

2133 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

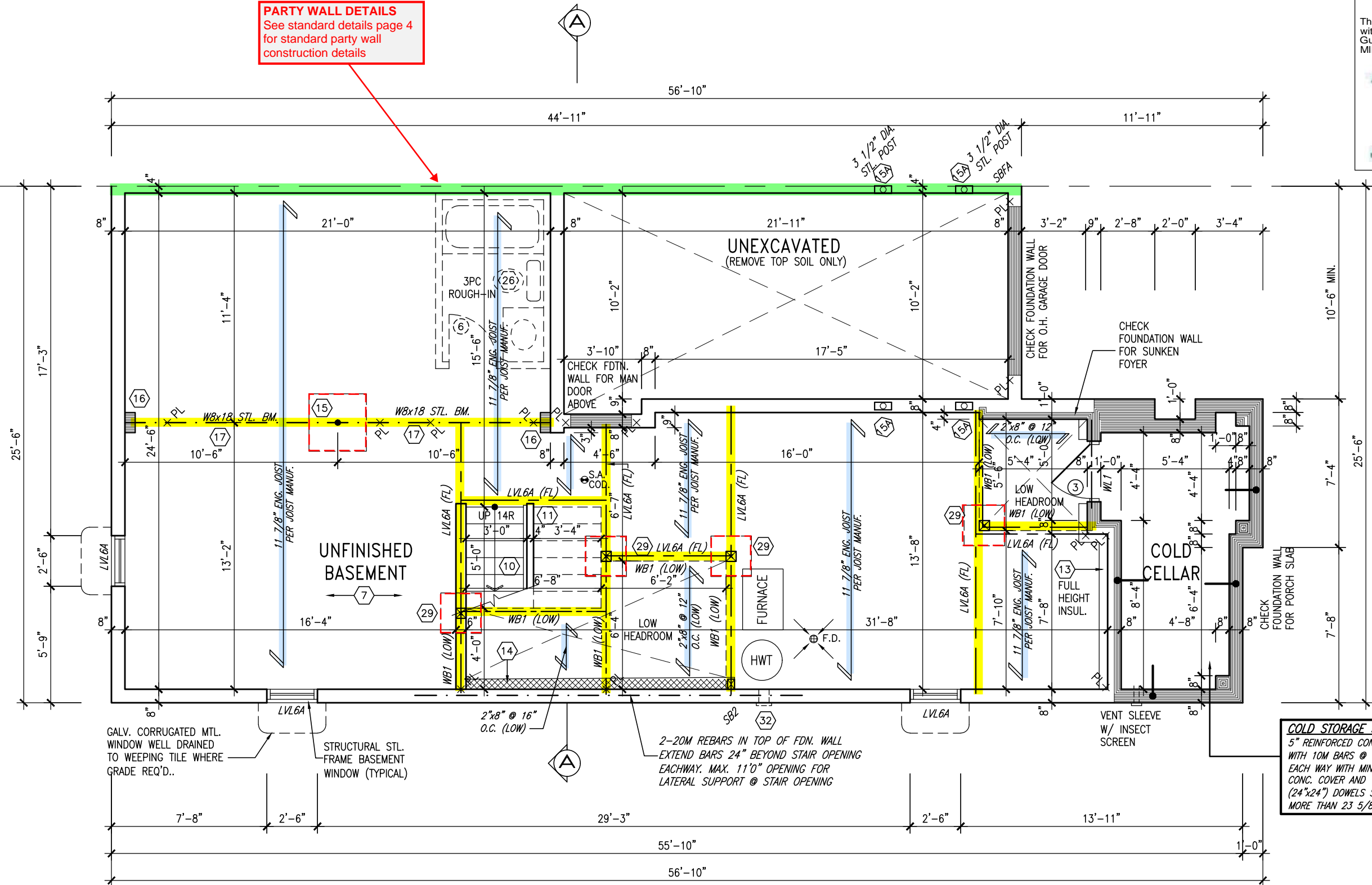
ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



BASEMENT PLAN - ELEV. '1'

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1	no. description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name **LECCO RIDGE DEV. INC** municipality **MILTON, ONT.** project no. **16015**

date **JULY, 2016** checked by **3/16" = 1'-0"** scale **16015-IVY-6E** drawing no. **A1**

BASEMENT PLAN - ELEV. '1'

IVY-6E
ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

2133 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

GARAGE AIR BARRIER

Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping
and a self closing device

NOTE:
2"x8" @ 16" O.C. P.T. w/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS w/ 5/8"
EXTERIOR GRADE SHEATHING w/
SINGLE PLY ROOF MEMBRANE
SLOPE TO DRAIN

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN - ELEV. '1'

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton



9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1	no. description	date	by

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature BCIN
name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC

date
JULY, 2016

drawn by
WT

checked by
3/16" = 1'-0"

scale
16015-IVY-6E

file name
16015-IVY-6E

drawing no.
A2

IVY-6E
ENERGY STAR/PANEL

IVY-6E

project no.

16015

municipality

MILTON, ONT.

drawing no.

A2

2133 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

8" DIA. COLUMN ANCHORED TO
16"x16" HARDIE PANEL PIER W/
RAISED HARDIE TRIM (TYP.)
PROVIDE SIMPSON STRONG TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.)

42" HIGH PREFIN. METAL
GUARD ANCHORED TO
BALCONY & EXT. WALL.
GUARD TO CONFORM TO OBC
REQUIREMENTS

SECOND FLOOR PLAN - ELEV. '1'

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

**RECEIVED
TOWN OF MILTON**
MAR 29, 2017
IVY 6E
BUILDING DIVISION

**TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL**
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1			
no.	description	date	by

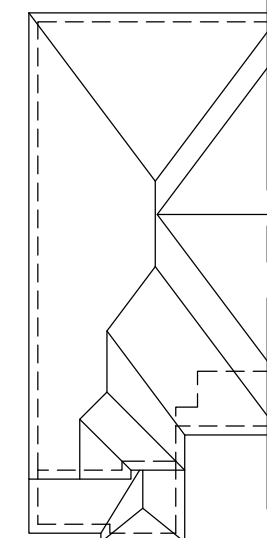
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3
DESIGN**
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC
municipality
MILTON, ONT.
project no.
16015
drawing no.
A3
date
JULY, 2016
drawn by
WT
checked by
3/16" = 1'-0"
scale
16015-IVY-6E
file name
16015-IVY-6E.dwg
Greg - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY-6E\16015-IVY-6E.dwg - Wed - Mar 1 2017 - 9:25 AM

2133 SF.



ROOF PLAN '1'

42" HIGH PREFIN. METAL GUARD
ANCHORED TO BALCONY & EXT. WALL.
GUARD TO CONFORM TO OBC
REQUIREMENTS

BRICK SOLIDER ON 4"
BRICK STACK

8" DIA. COLUMN ANCHORED
TO 16"x16" HARDIE PANEL
PIER W/ RAISED HARDIE
TRIM (TYP.)

6" CURB AT DOOR

CONT. BRICK SOLDIER BAND

FACE BRICK (TYP.)

BRICK SOLDIER ARCH W/
KEYSTONE

CONT. 4" PRECAST CONC.
SILL ON BRICK ROWLOCK
BAND (TYP.)

POURED CONC. PORCH
SLAB AND DOOR SILL

12" WIDE SIDELIGHT

TOP OF PLATE

TOP OF DOOR

TOP OF DOOR CURB

FIN. SECOND FLOOR

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

SELF-SUPPORTING BRICK
SOLIDER ARCH W/ KEYSTONE ON
10"x4" BRICK STACK

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)

FACE BRICK (TYP.)

CONT. 4" PRECAST CONC. SILL
ON BRICK ROWLOCK BAND (TYP.)

PRECAST CONC. SILL ON BRICK
ROWLOCK (TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

BRICK SOLDIER

18" HIGH TRANSOM

8" DIA. COLUMN ANCHORED
TO 16"x16" SOLID BRICK
PIER (TYP.)

PRECAST CONC. SILL (TYP.)

SUNKEN FOYER

GALV. CORRUGATED MTL. WINDOW
WELL DRAINED TO WEEPING TILE
WHERE GRADE REQ'D..

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

6:12 8:12 6:12 8:12 ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. PANEL
(TYP.)

POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP

STRUCTURAL STL.
FRAME BASEMENT
WINDOW (TYPICAL)

30"x16"

REAR ELEVATION '1'

FRONT ELEVATION '1'

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	ISSUED FOR PERMIT.	MAR. 01/17	GW	
7	ISSUED FOR PRICING.	DEC. 21/16	GW	
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	qualification information
5	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW	Richard Vink 24488 signature BCIN
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	name registration information VA3 Design Inc. 42658
3	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW	
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	
no.	description	date	by	

VA3
DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC

municipality
MILTON, ONT.

project no.
16015

date
JULY, 2016

FRONT & REAR ELEVATION - ELEV. '1'

drawn by
WT

checked by
3/16" = 1'-0"

scale
16015-IVY-6E

drawing no.
A4

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 2/0 2017

John G. Williams Limited, Architect




IVY-6E
ENERGY STAR/PANEL

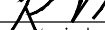


BUILDING: REVIEWED	
SCOTT SHERRIFFS	APR 18, 2017
PLANS EXAMINER	DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	ISSUED FOR PERMIT.	MAR. 01/17	GW	 signature
7	ISSUED FOR PRICING.	DEC. 21/16	GW	
6	REVISED, ADD SUNKEN FOYER COND.	OCT 03/16	WT	
5	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW	
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	
3	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW	Richard Vink 24488 name BCIN
2	REVISED, RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	VA3 Design Inc. 42658 registration information
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no.	description	date		

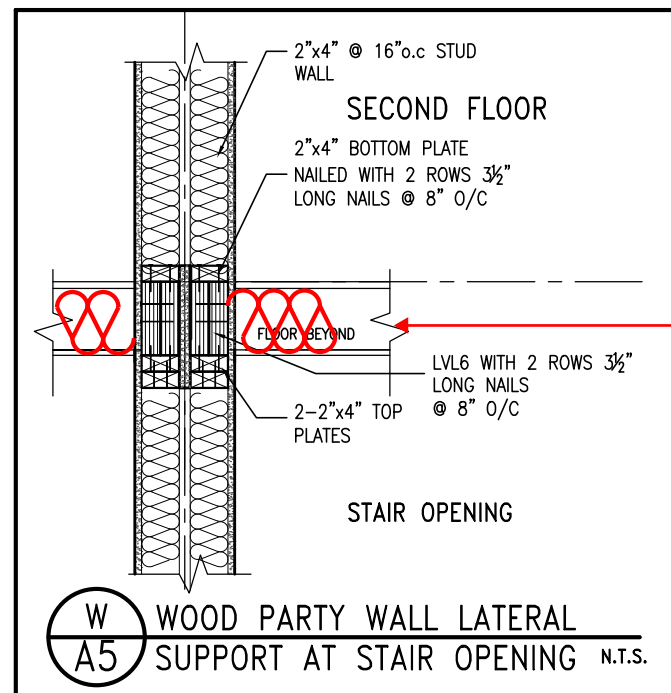
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p>		
<p>qualification information</p>		
<p>Richard Vink</p>		<p>24488</p>
<p>name</p>	<p>signature</p>	<p>BCIN</p>
<p>registration information</p>		
<p>VAS Design Inc.</p>		<p>42658</p>
<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>		



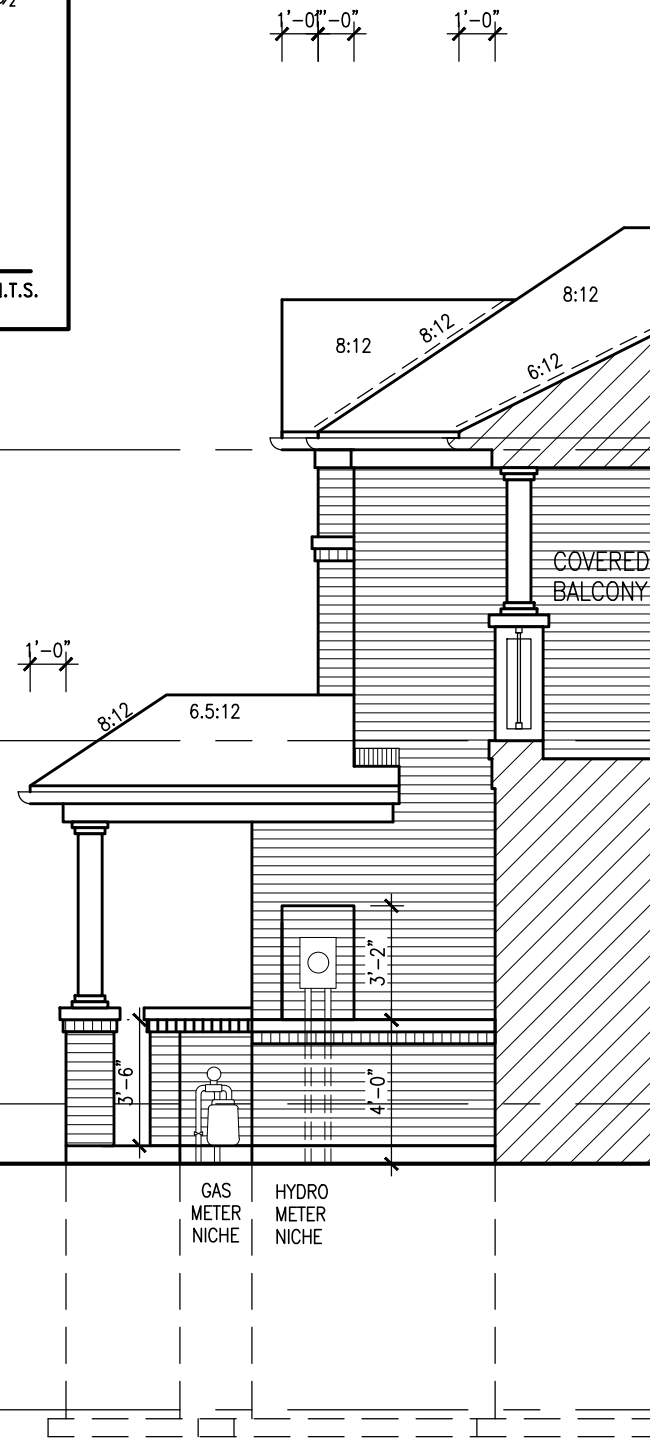
project name	municipality		project no.
LECCO RIDGE DEV. INC	MILTON, ONT.		16015
date			drawing no.
JULY, 2016			LEFT SIDE ELEVATION - ELEV. '1'
drawn by	checked by	scale	file name
WT	-	3/16" = 1'-0"	16015-IYY-6E
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IYY-IYY-6E\16015-IYY-6E.dwg - Wed - Mar 1 2017 - 9:25 AM			A5

