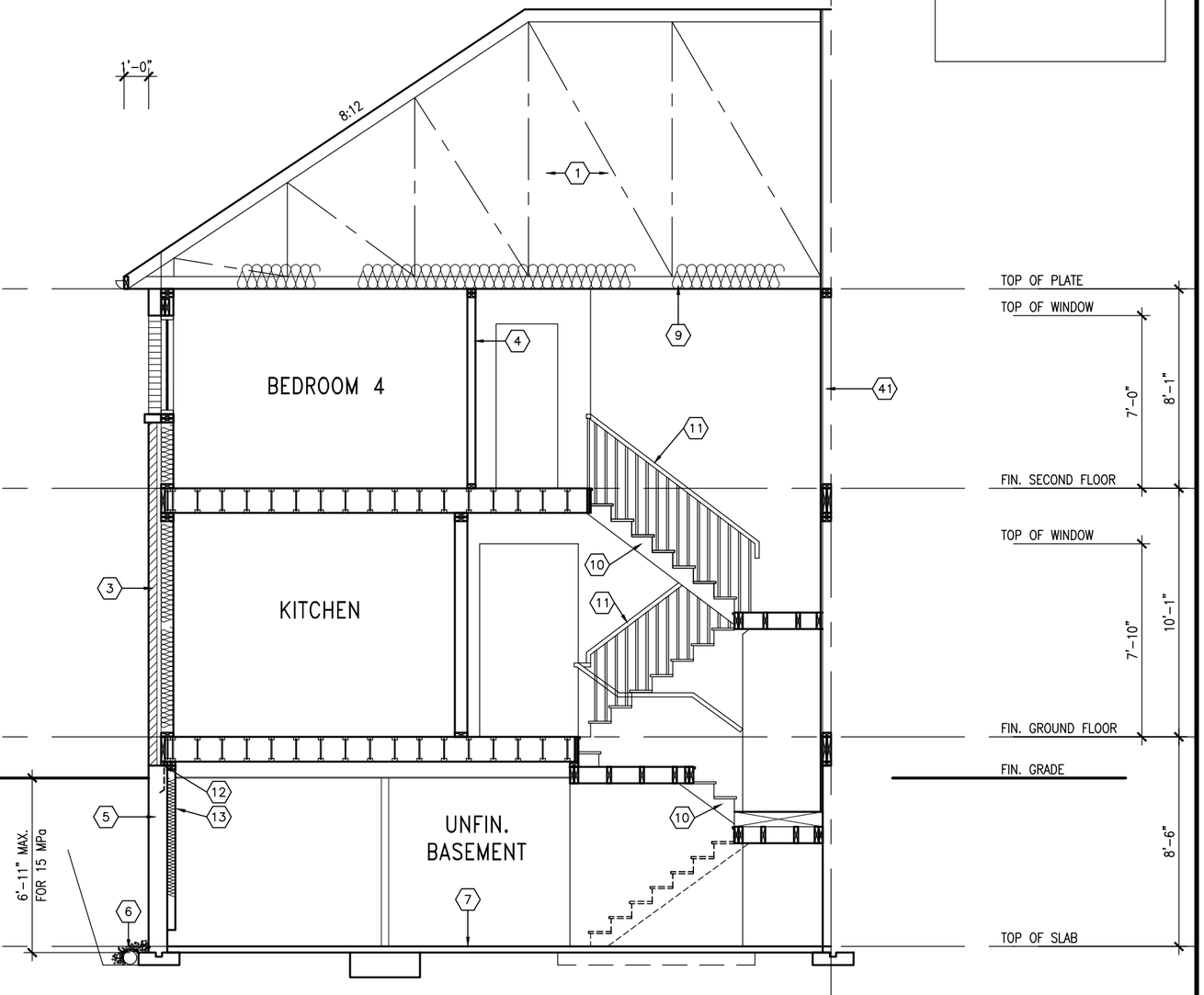


SECTION B



SECTION A-A ELEV. '1'

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

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va3design.com

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IVY-7E
-

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015

date: JULY, 2016
SECTION A-A ELEV. 1
drawn by: WT
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A6

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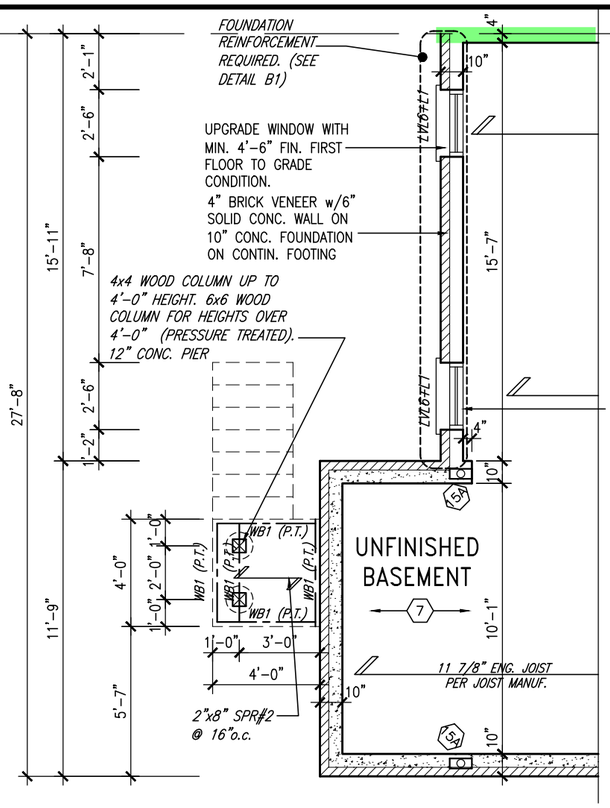
IVY-7E
ENERGY STAR/ PANEL

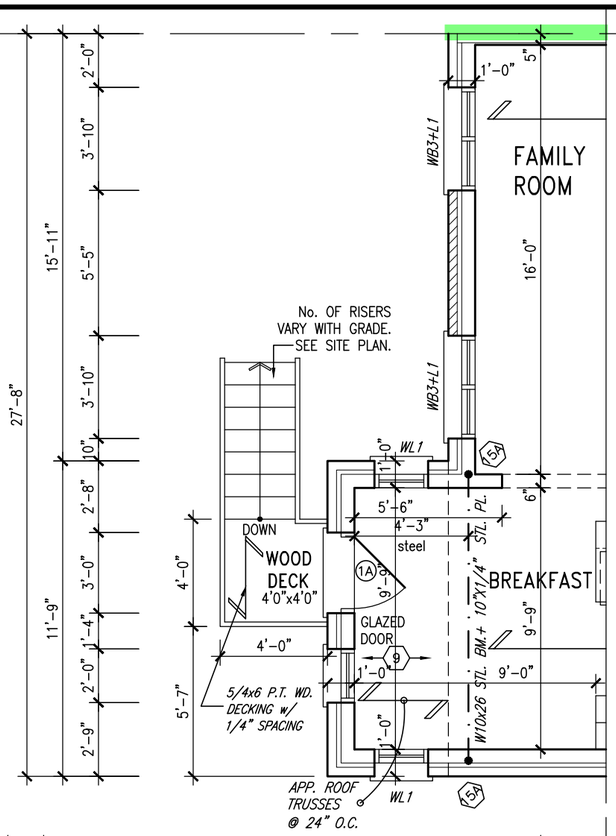
2284 SF.

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details

PART. BASEMENT PLAN W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN W.O.D CONDITION (8R OR MORE)



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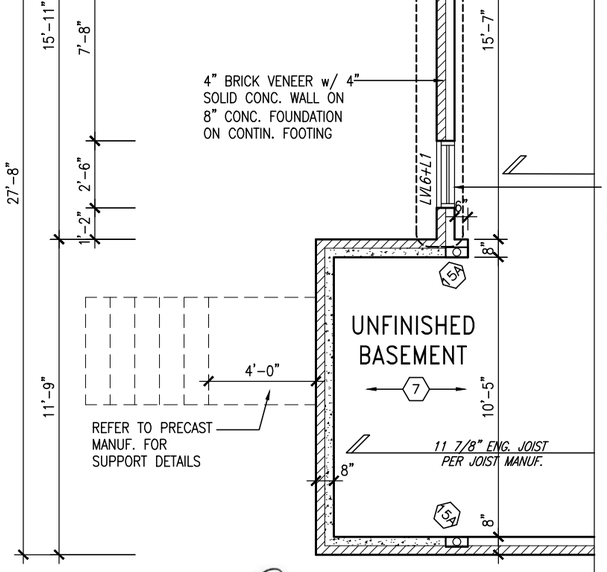
ARCHITECTURAL REVIEW & APPROVAL
MAR 2/0 2017
John G. Williams Limited, Architect

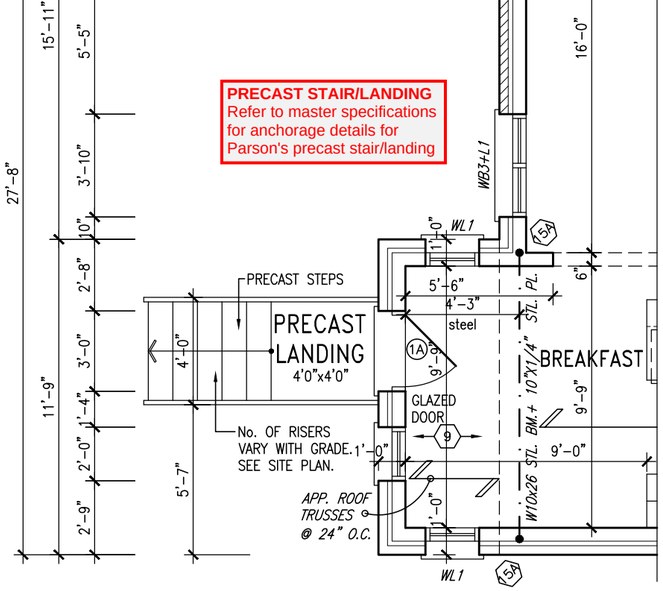
= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

PART. BASEMENT PLAN W.O.D CONDITION (7R MAX.)



PART. GROUND FLOOR PLAN W.O.D CONDITION (7R MAX.)



VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

IVY-7E
ENERGY STAR/ PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

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qualification information
name: Richard Vink — signature — BCIN: 24488
registration information
VA3 Design Inc. — 42658

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project name: LECCO RIDGE DEV. INC. — municipality: MILTON, ONT. — project no.: 16015

IVY-7E
–

date: JULY, 2016
PART. PLANS – DECK CONDITION
drawn by: WT — checked by: – — scale: 3/16" = 1'-0" — file name: 16015-IVY-7E
GREG – H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-7E\16015-IVY-7E.dwg – Tue – Apr 11 2017 – 1:41 PM

drawing no.: A7

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= 1 HOUR PARTY WALL
(FIRE SEPARATION)

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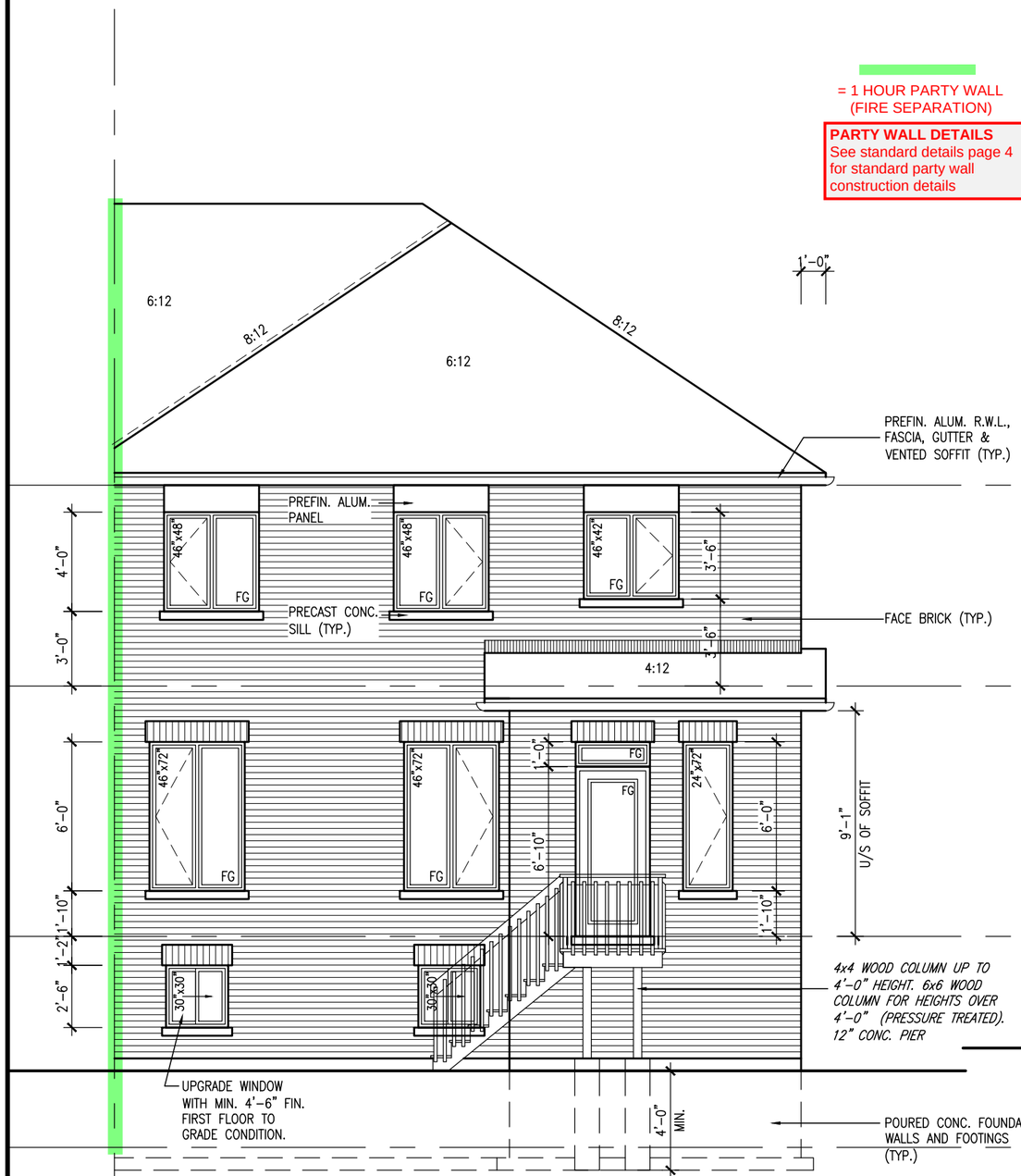
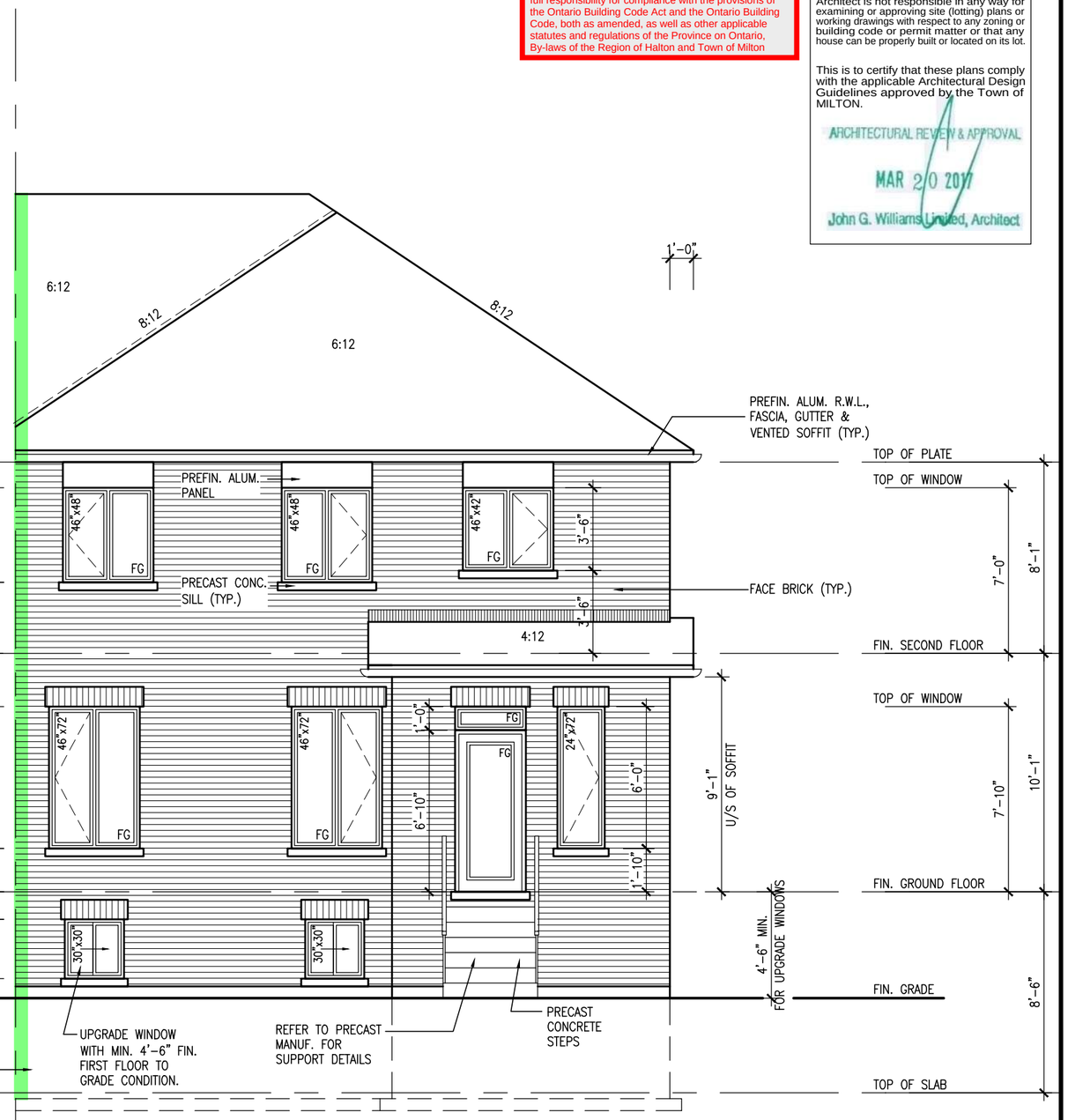


REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.



REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

IVY–7E
ENERGY STAR/ PANEL

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project name	LECCO RIDGE DEV. INC.
municipality	MILTON, ONT.
project no.	16015
date	JULY, 2016
drawing	REAR ELEVATION ELEV. 1 – DECK CONDITION
drawn by	WT
checked by	–
scale	3/16" = 1'-0"
file name	16015–IVY–7E
drawing no.	A8

IVY–7E
–

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2284 SF.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

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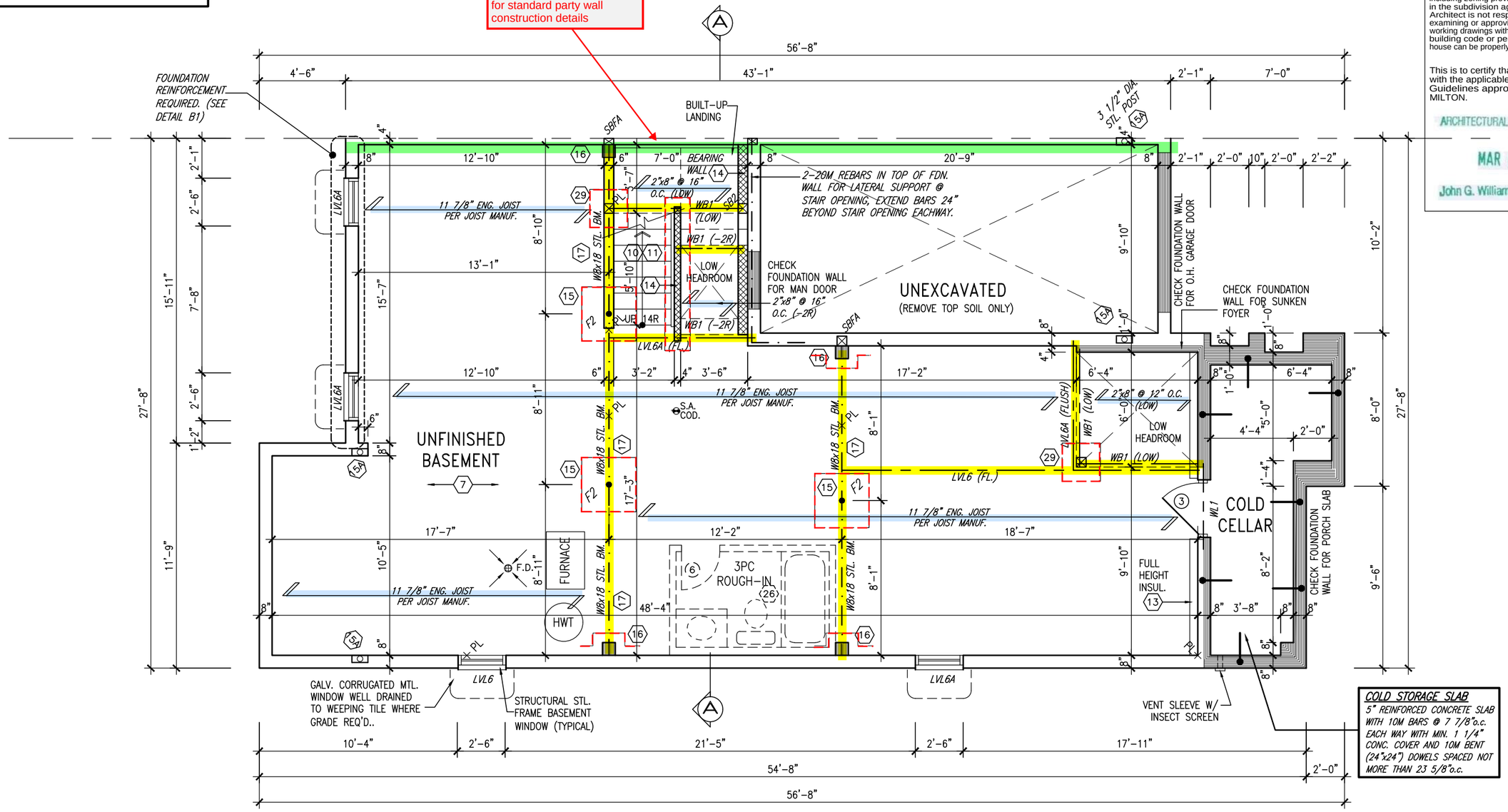
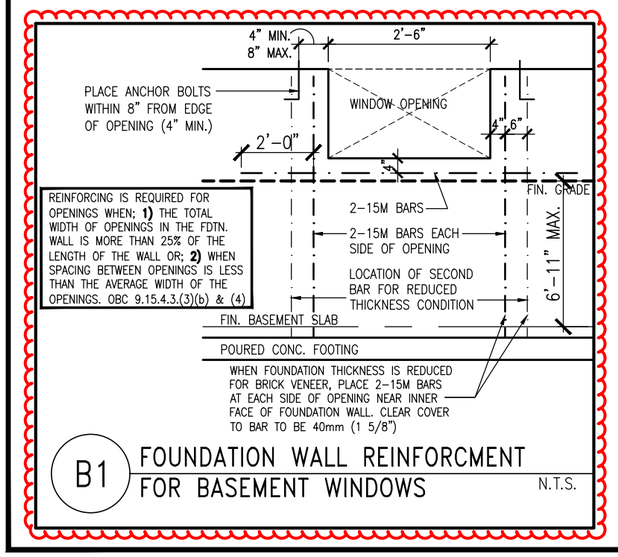


COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.