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

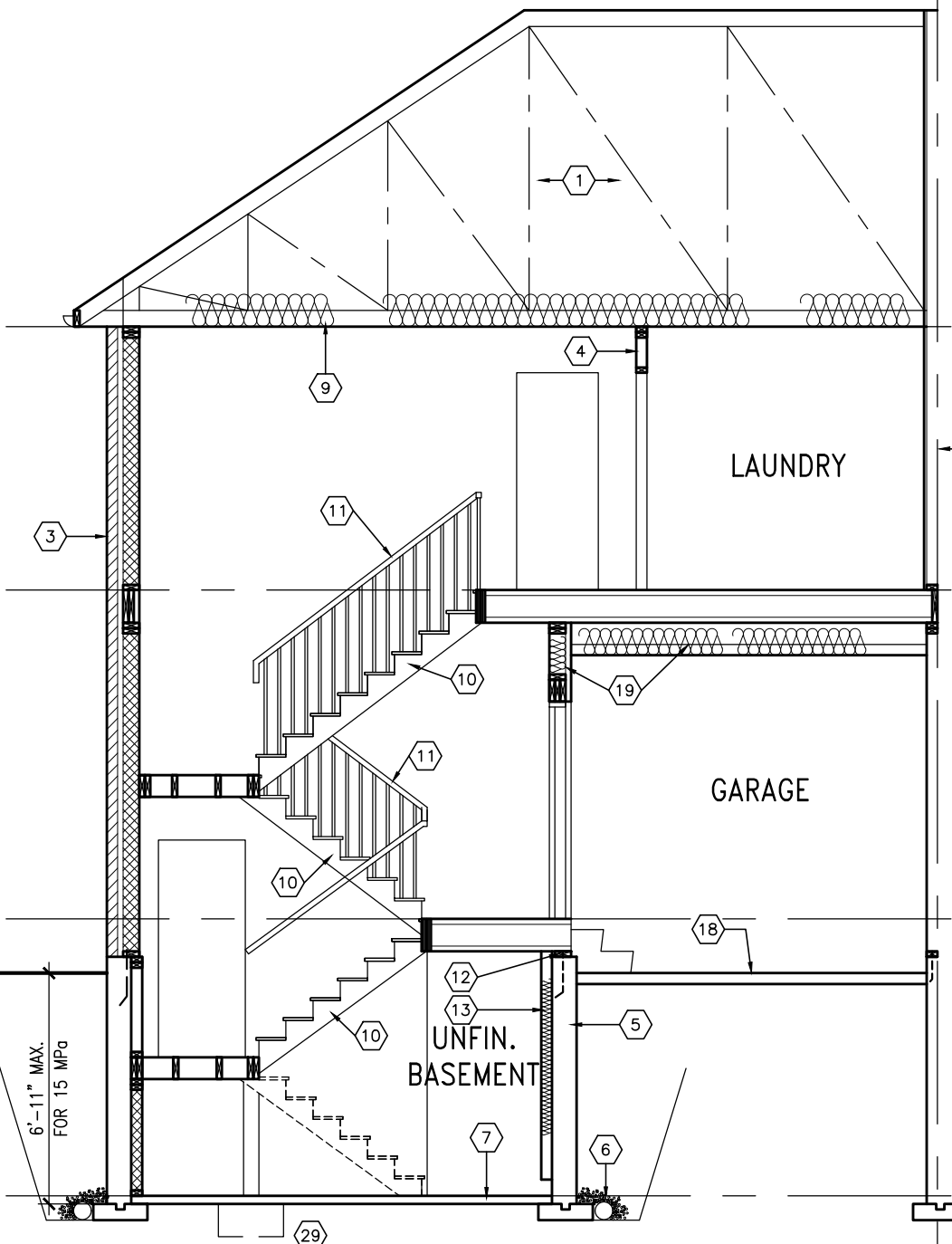
2133 SF.



PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



SECTION B



SECTION A-A ELEV. 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

TOP OF PLATE

TOP OF WINDOW

7'-0"

8'-1"

FIN. SECOND FLOOR

TOP OF WINDOW

7'-10"

10'-1"

FIN. GROUND FLOOR

8'-6"

TOP OF SLAB

IVY-6E
ENERGY STAR/PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION



9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1			
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name LECCO RIDGE DEV. INC	municipality MILTON, ONT.	project no. 16015
date JULY, 2016	checked by WT	scale 3/16" = 1'-0"
file name 16015-IVY-6E	drawing no. A6	

GREG -- H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY-6E\16015-IVY-6E.dwg -- Wed -- Mar 1 2017 -- 9:25 AM

2133 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

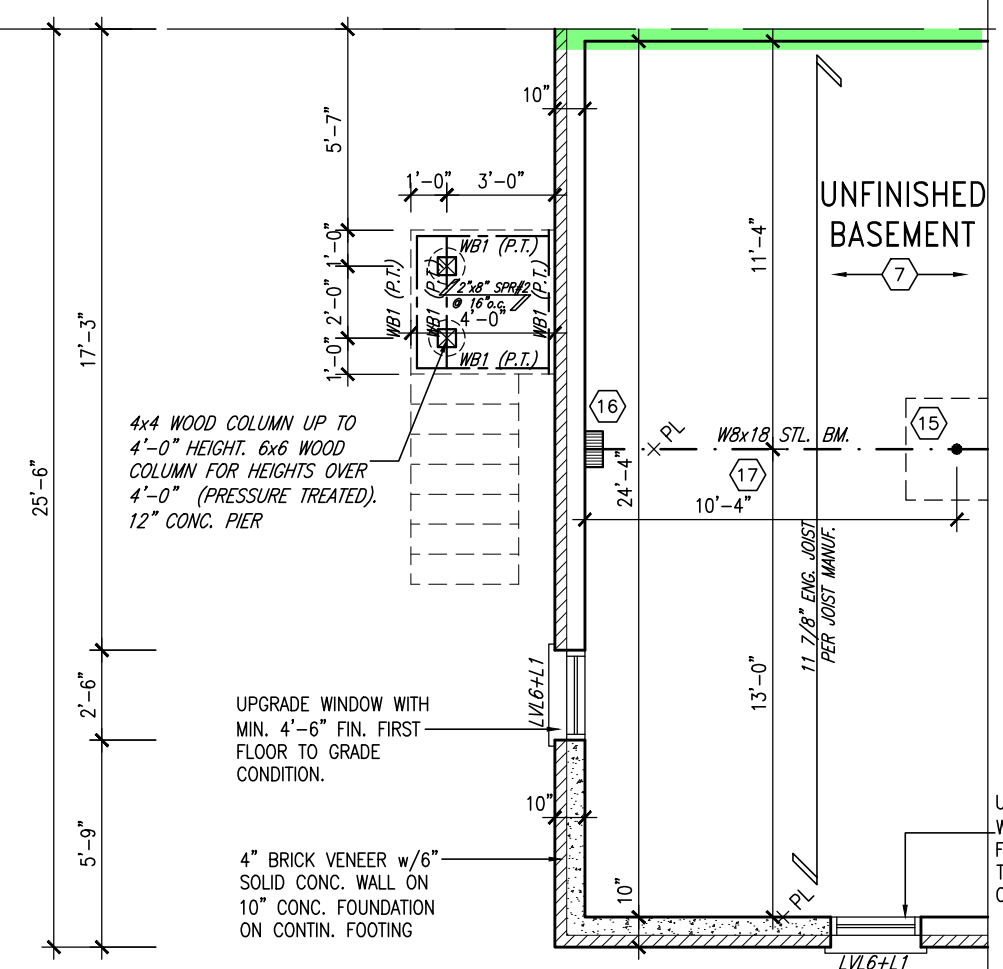
= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

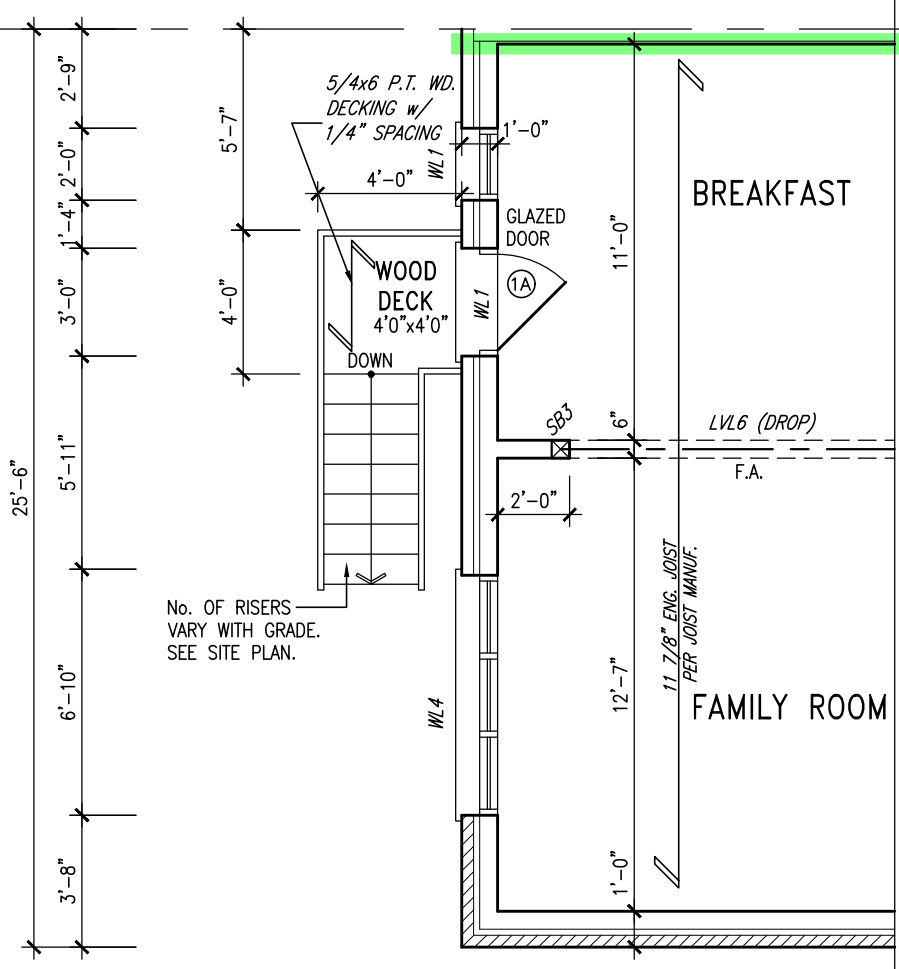
TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



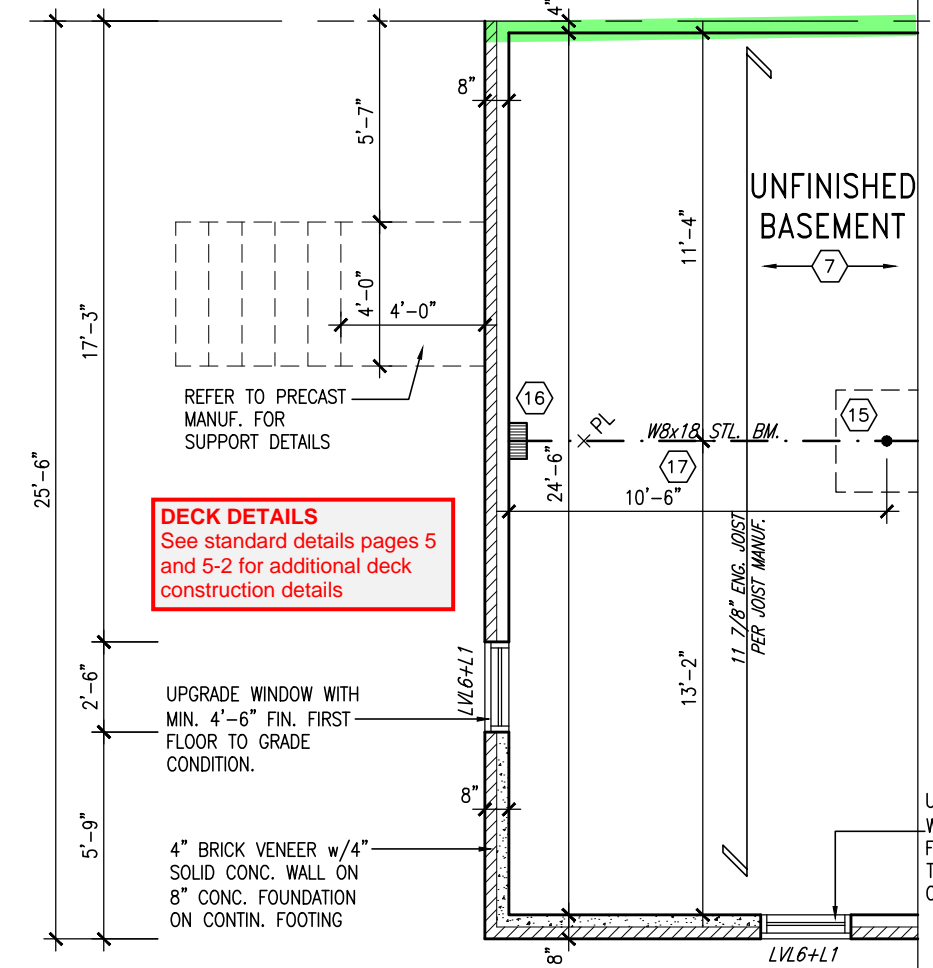
IVY-6E
ENERGY STAR/PANEL



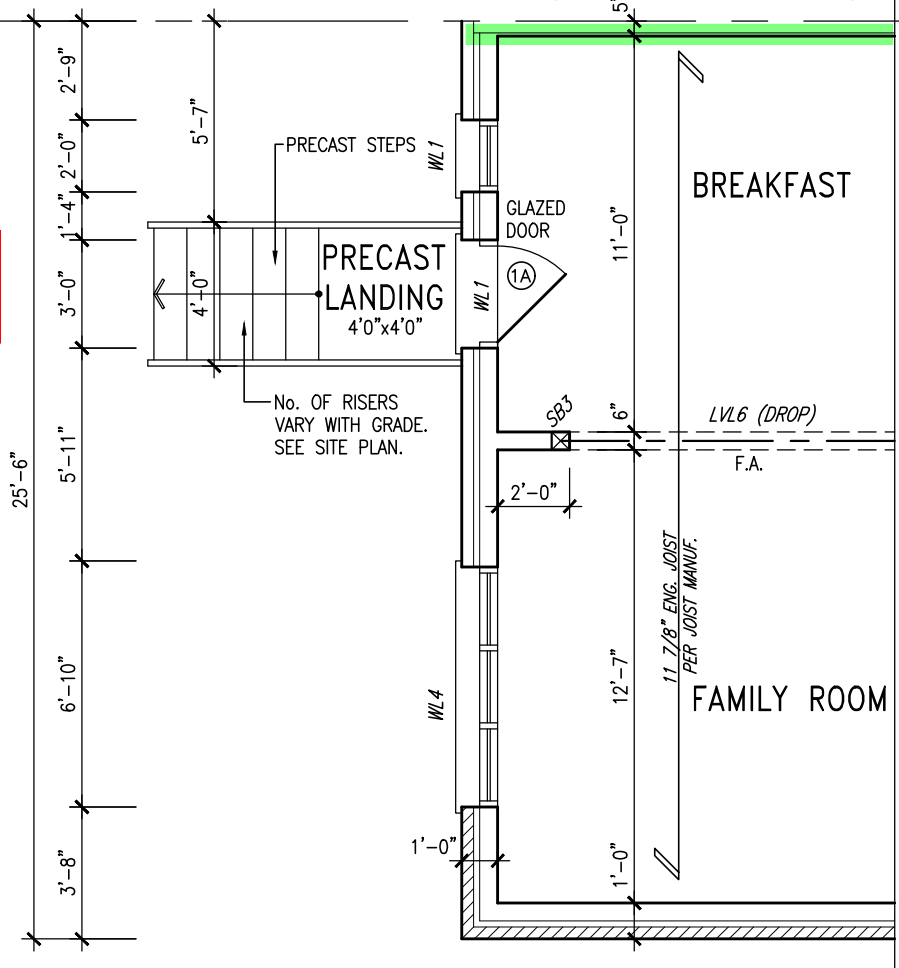
PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)



PART. BASEMENT PLAN W.O.D
CONDITION (7R MAX.)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

9	ISSUED FOR PERMIT.	MAR. 01/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7	ISSUED FOR PRICING.	DEC. 21/16	GW	qualification information
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	Richard Vink 24488
5	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW	name registration information BCIN
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	VA3 Design Inc. 42658
3	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW	
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	
no.	description	date	by	

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		IVY-6E	
project name LECCO RIDGE DEV. INC		project no. 16015	
date JULY, 2016		drawing no. A7	
drawn by WT		checked by 3/16" = 1'-0"	
scale 3/16" = 1'-0"		PART. PLANS - DECK CONDITION	
file name 16015-IVY-6E		drawing no. A7	
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY-6E\16015-IVY-6E.dwg -- Wed -- Mar 1 2017 -- 9:25 AM			

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

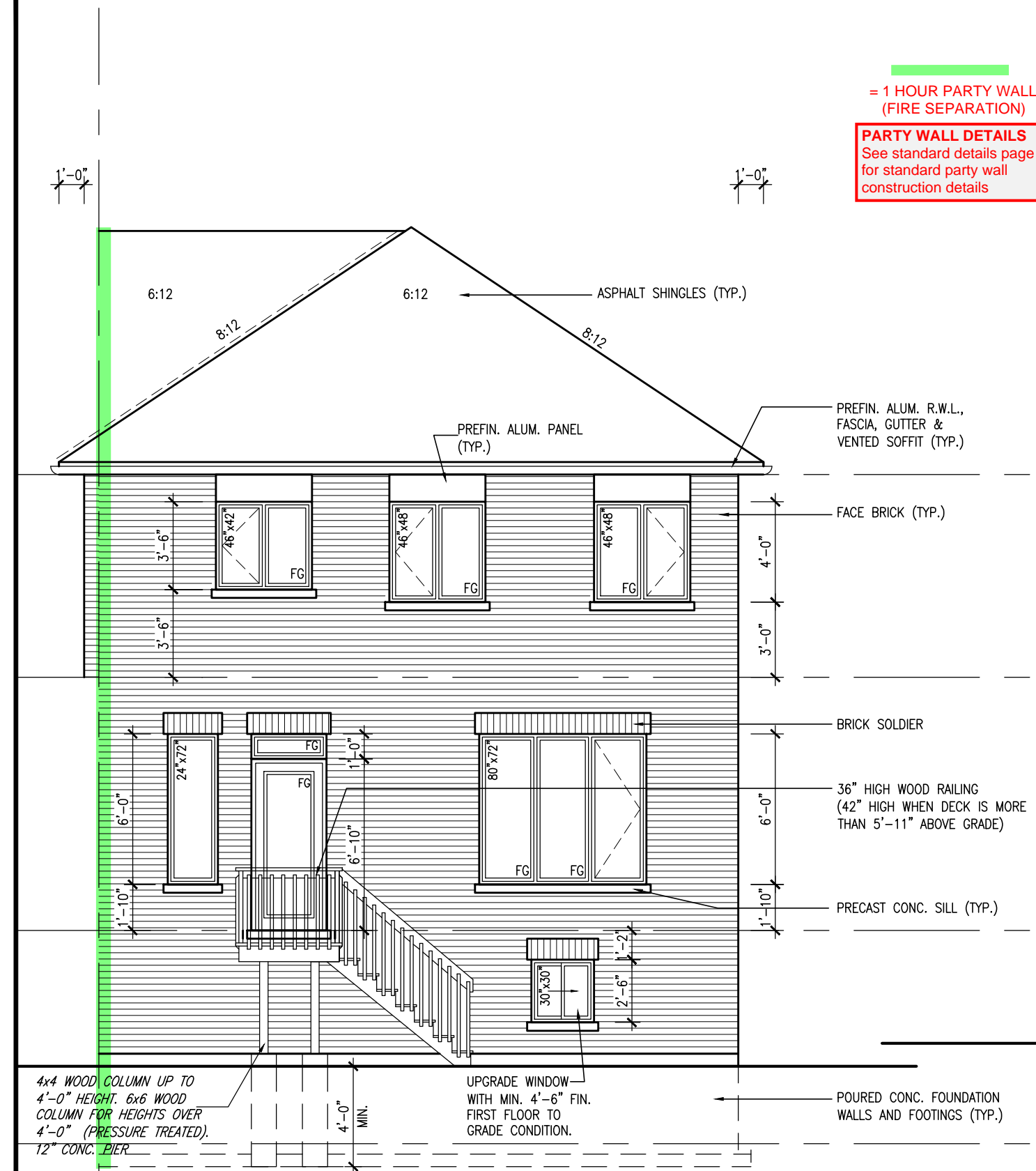
TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 18, 2017
DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

2133 SF.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

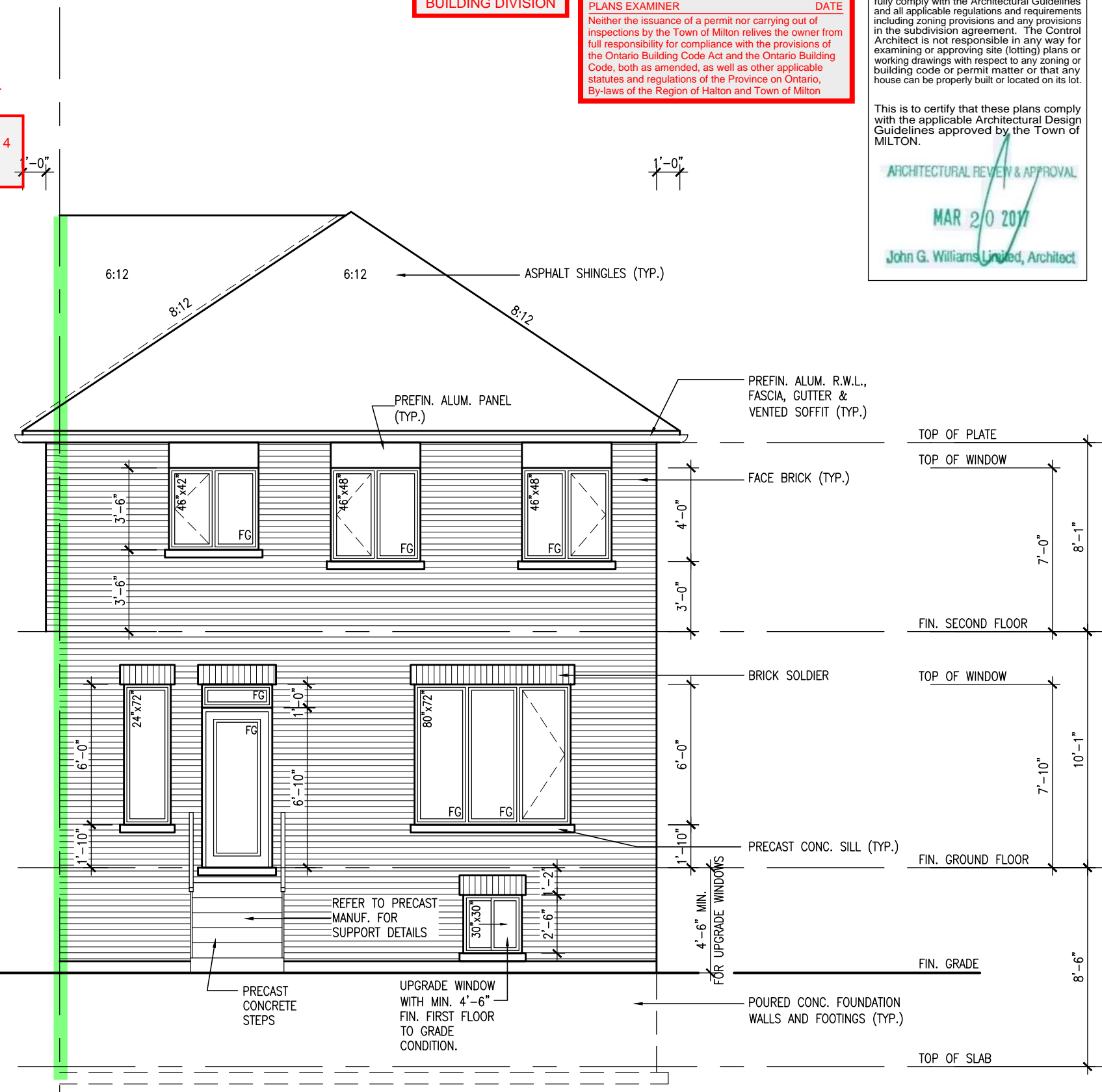
= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

IVY-6E
ENERGY STAR/PANEL

9	ISSUED FOR PERMIT.	MAR. 01/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	24488	BCIN	42658
8	ISSUED FOR PRICING.	DEC. 21/16	GW	qualification information			
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	Richard Vink			
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW	name			
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information			
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW	VA3 Design Inc.			
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	date			
1				by			

project name	LECCO RIDGE DEV. INC	municipality	MILTON, ONT.	project no.	16015
date	JULY, 2016	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
drawn by	WT	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
GREG -- H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-6E\16015-IVY-6E.dwg -- Wed -- Mar 1 2017 -- 9:25 AM					

VA3 DESIGN	120-255 Consumers Rd Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com
------------	--

Greenpark.	IVY-6E
------------	--------

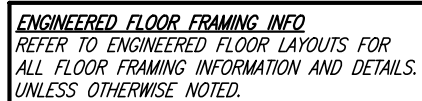
drawing no.	A8
-------------	----

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL

MAR 2/0 2017

John G. Williams Limited, Architect



ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

BUILDING: REVIEWED	
SCOTT SHERRIFFS	APR 18, 2017
PLANS EXAMINER	DATE
<p>Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton</p>	



VA3
DESIGN
120-255 Consumers Rd
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name	municipality	project no.
LECCO RIDGE DEV. INC	MILTON, ONT.	16015
date		drawing no.
JULY, 2016		
BASEMENT PLAN - ELEV. '2'		
drawn by	checked by	scale
WT	-	3/16" = 1'-0"
file name		
16015-IY-6E		
<p> <small> GREG - H:\ARCHIVE\WORKING\16015.GRE\UNITS\W\IY-6E\16015-IY-6E.dwg - Wed - Mar 1 2017 - 9:25 AM </small> </p>		

IVY-6E
ENERGY STAR/PANEL

VY-6E

6015

no.