B1 FOUNDATION WALL REINFORCMENT FOR BASEMENT WINDOWS N.T.S.

BASEMENT PLAN – ELEV. '2'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
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6	ISSUED FOR PERMIT.	MAR. 01/17	GW
5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FLR WINDOW PANEL ADDED.	SEP 07/16	GW
3	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
2	RELOCATE GAS/HYDRO METERS	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW

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qualification information Richard Vink 24488
name signature BCIN
registration information VA3 Design Inc. 42658

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va3design.com

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IVY–7E
ENERGY STAR/ PANEL

project name LECCO RIDGE DEV. INC.
municipality MILTON, ONT.
project no. 16015
date JULY, 2016
BASEMENT PLAN – ELEV. '2'
drawn by WT
checked by –
scale 3/16" = 1'-0"
file name 16015–IVY–7E
drawing no. A1a
GREG – H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY–7E\16015–IVY–7E.dwg – Tue – Apr 11 2017 – 1:41 PM

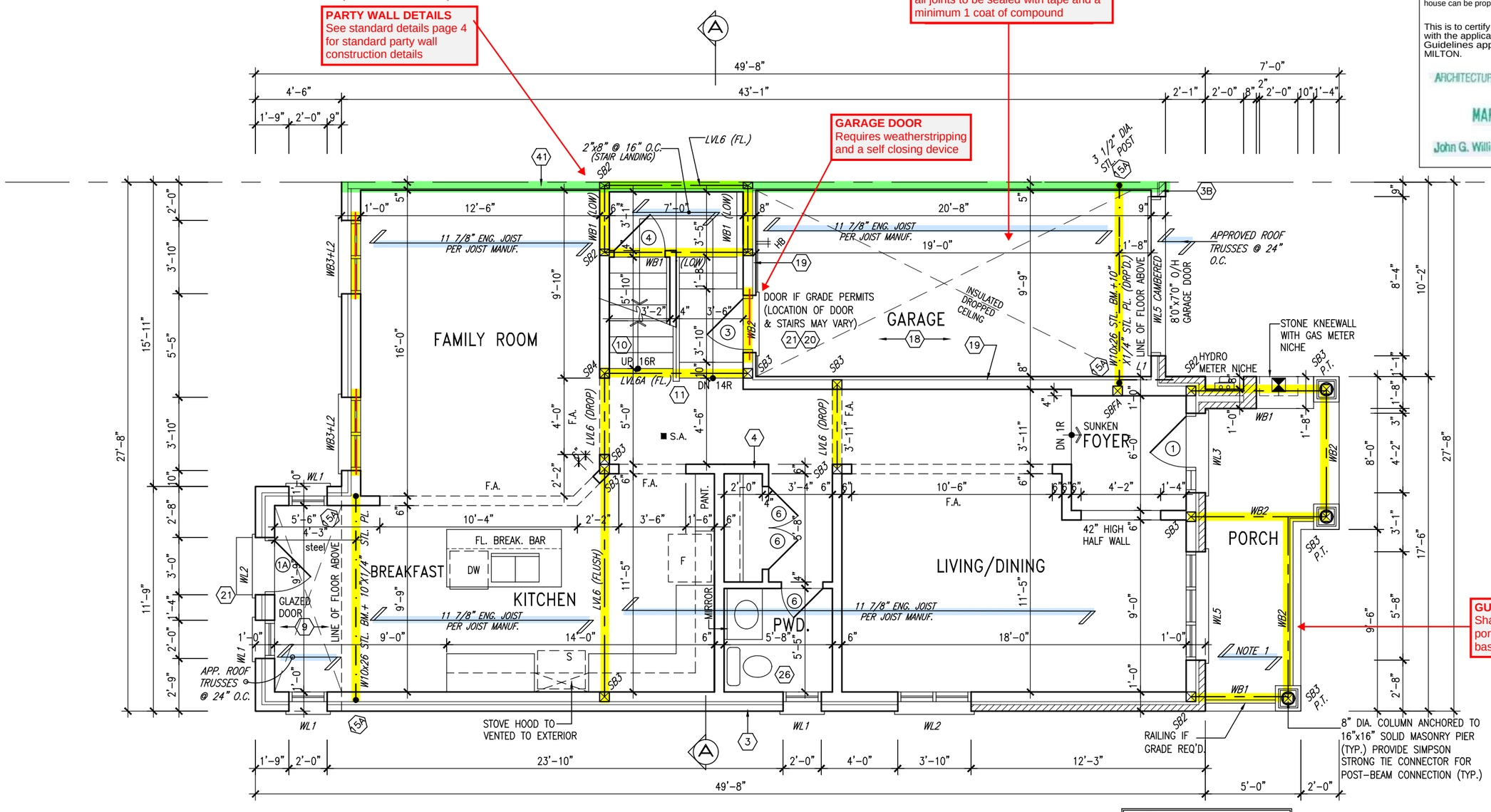
2284 SF.

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping and a self closing device



GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

GROUND FLOOR PLAN - ELEV. '2'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST. w/ 2"x4" @ 12" O.C. P.T. DIAGONALLY CUT CROSS PURLINS w/ 5/8" EXTERIOR GRADE SHEATHING + SINGLE PLY ROOF MEMBRANE (SLOPE TO DRAIN)

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

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TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
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va3design.com

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IVY-7E
-

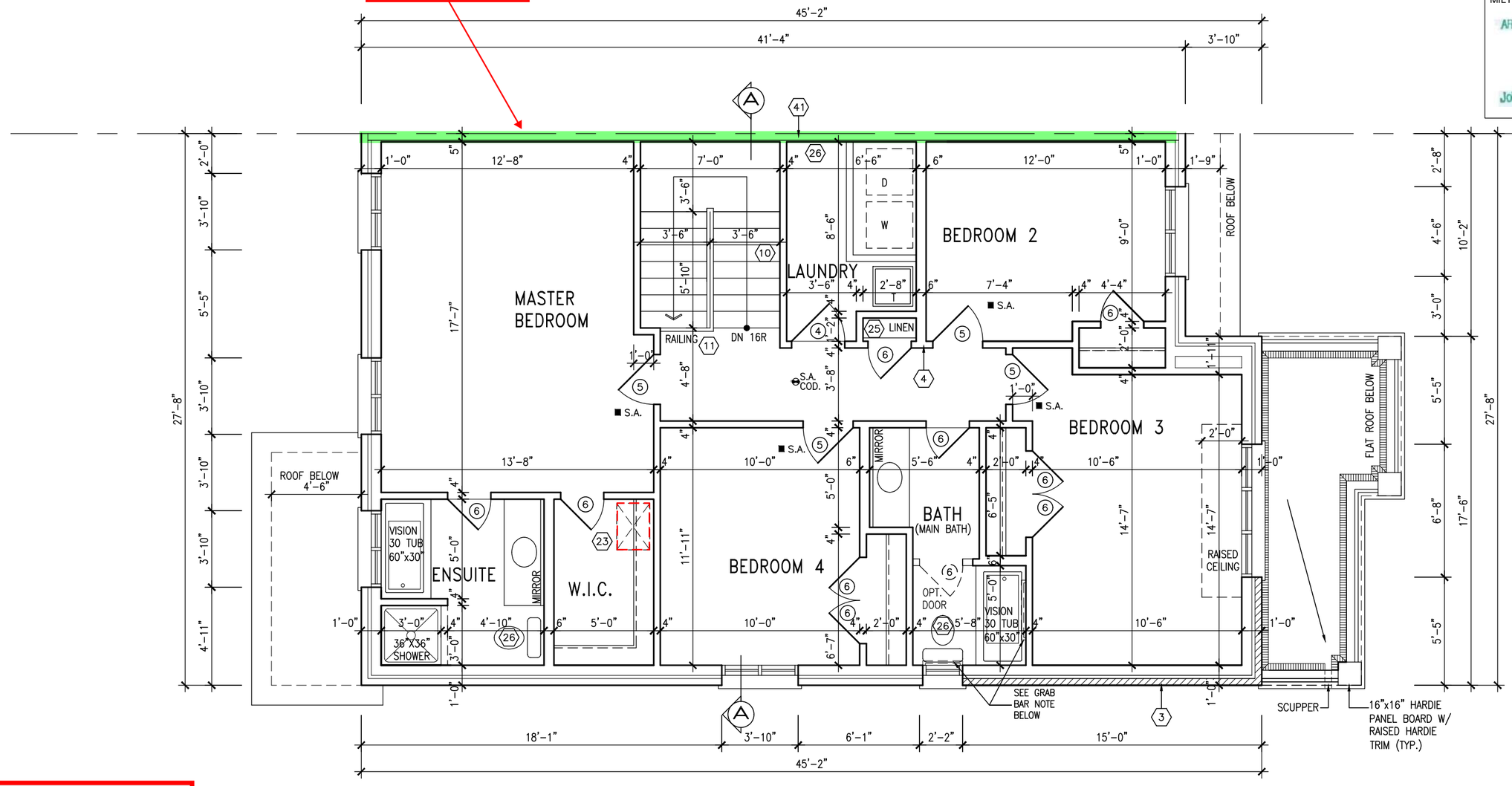
project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015
date: JULY, 2016
GROUND FLOOR PLAN - ELEV. '2'
drawn by: WT
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A2a
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-7E\16015-IVY-7E.dwg - Tue - Apr 11 2017 - 1:41 PM

IVY-7E
ENERGY STAR/ PANEL

2284 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

SECOND FLOOR PLAN ELEV. '2'

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

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TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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MAR 29, 2017
IVY 7E
BUILDING DIVISION

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

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IVY-7E
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scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A3a

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IVY-7E
ENERGY STAR/ PANEL

2284 SF.

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MAR 2/0 2017
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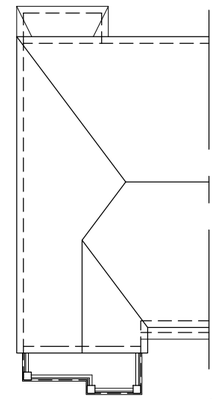

ROOF PLAN '2'

REAR ELEVATION '2'

FRONT ELEVATION '2'