1

a1

1

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

2133 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

GARAGE AIR BARRIER

Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound

GARAGE DOOR

Requires weatherstripping
and a self closing device

NOTE:
2"x8" @ 16" O.C. P.T. w/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS w/ 5/8"
EXTERIOR GRADE SHEATHING w/
SINGLE PLY ROOF MEMBRANE
SLOPE TO DRAIN

GUARDS/HANDRAILS

Shall be provided on
porches as required
based on final lot grading

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

GROUND FLOOR PLAN - ELEV. '2'

ENGINEERED FLOOR SYSTEM

Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

9.					
8	ISSUED FOR PERMIT.	MAR. 01/17	GW		
7	ISSUED FOR PRICING.	DEC. 21/16	GW		
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT		
5	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW		
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW		
3	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW		
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW		
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
name
registration information
VA3 Design Inc.
24488
BCIN
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC
municipality
MILTON, ONT.
project no.
16015
drawing no.
A2a
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-6E
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-6E.dwg - Wed - Mar 1 2017 - 9:25 AM

IVY-6E
ENERGY STAR/PANEL

GROUND FLOOR PLAN - ELEV. '2'

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

2133 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

8" DIA. COLUMN ANCHORED TO
16"x16" HARDIE PANEL PIER W/
RAISED HARDIE TRIM (TYP.)
PROVIDE SIMPSON STRONG TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.)

42" HIGH PREFIN. METAL
GUARD ANCHORED TO
BALCONY & EXT. WALL.
GUARD TO CONFORM TO
OBC REQUIREMENTS

RAISED TOP
OF PLATE 24"

SECOND FLOOR PLAN - ELEV. '2'

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

**RECEIVED
TOWN OF MILTON**
MAR 29, 2017
IVY 6E
BUILDING DIVISION

**TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL**
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1	ISSUED FOR PERMIT.	MAR. 01/17	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

**VA3
DESIGN**
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	LECCO RIDGE DEV. INC	municipality	MILTON, ONT.	project no.	16015
date	JULY, 2016	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
drawn by	WT	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
date	JULY, 2016	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
drawn by	WT	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
date	JULY, 2016	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
drawn by	WT	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
date	JULY, 2016	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
drawn by	WT	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
date	JULY, 2016	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
drawn by	WT	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
date	JULY, 2016	checked by	scale	3/16" = 1'-0"	16015-IVY-6E
drawn by	WT	checked by	scale	3/16" = 1'-0"	16015-IVY-6E

**IVY-6E
ENERGY STAR/PANEL**

IVY-6E

SECOND FLOOR PLAN - ELEV. '2'

drawing no.

A3a

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

2133 SF.

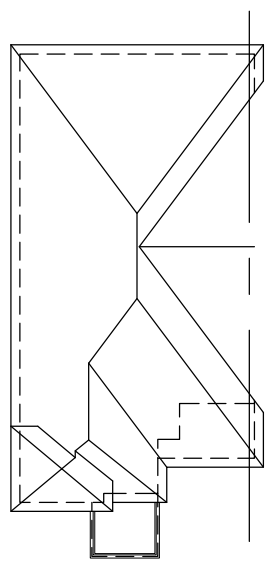
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

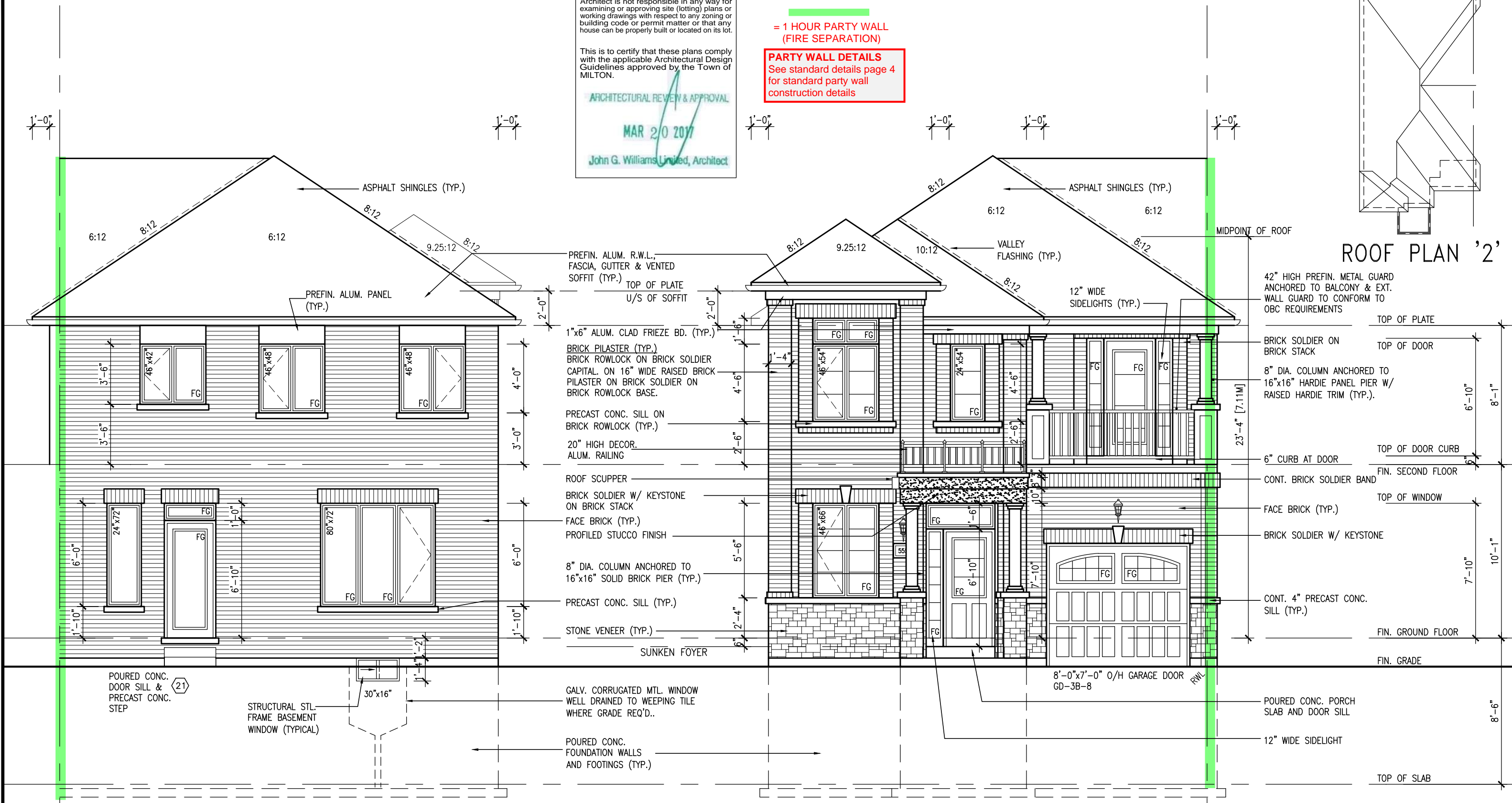
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



ROOF PLAN '2'



REAR ELEVATION 2

FRONT ELEVATION '2'

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

IVY-6E
ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

9	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
5	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
3	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		project name LECCO RIDGE DEV. INC		municipality MILTON, ONT.		project no. 16015	
date JULY, 2016		checked by WT		scale 3/16" = 1'-0"		file name 16015-IVY-6E	
drawing no. A4a		FRONT & REAR ELEVATION - ELEV. '2'					

GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-6E\16015-IVY-6E.dwg - Wed - Mar 1 2017 - 9:25 AM

2133 SF.

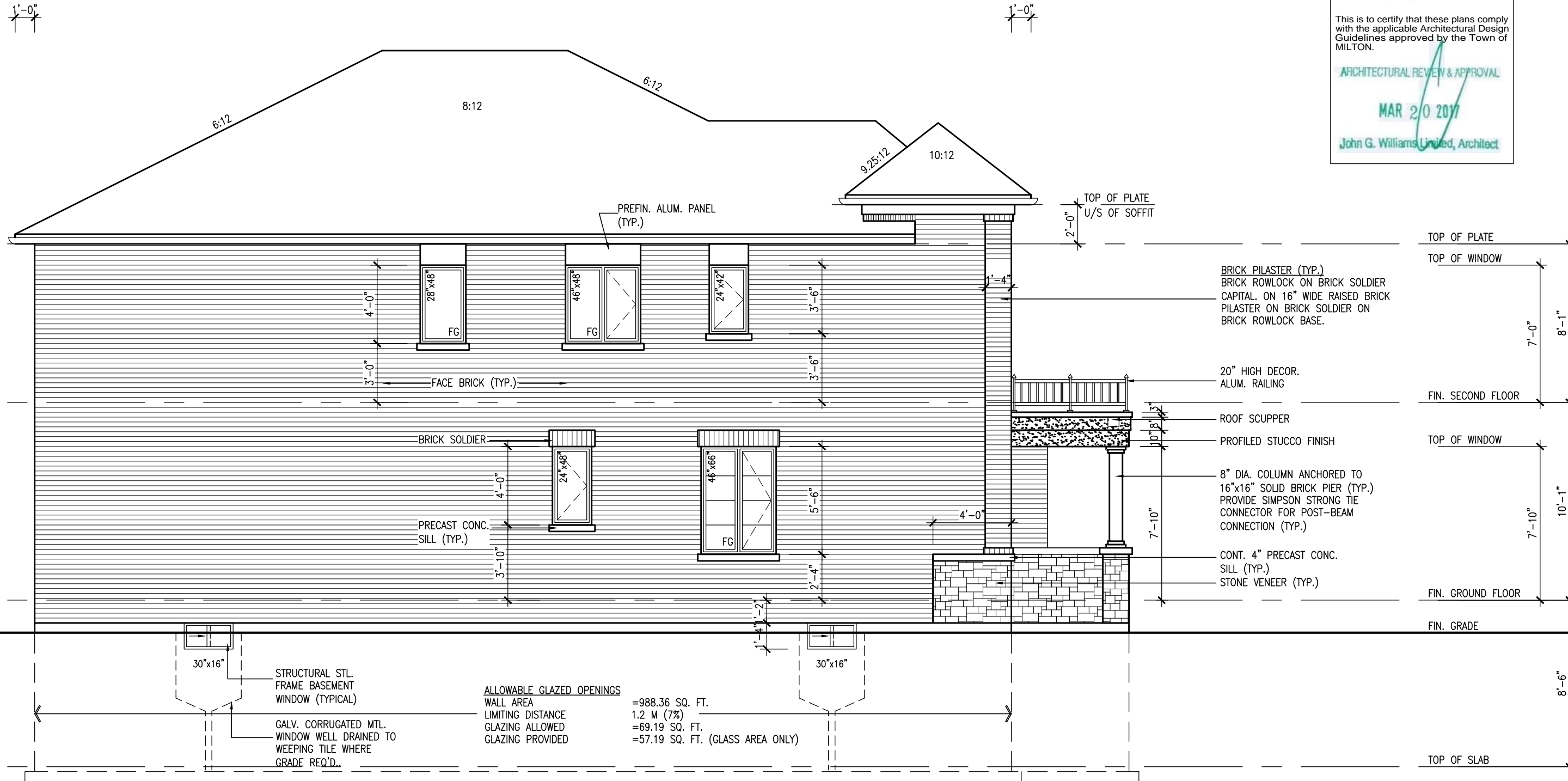
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect



LEFT SIDE ELEVATION '2'

IVY-6E
ENERGY STAR/PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

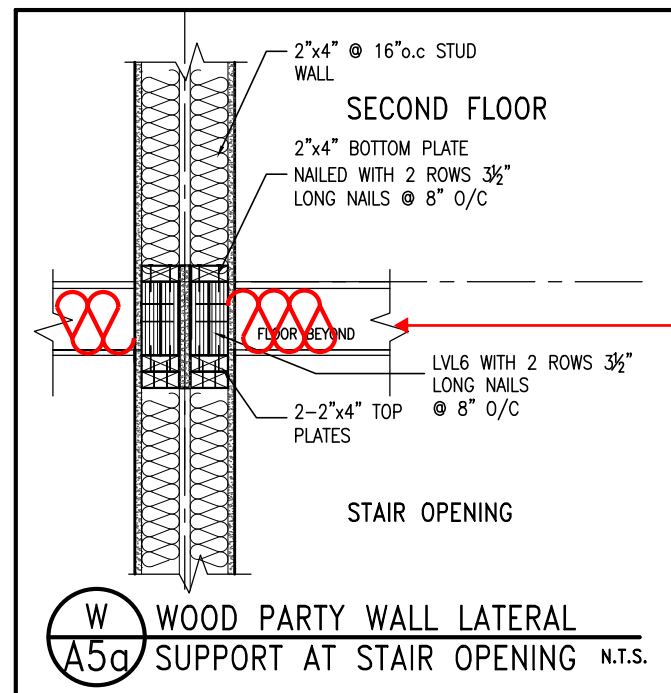
9	ISSUED FOR PERMIT.	MAR. 01/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	ISSUED FOR PRICING.	DEC. 21/16	GW	qualification information
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	Richard Vink 24488 BCIN
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW	signature
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	name registration information
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW	VA3 Design Inc. 42658
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	
1				
no.	description	date	by	

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

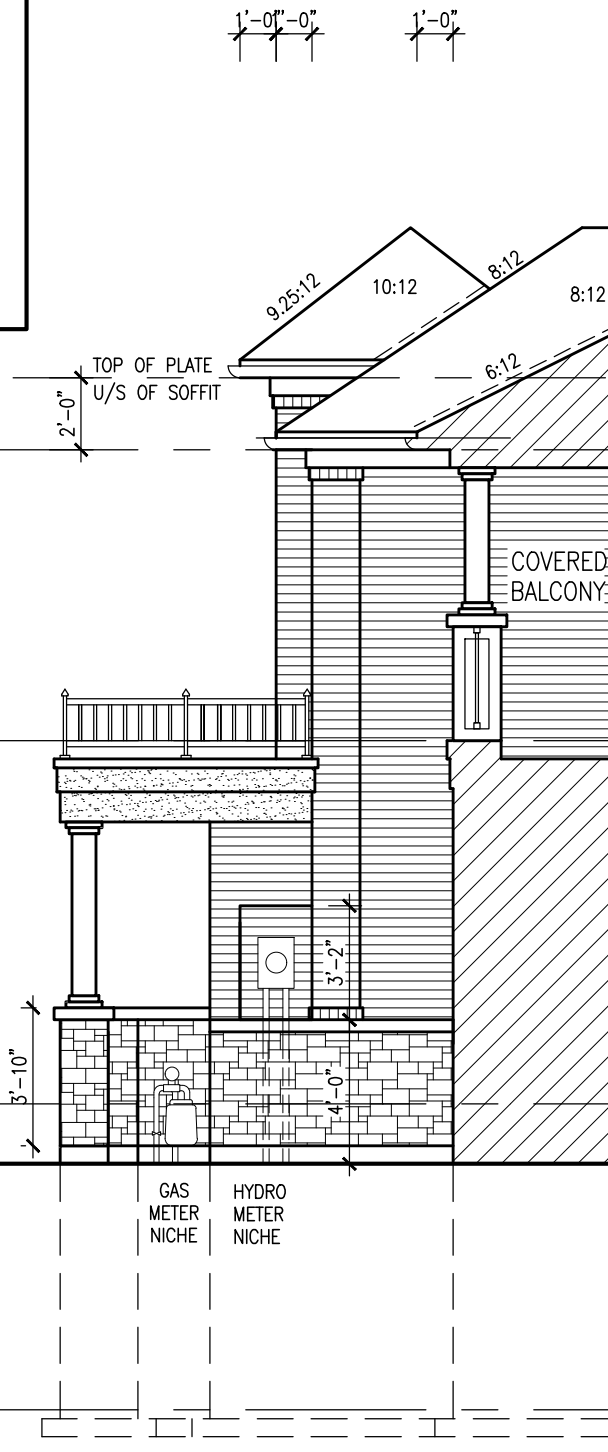
Greenpark.

project name	LECCO RIDGE DEV. INC	municipality	MILTON, ONT.	project no.	16015
date	JULY, 2016	checked by	scale	16015-IVY-6E	
drawn by	WT	3/16" = 1'-0"			
file name	16015-IVY-6E				
drawing no.	A5a				

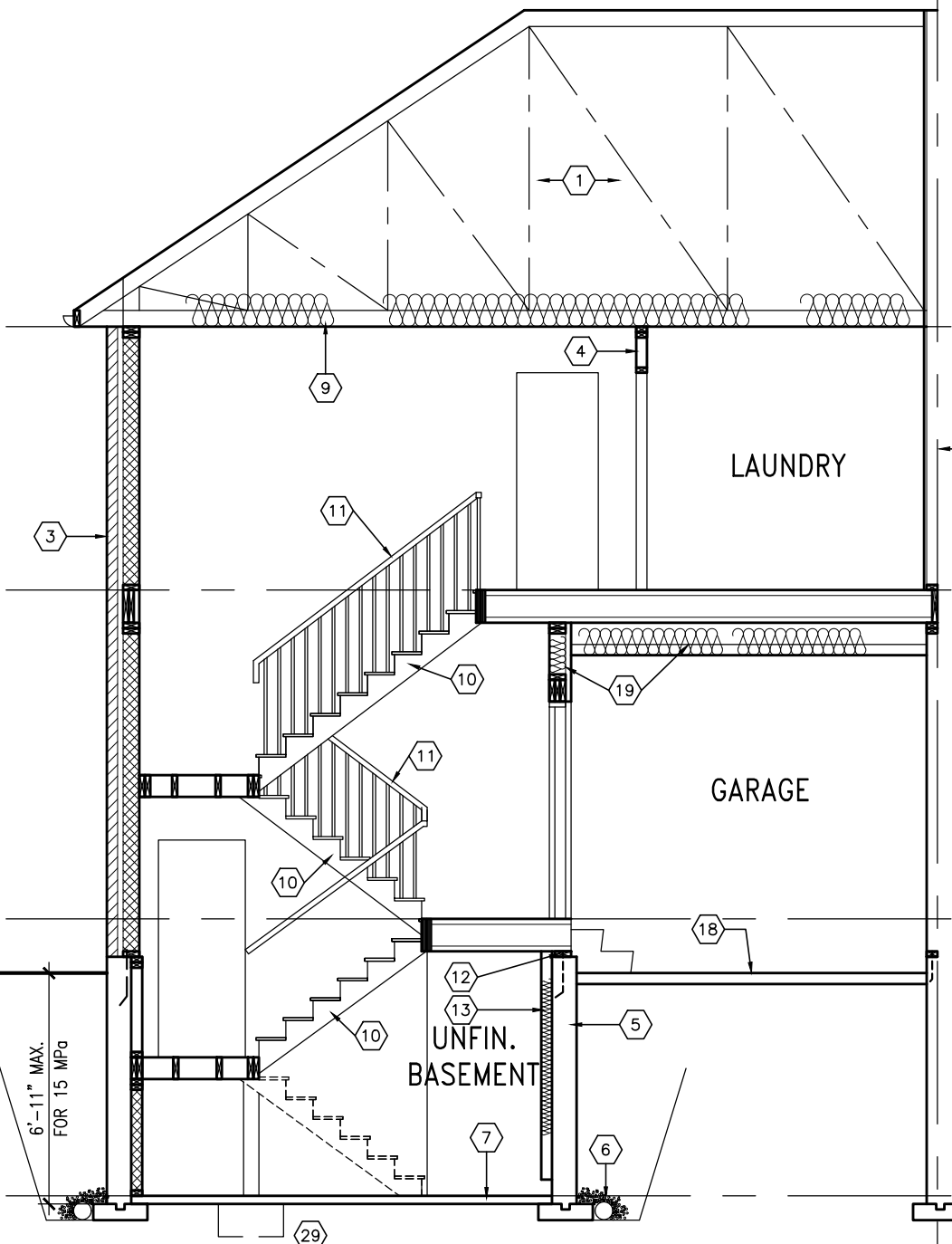
2133 SF.



PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



SECTION B



SECTION A-A ELEV. 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

TOP OF PLATE

TOP OF WINDOW

7'-0" 8'-1"

FIN. SECOND FLOOR

TOP OF WINDOW

7'-10" 10'-1"

FIN. GROUND FLOOR

8'-6"

TOP OF SLAB

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION



9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1			
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name **LECCO RIDGE DEV. INC** municipality **MILTON, ONT.** project no. **16015**

date **JULY, 2016** checked by **WT** scale **3/16" = 1'-0"** file name **16015-IVY-6E**

SECTION A-A ELEV. 2 drawing no. **A6a**

GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-6E\16015-IVY-6E.dwg - Wed - Mar 1 2017 - 9:25 AM

IVY-6E
ENERGY STAR/PANEL

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

2133 SF.

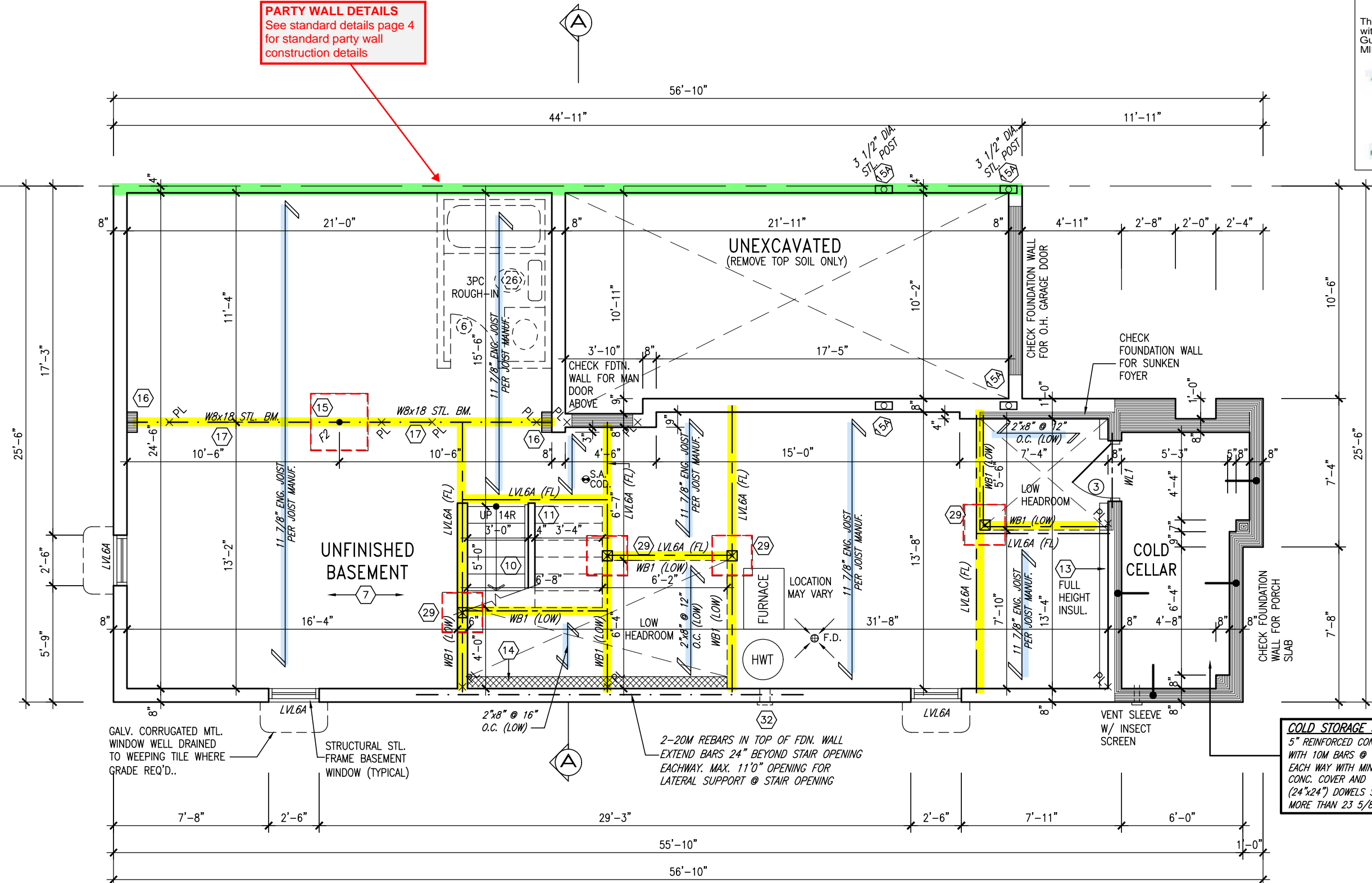
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



BASEMENT PLAN - ELEV. '3'