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

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TOWN OF MILTON
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IVY 7E
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IVY-7E
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project name: LECCO RIDGE DEV. INC. — municipality: MILTON, ONT. — project no.: 16015
IVY-7E
date: JULY, 2016
FRONT/ REAR ELEVATION - ELEV. '2'
drawn by: WT — checked by: - — scale: 3/16" = 1'-0" — file name: 16015-IVY-7E
drawing no.: A4a
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2284 SF.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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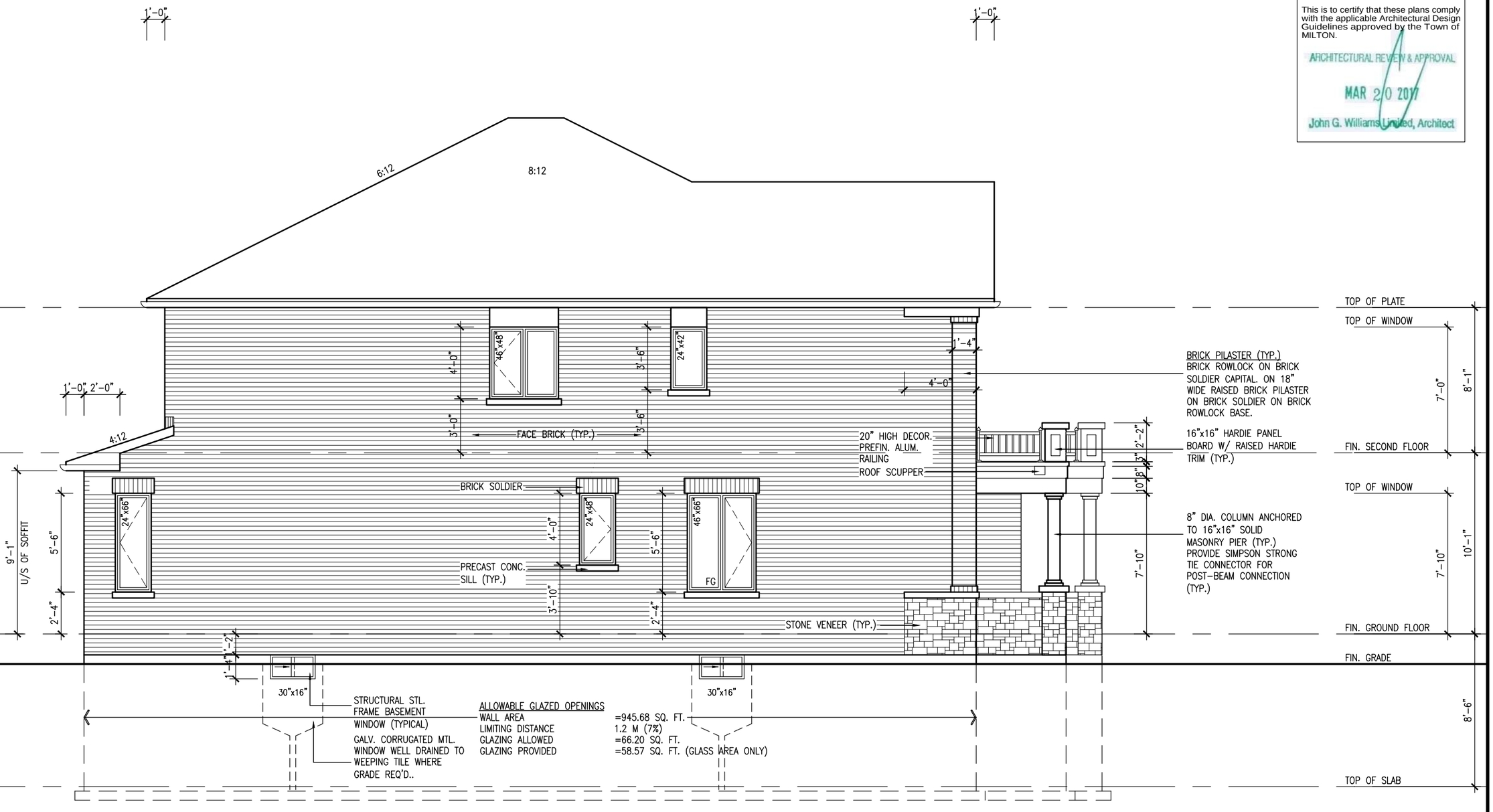

LEFT SIDE ELEVATION '2'

IVY-7E
ENERGY STAR/ PANEL

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IVY 7E
BUILDING DIVISION

TOWN OF MILTON
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IVY 7E MODEL
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IVY-7E
-

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015
date: JULY, 2016
LEFT SIDE ELEVATION- ELEV. '2'
drawn by: WT
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A5a
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2284 SF.

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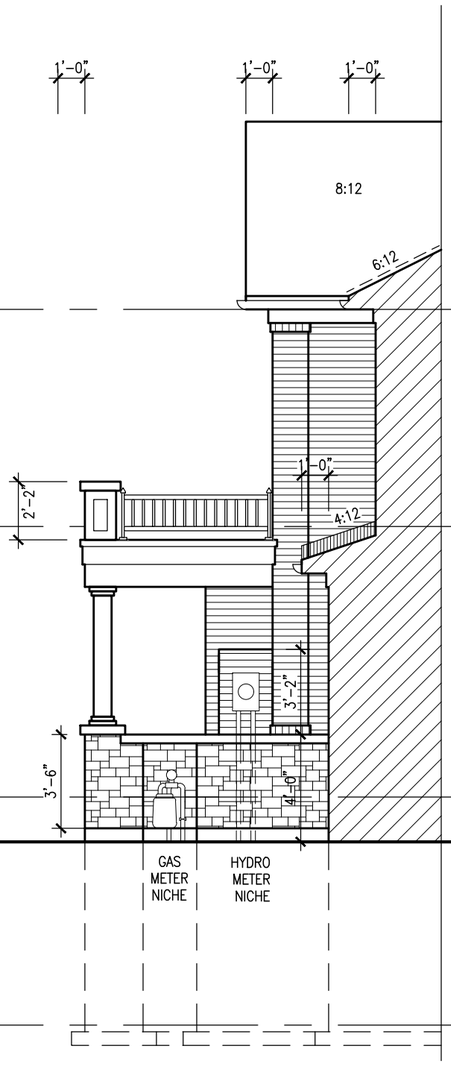
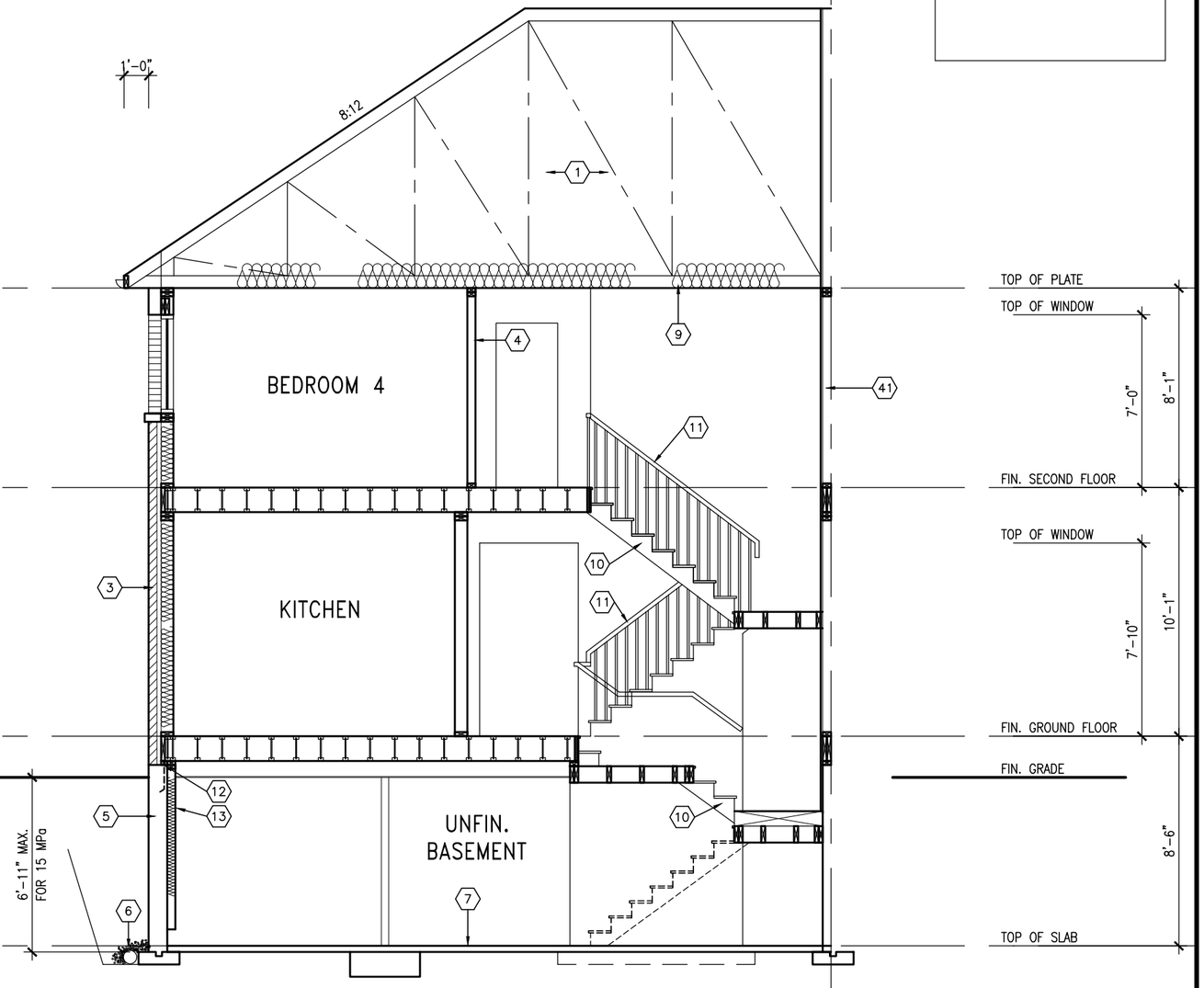


SECTION B



SECTION A-A ELEV. 2

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PLANNING AND DEVELOPMENT
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project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
IVY-7E
project no.: 16012
date: JULY, 2016
SECTION A-A ELEV. 1
drawn by: WT
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A6a
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IVY-7E
ENERGY STAR/ PANEL