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

COLD STORAGE SLAB
5\"/>

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1			
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC

municipality
MILTON, ONT.

project no.
16015

drawing no.
A1b

date
JULY, 2016

drawn by
WT

checked by
3/16\"/>

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

IVY-6E
ENERGY STAR/PANEL

2133 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

GARAGE AIR BARRIER

Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound

GARAGE DOOR
Requires weatherstripping
and a self closing device

NOTE:
2"x8" @ 16" O.C. P.T. w/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS w/ 5/8"
EXTERIOR GRADE SHEATHING w/
SINGLE PLY ROOF MEMBRANE
SLOPE TO DRAIN

GUARDS/HANDRAILS

Shall be provided on
porches as required
based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN - ELEV. '3'

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION



9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1			
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

LECCO RIDGE DEV. INC MILTON, ONT.

project name drawing no. 16015

date JULY, 2016 checked by scale 3/16" = 1'-0" file name 16015-IVY-6E
drawn by WT

GROUND FLOOR PLAN - ELEV. '3'

drawing no. 16015

A2b

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

2133 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

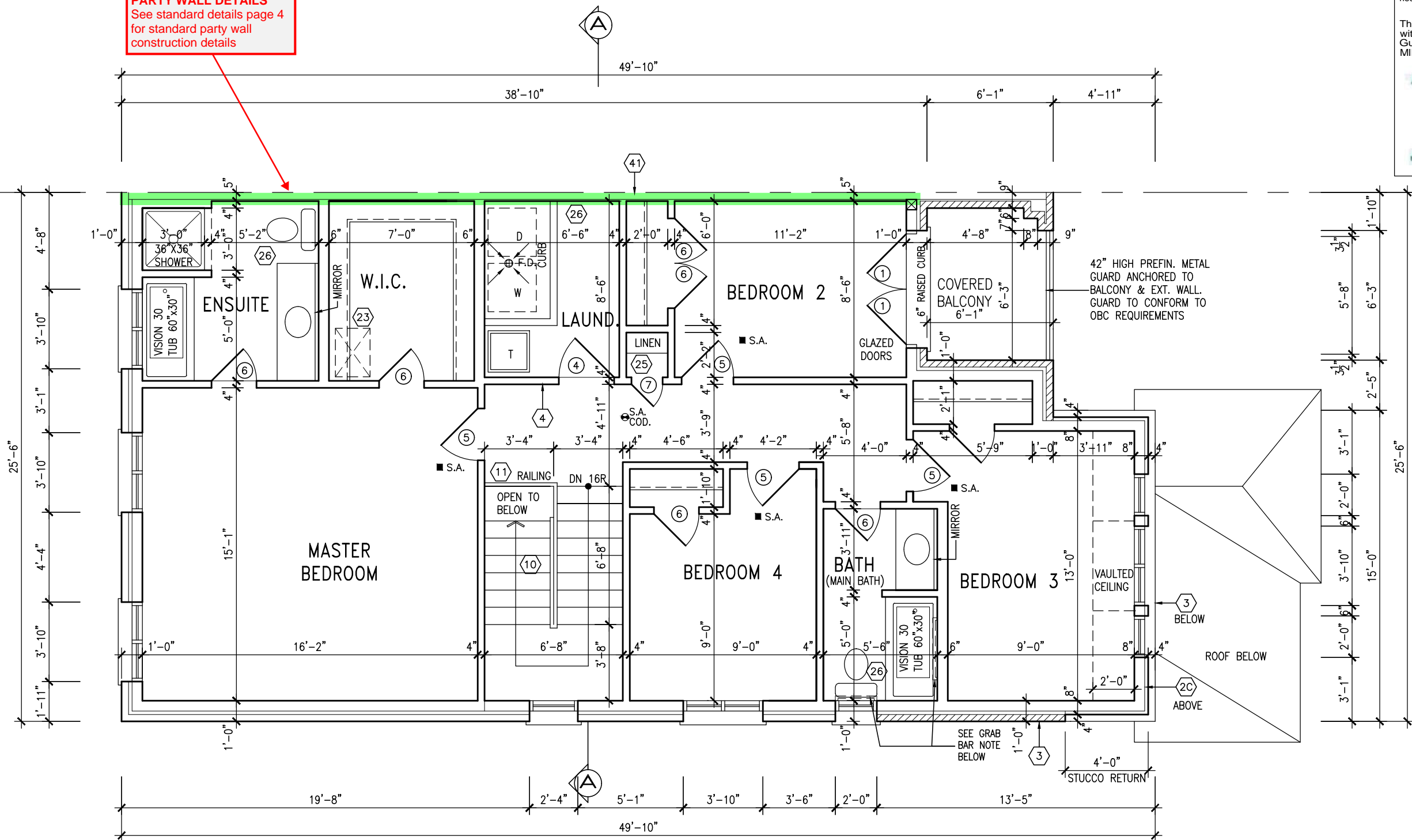
ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



SECOND FLOOR PLAN - ELEV. '3'

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1	ISSUED FOR PERMIT.	MAR. 01/17	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC

municipality
MILTON, ONT.

project no.
16015

date
JULY, 2016

drawn by
WT

SECOND FLOOR PLAN - ELEV. '3'

checked by
3/16" = 1'-0"

file name
16015-IVY-6E

drawing no.
A3b

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

2133 SF.

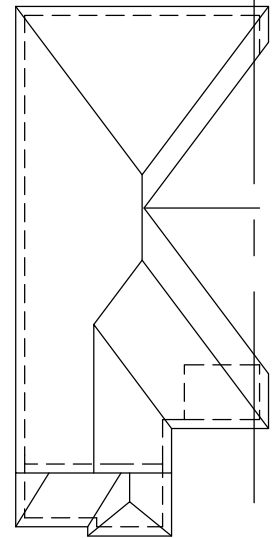
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

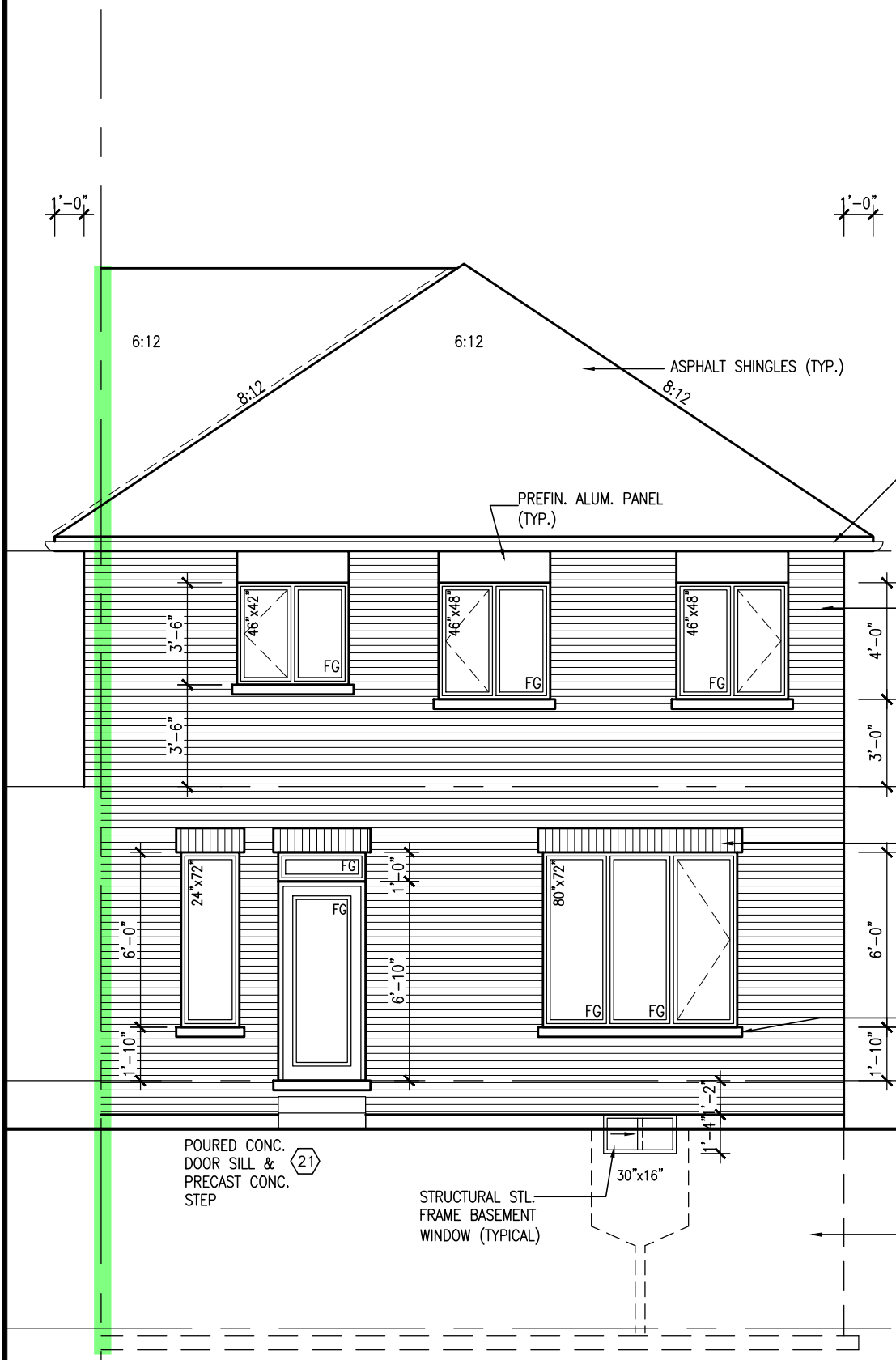
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

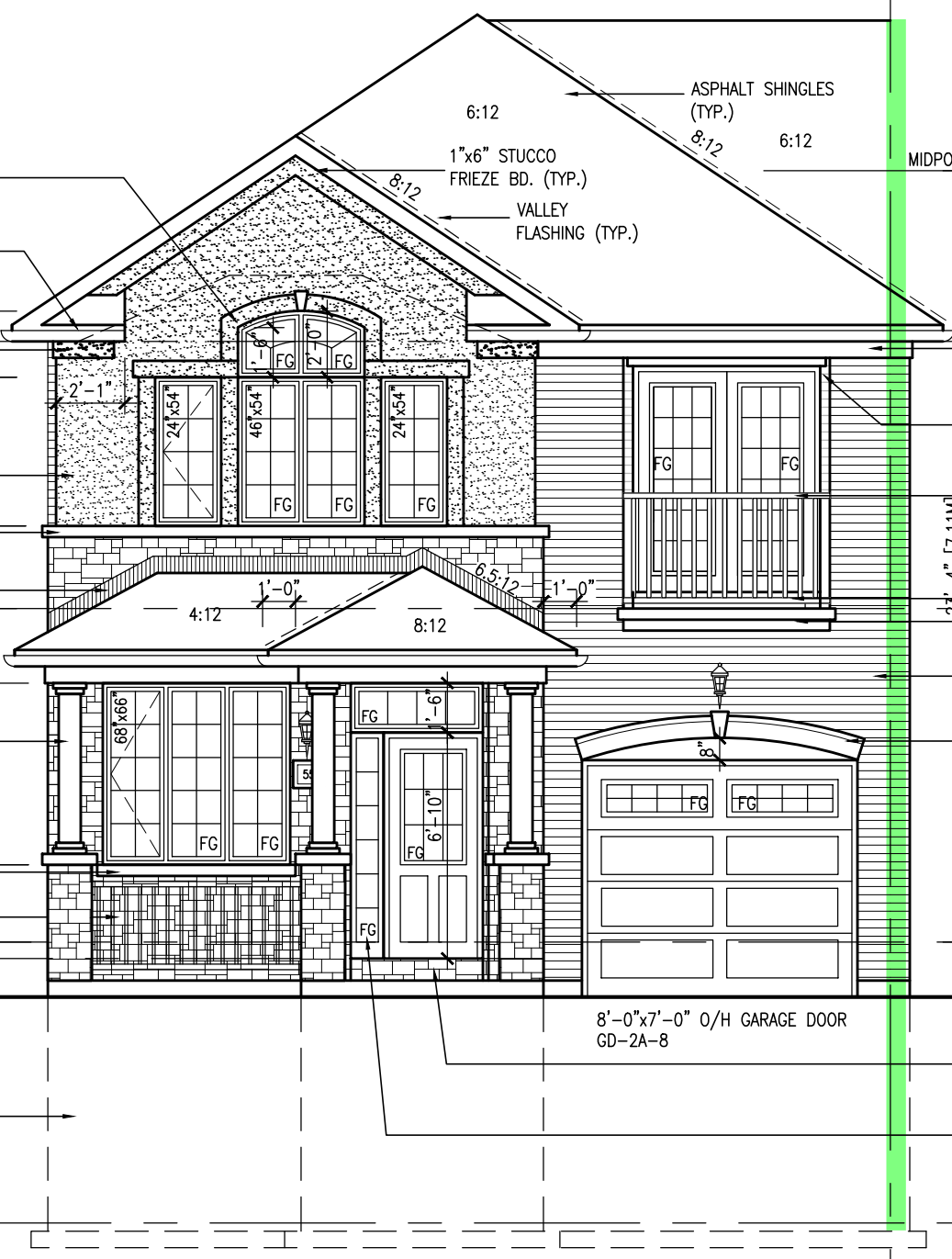


ROOF PLAN '3'



REAR ELEVATION '3'

- STUCCO TRIM SURROUND W/ KEYSTONE (TYP.)
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" STUCCO FRIEZE BD. (TYP.)
- FACE BRICK (TYP.)
- STUCCO FINISH (TYP.)
- CONT. 4" PRECAST CONC. SILL OVER STONE VENEER (TYP.)
- PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)
- BRICK SOLDIER (TYP.)
- 8" DIA. COLUMN ANCHORED TO 16"x16" SOLID BRICK PIER (TYP.)
- PRECAST CONC. SILL (TYP.)
- STONE VENEER (TYP.)
- SUNKEN FOYER



FRONT ELEVATION '3'

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

- 1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
- PRECAST CONC. HEADER OVER DOOR
- 42" HIGH PREFIN. METAL GUARD ANCHORED TO BALCONY & EXT. WALL. GUARD TO CONFORM TO OBC REQUIREMENTS
- 6" CURB AT DOOR
- DBL. PRECAST CONC. SILL
- FACE BRICK (TYP.)
- PRECAST CONC. ARCH HEADER W/ KEYSTONE

- TOP OF PLATE
- TOP OF DOOR
- 6'-10"
- 8'-1"
- TOP OF DOOR CURB
- FIN. SECOND FLOOR
- TOP OF WINDOW
- 7'-10"
- 10'-1"
- FIN. GROUND FLOOR
- FIN. GRADE
- 8'-6"
- TOP OF SLAB

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

9	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
5	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
3	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC

date
JULY, 2016

drawn by
WT

checked by
3/16" = 1'-0"

scale
16015-IVY-6E

file name
16015-IVY-6E

drawing no.
A4b

IVY-6E
ENERGY STAR/PANEL

IVY-6E

project no.
16015

municipality
MILTON, ONT.

drawing no.
A4b

2133 SF.

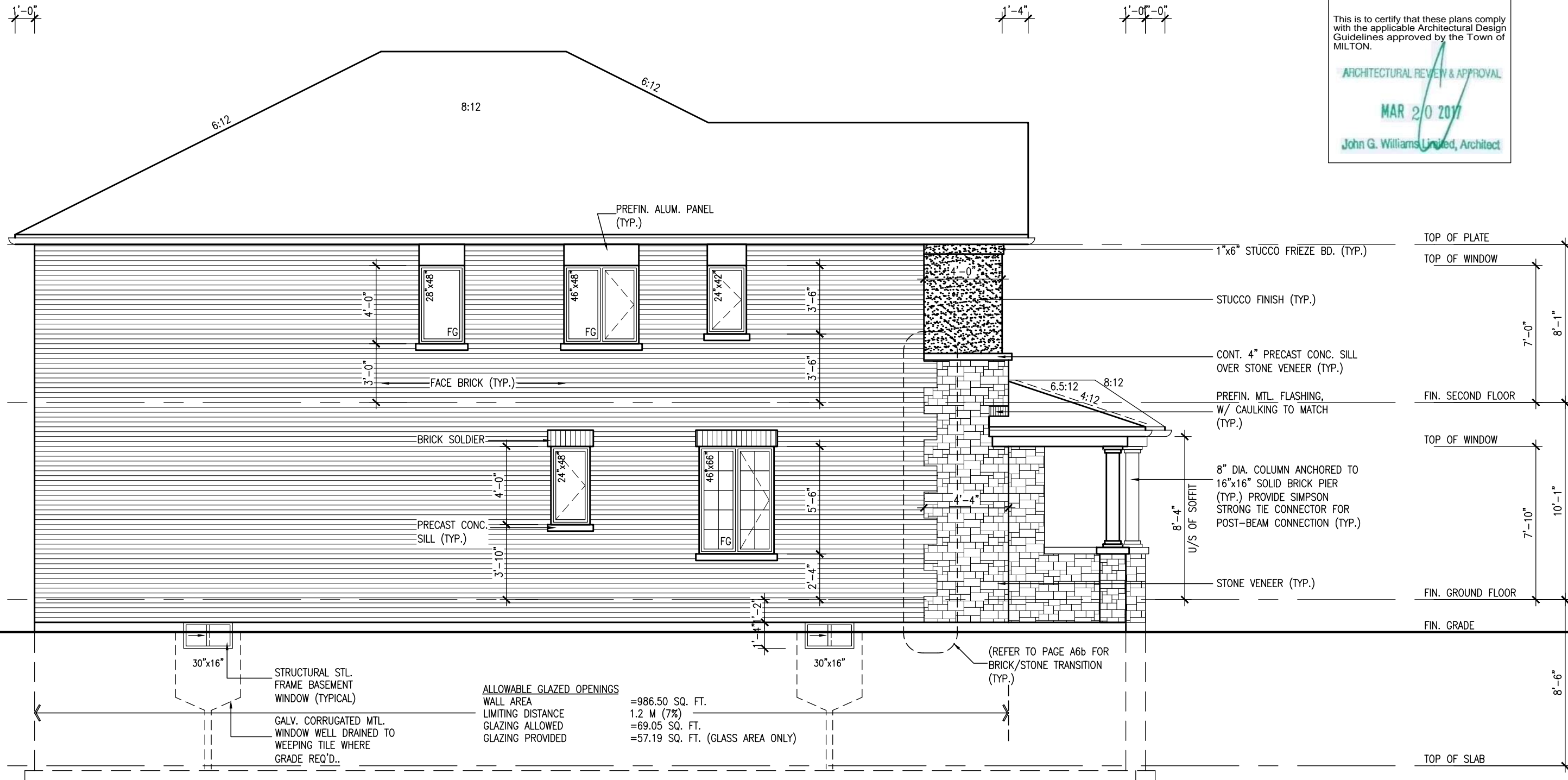
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect



LEFT SIDE ELEVATION '3'

IVY-6E
ENERGY STAR/PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

9	ISSUED FOR PERMIT.	MAR. 01/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	ISSUED FOR PRICING.	DEC. 21/16	GW	qualification information
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	Richard Vink 24488
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW	signature BCIN
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW	VA3 Design Inc. 42658
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	
1				
no.	description	date	by	

VA3
DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC

municipality
MILTON, ONT.

IVY-6E

project no.
16015

date
JULY, 2016

LEFT SIDE ELEVATION - ELEV. '3'

drawn by
WT

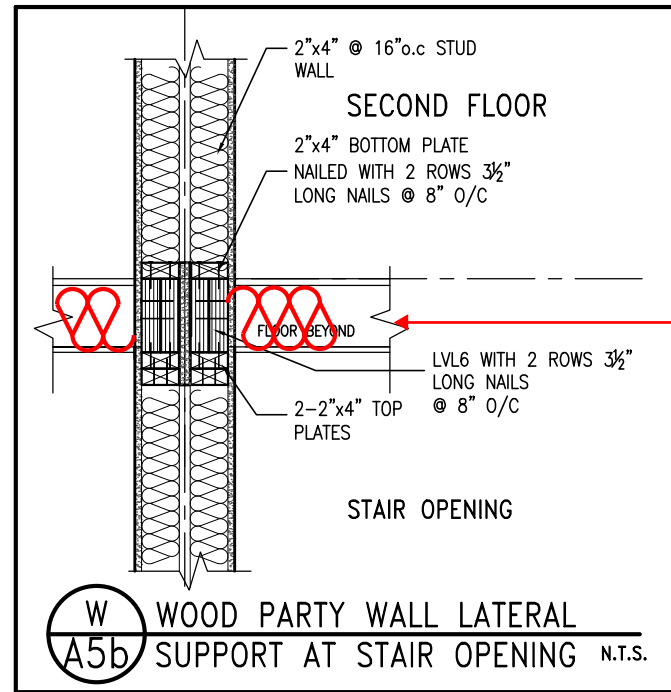
checked by
3/16" = 1'-0"

scale
16015-IVY-6E

drawing no.
A5b

GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY-6E\16015-IVY-6E.dwg - Wed - Mar 1 2017 - 9:25 AM

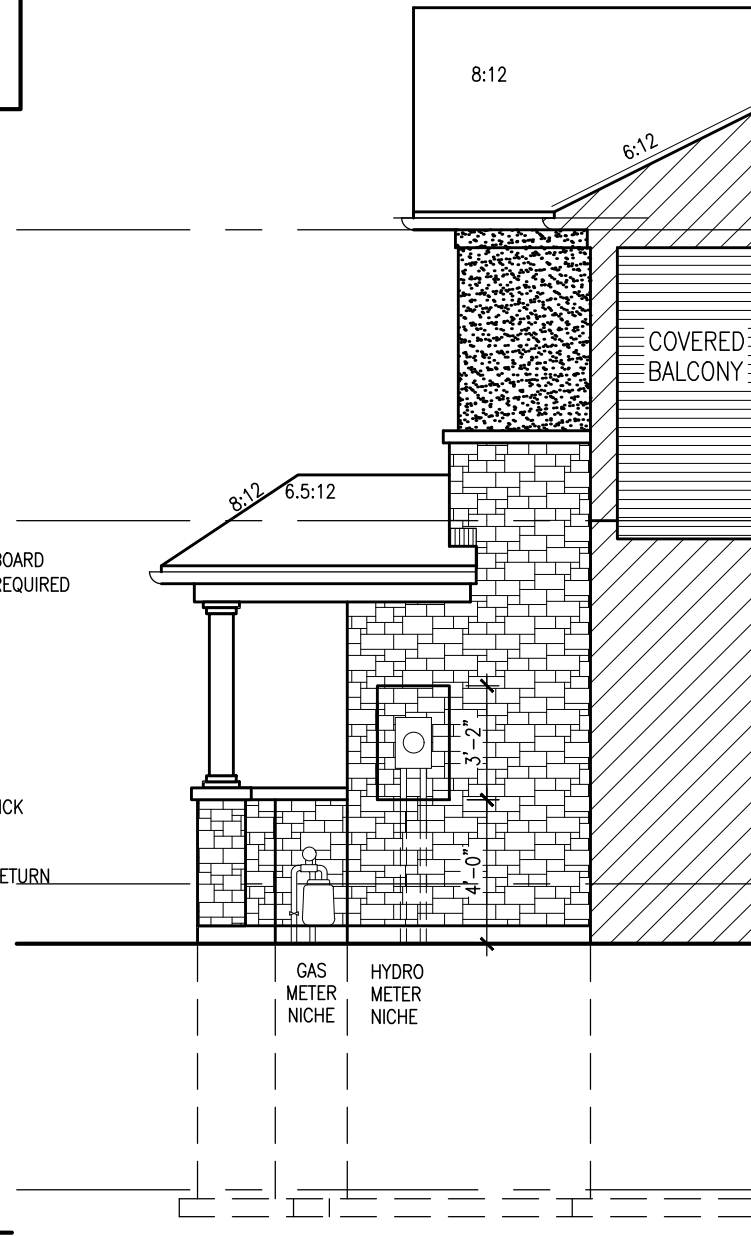
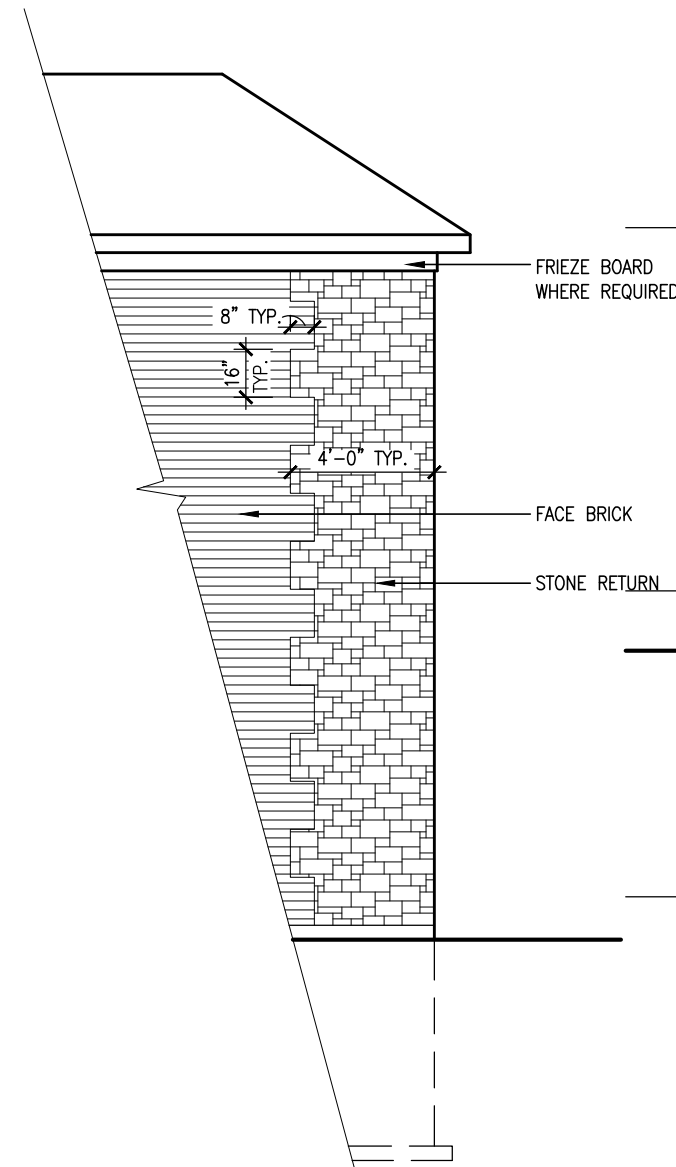
2133 SF.