2284 SF.

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MAR 20 2017
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= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
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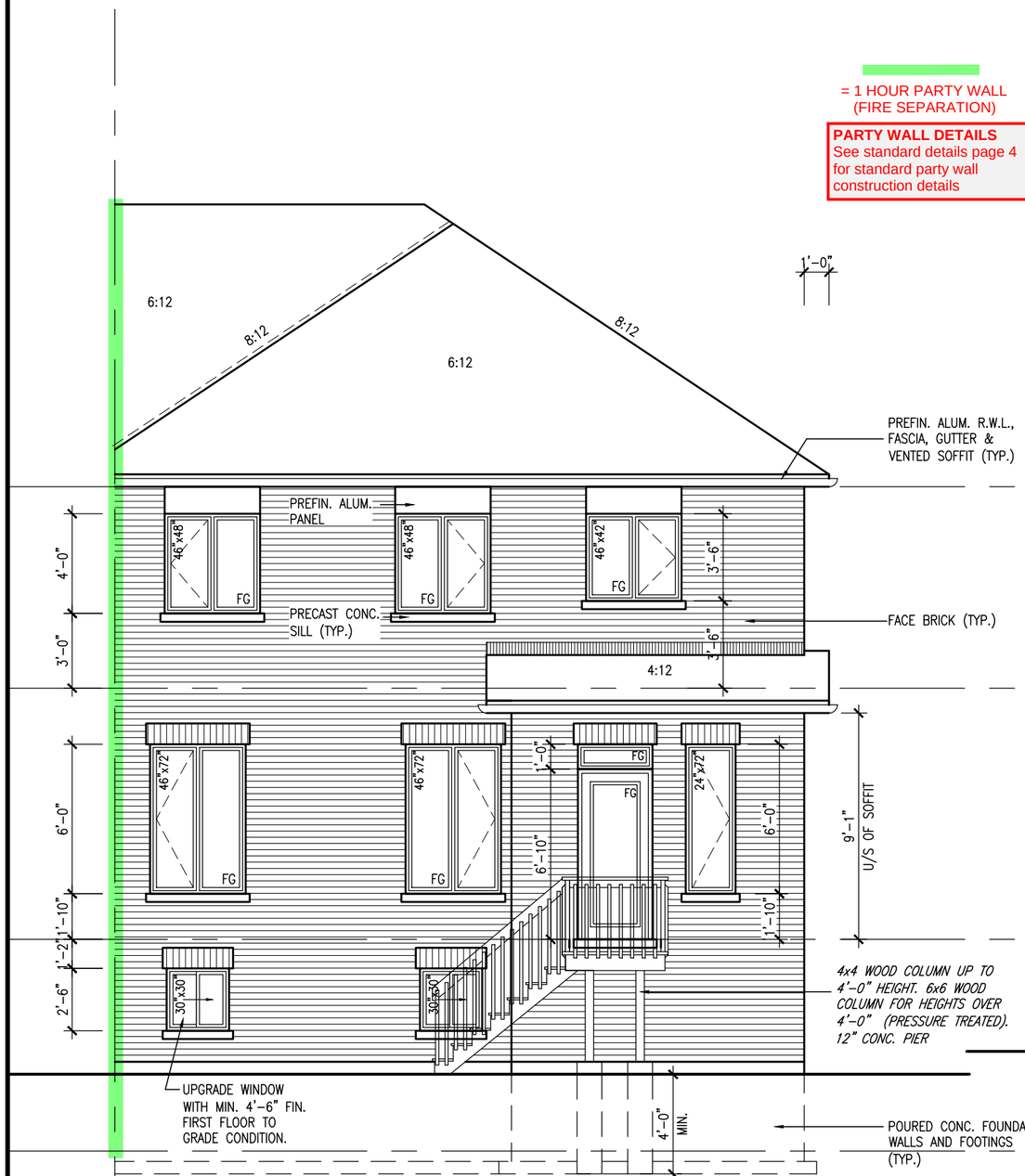
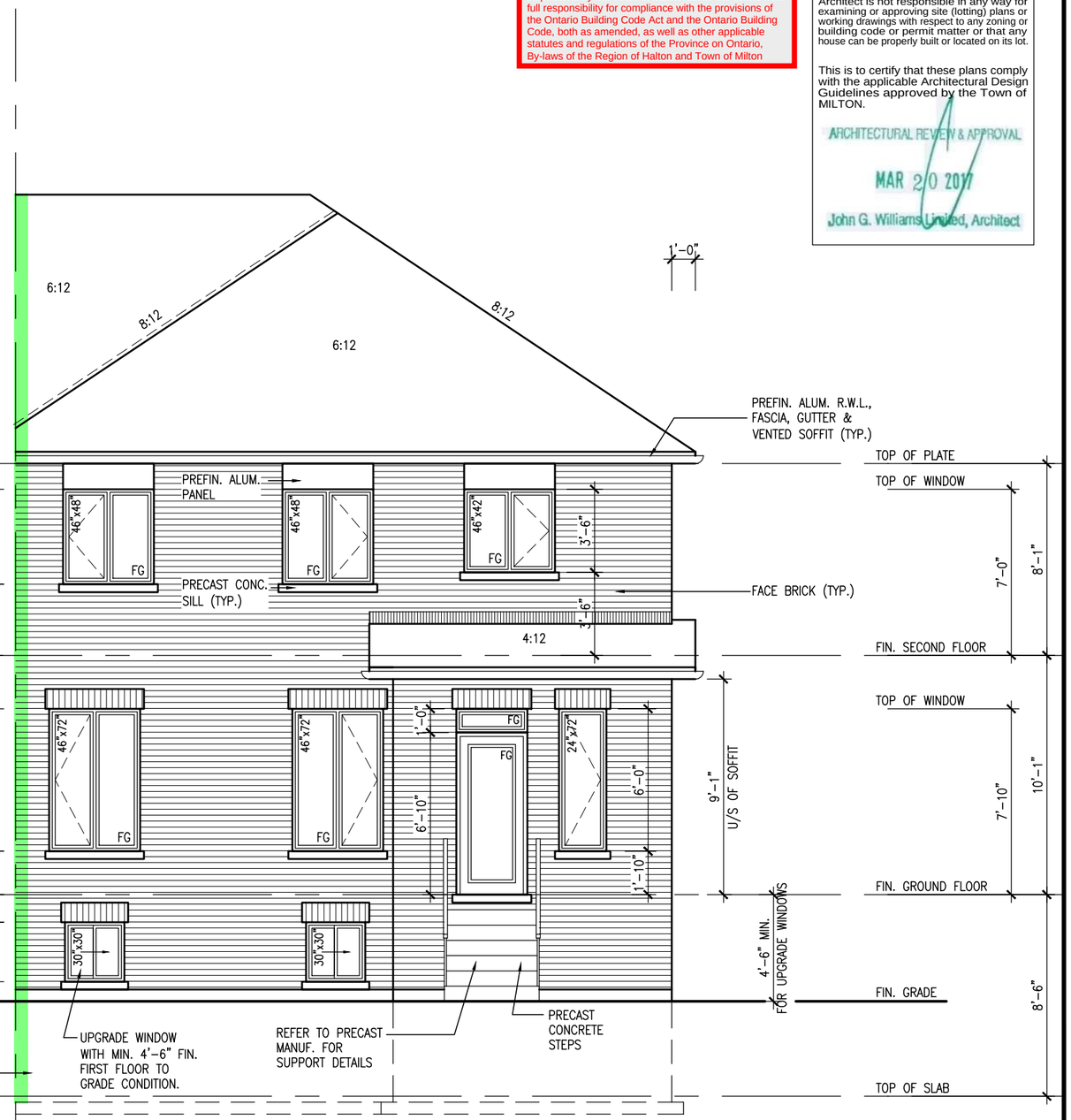


REAR ELEVATION ELEV. 2
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.



REAR ELEVATION ELEV. 2
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

IVY–7E
ENERGY STAR/ PANEL

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IVY–7E
–

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015
date: JULY, 2016
REAR ELEVATION ELEV. 2 – DECK CONDITION
drawing no.: A8a
drawn by: WT
checked by: –
scale: 3/16" = 1'-0"
file name: 16015–IVY–7E
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2284 SF.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
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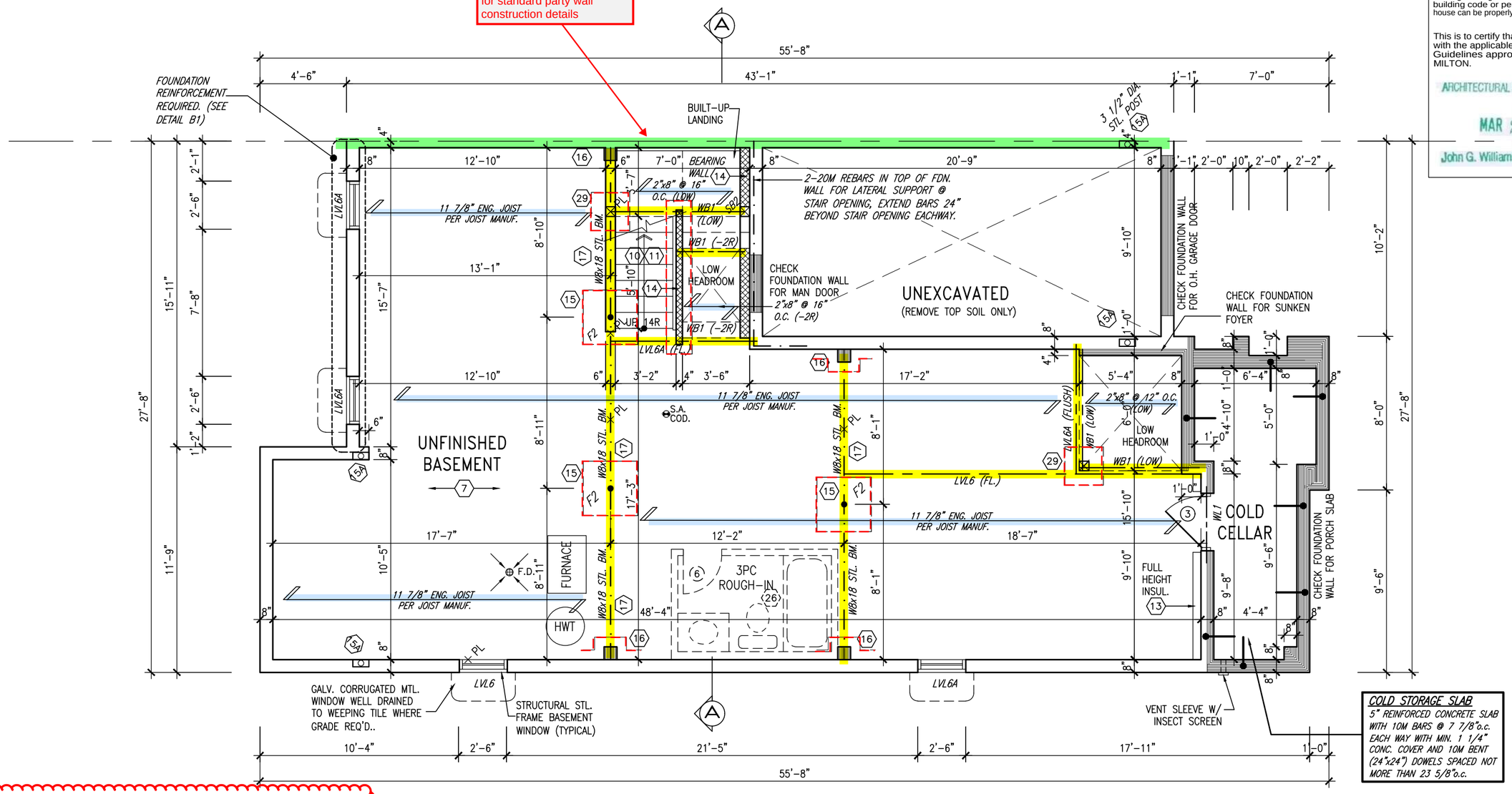
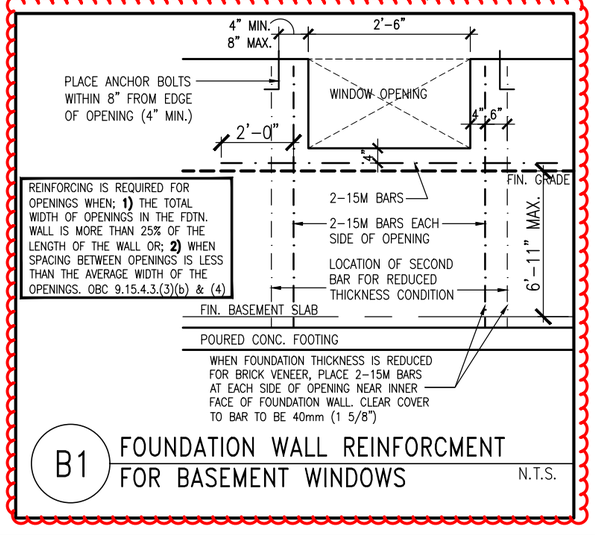


COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

BASEMENT PLAN – ELEV. '3'