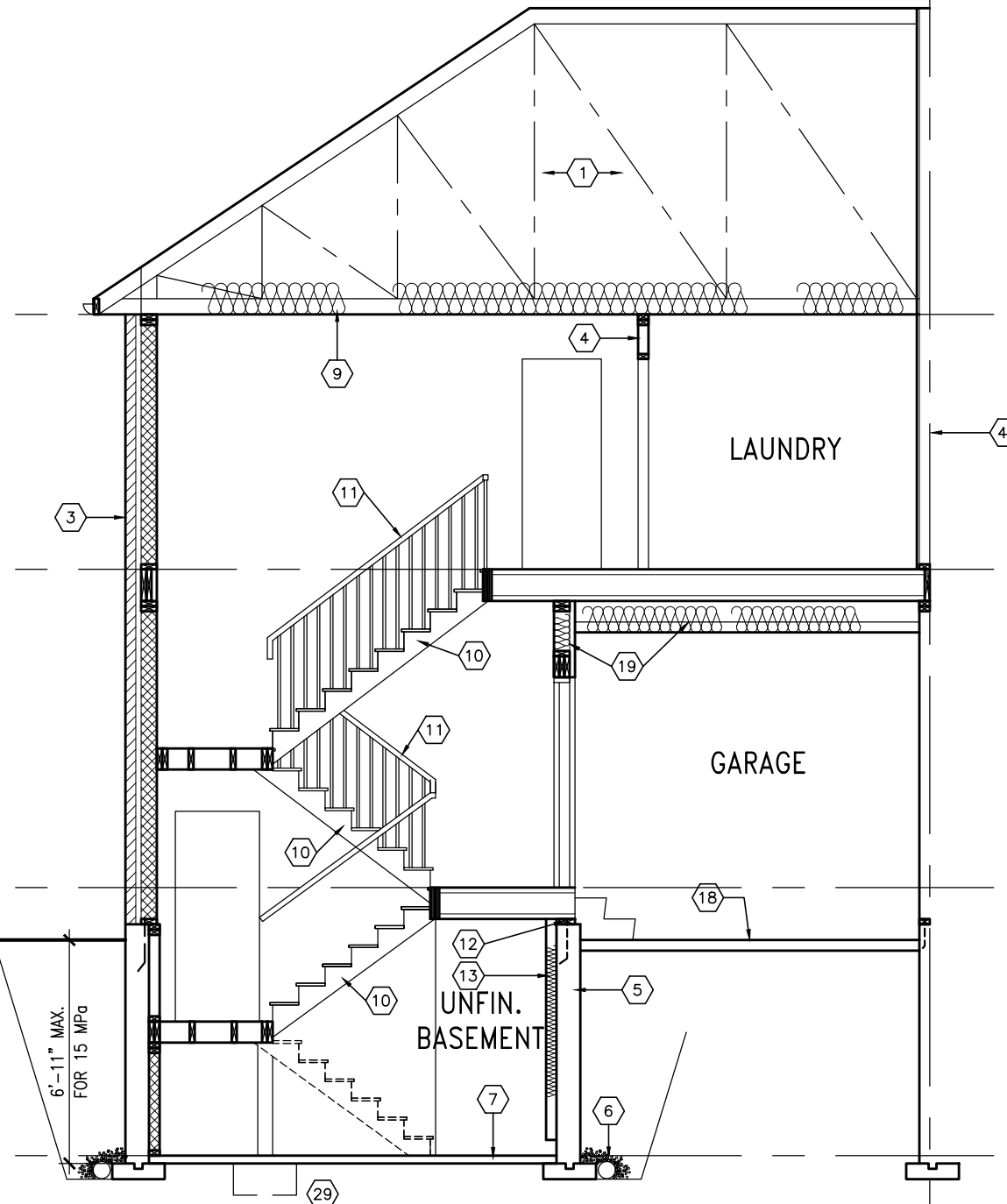
PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



SECTION B



SECTION A-A ELEV. 3

IVY-6E
ENERGY STAR/PANEL

STONE TO BRICK TRANSITION DETAIL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



9	ISSUED FOR PERMIT.	MAR. 01/17	GW
8	ISSUED FOR PRICING.	DEC. 21/16	GW
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
1			
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.	project name LECCO RIDGE DEV. INC	municipality MILTON, ONT.	project no. 16015
date JULY, 2016	checked by WT	scale 3/16" = 1'-0"	file name 16015-IVY-6E
SECTION A-A ELEV. 3			drawing no. A6b

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 6E
BUILDING DIVISION

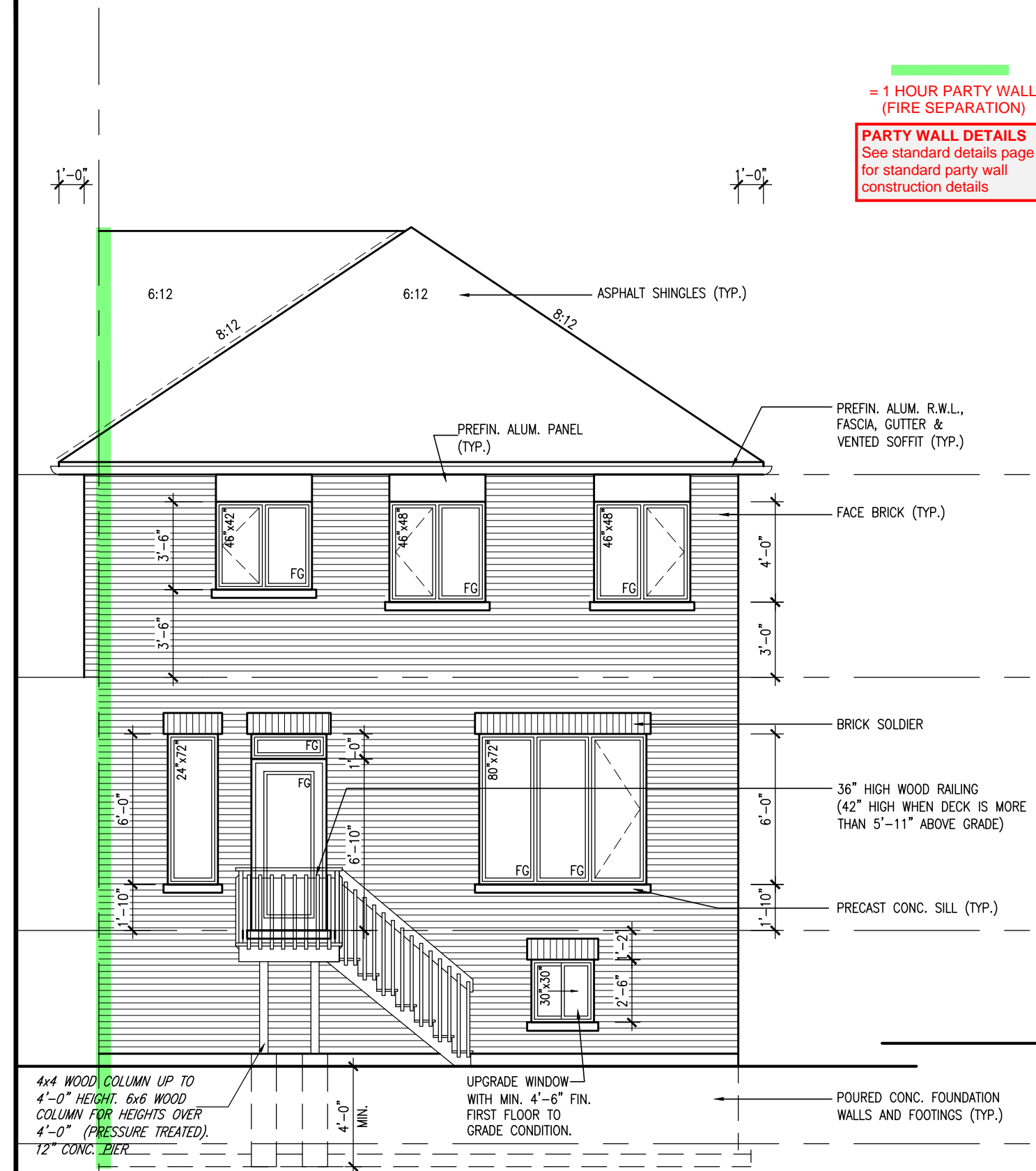
TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 6E MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 18, 2017
DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

2133 SF.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams United, Architect

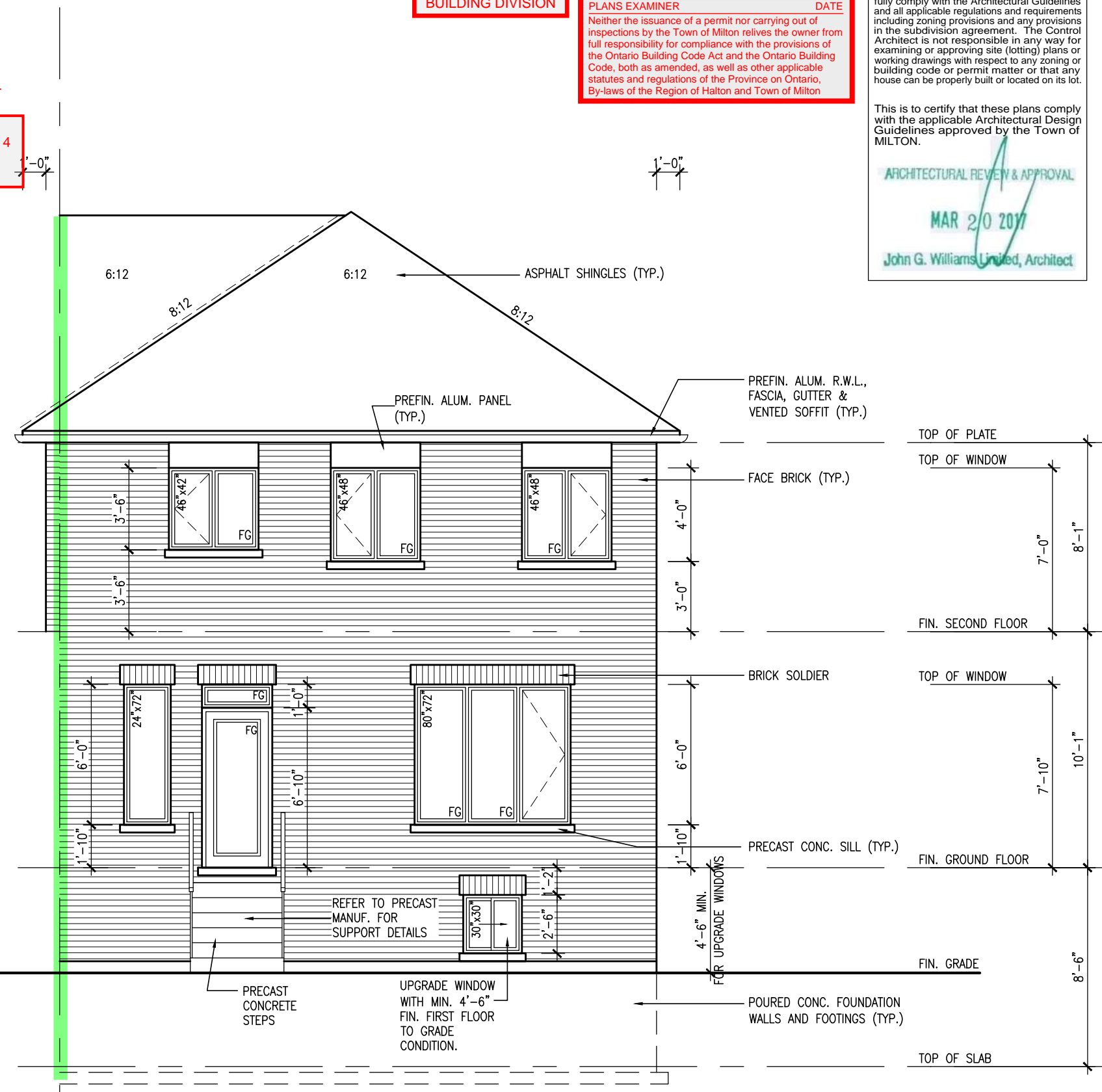
= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 3
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



REAR ELEVATION ELEV. 3
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

IVY-6E
ENERGY STAR/PANEL

9	ISSUED FOR PERMIT.	MAR. 01/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	24488	BCIN	42658
8	ISSUED FOR PRICING.	DEC. 21/16	GW	qualification information			
7	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	Richard Vink			
6	2nd FL WINDOW PANEL ADDED.	SEP 06/16	GW	name			
5	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information			
4	REVISED PLANS/ ELEVATIONS	AUG 22/16	GW	VA3 Design Inc.			
3	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	date			
1				by			

VA3 DESIGN	120-255 Consumers Rd Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Greenpark.	LECCO RIDGE DEV. INC	MILTON, ONT.	IVY-6E	16015	16015-IVY-6E	A8b
------------	--	------------	----------------------	--------------	--------	-------	--------------	-----