REINFORCING IS REQUIRED FOR OPENINGS WHEN; **1)** THE TOTAL WIDTH OF OPENINGS IN THE FDTN. WALL IS MORE THAN 25% OF THE LENGTH OF THE WALL OR; **2)** WHEN SPACING BETWEEN OPENINGS IS LESS THAN THE AVERAGE WIDTH OF THE OPENINGS. OBC 9.15.4.3.(3)(b) & (4)

B1 FOUNDATION WALL REINFORCMENT FOR BASEMENT WINDOWS N.T.S.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 19, 2017
PLANS EXAMINER DATE
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ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
9	.	.	.
8	.	.	.
7	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
6	ISSUED FOR PERMIT.	MAR. 01/17	GW
5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FLR WINDOW PANEL ADDED.	SEP 07/16	GW
3	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
2	RELOCATE GAS/HYDRO METERS	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information Richard Vink 24488
name signature BCIN
registration information VA3 Design Inc. 42658
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va3design.com

Greenpark™

IVY–7E
ENERGY STAR/ PANEL

IVY–7E
–

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015
date: JULY, 2016
BASEMENT PLAN – ELEV. '3'
drawn by: WT
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A1b
GREG – H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY–7E\16015–IVY–7E.dwg – Tue – Apr 11 2017 – 1:42 PM

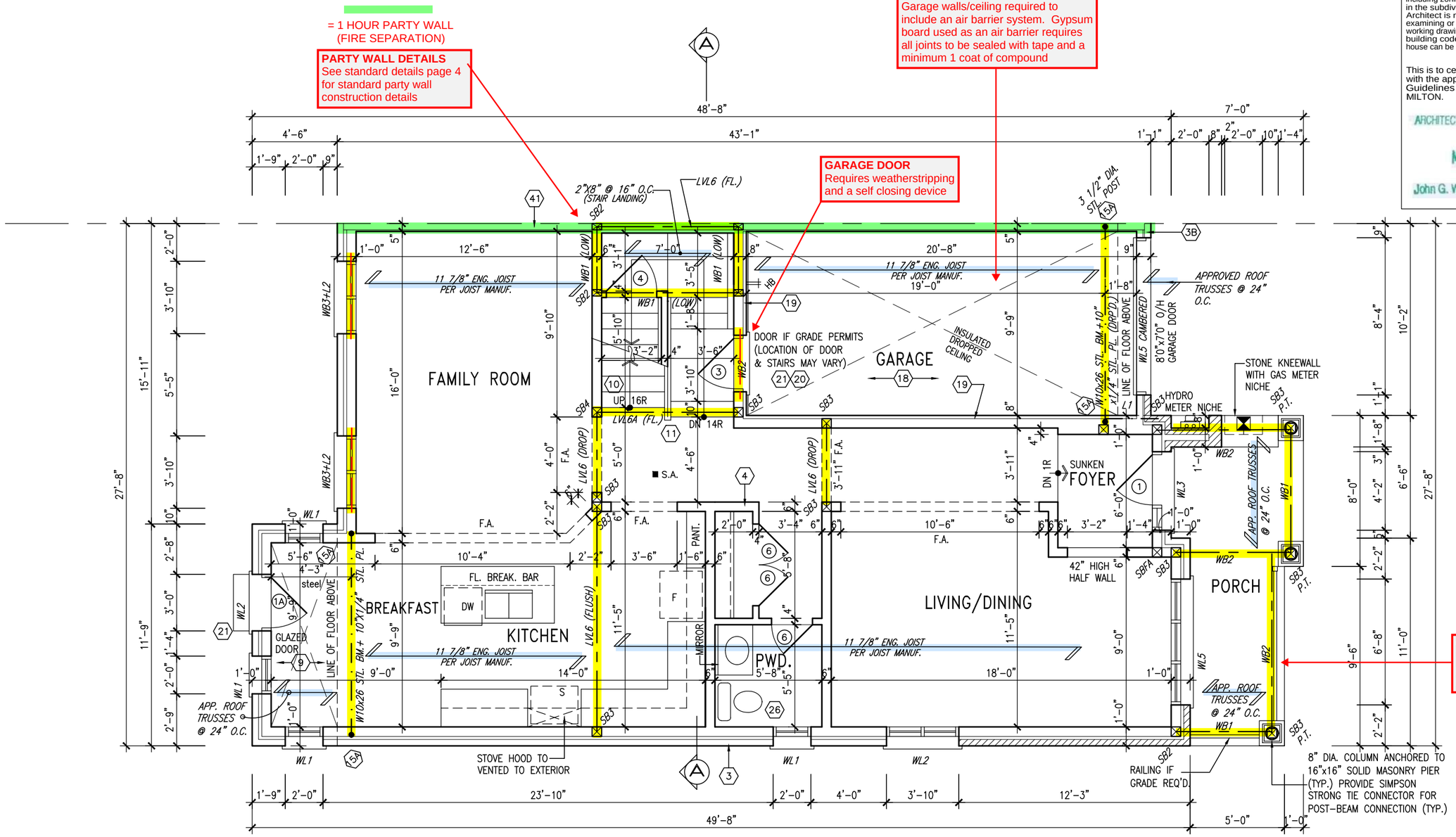
2284 SF.

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping and a self closing device



GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

GROUND FLOOR PLAN - ELEV. '3'

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MAR 20 2017
John G. Williams Limited, Architect

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ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO
STRUDET INC.
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municipality: MILTON, ONT.
IVY-7E
-
project no.: 16015
date: JULY, 2016
GROUND FLOOR PLAN - ELEV. '3'
drawn by: WT
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A2b
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-7E\16015-IVY-7E.dwg - Tue - Apr 11 2017 - 1:42 PM

IVY-7E
ENERGY STAR/ PANEL

2284 SF.

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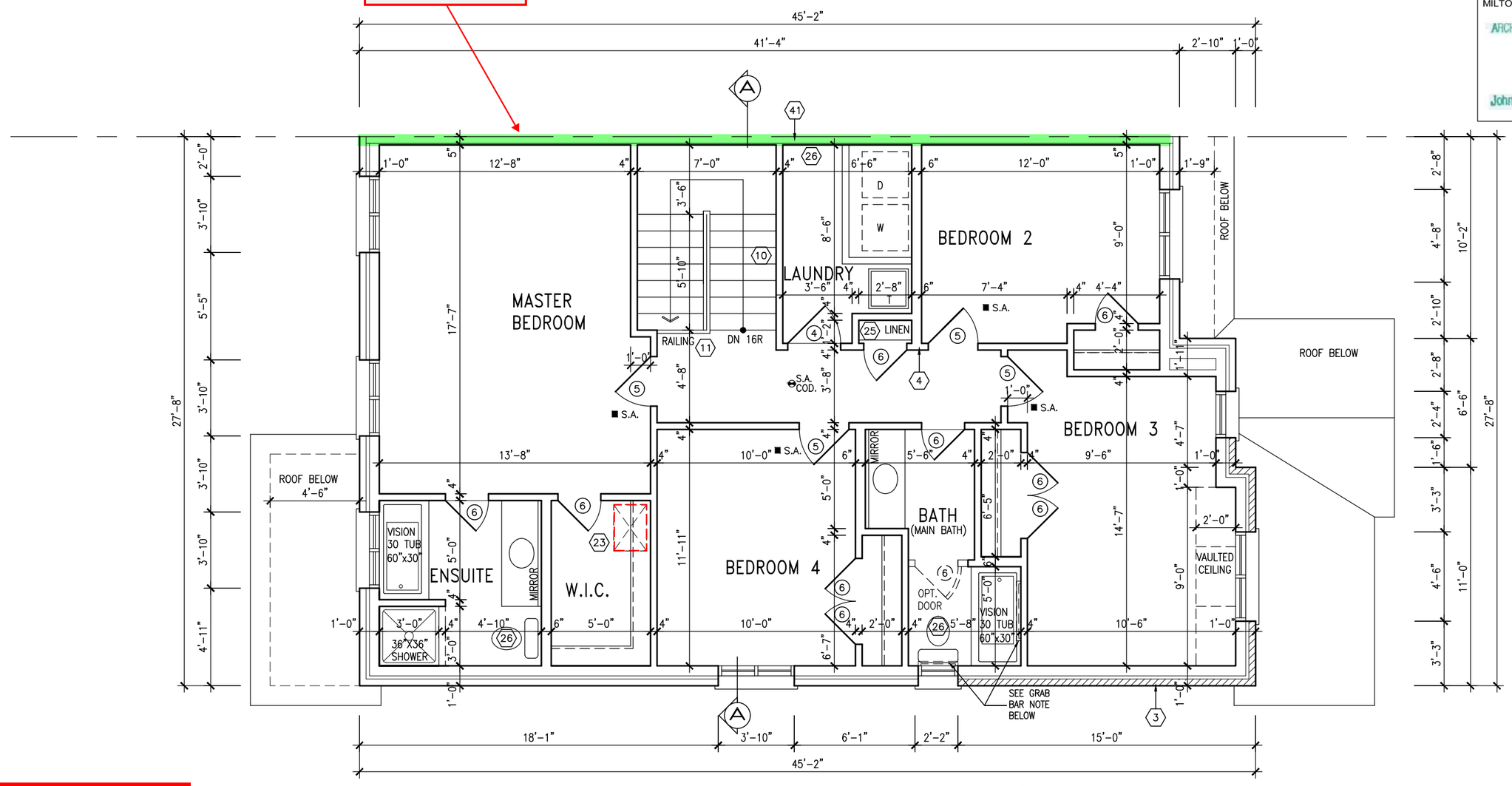
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



SECOND FLOOR PLAN ELEV. '3'

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL

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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

IVY–7E
ENERGY STAR/ PANEL

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VA3 Design Inc. — 42658

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project name	IVY–7E –
LECCO RIDGE DEV. INC.	MILTON, ONT.
project no.	16015
date	JULY, 2016
drawing	SECOND FLOOR PLAN – ELEV. '3'
drawn by	WT
checked by	–
scale	3/16" = 1'-0"
file name	16015–IVY–7E
drawing no.	A3b

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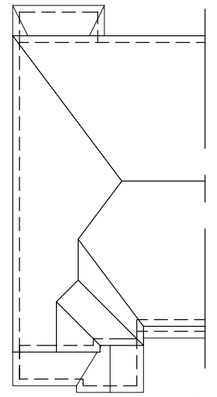
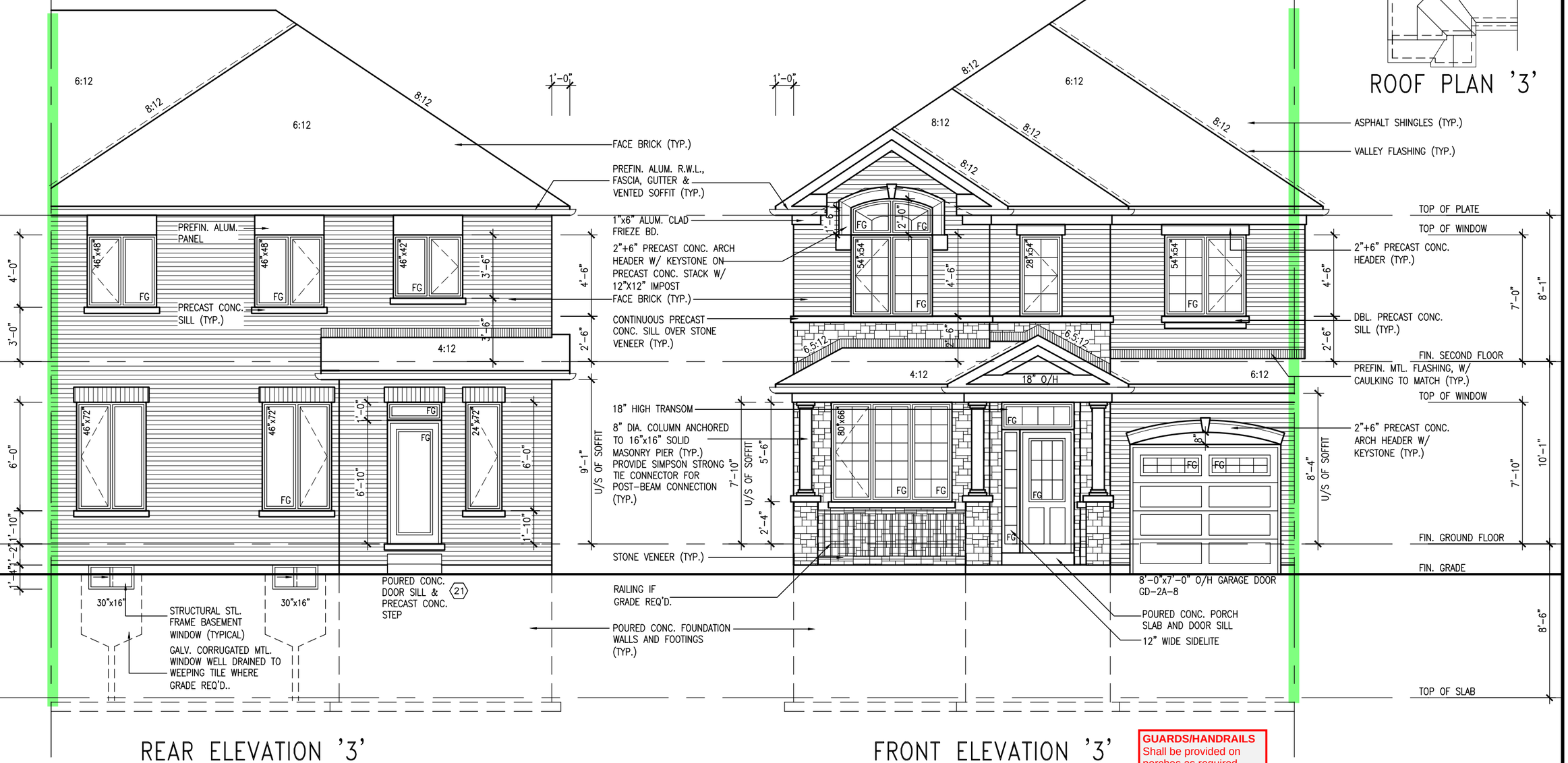


ROOF PLAN '3'



REAR ELEVATION '3'

FRONT ELEVATION '3'

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 7E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 7E MODEL
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municipality: MILTON, ONT.
IVY-7E
project no.: 16015
date: JULY, 2016
FRONT/ REAR ELEVATION - ELEV. '3'
drawn by: WT
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E
drawing no.: A4b
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-7E\16015-IVY-7E.dwg - Tue - Apr 11 2017 - 1:42 PM

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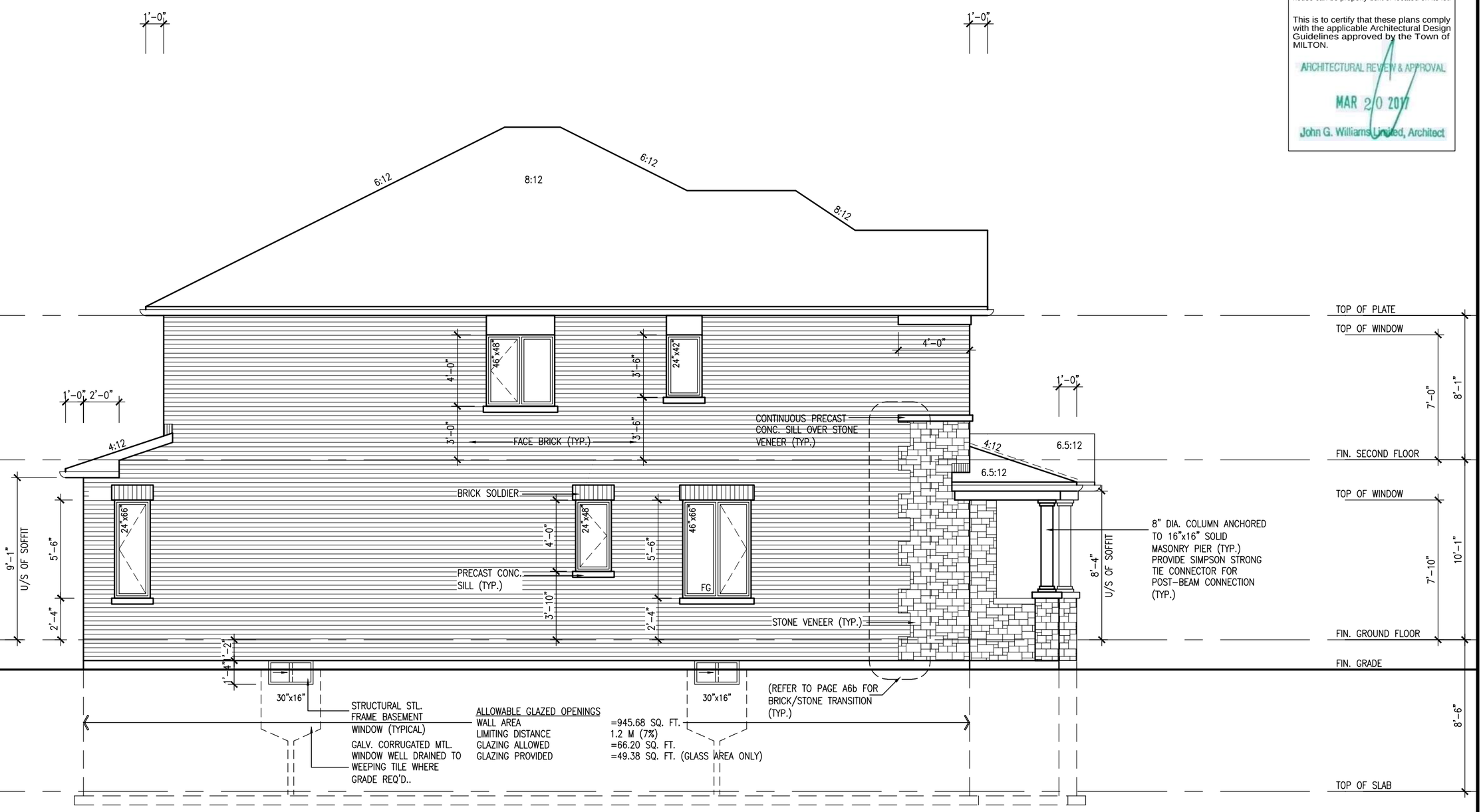

LEFT SIDE ELEVATION '3'

IVY-7E
ENERGY STAR/ PANEL

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Greenpark™

project name	LECCO RIDGE DEV. INC.
municipality	MILTON, ONT.
project no.	16015
date	JULY, 2016
drawing	LEFT SIDE ELEVATION - ELEV. '3'
drawn by	WT
checked by	-
scale	3/16" = 1'-0"
file name	16015-IVY-7E
drawing no.	A5b

IVY-7E
-

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2284 SF.

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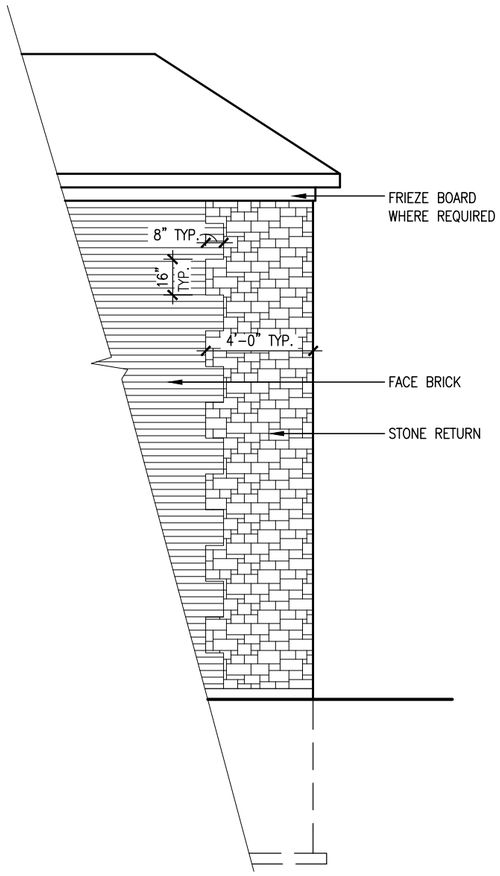
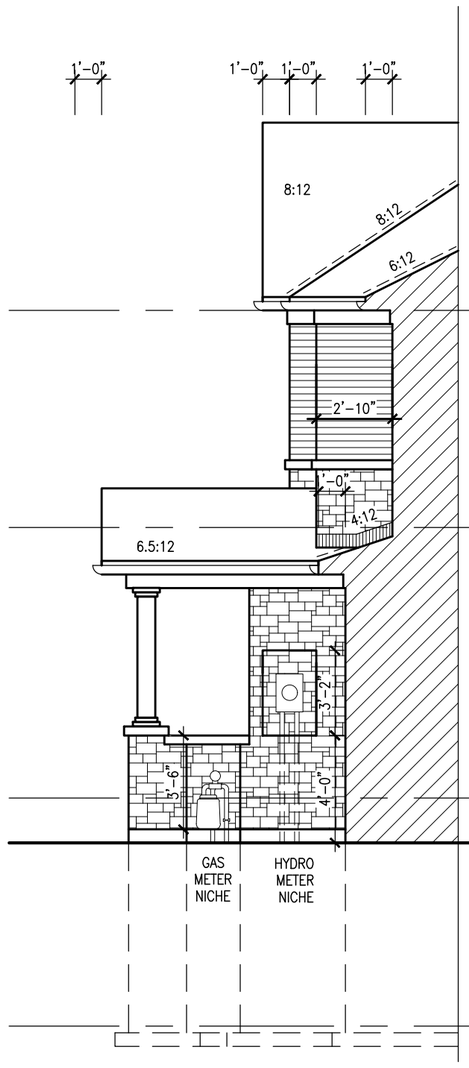
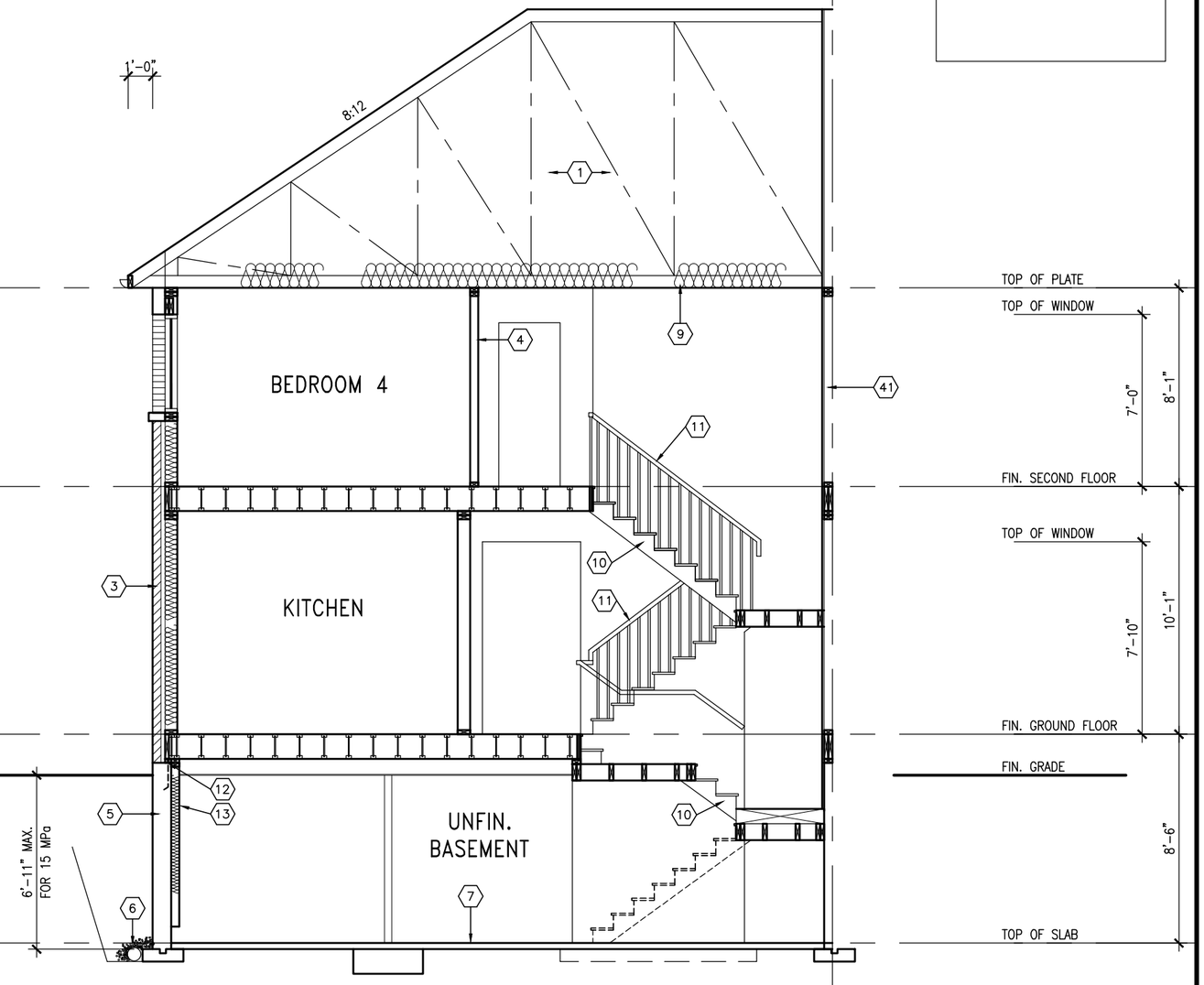


STONE TO BRICK TRANSITION DETAIL



SECTION B



SECTION A–A ELEV. 3

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REGISTERED PROFESSIONAL ENGINEER
R. MARINKOVIC
PROVINCE OF ONTARIO
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project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
IVY–7E
project no.: 16015
date: JULY, 2016
SECTION A–A ELEV. 3
drawn by: WT
checked by: –
scale: 3/16" = 1'–0"
file name: 16015–IVY–7E
drawing no.: A6b
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IVY–7E
ENERGY STAR/ PANEL

2284 SF.

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= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
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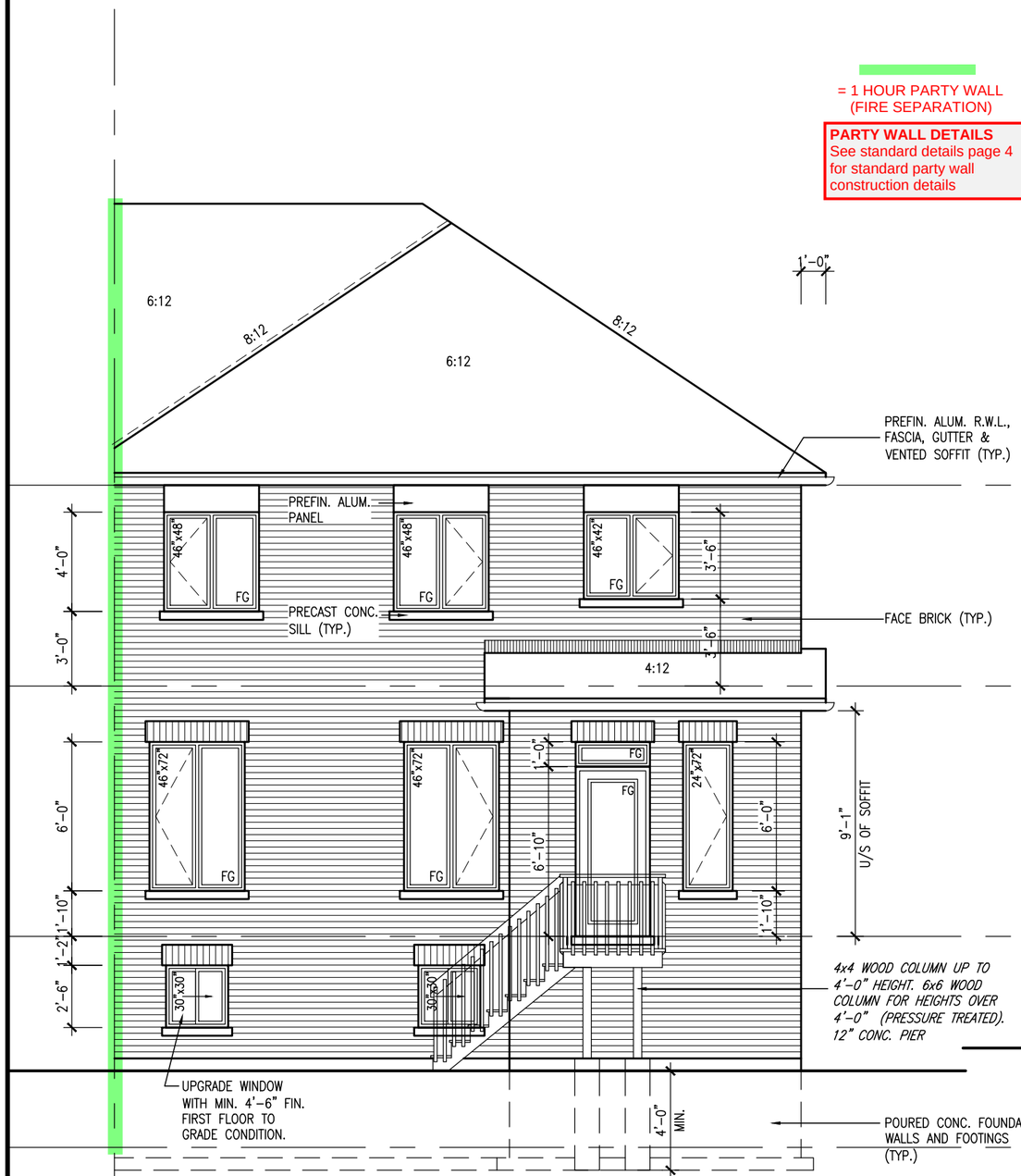
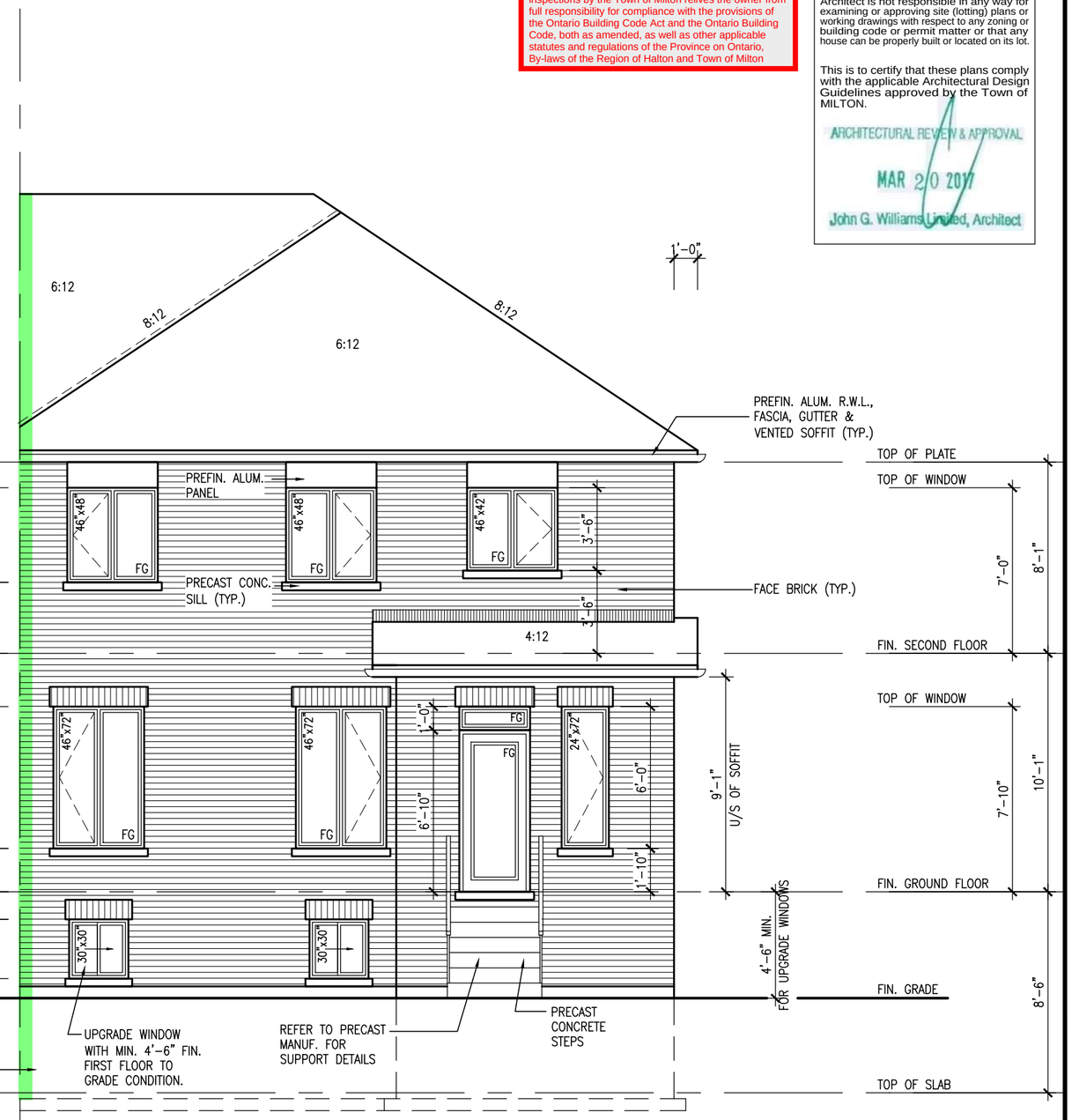


REAR ELEVATION ELEV. 3
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



REAR ELEVATION ELEV. 3
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

IVY-7E
ENERGY STAR/ PANEL

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registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark™

IVY-7E
–

project name: LECCO RIDGE DEV. INC.
municipality: MILTON, ONT.
project no.: 16015

date: JULY, 2016
REAR ELEVATION ELEV. 3 - DECK CONDITION
drawing no.: A8b

drawn by: WT
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-7E

GREG – H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-7E\16015-IVY-7E.dwg – Tue – Apr 11 2017 – 1:42 PM